



REVISIONS
 06-19-21

PROJECT NAME
CORRECTION PLAT
DUNCAN'S
CROSSING
SUBDIVISION

PIN 0639-71-6223.000 &
 0639-61-6366.000
SR 1253 (HOLDER ROAD)
UPPER LITTLE RIVER
TOWNSHIP
HARNETT COUNTY
NORTH CAROLINA

OWNER
BS LAND, LLC.
 488 Starnal Road
 Angier, North Carolina 27501
 Phone: (919) 538-8905

CLIENT
WELLONS
CONSTRUCTION,
INC.

PO Box 730
 Dunn, North Carolina 28335
 Phone: (919) 892-6630

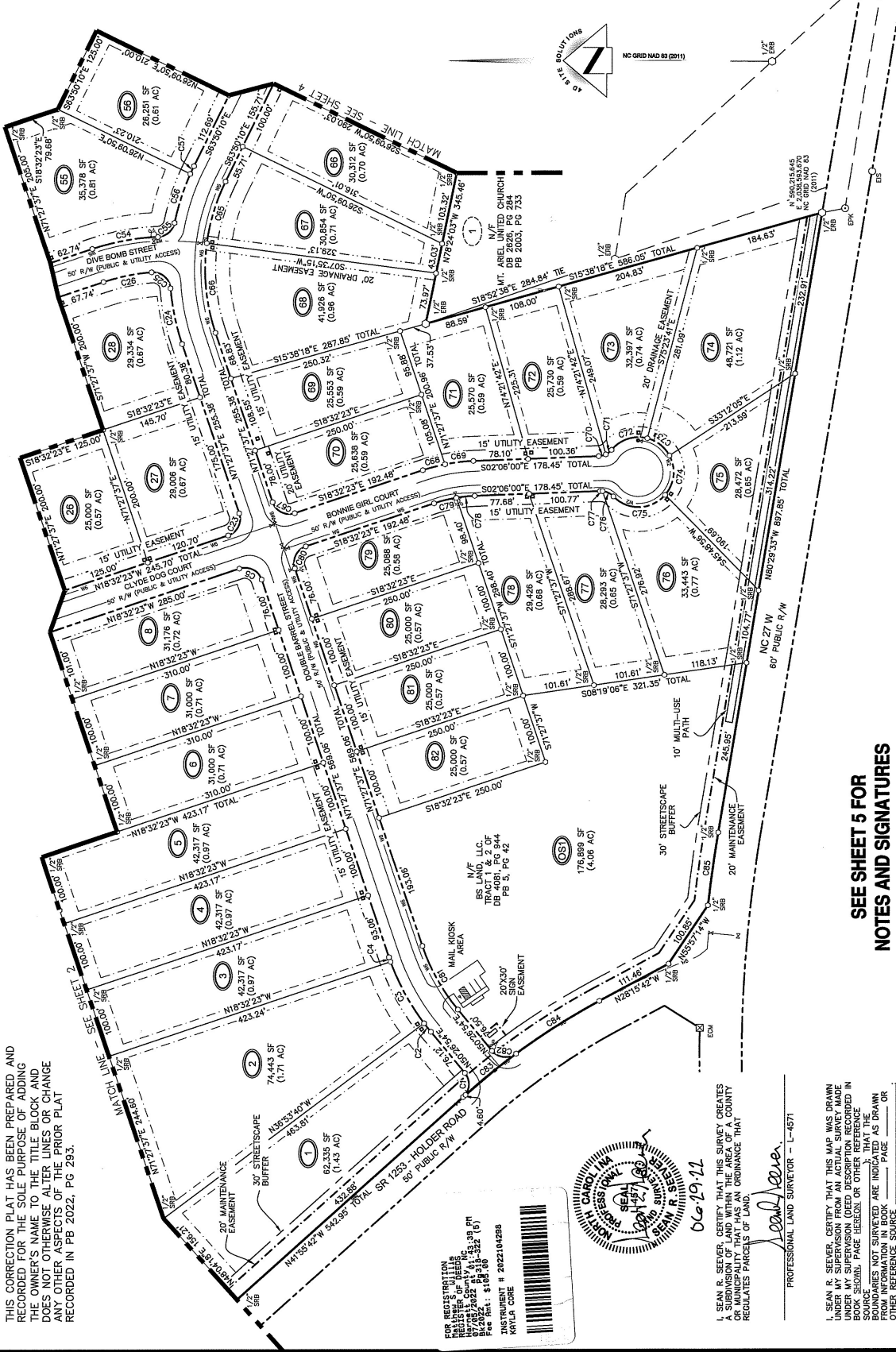
PROJECT INFORMATION

SURVEYED BY:	CLIFF
DRAWN BY:	SEAN
CHECKED BY:	JIMMY
PROJECT NUMBER:	1871

DRAWING SCALE
 HORIZONTAL: 1"=100'

