

CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.



1 Drone Front



2 Drone Rear

Area Schedule	
Name	Area
Heated	
1st Floor	1624 SF
2nd floor	1544 SF
	3168 SF
Unheated	
Front Porch	100 SF
Garage	443 SF
Rear Porch	160 SF
	703 SF
Under Roof	3871 SF

Sheet List	
Sheet Number	Sheet Name
Pg0	Cover Page
Pg1	Front & Rear Elevations
Pg2	Side Elevations
Pg3	1st Floor Plan
Pg4	2nd Floor Plan
Pg5	Roof Plan
Pg6	Stair Section
Sec-Crawl/Brk	Typical Wall Section

Duke - Elevation A

Cover Page

Lot #:

Job #:

Address:

County:

Last Revision Date:

11-10-23

Sheet #:

Pg0

CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.



① Front Elevation  
1/8" = 1'-0"



② Rear Elevation  
1/8" = 1'-0"

Duke - Elevation A

Front & Rear Elevations

Lot #:

Job #:

Address:

County:

Last Revision Date:

11-10-23

Sheet #:

Pg1

CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.



① Right Elevation  
1/8" = 1'-0"



② Left Elevation  
1/8" = 1'-0"

Duke - Elevation A

Side Elevations

Lot #:

Job #:

Address:

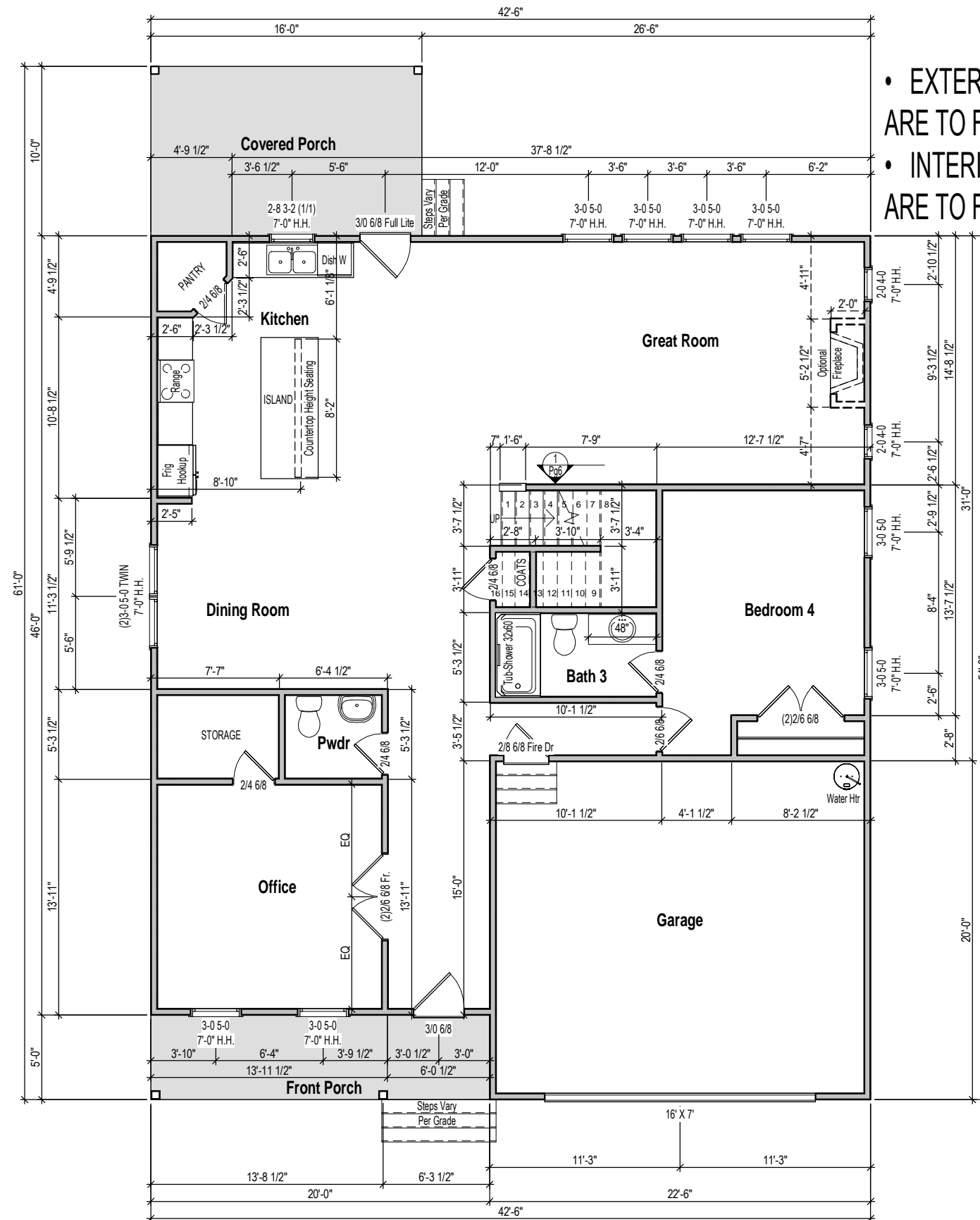
County:

Last Revision Date:

11-10-23

Sheet #:

Pg2



- EXTERIOR WALL DIMENSIONS ARE TO FACE OF SHEATHING
- INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD

Wall Stud Size  
 — = 2x4  
 // = 2x6

1 1st Floor Plan  
 1/8" = 1'-0"



CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

Duke - Elevation A

1st Floor Plan

Lot #:

Job #:

Address:

County:

Last Revision Date:

11-10-23

Sheet #:

Pg3

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Duke - Elevation A

2nd Floor Plan

Lot #:

Job #:

Address:

County:

