

Area Sch	nedule
Name	Area
Heated	
1st Floor	1624 SF
2nd floor	1544 SF
	3168 SF
Unheated	
Front Porch	100 SF
Garage	443 SF
Rear Porch	160 SF
	703 SF
Under Roof	3871 SF

Sheet List		
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GREYSTONE — HOMES

CONTRACTOR AND BUILDER SHALL REVIEW
ENTIRE PLAN TO VERIFY CONFORMANCE WITH
ALL CURRENT APPLICABLE CODES IN EFFECT AT
TIME OF CONSTRUCTION. BY USING THESE
DRAWINGS FOR CONSTRUCTION IT IS
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Cover Page

Duke - Elevation A

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Address:

Last Revision Date: 11-10-23

Sheet #:



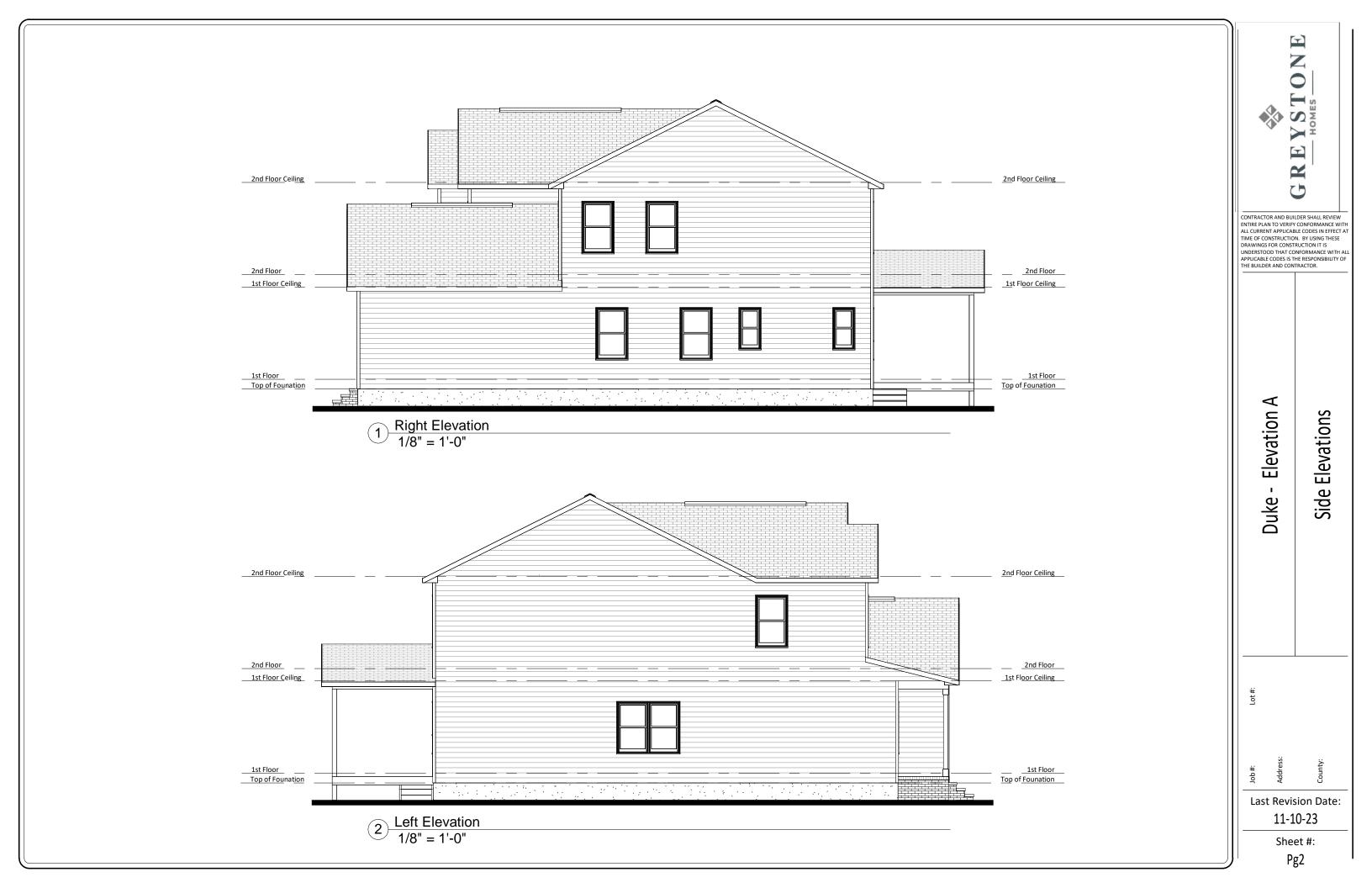


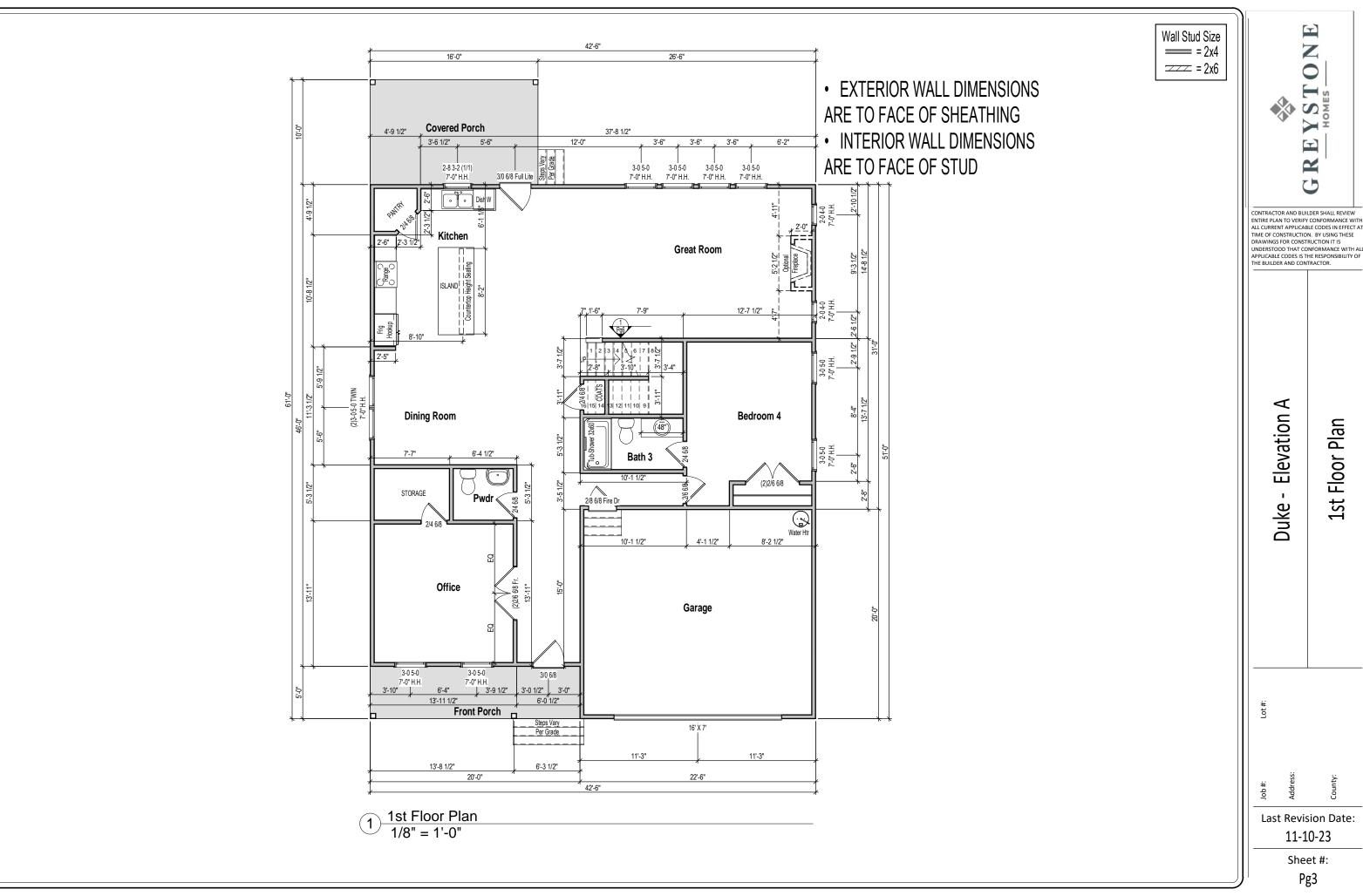
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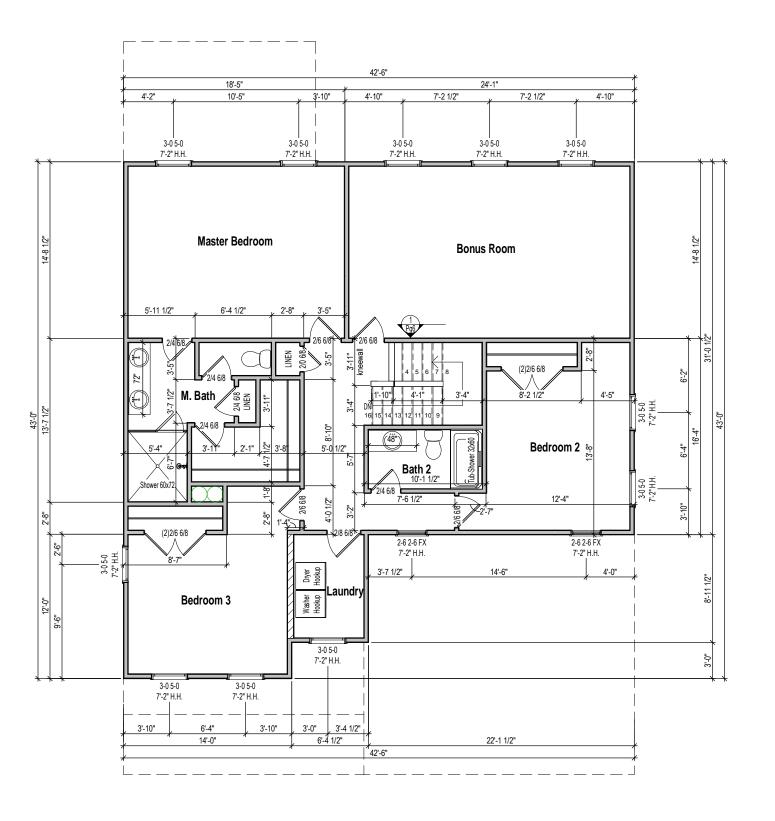
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Sheet #: Pg1