DATE SURVEYED
 JUNE 10, 2022

SHEET NUMBER
 1 OF 5



CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C82	37.93	25.00	S08°56'51"W	34.40
C83	93.07	979.93	S39°12'27"E	93.03
C84	146.67	979.93	S32°22'27"E	140.55
C85	104.72	1964.50	N82°01'10"W	104.70

CURVE TABLE

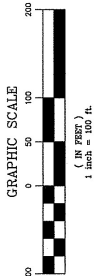
CURVE	LENGTH	RADIUS	BEARING	CHORD
C72	56.63	50.00	S75°50'32"E	53.65
C73	41.15	50.00	S38°11'00"W	40.00
C74	60.08	50.00	N63°48'56"W	56.53
C75	83.33	50.00	N01°39'08"W	74.01
C76	17.45	25.00	N26°05'41"E	17.10
C77	3.58	25.00	N01°59'59"E	3.57
C78	26.16	205.00	N05°45'21"W	26.14
C79	32.66	205.00	N13°58'32"W	32.63
C80	39.27	25.00	N63°32'23"W	35.36

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C55	33.30	25.00	S47°15'19"E	30.89
C56	74.56	335.00	S72°13'58"E	73.41
C57	12.32	335.00	S04°53'22"E	12.32
C58	92.40	265.00	N01°39'28"W	92.00
C59	129.86	265.00	S64°31'26"W	126.84
C60	39.27	25.00	S26°27'37"W	35.36
C61	31.81	335.00	S14°52'51"W	31.31
C62	39.18	25.00	N47°30'24"E	35.29
C63	70.39	265.00	N11°27'46"W	70.22

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	38.23	25.00	S85°44'24"E	34.61
C2	15.54	335.00	N51°46'37"E	15.54
C3	100.38	335.00	N61°41'21"E	100.00
C4	6.94	335.00	N70°52'00"E	6.94
C5	39.27	25.00	N26°27'37"E	35.36
C6	39.27	25.00	S83°32'23"E	35.36
C7	81.51	335.00	S78°25'51"W	81.31
C8	39.18	25.00	N47°30'24"E	35.29
C9	70.39	265.00	N11°27'46"W	70.22



THIS CORRECTION PLAT HAS BEEN PREPARED AND RECORDED FOR THE SOLE PURPOSE OF ADDING THE OWNER'S NAME TO THE TITLE BLOCK AND DOES NOT OTHERWISE ALTER LINE OR CHANGE ANY OTHER ASPECTS OF THE PRIOR PLAT RECORDED IN PB 2022, PG 293.

FOR RECORDS ONLY
 REGISTERED COMPANY
 3749572622 6-11-22 (15)
 Fee Amt.: \$168.00
 INSTRUMENT # 2022184280
 KAYLA CORE



I, SEAN R. SEEVER, CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY AND THAT THE INSTRUMENT IS AN INSTRUMENT THAT REGULATES PARCELS OF LAND.

Sean R. Seaver
 PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEEVER, CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY AND THAT THE INSTRUMENT IS AN INSTRUMENT THAT REGULATES PARCELS OF LAND.

Sean R. Seaver
 PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY PERFORMED TO C-200 PACE SPECIFICATIONS WITH GPS WITH VRS FIELD PROCEDURES WERE USED. THE COORDINATES WERE OBTAINED THROUGH A GRID TO GROUND ADJUSTMENT SURVEY WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5790 RECEIVERS.

Sean R. Seaver
 PROFESSIONAL LAND SURVEYOR - L-4571

SEE SHEET 5 FOR NOTES AND SIGNATURES



REVISIONS

CORRECTION PLAT
DUNCAN'S
CROSSING
SUBDIVISION

PIN 0589-71-6222.000 &
0589-91-6866.000
SR 1253 (HOLDER ROAD)
UPPER LITTLE RIVER
TOWNSHIP
HARNETT COUNTY
NORTH CAROLINA

OWNER
BS LAND, LLC.

468 Shamal Road
Angier, North Carolina 27501
Phone: (919) 589-5845

CLIENT
WELLONS
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INC.