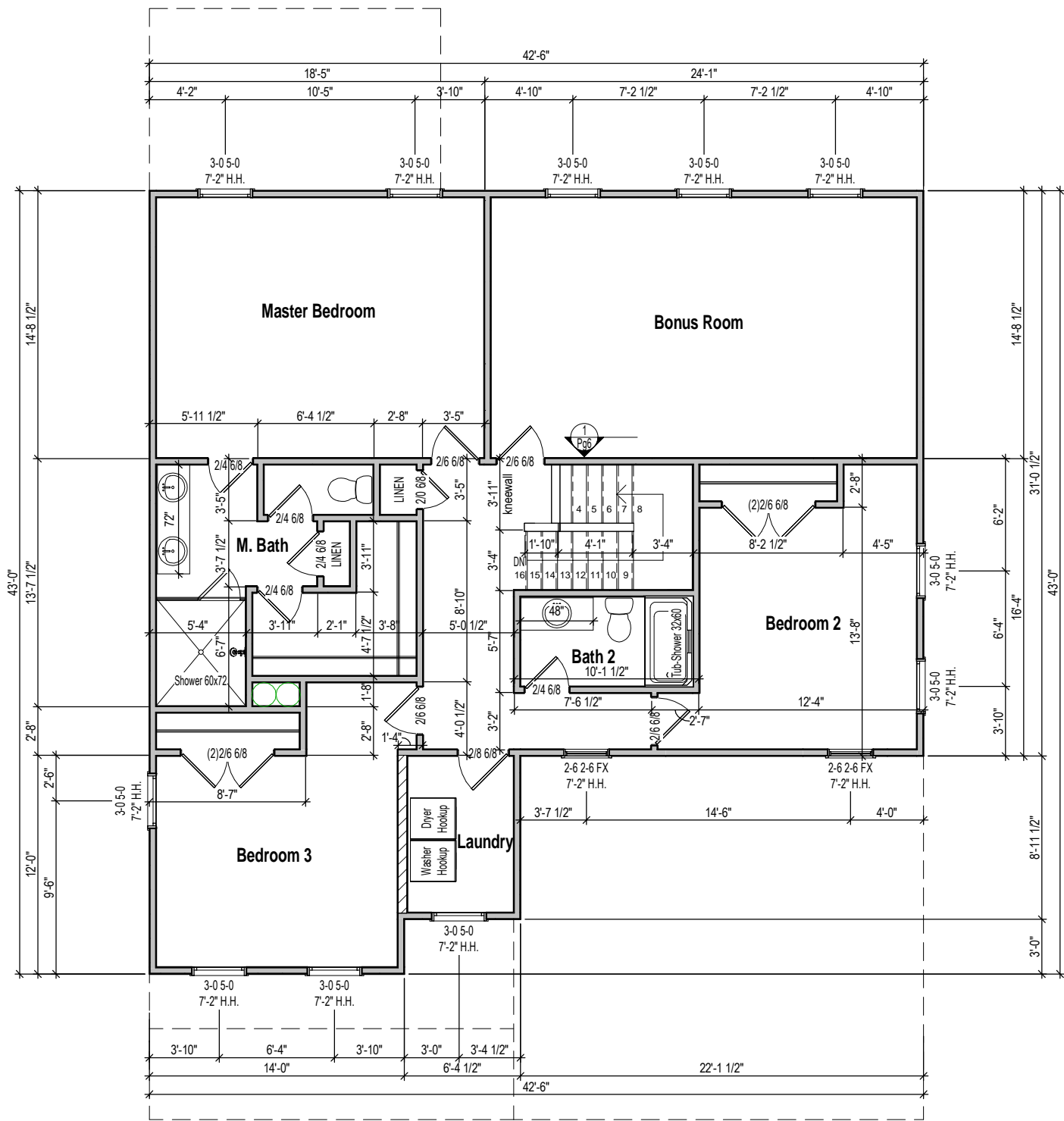
Last Revision Date:

11-10-23

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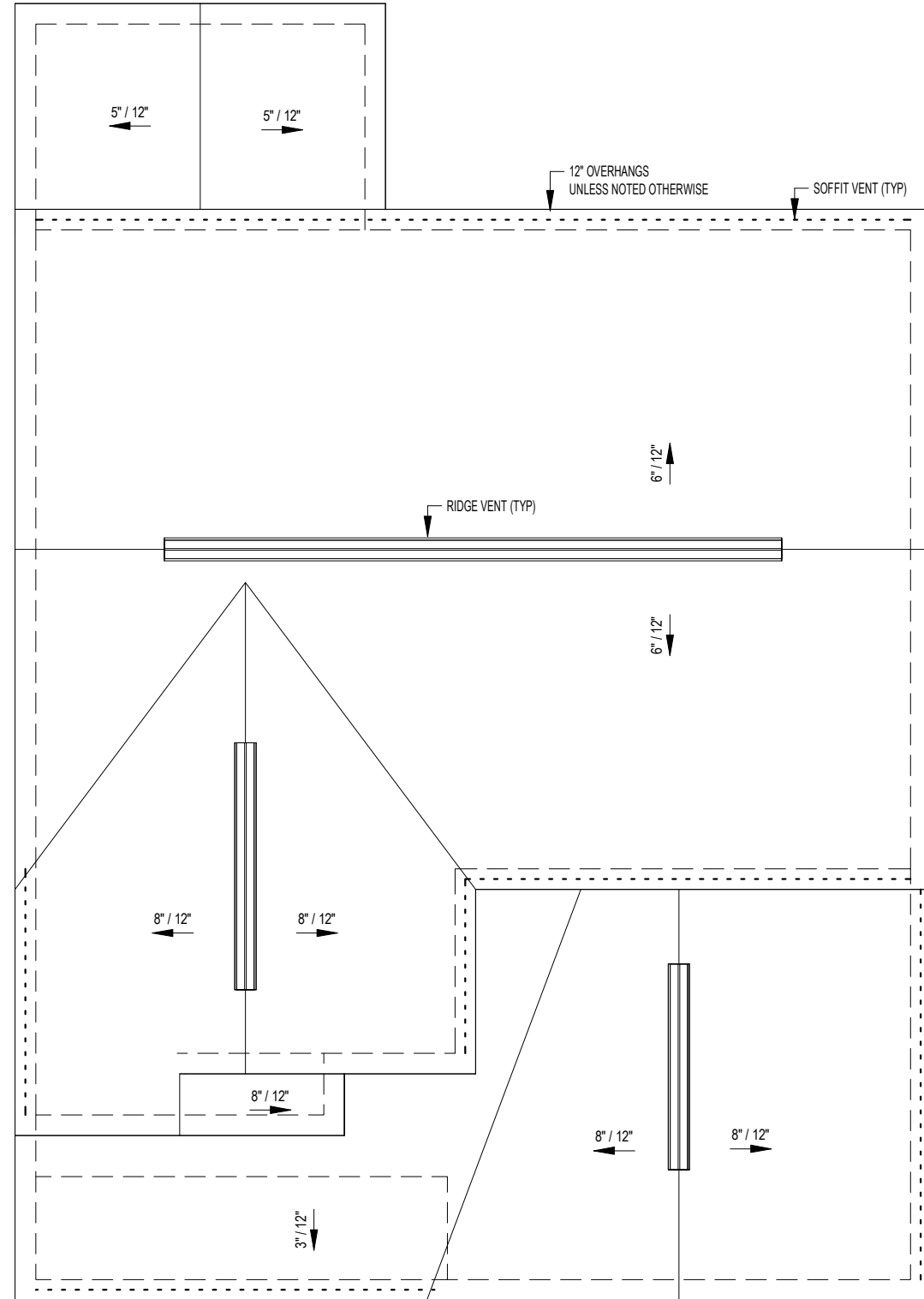
Pg4

Wall Stud Size  
 ——— = 2x4  
 // // = 2x6



1 2nd Floor Plan  
 1/8" = 1'-0"