Wall Stud Size = 2x4 = 2x6



1 2nd Floor Plan 1/8" = 1'-0" GREYSTONE

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2nd Floor Plan

Duke - Elevation A

Lot #:

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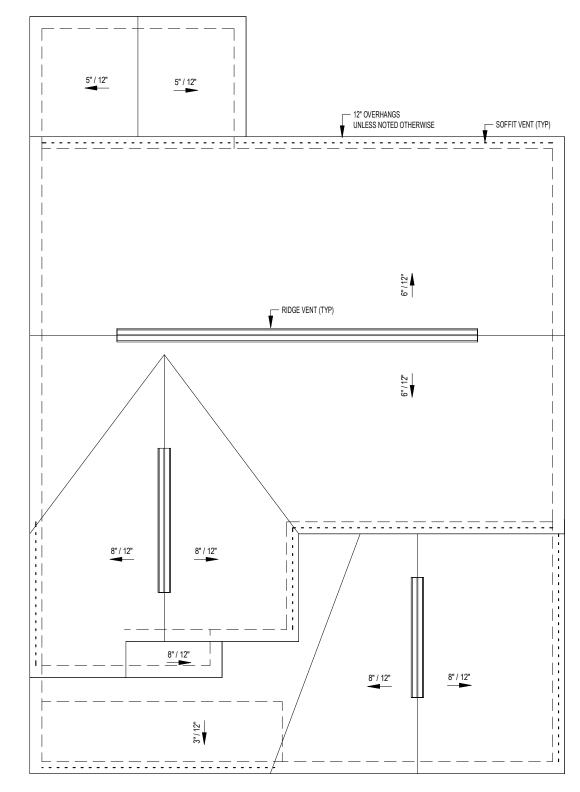
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- CALCS BASED ON THE FOLLOWING VALUES

 Ridge Vents = 15 in² of net free area per linear foot

 Roof Vents = 50 in² of net free area per unit

 Soffit Vents = 6 in² of net free area per square foot



1 Roof Plan 1/8" = 1'-0"



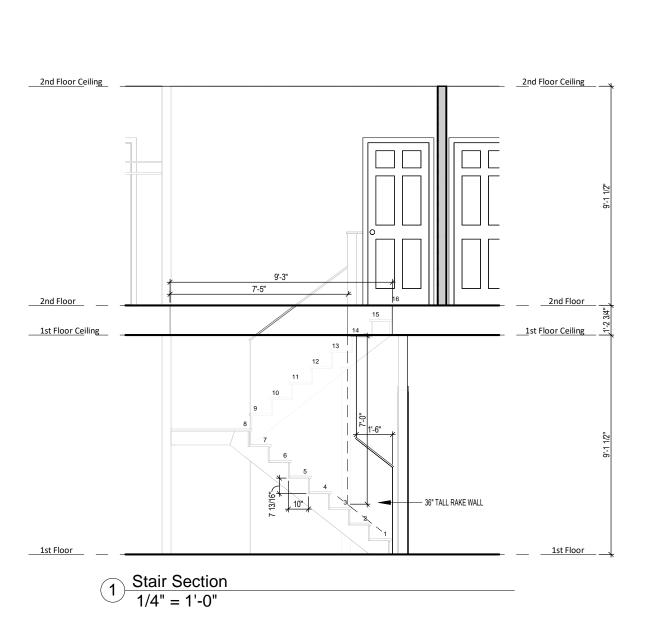
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Roof Plan

Duke - Elevation A

Last Revision Date: 11-10-23

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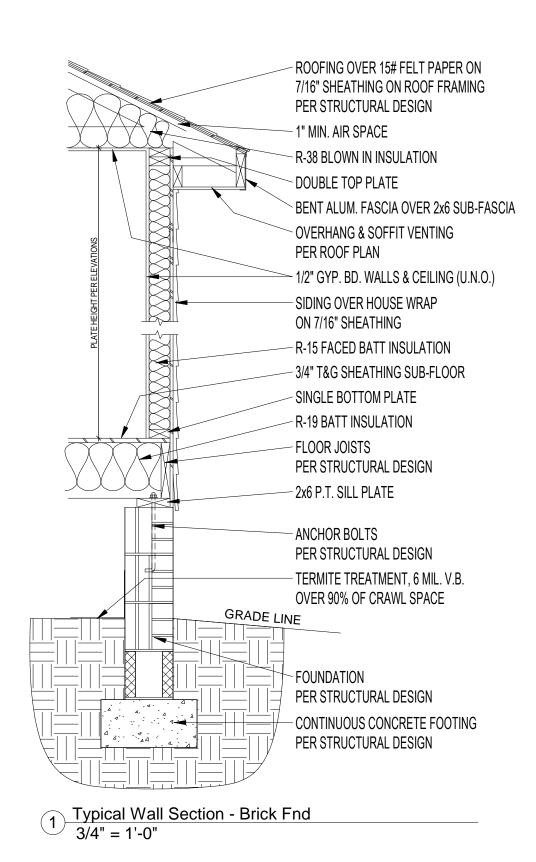
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Stair Section

Duke - Elevation A

Last Revision Date: 11-10-23

Sheet #:



GREYSTONE

HOMES

HOMES

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Typical Wall Section

Duke - Elevation A

Lot #:

Address:

Last Revision Date:

11-10-23

Sheet #: Sec-Crawl/Brk

- 1.1) THE DESIGN PROFESSIONAL WHOSE SEAL APPEARS ON THESE DRAWINGS IS THE STRUCTURAL ENGINEER OF RECORD (SER) FOR THIS PROJECT. THE SER BEARS RESPONSIBILITY FOR THE STRUCTURAL COMPONENTS INCLUDING RAFTERS, HIPS, VALLEYS, RIDGES, CEILING AND FLOOR JOISTS, LOAD-BEARING WALLS, BEAMS AND HEADERS, COLUMNS AND POSTS, CANTILEVERS, PIERS, GIRDERS, AND FOOTINGS.
- THE SER DOES NOT CERTIFY THE DIMENSIONAL ACCURACY OF THE ARCHITECTURAL DRAWINGS, INCLUDING THE ROOF. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION AND NOTIFY THE SER OF ANY DISCREPANCIES AND/OR INCOMPLETE INFORMATION
- THE SER IS NOT RESPONSIBLE FOR I-JOIST AND/OR FLOOR AND ROOF TRUSS DESIGN AND LAYOUT. FLOOR AND ROOF TRUSSES ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW FINAL TRUSS DRAWINGS PRIOR TO CONSTRUCTION AND NOTIFY THE SER OF ANY DISCREPANCIES.
- THE SER IS NOT RESPONSIBLE FOR VERIFICATION OF ASSUMED FIELD CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ASSUMED FIELD CONDITIONS ARE MET OR EXCEEDED PRIOR TO CONSTRUCTION AND NOTIFY THE SER OF ANY DISCREPANCIES.
- THE STRUCTURE IS ONLY STABLE IN ITS COMPLETED FORM. THE CONTRACTOR SHOULD PROVIDE ALL REQUIRED TEMPORARY BRACING DURING CONSTRUCTION TO STABILIZE THE STRUCTURE.
- THE SER DOES NOT BEAR RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, NOR SAFETY PRECAUTIONS IN CONNECTION WITH THE CONSTRUCTION OF THIS STRUCTURE. THE SER WILL NOT BE HELD RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT CONSTRUCTION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- ANY ERRORS DUE TO FAILURE TO FOLLOW THE ABOVE PROCEDURES SHALL NOT BE THE RESPONSIBILITY OF THE SER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ANY REVISIONS ISSUED BY THE SER ARE PROMPTLY DISTRIBUTED TO THE SUBCONTRACTORS.
- THE SER DOES NOT PERFORM FENESTRATION OR VENTING CALCULATIONS OR ANY OTHER CALCULATIONS THAT ARE NOT DIRECTLY RELATED TO THE STRUCTURAL DESIGN. IT IS THE RESPONSIBILITY OF THE ARCHITECTURAL DESIGNER AND/OR CONTRACTOR TO PROVIDE ANY REQUIRED CALCULATIONS OUTSIDE OF THE SCOPE OF THE STRUCTURAL DESIGN.