- CALCS BASED ON THE FOLLOWING VALUES**
- Ridge Vents = 15 in<sup>2</sup> of net free area per linear foot
  - Roof Vents = 50 in<sup>2</sup> of net free area per unit
  - Soffit Vents = 6 in<sup>2</sup> of net free area per square foot



① Roof Plan  
1/8" = 1'-0"

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Duke - Elevation A

Roof Plan

Lot #:

Job #:

Address:

County:

Last Revision Date:

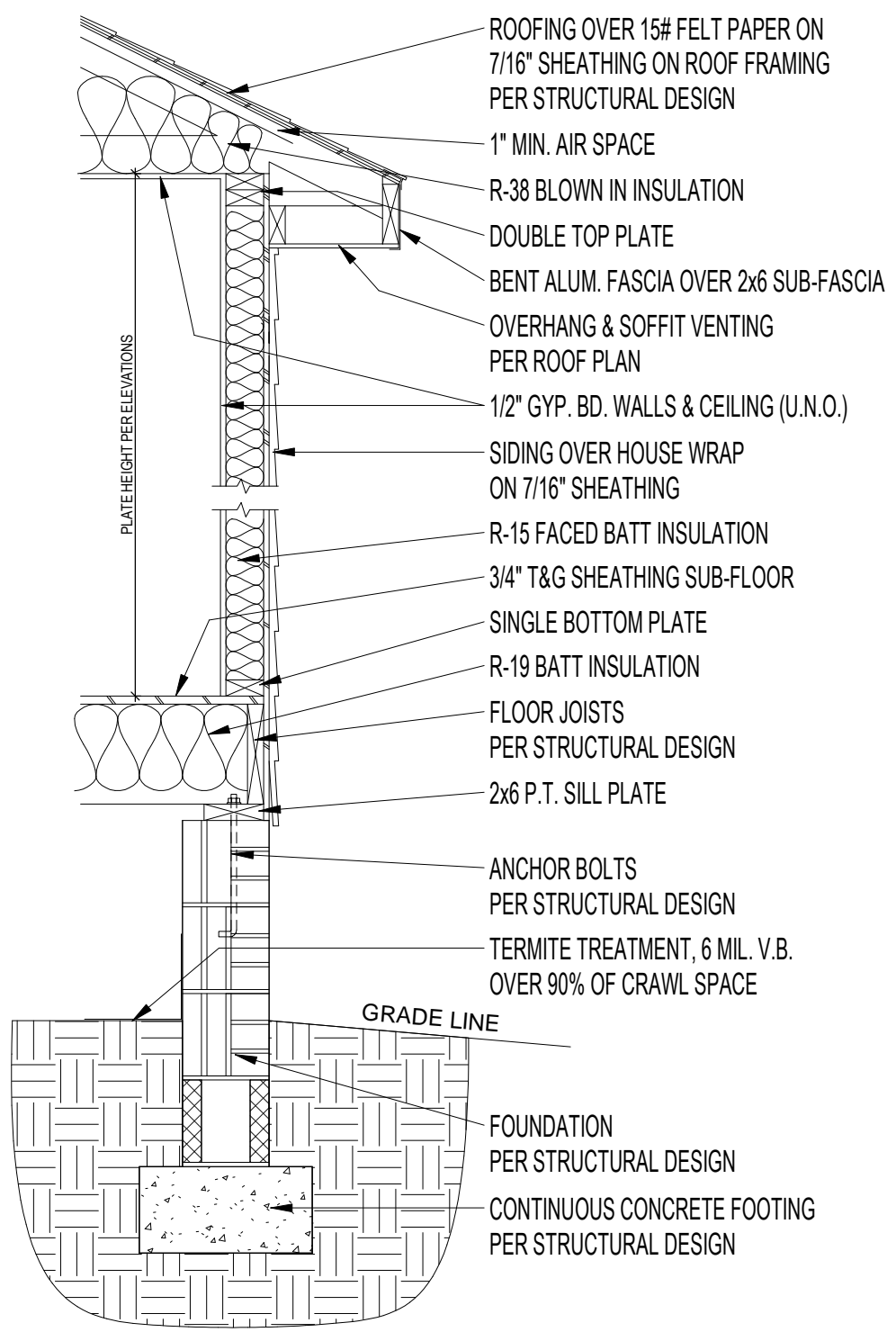
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Sheet #:

Pg5



CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.



1 Typical Wall Section - Brick Fnd  
3/4" = 1'-0"

Duke - Elevation A

Typical Wall Section

Lot #:

Job #:

Address:

County:

Last Revision Date:

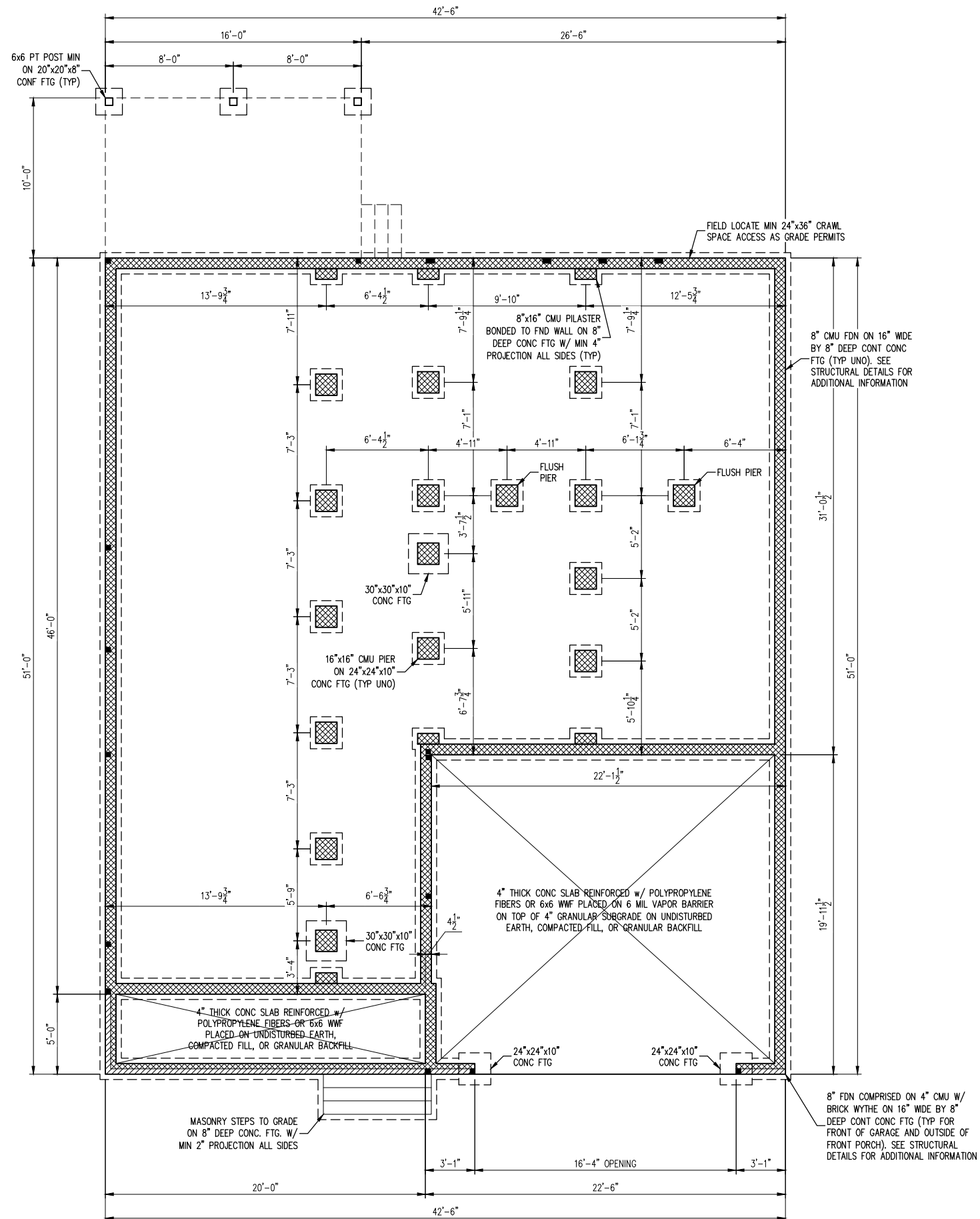
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Sheet #:

Sec-Crawl/Brk







**CRAWL SPACE FOUNDATION NOTES:**

1. THE BOTTOM OF ALL FOOTINGS SHALL EXTEND A MINIMUM OF 12" BELOW GRADE OR BELOW THE FROST LINE, WHICHEVER IS GREATER.
2. ALL FOOTINGS TO BE EXCAVATED TO FIRM SOIL w/ A MIN REQUIRED BEARING CAPACITY OF 2,000 PSF. CONSULT THE SER SHOULD THE SOIL BEARING CAPACITY NOT BE MET OR IF ANY OTHER ADVERSE SOIL CONDITION IS ENCOUNTERED.
3. THE UNSUPPORTED HEIGHT OF UNGROUTED HOLLOW MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION. THE UNSUPPORTED HEIGHT OF SOLID OR SOLID-GROUTED MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION.
4. UNSUPPORTED PORCH AND GARAGE FOUNDATION WALLS SHALL NOT SUPPORT MORE THAN 48" OF UNBALANCED BACKFILL. CONSULT THE SER FOR REINFORCEMENT REQUIREMENTS SHOULD UNBALANCED BACKFILL AGAINST UNSUPPORTED FOUNDATION WALLS EXCEED 48".
5. THE TOP COURSE OF MASONRY SHALL BE GROUTED SOLID. ALL CELLS CONTAINING REINFORCING STEEL OR EMBEDDED ITEMS SHALL BE GROUTED SOLID.
6. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

**LEGEND**

	POINT LOAD ABOVE THAT REQUIRES SOLID BLOCKING TO FOUNDATION
--	---



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**DUKE - ELEVATION A**  
GREYSTONE HOMES

PROJECT NO.: 23-PAD-001

DATE: NOVEMBER 9, 2023

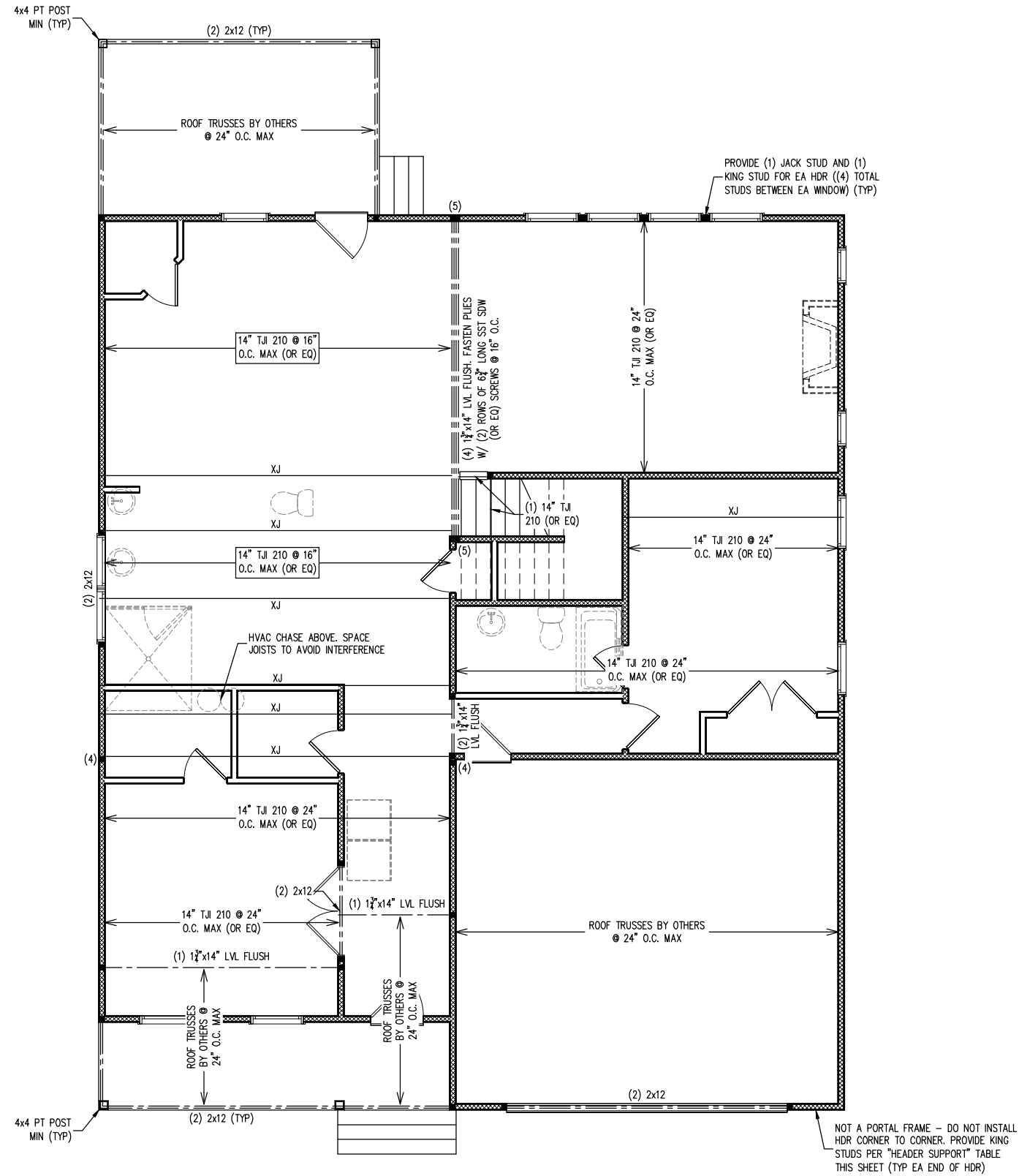
11x17 PRINT SCALE: 1/2" = 1'-0" (UNO)  
24x36 PRINT SCALE: 1/4" = 1'-0" (UNO)