2) DESIGN SPECIFICATIONS:

- 2.1) BUILDING CODES:
 - 2018 NORTH CAROLINA RESIDENTIAL CODE (NCRC)
 - ASCE/SEI 7-10 "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES"

2.2)	DESIGN LIVE	LOADS:
	 ROOF 	

- ROOF	20 P3F
- UNINHABITABLE ATTICS WITHOUT STORAGE	10 PSF
- UNINHABITABLE ATTICS WITH LIMITED STORAGE	20 PSF
- HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30 PSF
- SLEEPING AREAS	30 PSF
- LIVING AREAS	40 PSF
- DECKS AND BALCONIES	40 PSF
- STAIRS	40 PSF
- PASSENGER VEHICLE GARAGE	50 PSF

2.3)

1	DESIGN DEAD LOADS:	
	- ROOF TRUSSES	20 PSF (10 PSF TC, 10 PSF
	- SOLID SAWN RAFTERS AND JOISTS	10 PSF
	- I-JOISTS	12 PSF
	- FLOOR TRUSSES	15 PSF (10 PSF TC, 5 PSF E
	- INTERIOR WALLS	8 PSF
	- EXTERIOR WALLS	10 PSF
	 BRICK, MASONRY, AND NATURAL STONE VENEER 	40 PSF
	- CERAMIC TILE FLOORING	10 PSF
	 NATURAL STONE TILE FLOORING 	32 PSF
	- NORMAL WEIGHT CONCRETE	145 PCF
	DECION CHOW LOADS	

20 PSF

20 PSF

UP TO 120 MPH

2000 PSF (MINIMUM, ASSUMED)

45 PCF (MAXIMUM, ASSUMED)

- GROUND SNOW LOAD
- DESIGN LATERAL LOADS AND CRITERIA: - ULTIMATE WIND SPEED WIND EXPOSURE
 - DESIGN WIND PRESSURE SEISMIC DESIGN CATEGORY
- DESIGN SOIL LOADS: - SOIL BEARING CAPACITY

- LATERAL SOIL PRESSURE

DESIGN DEFLECTION LIMITS:

	LIVE LUND	TOTAL LOAD
- ROOF TRUSSES	L/360	L/240
- SOLID SAWN RAFTERS	L/240	L/180
- SOLID SAWN CEILING JOISTS	L/240	L/180
- I-JOISTS AND FLOOR TRUSSES	L/480	L/240
- SOLID SAWN FLOOR JOISTS	L/360	L/240
- BEAMS AND HEADERS	L/360	L/240

- FRAMING SUPPORTING CERAMIC TILE - FRAMING SUPPORTING NATURAL STONE TILE $L/720 \left(\frac{7}{32}^{"} MAX\right)$ - LINTELS AND FRAMING SUPPORTING BRICK OR MASONRY L/600 (♣" MAX)

3) FOOTING AND FOUNDATION NOTES:

- FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 4 OF THE 2018 NCRC.
- VERIFICATION OF THE ASSUMED SOIL BEARING CAPACITY IS THE RESPONSIBILITY OF THE CONTRACTOR. CONCRETE FOOTINGS SHALL NOT BE PLACED UNTIL THE SOIL BEARING CAPACITY HAS BEEN VERIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER OR BUILDING INSPECTOR. CONSULT THE SER SHOULD THE SOIL BEARING CAPACITY NOT BE MET OR IF ANY OTHER ADVERSE SOIL CONDITION IS ENCOUNTERED.
- THE BOTTOM OF ALL FOOTINGS SHALL EXTEND A MINIMUM OF 12" BELOW GRADE OR BELOW THE FROST LINE FOR THE CONSTRUCTION LOCATION WHICHEVER IS GREATER
- ANY COMPACTED FILL SHALL BE PLACED UNDER THE DIRECTION OF A QUALIFIED GEOTECHNICAL ENGINEER. THE RESULTING SOIL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY.
- FOOTINGS SHALL BE FREE OF VEGETATION, TOPSOIL, AND FOREIGN MATERIAL. NO CONCRETE SHALL BE PLACED AGAINST ANY SUBGRADE CONTAINING WATER, ICE, FROST, OR LOOSE MATERIAL.

- FOOTINGS SUPPORTING FOUNDATION WALLS SHALL HAVE A MINIMUM PROJECTION OF 2" AT ALL SIDES MAXIMUM FOOTING PROJECTION AT FOUNDATION WALLS SHALL NOT EXCEED THE THICKNESS OF THE FOOTING.
- WOOD SILL PLATES SHALL BE ANCHORED TO THE FOLINDATION WITH 1/2" DIA ANCHOR BOLTS WITH MINIMUM 7" FMBEDMENT INTO CONCRETE OR SOLID-GROUTED MASONRY SPACED A MAXIMUM OF 6'-0" OC. PROVIDE A MINIMUM OF TWO ANCHOR BOLTS PER PLATE SECTION AND ONE ANCHOR BOLT WITHIN 12" OF EACH CORNER. ANCHOR BOLTS SHALL BE LOCATED WITHIN THE MIDDLE THIRD OF THE SILL PLATE.
- FOUNDATION WALLS MAY BE STEPPED AND FRAMED WITH CRIPPLE WALLS WHERE GRADE PERMITS (SEE NOTE
- PROVIDE FOUNDATION WATERPROOFING AND AND DRAIN WITH POSITIVE SLOPE TO DAYLIGHT AS REQUIRED BY SITE CONDITIONS.
- THE SITE SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST TEN FEET. 3.10) CRAWL SPACES SHALL BE GRADED LEVEL AND CLEAR OF ALL DEBRIS. CRAWL SPACE GRADE SHALL BE LINED. WITH MINIMUM 6 MIL APPROVED VAPOR BARRIER WITH ALL JOINTS LAPPED MINIMUM 12" AND SEALED.

PROVIDE A MINIMUM ACCESS OPENING MEASURING 18" BY 24".

4) CONCRETE NOTES:

- INTERIOR SLABS ON GRADE, EXCEPT FOR GARAGE FLOORS, AND FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS, FOUNDATION WALLS, GARAGE SLABS ON GRADE, AND EXTERIOR SLABS ON GRADE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- CONCRETE SHALL BE PROPORTIONED, MIXED, AND PLACED IN ACCORDANCE WITH THE LATEST EDITIONS OF ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".
- ALL CONCRETE EXPOSED TO FREEZE/THAW CYCLES SHALL BE AIR ENTRAINED WITH TOTAL AIR VOLUME NOT LESS THAN 5% OR MORE THAN 7%.
- CONCRETE SLABS ON GRADE SHALL BE MINIMUM 4" THICK AND REINFORCED WITH POLYPROPYLENE FIBERS OR 6x6 WELDED WIRE FABRIC (WWF). POLYPROPYLENE FIBERS SHALL BE APPLIED AT A MINIMUM RATE OF 1.5 LBS PER CUBIC YARD. WWF SHALL BE PLACED AT THE MID-DEPTH OF THE SLAB.
- CONCRETE SLABS ON GRADE SHALL BE PLACED ON MINIMUM 4" THICK GRANULAR FILL COMPACTED TO MINIMUM 95% OF THE MAXIMUM DRY DENSITY. INTERIOR SLABS ARE TO BE PLACED ON A MINIMUM 6 MIL VAPOR BARRIER PLACED ON TOP OF THE GRANULAR FILL.
- 3" TO 1" DEEP CONTROL JOINTS (SAW-CUT OR TOOLED) ARE TO BE PLACED IN SLABS ON GRADE WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING. CONTROL JOINTS ARE TO BE SPACED APPROXIMATELY 10'-0" OC.
- ALL CAST-IN-PLACE CONCRETE WALLS SHALL CONFORM TO SECTIONS R404 AND/OR R608 OF THE 2018 NCRC, ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", AND/OR ACI 332 "CODE REQUIREMENTS FOR RESIDENTIAL CONCRETE".