SHEET: CRAWL SPACE FOUNDATION PLAN

**S-1**







FIRST FLOOR FRAMING NOTES:

- SOLID SAWN FRAMING LUMBER TO BE SPF #2 OR SYP #2.
- ALL LOAD BEARING HEADERS TO BE (2) 2x6 UNO.
- HEADERS TO BE SUPPORTED BY JACK STUDS AND KING STUDS PER THE TABLE BELOW UNO.
- EXTERIOR AND INTERIOR LOAD BEARING WALLS TO BE 2x4 @ 16" O.C. OR 2x6 @ 24" O.C. UNO.
- ALL EXTERIOR WALLS TO BE SHEATHED WITH 5/8" APA RATED OSB EXPOSURE 1 ATTACHED WITH 8d NAILS @ 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN PANEL FIELD (UNO) TO SATISFY WALL BRACING REQUIREMENTS PER SECTION R602.10.3 "CONTINUOUS SHEATHING" OF THE 2018 NCR.C.
- PROVIDE AN EXTRA JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLAN.
- BCI 5000s-1.8 JOISTS MAY BE USED IN LIEU OF TJI 210 JOISTS AT THE DEPTH AND SPACING INDICATED ON THE PLAN. SEE TABLE ON SHEET S-0 FOR ADDITIONAL EQUIVALENT I-JOIST ALTERNATIVES.
- EXTERIOR POSTS TO BE SECURED TO BAND AT BOTTOM AND BEAM AT TOP WITH (1) SST H6, (2) SST H2.5A, OR (1) SST CS16 STRAP WITH MIN 9" END LENGTHS. FOR MASONRY OR CONCRETE FOUNDATIONS, SECURE POSTS AT BOTTOM WITH A SST ABU POST BASE FOR THE SPECIFIED POST SIZE.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

HEADER SUPPORT

CLEAR SPAN:	JACK STUDS:	KING STUDS (EXTERIOR):	KING STUDS (INTERIOR):
UP TO 3'	(1)	(1)	(1)
>3' TO 6'	(2)	(2)	(1)
>6' TO 9'	(2)	(3)	(2)
>9' TO 12'	(3)	(4)	(2)
>12' TO 15'	(3)	(5)	(3)
>15' TO 18'	(4)	(6)	(3)

LEGEND

■ (#)	STUD COLUMN AT POINT LOADS THAT REQUIRES SOLID BLOCKING TO GIRDER OR FOUNDATION. (#) DENOTES NUMBER OF STUDS. (2) STUDS REQUIRED IF NOT SPECIFIED.
▨	BEARING WALL
---	BEAM, GIRDER, OR HEADER AS SPECIFIED
---	JOIST, RAFTER, OR TRUSS AS SPECIFIED
○	PLUMBING ABOVE (FOR REFERENCE ONLY, REFER TO ARCH PLANS)



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DUKE - ELEVATION A  
GREYSTONE HOMES

PROJECT NO.: 23-PAD-001

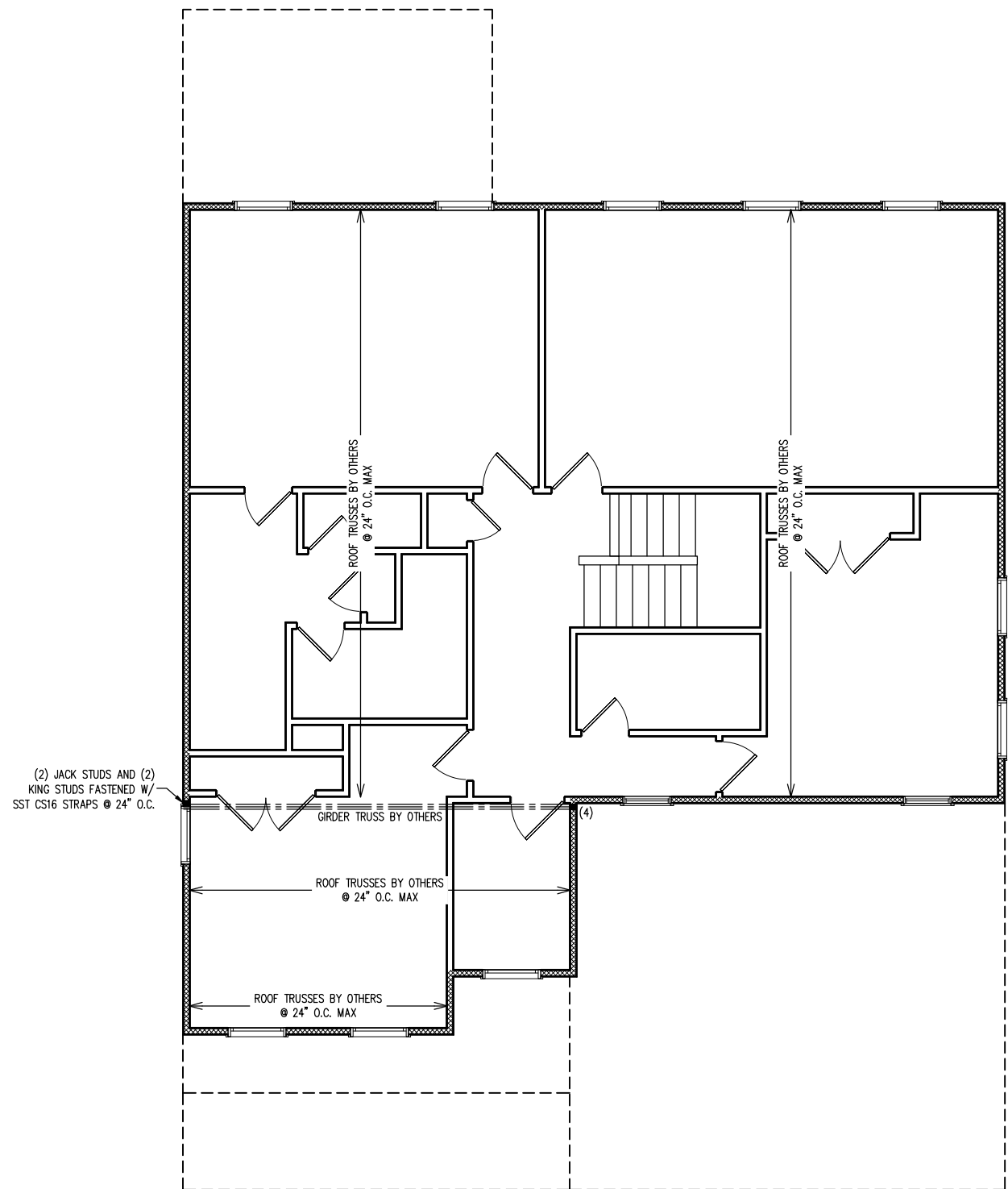
DATE: NOVEMBER 9, 2023

11x17 PRINT SCALE: 1/2" = 1'-0" (UNO)  
24x36 PRINT SCALE: 1/2" = 1'-0" (UNO)