5) MASONRY NOTES:

- CONCRETE MASONRY SHALL CONFORM TO ASTM C90. ALL BRICK SHALL CONFORM TO ASTM C62. ALL MASONRY SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1500 PSI.
- ALL MORTAR SHALL BE TYPE "S". GROUT AND MORTAR SHALL CONFORM TO ASTM C270 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS. ALL MASONRY WALLS SHALL CONFORM TO SECTION SECTIONS R404 AND/OR R606 OF THE 2018 NCRC,
- NCMA TR68-A "CONSTRUCTION USING CONCRETE MASONRY", AND/OR ACE 530/ASCE 5/TMS 402 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES".
- THE UNSUPPORTED HEIGHT OF UNGROUTED HOLLOW MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION. THE UNSUPPORTED HEIGHT OF SOLID OR SOLID-GROUTED MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION.
- EACH CRAWL SPACE PIER SHALL BEAR WITHIN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING AND EACH GIRDER SHALL BEAR WITHIN THE MIDDLE THIRD OF THE PIERS. PILASTERS SHALL BE BONDED TO THE PERIMETER FOUNDATION WALL THE TOP COURSE OF MASONRY SHALL BE GROUTED SOLID. ALL CELLS CONTAINING REINFORCING STEEL OR
- EMBEDDED ITEMS SHALL BE GROUTED SOLID. HORIZONTAL WALL JOINT REINFORCEMENT SHALL BE STANDARD 9 GAUGE GALVANIZED LADDER OR TRUSS TYPE SPACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE ON THE DRAWINGS, AND SHALL CONFORM TO ASTM A951. LAP HORIZONTAL REINFORCEMENT MINIMUM 6" FOR CONTINUOUS WALL APPLICATIONS.

6) REINFORCING STEEL NOTES:

- 6.1) WELDED WIRE FABRIC SHALL CONFORM TO ASTM 185. CONCRETE REINFORCING STEEL SHALL CONFORM TO ASTM 615, GRADE 60. REINFORCING STEEL WITHIN FOOTINGS SHALL MAINTAIN MINIMUM 3" CONCRETE COVER AND REINFORCING STEEL WITHIN SLABS SHALL MAINTAIN MINIMUM 1 3" CONCRETE COVER. CONCRETE COVER FOR #5 AND SMALLER REINFORCING BARS WITHIN CONCRETE WALLS SHALL BE MINIMUM 1 1 7 AND CONCRETE COVER FOR #6 AND LARGER REINFORCING BARS WITHIN CONCRETE WALLS SHALL BE MINIMUM 2".
- 6.2) LAP REINFORCING STEEL, AS REQUIRED, A MINIMUM OF 48 TIMES THE BAR DIAMETER (18" FOR #3 BARS, 24" FOR #4 BARS, 30" FOR #5 BARS, 36" FOR #6 BARS, ETC.).

7) WOOD FRAMING NOTES:

- SOLID SAWN FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR (SPF) #2 OR SOUTHERN YELLOW (SYP) #2 WITH THE FOLLOWING MINIMUM DESIGN VALUES:
 - SPF #2: Fb=875 PSI, Fv=135 PSI, E=1,400,000 PSI - SYP #2: Fb=750 PSI, Fv=175 PSI, E=1,400,000 PSI
- 7.2) ENGINEERED LUMBER BEAMS SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES: - LAMINATED STRAND LUMBER (LSL): Fb=2,325 PSI, Fv=310 PSI, E=1,550,000 PSI
 - Laminated veneer lumber (LVL): Fb=2,600 PSI, Fv=285 PSI, E=2,000,000 PSI
- PARALLEL STRAND LUMBER (PSL): Fb=2,900 PSI, Fv=290 PSI, E=2,000,000 PSI ENGINEERED LUMBER COLUMNS SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:
- Laminated Strand Lumber (LSL): Fb=1,700 PSI, Fc=710 PSI, E=1,300,000 PSI - LAMINATED VENEER LUMBER (LVL): Fb=2,600 PSI, Fc=750 PSI, E=2,000,000 PSI
- PARALLEL STRAND LUMBER (PSL): Fb=2,400 PSI, Fc=545 PSI, E=1,800,000 PSI
- WOOD IN CONTACT WITH THE GROUND, CONCRETE, OR MASONRY SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA STANDARD C-15. ALL OTHER MOISTURE EXPOSED LUMBER SHALL BE TREATED IN ACCORDANCE WITH AWPA STANDARD C-2 OR SHALL BE A NATURALLY DURABLE DECAY RESISTANT WOOD AS DEFINED IN SECTION R202 OF THE 2018 NCRC.
- 7.5) NAILS SHALL BE COMMON WIRE NAILS UNLESS NOTED OTHERWISE AND SHALL CONFORM TO ASTM F1667-05.

- 7.6) BOLTS SHALL CONFORM TO ASTM A307 UNLESS NOTED OTHERWISE. INSTALL STANDARD STEEL WASHERS FOR THE NUT AND BOLT HEAD WHEN BOLTING WOOD MEMBERS. HOLES FOR BOLTS SHALL BE 🖁 LARGER THAN THE BOLT DIAMETER UNLESS NOTED OTHERWISE
- LAG SCREWS SHALL CONFORM TO ANSI/ASME B18.2.1. INSTALL STANDARD STEEL WASHERS FOR THE SCREW HEAD. PILOT HOLES SHALL BE USED FOR LAG SCREW INSTALLATION AND SHALL BE BORED ACCORDING TO
- INDIVIDUAL STUDS BUILT UP TO FORM A COLUMN SHALL BE FASTENED WITH (2) ROWS OF 10d NAILS @ 6" O.C. STAGGERED. BLOCKING MATCHING OR EXCEEDING THE WIDTH OF THE STUD COLUMN SHALL BE INSTALLED AT ALL FLOOR LEVELS TO ENSURE PROPER LOAD TRANSFER THROUGH THE STRUCTURE.
- MULTI-PLY SOLID SAWN BEAMS AND HEADERS SHALL BE FASTENED WITH (2) ROWS OF 10d NAILS @ 16" O.C. STAGGERED FOR 2x8 AND SMALLER OR (3) ROWS OF 10d NAILS @ 16" O.C. STAGGERED FOR 2x10 AND LARGER, APPLY NAILING FROM BOTH FACES FOR (3) OR MORE PLIES.
- 7.10) MULTI-PLY ENGINEERED LUMBER BEAMS AND HEADERS SHALL BE FASTENED PER THE MANUFACTURER SPECIFICATIONS UNLESS NOTED OTHERWISE.
- 7.11) BEAMS PERPENDICULAR TO THE SUPPORTING WALL SHALL BEAR THE FULL WIDTH OF THE WALL UNLESS NOTED OTHERWISE AND SHALL BE SUPPORTED BY A COLUMN OF BUILT UP STUDS THAT MATCHES OR EXCEEDS THE WIDTH OF THE BEAM (NOT LESS THAN TWO STUDS).
- 7.12) BEAMS PARALLEL TO THE SUPPORTING WALL SHALL BEAR THE WIDTH OF THE SPECIFIED STUD COLUMN ON THE END OF THE WALL (BEARING SHALL NOT BE LESS THAN 3" TO BEAR OVER TWO STUDS UNLESS NOTED
- 7.13) HEADERS SHALL BE SUPPORTED BY JACK STUDS AND KING STUDS BASED ON THE FOLLOWING CONDITIONS

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CLEAR SPAN:	# OF JACK STUDS:	# OF KING STUDS (EXTERIOR):	# OF KING STUDS (INTERIOR)
UP TO 3'-0"	(1)	(1)	(1)
>3'-0" TO 6'-0"	(2)	(2)	(1)
>6'-0" TO 9'-0"	(2)	(3)	(2)
>9'-0" TO 12'-0"	(3)	(4)	(2)
>12'-0" TO 15'-0"	(3)	(5)	(3)
>15'-0" TO 18'-0"	(4)	(6)	(3)

7.14) STUD SPACING FOR EXTERIOR AND INTERIOR BEARING WALLS SHALL BE BASED ON THE FOLLOWING CONDITIONS UNLESS NOTED OTHERWISE:

- SUPPORTING UP TO ONE STORY ABOVE UP TO 10'-1 1" IN HEIGHT

2x4 @ 16" O.C. OR 2x6 @ 24" O.C. >10'-1 3" UP TO 12'-1 3" 2x4 @ 12" O.C. OR 2x6 @ 16" O.C. - SUPPORTING UP TO TWO STORIES ABOVE: UP TO 10'-1 3" IN HEIGHT 2x4 @ 12" O.C. OR 2x6 @ 16" O.C. 2x6 @ 12" O.C. > 10'-1 3" UP TO 12'-1 3"

- 7.15) ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH $\frac{7}{16}$ APA RATED OSB EXPOSURE 1 ATTACHED WITH 8d NAILS @ 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN PANEL FIELD UNLESS NOTED OTHERWISE. 7.16) ROOF SHEATHING SHALL BE MINIMUM $\frac{7}{16}$ " APA RATED SHEATHING EXPOSURE 1 ATTACHED TO ROOF FRAMING WITH 8d NAILS @ 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN PANEL FIELD UNLESS NOTED OTHERWISE.
- SHEATHING SHALL HAVE A SPAN RATING THAT MATCHES OR EXCEEDS THE FRAMING SPACING. 7.17) FLOOR SHEATHING SHALL BE MINIMUM W APA RATED TONGUE AND GROOVE SHEATHING EXPOSURE
- ATTACHED TO FLOOR FRAMING WITH 8d NAILS @ 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN PANEL FIELD UNLESS NOTED OTHERWISE. SHEATHING SHALL HAVE A SPAN RATING THAT MATCHES OR EXCEEDS THE FRAMING SPACING.
- 7.18) EXTERIOR WOOD DECKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPENDIX M OF THE 2018 NCRC
- 7.19) EXTERIOR WOOD POSTS SHALL BE SECURED TO THE BAND AT THE BOTTOM AND BEAM AT THE TOP WITH (1) SIMPSON STRONG-TIE H6 HURRICANE TIE, (2) H2.5A HURRICANE TIES, OR (1) SECTION OF CS16 COIL STRAPPING WITH MINIMUM 9" END LENGTHS. FOR MASONRY OR CONCRETE FOUNDATIONS, SECURE POSTS AT THE BOTTOM WITH A SIMPSON STRONG-TIE ABU POST BASE FOR THE SPECIFIED POST SIZE.

8) STEEL FRAMING NOTES:

- 8.1) STEEL FRAMING SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - ASTM A992 - W SHAPES - CHANNELS AND ANGLES ASTM A36 - PLATES AND BARS ASTM A36
 - ASTM A500, GRADE B - HOLLOW STRUCTURAL SECTIONS (HSS) ASTM A53, GRADE B, TYPE E OR S - PIPES
- 8.2) STEEL BEAMS SHALL BE ANCHORED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS UNLESS NOTED OTHERWISE:
 - WOOD FRAMING (2) I" DIAMFTER x 4" LONG LAG SCREWS
 - CONCRETE (2) 1" DIAMETER x 4" LONG SST TITEN HD (OR EQUAL) SCREW ANCHORS (2) $\frac{1}{2}$ " DIAMETER x 4" LONG SST TITEN HD (OR EQUAL) SCREW ANCHORS - MASONRY (GROUTED SOLID)
- (2) 1" DIAMETER BOLTS OR 16" CONTINUOUS FILLET WELD - STEEL COLUMN ATTACH A 2x NAILER TO THE TOP FLANGE OF STEEL BEAMS w/ (2) ROWS OF 2" DIAMETER CARRIAGE BOLTS @ 48" O.C. STAGGERED UNLESS NOTED OTHERWISE.
- 8.4) FLITCH BEAMS SHALL BE BOLTED WITH (2) ROWS OF 2" DIAMETER BOLTS @ 16" O.C. STAGGERED.

9) SUPPORT OF MASONRY OR NATURAL STONE VENEER:

9.1) VENEER ABOVE OPENINGS SHALL BE SUPPORTED BY STEEL ANGLES AS FOLLOWS UNLESS NOTED OTHERWISE:

CLEAR SPAN SIZE OF STEEL ANGLE UP TO 3'-0" >3'-0" UP TO 6'-0" 5x3 2x6 (LONG LEG VERTICAL) >6'-0" UP TO 8'-0" 6x4x16 (LONG LEG VERTICAL)

- VENEER ABOVE OPENINGS WITH A CLEAR SPAN EXCEEDING 8'-0" SHALL BE SUPPORTED BY A 6x4x 15 STEEL ANGLE FASTENED TO THE HEADER WITH (2) ROWS OF 1 DIAMETER LAG SCREWS @ 16" O.C. UNLESS NOTED
- 9.3) STEEL ANGLES SHALL BE EMBEDDED MINIMUM 4" INTO THE VENEER AT EACH SIDE OF THE OPENING. VENEER ABOVE ROOF LINES SHALL BE SUPPORTED BY A 6x4x STEEL ANGLE FASTENED TO (2) 2x10 BLOCKING w/ (2) ROWS OF 1" DIAMETER LAG SCREWS @ 16" O.C. BLOCKING TO BE FASTENED TO WALL STUDS AT EACH END WITH (4) 10d TOE NAILS PER PLY. FOR ROOF SLOPES EXCEEDING 7:12, WELD 3"x3"x4" STEEL PLATE STOPS @ 24" O.C. TO STEEL ANGLE.

COMMON ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
ALT	ALTERNATE	MFR	MANUFACTURER
ARCH	ARCHITECTURAL	MIN	MINIMUM
BRG	BEARING	NTS	NOT TO SCALE
BTM	BOTTOM	0.C.	ON CENTER
CIP	CAST-IN-PLACE	PCF	POUNDS PER CUBIC FOOT
CLR	CLEAR	PLF	POUNDS PER LINEAR FOOT
CMU	CONCRETE MASONRY UNIT	PSF	POOUNDS PER SQUARE FOOT
CONC	CONCRETE	PSI	POUNDS PER SQUARE INCH
CONN	CONNECTION	PSL	PARALLEL STRAND LUMBER
CONT	CONTINUOUS	PT	PRESSURE TREATED
DBL	DOUBLE	QJ	QUADRUPLE JOIST
DIA	DIAMETER	REINF	REINFORCE
DJ	DOUBLE JOIST	SER	STRUCTURAL ENGINEER OF RECORD
DSP	DOUBLE STUD POCKET	SF	SQUARE FEET
EA	EACH	SJ	SINGLE JOIST
EQ	EQUAL	SP	SPACE (SPACING)
FLR	FLOOR	SPEC(S)	SPECIFICATION(S)
FND	FOUNDATION	SPF `´	SPRUCE-PINE-FIR
FTG	FOOTING	SST	SIMPSON STRONG-TIE
GA	GAUGE	SYP	
HDG	HOT-DIPPED GALVANIZED	TJ	TRIPLE JOIST
HDR	HEADER	TRPL	TRIPLE
HGR	HANGER	TSP	TRIPLE STUD POCKET
HORIZ	HORIZONTAL	TYP	TYPICAL
ICF	INSULATED CONCRETE FORMS	UNO	UNLESS NOTED OTHERWISE
INFO	INFORMATION	VERT	VERTICAL
LBS	POUNDS	W/	WITH
LSL		WWF	WELDED WIRE FABRIC
LVL	LAMINATED VENEER LUMBER	XJ	EXTRA JOIST
		l	
	IFC	LND	

	<u>LEG</u>	<u>END</u>		
■ (#)	STUD COLUMN AT POINT LOADS THAT REQUIRES SOUD BLOCKING TO GRDER OR FOUNDATION (#) DENOTES NUMBER OF STUDS. (2) STUDS REQUIRED IF NOT SPECIFIED			
	OFFSET POINT LOAD FROM ABOVE TO BE BLOCKING AS SPECIFIED	SUPPORTED BY GIRDER,	BEAM, HEADER, JOIST, OR	
	BEARING WALL			
====	OFFSET BEARING WALL ABOVE			
	BEAM, GIRDER, OR HEADER AS SPECIFIED)		
	JOIST, RAFTER, OR TRUSS AS SPECIFIED			
٦٢				
77777777	FULL HEIGHT MASONRY OR NATURAL STONE VENEER			
MASONRY OR NATURAL STONE VENEER WATERTABLE BELOW				
PLUMBING OR APPLIANCES ABOVE (FOR REFERENCE ONLY, REFER TO ARCHITECTURAL PLANS)			TO ARCHITECTURAL PLANS)	
	SOLID GROUTED MASONRY			
====	ROOF SUPPORT BELOW			
=-=-=	FULL HEIGHT BRICK VENEER BELOW ROOF	-		
MECH	HANICAL FASTENERS	ALLOWABLE I-	JOIST SUBSTITUTION	
BEAM SIZE:	FASTENER:	SPECIFIED SERIES:	EQUIVALENT SERIES:	
(2)-2x6 OR (2		TJI 110	BCI 4500s 1.8	
(2)-2x10 OR ((1)-PLY LSL 0	R LVL HUS1.81/10	TJI 210	BCI 5000s 1.8, BLI 40, LPI 20PLUS. NI-40x	

CAPACITY MAY BE SUBSTITUTED. AND SPACING. ALL MECHANICAL FASTENERS IN CONTACT JOISTS NOT LISTED IN THIS SCHEDULE MAY WITH PRESSURE TREATED LUMBER SHALL BE BE SUBSTITUTED PROVIDED THEY MEET OR HOT-DIPPED GALVANIZED OR EQUIVALENT EXCEED THE PROPERTIES OF THOSE LISTED.