SHEET: FIRST FLOOR  
FRAMING PLAN

S-3

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- SECOND FLOOR FRAMING NOTES:**
- SOLID SAWN FRAMING LUMBER TO BE SPF #2 OR SYP #2.
  - LOAD BEARING HEADERS TO BE (2) 2x6 UNO.
  - HEADERS TO BE SUPPORTED BY JACK STUDS AND KING STUDS PER THE TABLE BELOW UNO.
  - EXTERIOR AND INTERIOR LOAD BEARING WALLS TO BE 2x4 @ 16" O.C. OR 2x6 @ 24" O.C. UNO.
  - EXTERIOR WALLS TO BE SHEATHED WITH 5/8" APA RATED OSB EXPOSURE 1 ATTACHED WITH 8d NAILS @ 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN PANEL FIELD (UNO) TO SATISFY WALL BRACING REQUIREMENTS PER SECTION R602.10.3 "CONTINUOUS SHEATHING" OF THE 2018 NCR. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

**HEADER SUPPORT**

CLEAR SPAN:	JACK STUDS:	KING STUDS (EXTERIOR):	KING STUDS (INTERIOR):
UP TO 3'	(1)	(1)	(1)
>3' TO 6'	(2)	(2)	(1)
>6' TO 9'	(2)	(3)	(2)
>9' TO 12'	(3)	(4)	(2)
>12' TO 15'	(3)	(5)	(3)
>15' TO 18'	(4)	(6)	(3)

**LEGEND**

■ (#)	STUD COLUMN AT POINT LOADS THAT REQUIRES SOLID BLOCKING TO GIRDER OR FOUNDATION. (#) DENOTES NUMBER OF STUDS. (2) STUDS REQUIRED IF NOT SPECIFIED.
▨	BEARING WALL
---	BEAM, GIRDER, OR HEADER AS SPECIFIED



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**DUKE - ELEVATION A**  
**GREYSTONE HOMES**

PROJECT NO.: 23-PAD-001  
DATE: NOVEMBER 9, 2023  
11x17 PRINT SCALE: 1/2" = 1'-0" (UNO)  
24x36 PRINT SCALE: 1/2" = 1'-0" (UNO)  
SHEET: SECOND FLOOR FRAMING PLAN

**S-4**

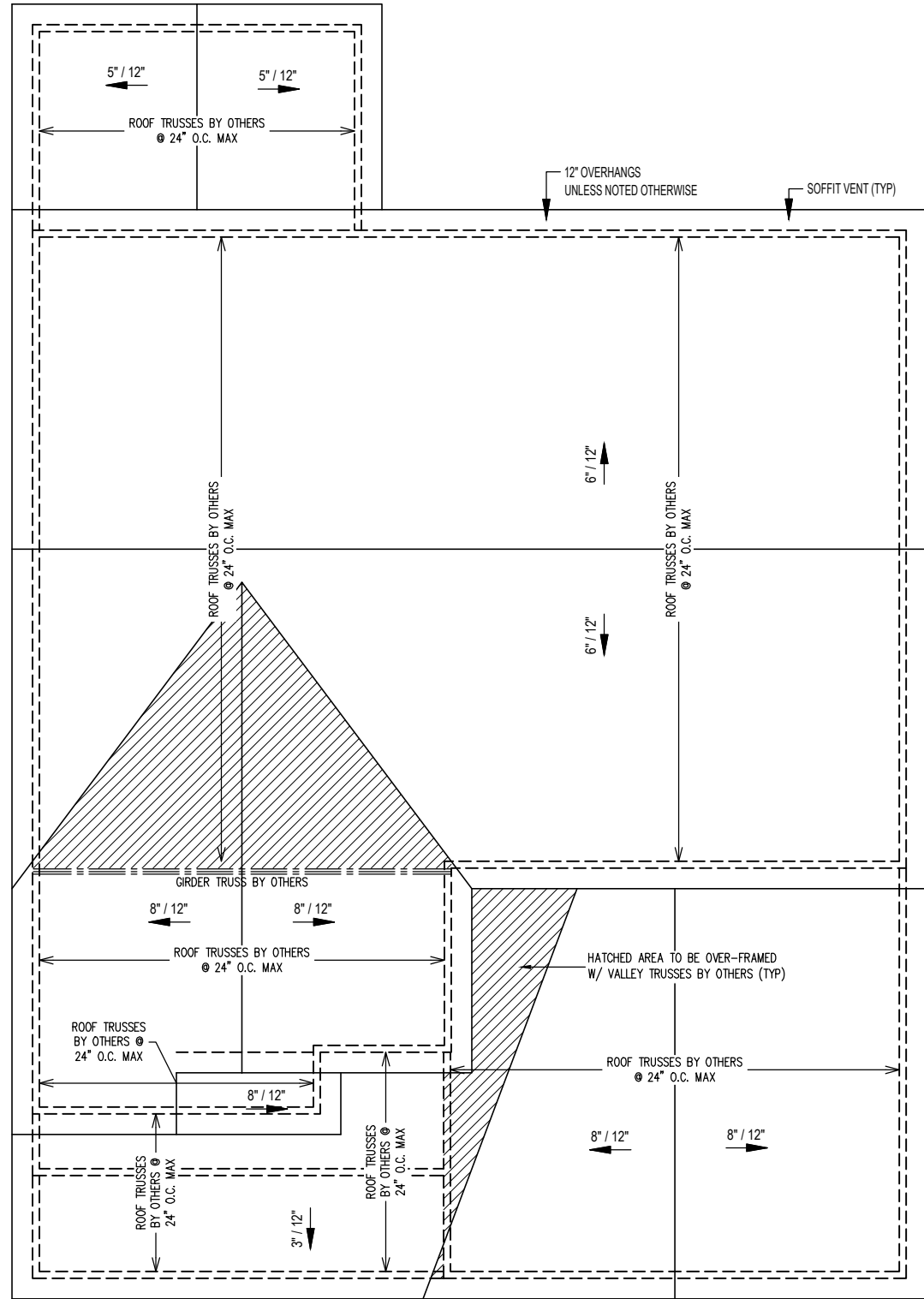
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- UPPER ROOF FRAMING NOTES:**
- SOLID SAWN FRAMING LUMBER TO BE SPF #2 OR SYP #2.
  - ROOF SHEATHING TO BE  $\frac{7}{8}$ " MINIMUM APA RATED EXPOSURE 1 ATTACHED TO ROOF FRAMING WITH 8d NAILS @ 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN PANEL FIELD UNO. SHEATHING SHALL HAVE A SPAN RATING THAT MATCHES OR EXCEEDS THE FRAMING SPACING.
  - TIE ROOF TRUSSES TO WALL FRAMING WITH (1) SST H2.5A HURRICANE TIE UNO BY TRUSS DRAWINGS.
  - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

LEGEND	
---	BEAM, GIRDER, OR HEADER AS SPECIFIED
---	ROOF SUPPORT BELOW



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**DUKE - ELEVATION A**  
GREYSTONE HOMES

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11x17 PRINT SCALE:  $\frac{1}{2}$ " = 1'-0" (UNO)  
24x36 PRINT SCALE:  $\frac{1}{4}$ " = 1'-0" (UNO)  
SHEET: ROOF FRAMING PLAN

**S-5**

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DUKE - ELEVATION A  
GREYSTONE HOMES

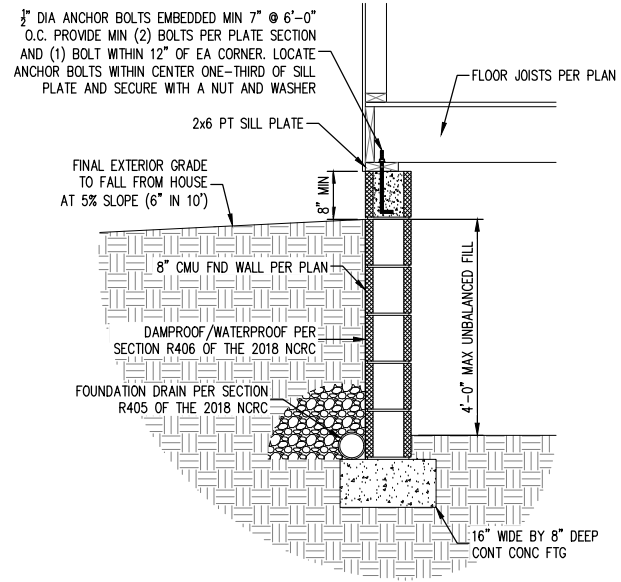
PROJECT NO.: 23-PAD-001

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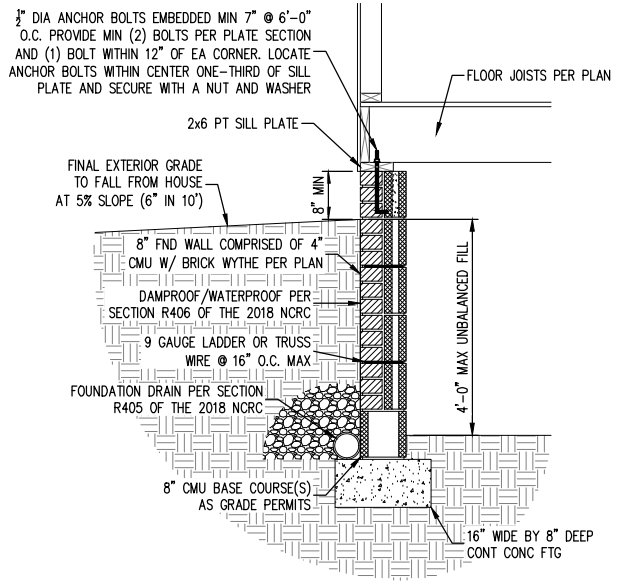
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SHEET: STRUCTURAL DETAILS

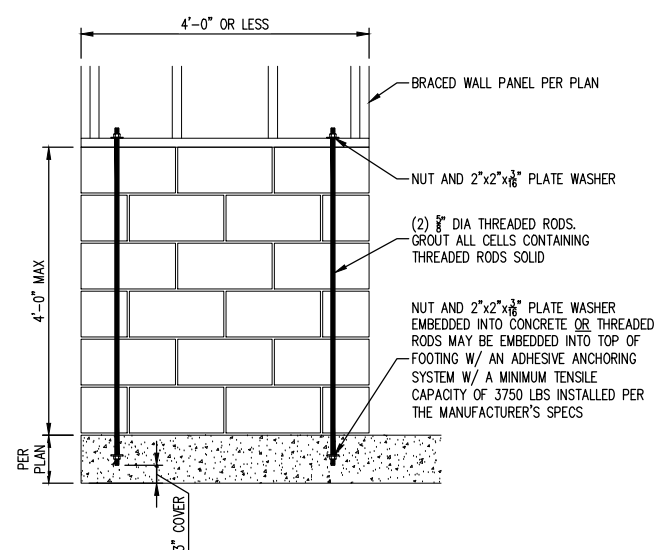
**SD-1**



1 TYPICAL FOUNDATION WALL  
SD-1  
11x17 PRINT SCALE: 1/4" = 1'-0"  
24x36 PRINT SCALE: 1/8" = 1'-0"



2 FOUNDATION WALL WITH BRICK WYTHE  
SD-1  
11x17 PRINT SCALE: 1/4" = 1'-0"  
24x36 PRINT SCALE: 1/8" = 1'-0"



3 MASONRY STEM WALL SUPPORTING BRACED WALL PANEL WITH LENGTH OF 4'-0" OR LESS  
SD-1  
11x17 PRINT SCALE: 1/4" = 1'-0"  
24x36 PRINT SCALE: 1/8" = 1'-0"

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DUKE - ELEVATION A  
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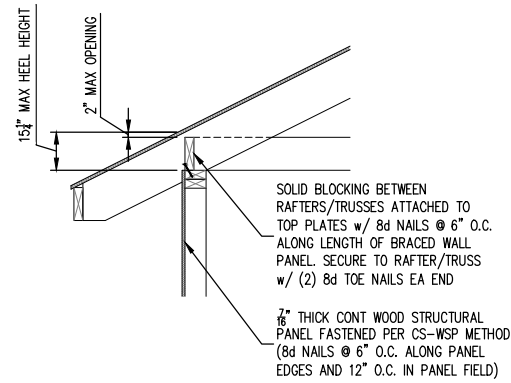
PROJECT NO.: 23-PAD-001

DATE: NOVEMBER 9, 2023

SCALE: AS NOTED

SHEET: STRUCTURAL DETAILS

SD-2

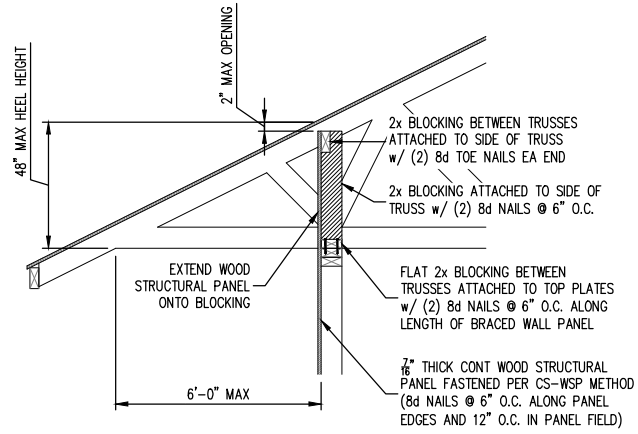


- NOTES:**
- 1) RAFTERS OR ROOF TRUSSES WITH HEEL HEIGHTS OF  $9\frac{1}{4}$ " OR LESS DO NOT REQUIRE BLOCKING.
  - 2) PROVIDE VENTING PER SECTION R806 OF THE 2018 NCR (NOT SHOWN).