CORROSIVE RESISTANT COATING.

}	MAX	MAXIMUM
	MFR	MANUFACTURER
	MIN	MINIMUM
	NTS	NOT TO SCALE
	0.C.	
	PCF	POUNDS PER CUBIC FOOT
	PLF	POUNDS PER LINEAR FOOT
NIT	PSF	POOUNDS PER SQUARE FOOT
	PSI	POUNDS PER SQUARE INCH
	PSL	PARALLEL STRAND LUMBER
	PT	PRESSURE TREATED
	QJ	QUADRUPLE JOIST
	REINF	REINFORCE
	SER	STRUCTURAL ENGINEER OF RECORD
	SF	SQUARE FEET
	SJ	SINGLE JOIST
	SP	SPACE (SPACING)
	SPEC(S)	SPECIFICATION(S)
		SPRUCE-PINE-FIR
	SST	SIMPSON STRONG-TIE
	SYP	SOUTHERN YELLOW PINE
ED	TJ	TRIPLE JOIST
	TRPL	TRIPLE
	TSP	TRIPLE STUD POCKET
	TYP	TYPICAL
FORMS	UNO	UNLESS NOTED OTHERWISE
	VERT	VERTICAL
	W/	WITH
MBER	WWF	WELDED WIRE FABRIC

.VL LA	MINATED VENEER LUMBER		XJ	EXTRA JOIST	
		<u>LEG</u>	<u>END</u>		
■ (#)	STUD COLUMN AT POIN (#) DENOTES NUMBER				GIRDER OR FOUNDATION
•	OFFSET POINT LOAD FE BLOCKING AS SPECIFIED		SUPPORTED	BY GIRDER, BI	EAM, HEADER, JOIST, OR
	BEARING WALL				
===	OFFSET BEARING WALL	ABOVE			
	BEAM, GIRDER, OR HEA	DER AS SPECIFIED			
	JOIST, RAFTER, OR TRU	JSS AS SPECIFIED			
٦L	MECHANICAL FASTENER	(REFER TO SCHEE	OULE BELOW)		
///////	FULL HEIGHT MASONRY	OR NATURAL STO	ne veneer		
	MASONRY OR NATURAL	STONE VENEER W	atertable b	ELOW	
(*)	PLUMBING OR APPLIAN	CES ABOVE (FOR F	REFERENCE ON	ILY, REFER TO	ARCHITECTURAL PLANS)
	SOLID GROUTED MASON	RY			
===	ROOF SUPPORT BELOW				
	FULL HEIGHT BRICK VE	NEER BELOW ROOF			
MEC	HANICAL FASTE	NERS_	<u>ALLOWA</u>	BLE I-J	OIST SUBSTITUTION
EAM SIZE:	FAST	TENER:	SPECIFIED	SERIES:	EQUIVALENT SERIES:
2)-2x6 OR (2	•		TJI 110	I	BCI 4500s 1.8
2)–2x10 OR (1)–PLY LSL (2)–PLY LSL (R LVL HUS	210-2 1.81/10 S410	TJI 210		BCI 5000s 1.8, BLI 40, LPI 20PLUS, NI-40x
3)–PLY LSL (4)–PLY LSL (S5.50/10 S7.25/10	TJI 230	1	BCI 6000s 1.8, LPI 32PLUS
IOTES:			TJI 360		BCI 60s 2.0, BLI 60, LPI 36, NI-60
B <i>A</i> 01	CHANICAL FASTENERS TO ISED ON THIS SCHEDULE U HERWISE.	inless noted	TJI 560		3Cl 90s 2.0, BLI 80, LPI 56, NI-80
SI) FA	L SPECIFIED MECHANICAL MPSON STRONG—TIE BRANI STENERS WITH EQUIVALEN' DACITY MAY BE SUBSTITU). OTHER BRAND T OR BETTER	NOTES:	MAINTAIN SP	ECIFIED JOIST DEPTH, DIRECTIO



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STRUCTURAI IO.: P-2854 LOW SPRING ທ Ξ

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EVATION YSTONE 닙

DATE: NOVEMBER 9, 2023

1x17 PRINT SCALE: 1" = 1'-0" (UNO 24x36 PRINT SCALE: # = 1'-0" (UNC SHEET: STANDARD STRUCTURAL NOTES

42'-6"

CRAWL SPACE FOUNDATION NOTES:

- THE BOTTOM OF ALL FOOTINGS SHALL EXTEND A MINIMUM OF 12" BELOW GRADE OR BELOW THE FROST LINE, WHICHEVER IS GREATER.
- ALL FOOTINGS TO BE EXCAVATED TO FIRM SOIL w/ A MIN REQUIRED BEARING CAPACITY OF 2,000 PSF.
 CONSULT THE SER SHOULD THE SOIL BEARING CAPACITY NOT BE MET OR IF ANY OTHER ADVERSE
- SOIL CONDITION IS ENCOUNTERED.
 THE UNSUPPORTED HEIGHT OF UNGROUTED HOLLOW
 MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION. THE UNSUPPORTED HEIGHT OF SOLID OR SOLID-GROUTED MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION.

 UNSUPPORTED PORCH AND GARAGE FOUNDATION WALLS SHALL NOT SUPPORT MORE THAN 48" OF
- UNBALANCED BACKFILL. CONSULT THE SER FOR REINFORCEMENT REQUIREMENTS SHOULD UNBALANCED BACKFILL AGAINST UNSUPPORTED FOUNDATION WALLS EXCEED 48".
- THE TOP COURSE OF MASONRY SHALL BE GROUTED SOLID. ALL CELLS CONTAINING REINFORCING STEEL OR EMBEDDED ITEMS SHALL BE GROUTED SOLID.
 REFER TO NOTES AND DETAIL SHEETS FOR
 ADDITIONAL STRUCTURAL INFORMATION.

LEGEND

POINT LOAD ABOVE THAT REQUIRES SOLID BLOCKING TO FOUNDATION

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HAYES STRUCTURAL

- ELEVATION GREYSTONE HOMES DUKE

PROJECT NO.: 23-PAD-001

DATE: NOVEMBER 9, 2023

11x17 PRINT SCALE: 1 = 1'-0" (UNO 24x36 PRINT SCALE: 1 = 1'-0" (UNO

SHEET: CRAWL SPACE FOUNDATION PLAN

MASONRY STEPS_ TO GRADE

CRAWL SPACE FRAMING NOTES:

- SOLID SAWN FRAMING LUMBER TO BE SPF #2 OR SYP #2.
- ALL LOAD BEARING HEADERS TO BE (2) 2x6 UNO. PROVIDE A DOUBLE OR TROPLE JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE
- FOUNDATION WALLS MAY BE STEPPED DOWN TO FRAMED CRIPPLE WALLS AS GRADE PERMITS. CRIPPLE WALLS TO BE 2x4 @ 12" O.C. OR 2x6 @ 16" O.C. UNO.
- ALL FRAMED WALLS TO BE SHEATHED WITH \$\frac{1}{6}\text{"} APA RATED OSB EXPOSURE 1 ATTACHED WITH 8d NAILS \$\circ{6}\text{ 6}\text{ 0.C. ALONG PANEL EDGES AND 12\text{"} 0.C. IN PANEL FIELD (UNO) TO SATISFY WALL BRACING REQUIREMENTS PER SECTION R602.10.3
 "CONTINUOUS SHEATHING" OF THE 2018 NCRC.
- EXTERIOR POSTS TO BE SECURED TO BEAM AT TOP WITH (1) SST H6, (2) SST H2.5A, OR (1) SST CS16 STRAP WITH MIN 9" END LENGTHS. SECURE POSTS TO FOOTING AT BOTTOM WITH A SST ABU POST BASE FOR THE SPECIFIED POST SIZE
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

<u>LEGEND</u>		
	POINT LOAD ABOVE THAT REQUIRES SOLID BLOCKING TO FOUNDATION	
	OFFSET POINT LOAD FROM ABOVE TO BE SUPPORTED BY GIRDER, BEAM, HEADER, JOIST, OR BLOCKING AS SPECIFIED	
	BEAM, GIRDER, OR HEADER AS SPECIFIED	
	JOIST, RAFTER, OR TRUSS AS SPECIFIED	
	PLUMBING ABOVE (FOR REFERENCE ONLY, REFER TO ARCH PLANS)	

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- ELEVATION DUKE

GREYSTONE HOMES

PROJECT NO.: 23-PAD-001

DATE: NOVEMBER 9, 2023

11x17 PRINT SCALE: 1 = 1'-0" (UNO) 24x36 PRINT SCALE: 1 = 1'-0" (UNO)

SHEET: CRAWL SPACE FRAMING PLAN

FIRST FLOOR FRAMING NOTES:

- SOLID SAWN FRAMING LUMBER TO BE SPF #2 OR SYP #2.