BRACED WALL PANEL CONNECTION TO PERPENDICULAR RAFTERS OR ROOF TRUSSES WITH HEEL HEIGHTS  $>9\frac{1}{4}$ " TO  $15\frac{1}{4}$ "

1  
SD-2

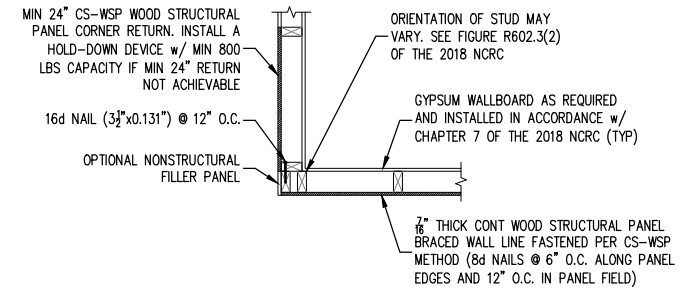
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24x36 PRINT SCALE:  $\frac{1}{4}$ " = 1'-0"



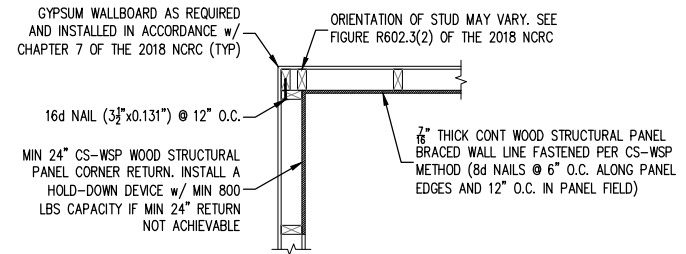
BRACED WALL PANEL CONNECTION TO PERPENDICULAR ROOF TRUSSES WITH HEEL HEIGHTS  $>15\frac{1}{4}$ " TO 48"

2  
SD-2

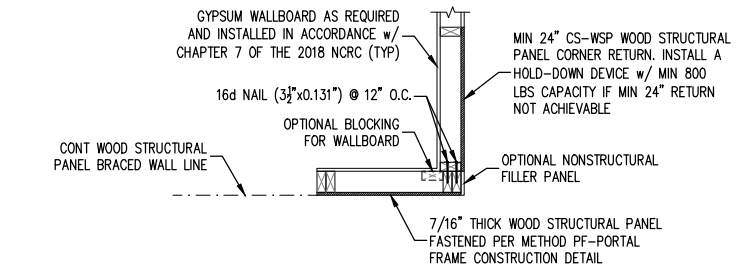
11x17 PRINT SCALE:  $\frac{1}{8}$ " = 1'-0"  
24x36 PRINT SCALE:  $\frac{1}{4}$ " = 1'-0"



(a) OUTSIDE CORNER DETAIL



(b) INSIDE CORNER DETAIL

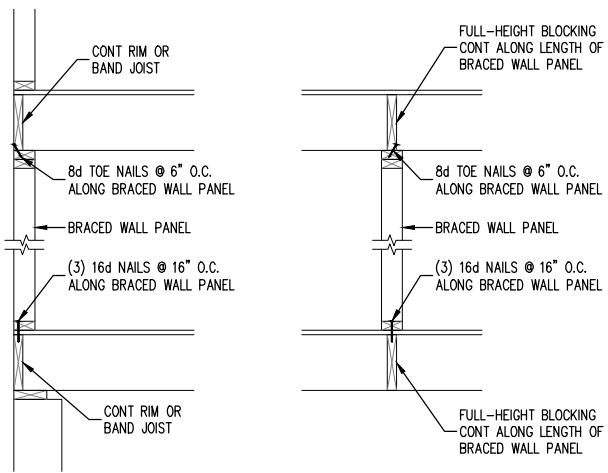


(c) GARAGE DOOR CORNER DETAIL

TYPICAL EXTERIOR CORNER FRAMING FOR EXTERIOR SHEATHING

5  
SD-2

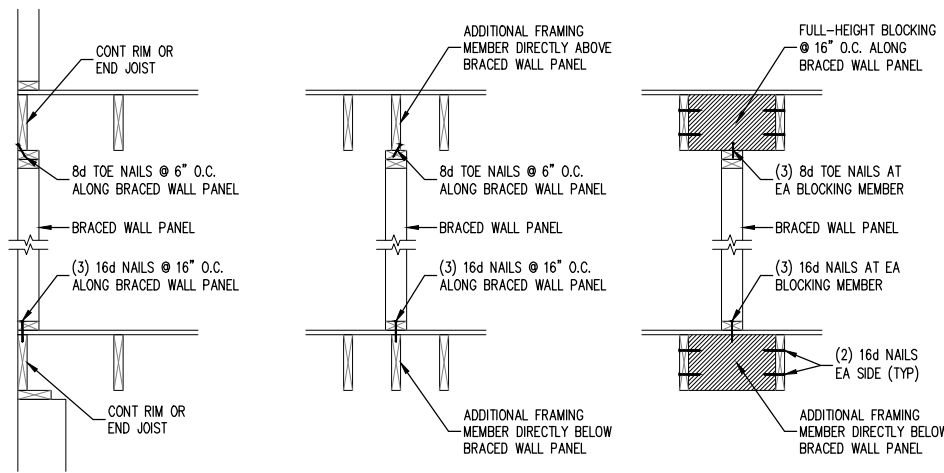
11x17 PRINT SCALE:  $\frac{1}{8}$ " = 1'-0"  
24x36 PRINT SCALE:  $\frac{1}{4}$ " = 1'-0"



BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING

3  
SD-2

11x17 PRINT SCALE:  $\frac{1}{8}$ " = 1'-0"  
24x36 PRINT SCALE:  $\frac{1}{4}$ " = 1'-0"



BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING

4  
SD-2

11x17 PRINT SCALE:  $\frac{1}{8}$ " = 1'-0"  
24x36 PRINT SCALE:  $\frac{1}{4}$ " = 1'-0"

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