 ALL LOAD BEARING HEADERS TO BE (2) 2x6 UNO.

 HEADERS TO BE SUPPORTED BY JACK STUDS AND KING STUDS PER THE TABLE BELOW UNO.

 EXTERIOR AND INTERIOR LOAD BEARING WALLS TO BE 2x4 @ 16" O.C. OR 2x6 @ 24" O.C. UNO.
- ALL EXTERIOR WALLS TO BE SHEATHED WITH 7.0"

 APA RATED OSB EXPOSURE 1 ATTACHED WITH 8d NAILS @ 6" O.C. ALONG PANEL EDGES AND 12" O.C IN PANEL FIELD (UNO) TO SATISFY WALL BRACING REQUIREMENTS PER SECTION R602.10.3 "CONTINUOUS SHEATHING" OF THE 2018 NCRC.
 PROVIDE AN EXTRA JOIST UNDER WALLS PARALLEL
- TO FLOOR JOISTS WHERE NOTED ON THE PLAN.
 BCI 5000s-1.8 JOISTS MAY BE USED IN LIEU OF TJI
- 210 JOISTS AT THE DEPTH AND SPACING INDICATED ON THE PLAN. SEE TABLE ON SHEET S-0 FOR ADDITIONAL EQUIVALENT I—JOIST ALTERNATIVES.
 EXTERIOR POSTS TO BE SECURED TO BAND AT
- BOTTOM AND BEAM AT TOP WITH (1) SST H6, (2) SST H2.5A, OR (1) SST CST6 STRAP WITH MIN 9" END LENGTHS. FOR MASONRY OR CONCRETE FOUNDATIONS, SECURE POSTS AT BOTTOM WITH A SST ABU POST BASE FOR THE SPECIFIED POST
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

HEADER SUPPORT			
CLEAR SPAN:	JACK STUDS:	KING STUDS (EXTERIOR):	KING STUDS (INTERIOR):
UP TO 3'	(1)	(1)	(1)
>3' TO 6'	(2)	(2)	(1)
>6' TO 9'	(2)	(3)	(2)
>9' TO 12'	(3)	(4)	(2)
>12' TO 15'	(3)	(5)	(3)
>15' TO 18'	(4)	(6)	(3)

<u>LEGEND</u>	
■ (#)	STUD COLUMN AT POINT LOADS THAT REQUIRES SOLID BLOCKING TO GROPER OR FOUNDATION. (#) DENOTES NUMBER OF STUDS. (2) STUDS REQUIRED IF NOT SPECIFIED.
************	BEARING WALL
	BEAM, GIRDER, OR HEADER AS SPECIFIED
	JOIST, RAFTER, OR TRUSS AS SPECIFIED
()	PLUMBING ABOVE (FOR REFERENCE ONLY, REFER TO ARCH PLANS)

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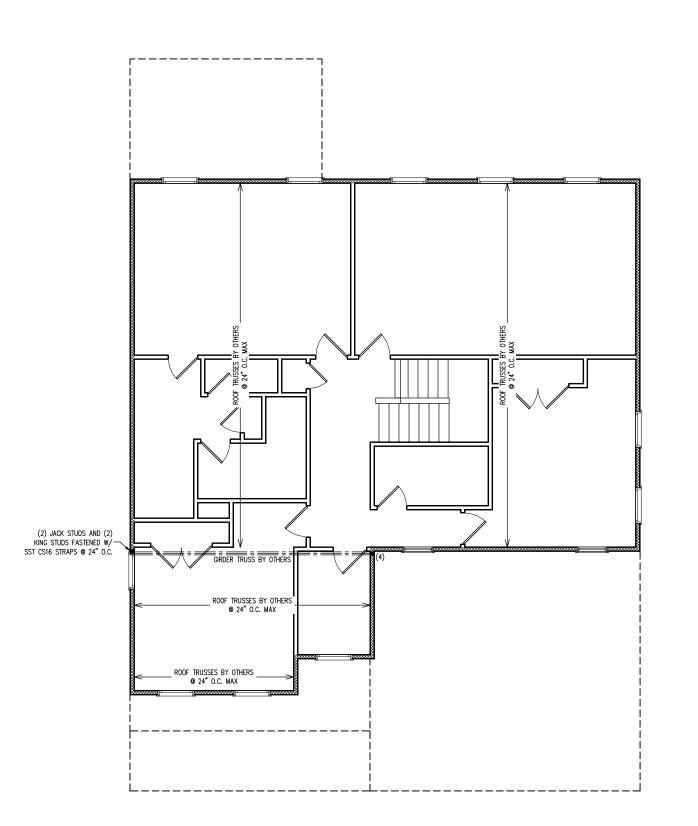
> - ELEVATION GREYSTONE HOMES DUKE

PROJECT NO.: 23-PAD-001

DATE: NOVEMBER 9, 2023

11x17 PRINT SCALE: 1 = 1'-0" (UNO) 24x36 PRINT SCALE: 1 = 1'-0" (UNO)

SHEET: FIRST FLOOR FRAMING PLAN



SECOND FLOOR FRAMING NOTES:

- 1. SOLID SAWN FRAMING LUMBER TO BE SPF #2 OR SYP #2.
 2. LOAD BEARING HEADERS TO BE (2) 2x6 UNO.
 3. HEADERS TO BE SUPPORTED BY JACK STUDS AND KING STUDS PER THE TABLE BELOW UNO.
 4. EXTERIOR AND INTERIOR LOAD BEARING WALLS TO BE 2x4 ® 16" O.C. OR 2x6 ® 24" O.C. UNO.
- EXTERIOR WALLS TO BE SHEATHED WITH 78" APA RATED OSB EXPOSURE 1 ATTACHED WITH 8d NAILS @ 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN
- PANEL EIDES AND IZ 20.7.

 PANEL FIELD SAND IZ 20.7.

 REQUIREMENTS PER SECTION R602.10.3

 ROUNINUOUS SHEATHING" OF THE 2018 NCRC.

 REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

	HEADER	<u>SUPPORT</u>	
CLEAR SPAN:	JACK STUDS:	KING STUDS (EXTERIOR):	KING STUDS (INTERIOR):
UP TO 3'	(1)	(1)	(1)
>3' TO 6'	(2)	(2)	(1)
>6' TO 9'	(2)	(3)	(2)
>9' TO 12'	(3)	(4)	(2)
>12' TO 15'	(3)	(5)	(3)
>15' TO 18'	(4)	(6)	(3)

<u>LEGEND</u>	
■ (#)	STUD COLUMN AT POINT LOADS THAT REQUIRES SOLID BLOCKING TO GIRDER OR FOUNDATION. (#) DENOTES NUMBER OF STUDS. (2) STUDS REQUIRED IF NOT SPECIFIED.
***************************************	BEARING WALL
	BEAM, GIRDER, OR HEADER AS SPECIFIED



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DUKE

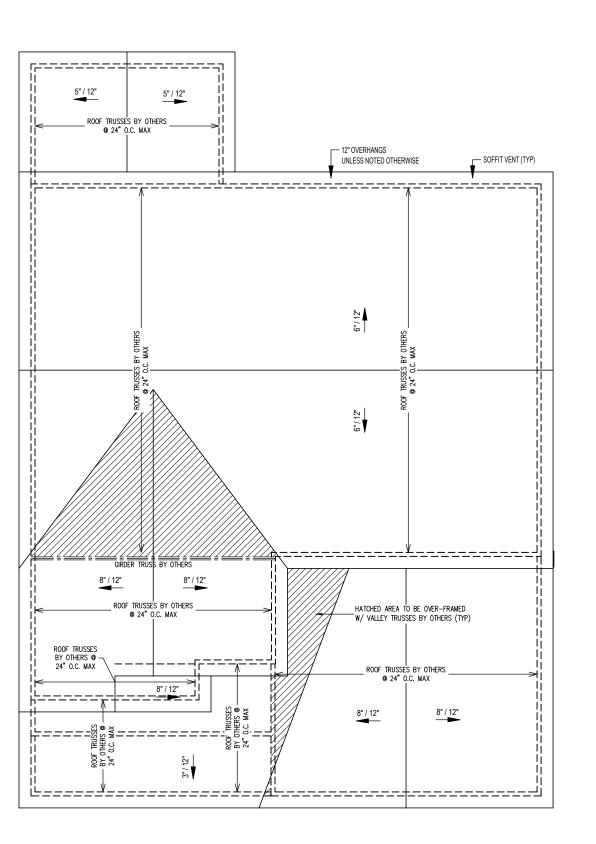
GREYSTONE HOMES

PROJECT NO.: 23-PAD-001

DATE: NOVEMBER 9, 2023

11x17 PRINT SCALE: 1 = 1'-0" (UNO)
24x36 PRINT SCALE: 4" = 1'-0" (UNO)

SHEET: SECOND FLOOR FRAMING PLAN



UPPER ROOF FRAMING NOTES:

- SOLID SAWN FRAMING LUMBER TO BE SPF #2 OR SYP #2.
- ROOF SHEATHING TO BE 78" MINIMUM APA RATED EXPOSURE 1 ATTACHED TO ROOF FRAMING WITH 8d NAILS @ 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN PANEL FIELD UND. SHEATHING SHALL HAVE A
 SPAN RATING THAT MATCHES OR EXCEEDS THE
 FRAMING SPACING.
 TIE ROOF TRUSSES TO WALL FRAMING WITH (1) SST
- H2.5A HURRICANE TE UNO BY TRUSS DRAWNGS. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

	<u>LEGEND</u>
	BEAM, GIRDER, OR HEADER AS SPECIFIED
====	ROOF SUPPORT BELOW

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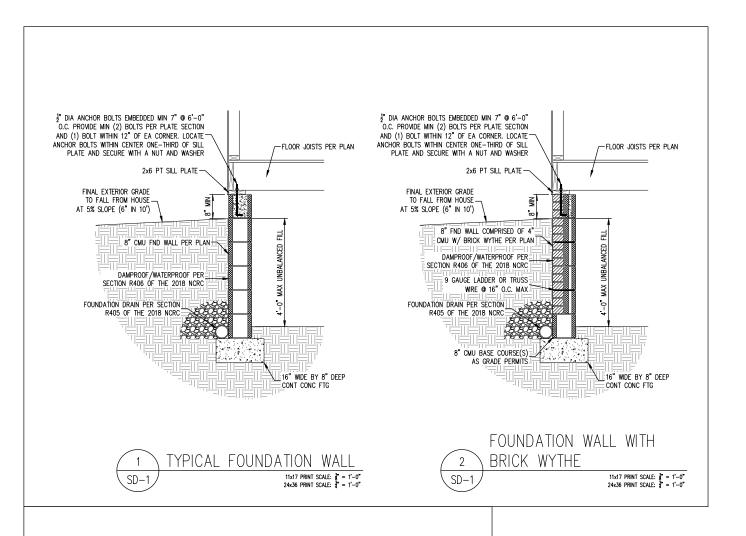
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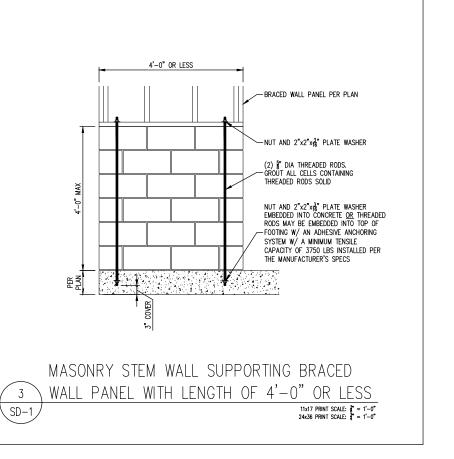
PROJECT NO.: 23-PAD-001

DATE: NOVEMBER 9, 2023

11x17 PRINT SCALE: 1 = 1'-0" (UNO) 24x36 PRINT SCALE: 1 = 1'-0" (UNO)

SHEET: ROOF FRAMING PLAN







Date: 2023.11.10 07:45:24 -05'00'

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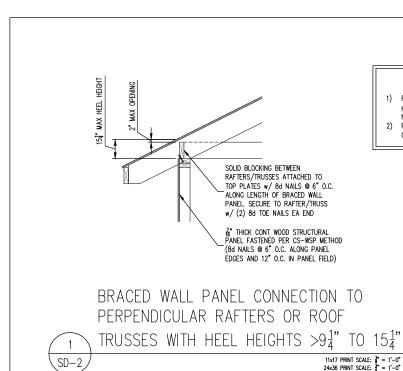
PROJECT NO.: 23-PAD-001

DATE: NOVEMBER 9, 2023

SCALE: AS NOTED

SHEET: STRUCTURAL DETAILS

SD-1



1) RAFTERS OR ROOF TRUSSES WITH

NOT REQUIRE BLOCKING.

HEEL HEIGHTS OF 94" OR LESS DO

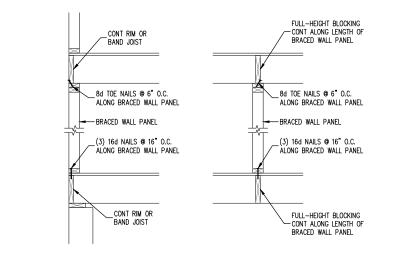
2) PROVIDE VENTING PER SECTION R806

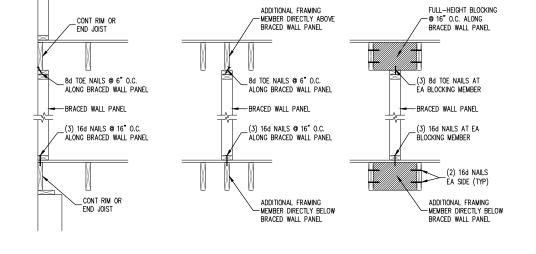
OF THE 2018 NCRC (NOT SHOWN).

2x BLOCKING BETWEEN TRUSSES ATTACHED TO SIDE OF TRUSS w/ (2) 8d TOE NAILS EA END 2x BLOCKING ATTACHED TO SIDE OF TRUSS w/ (2) 8d NAILS @ 6" O.C. EXTEND WOOD FLAT 2x BLOCKING BETWEEN TRUSSES ATTACHED TO TOP PLATES STRUCTURAL PANEL -ONTO BLOCKING w/ (2) 8d NAILS @ 6" O.C. ALONG LENGTH OF BRACED WALL PANEL 76" THICK CONT WOOD STRUCTURAL PANEL FASTENED PER CS-WSP METHOD (8d NAILS @ 6" O.C. ALONG PANEL 6'-0" MAX EDGES AND 12" O.C. IN PANEL FIELD)

BRACED WALL PANEL CONNECTION TO PERPENDICULAR ROOF TRUSSES WITH HEEL HEIGHTS $>15\frac{1}{4}$ " TO 48"

11x17 PRINT SCALE: 3" = 1'-0" 24x36 PRINT SCALE: 2" = 1'-0" SD-2





BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING

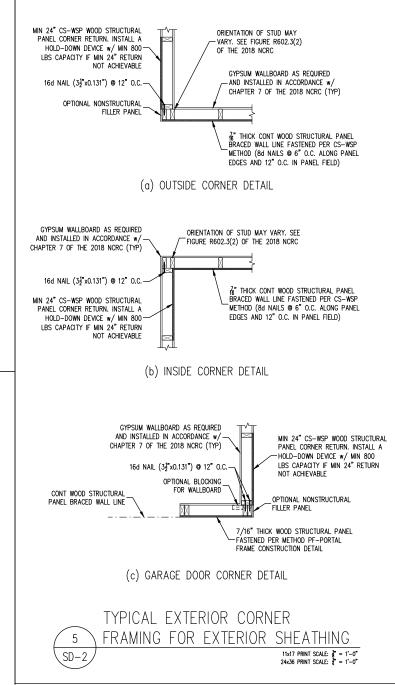
SD-2

11x17 PRINT SCALE: 3" = 1'-0"
24x36 PRINT SCALE: 3" = 1'-0"

BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING

 $\sqrt{SD-2}$

11x17 PRINT SCALE: 3" = 1'-0" 24x36 PRINT SCALE: 3" = 1'-0"



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by Zachary H. Hayes, PE Date: 2023.11.10 07:45:41 -05'00'

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ELEVATION GREYSTONE HOMES

PROJECT NO.: 23-PAD-00

DATE: NOVEMBER 9, 2023

SCALE: AS NOTED

SD-2