PO Box 780
Dunn, North Carolina 28335
Phone: (919) 892-6630

PROJECT INFORMATION

SURVEYED BY:	CLIFF
DRAWN BY:	SEAN
CHECKED BY:	JIMMY
PROJECT NUMBER:	1871

DRAWING SCALE

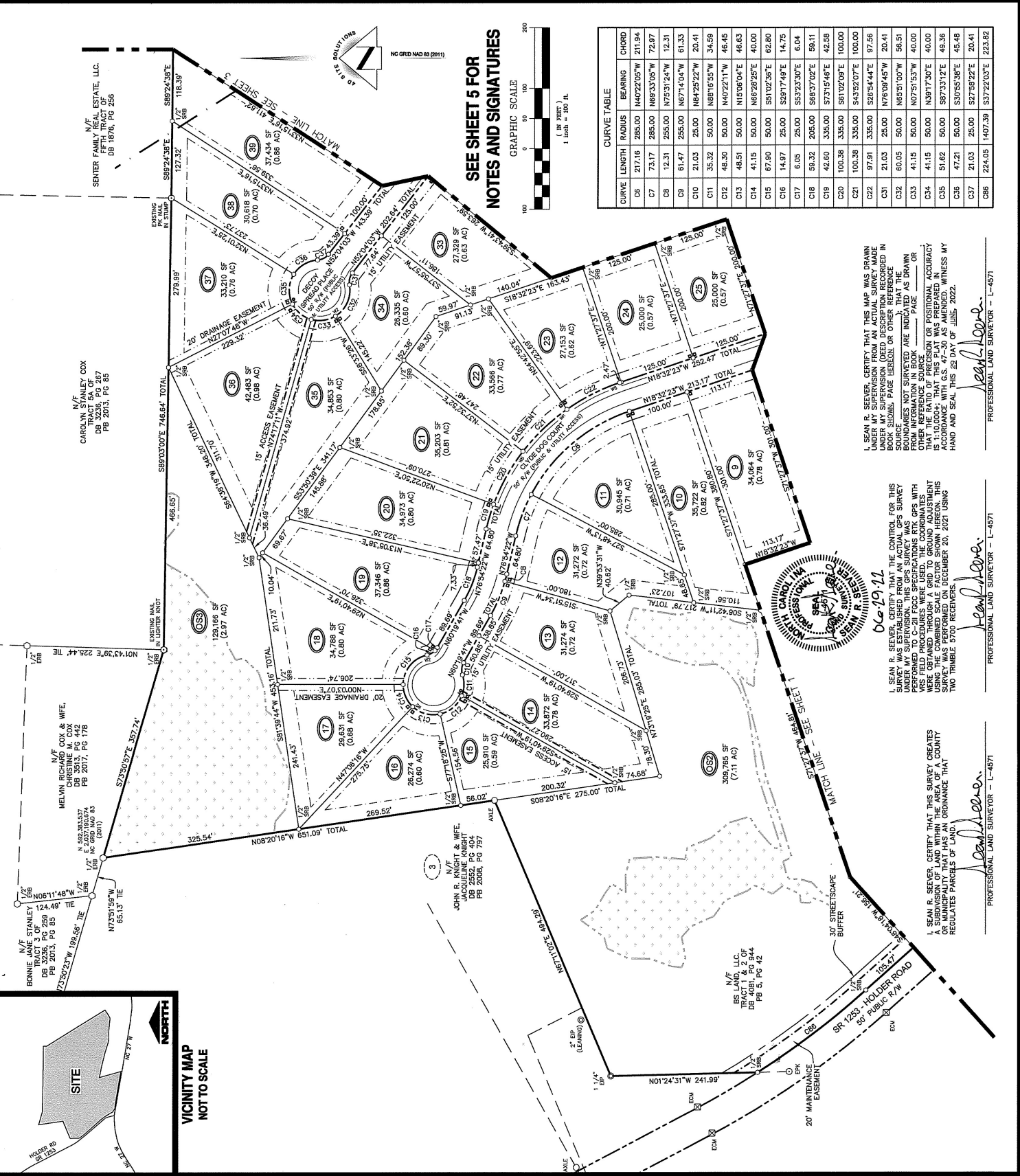
HORIZONTAL: 1"=100'

DATE SURVEYED

JUNE 10, 2022

SHEET NUMBER

2 OF 5



SEE SHEET 5 FOR
NOTES AND SIGNATURES

CURVE LENGTH	RADIUS	BEARING	CHORD
C6	27.116	285.00 M4072'05"W	211.94
C7	73.717	285.00 M68'33'05"W	72.97
C8	12.31	295.00 M75'31'24"W	12.31
C9	61.47	295.00 M67'14'04"W	61.33
C10	21.03	25.00 M84'25'22"W	20.41
C11	35.32	50.00 M88'16'55"W	34.59
C12	48.30	50.00 M40'22'11"W	46.45
C13	48.51	50.00 M15'08'04"E	46.63
C14	41.15	50.00 M65'28'25"E	40.00
C15	67.90	50.00 M81'02'36"E	62.80
C16	14.97	25.00 M29'17'48"E	14.75
C17	6.05	25.00 M53'23'30"E	6.04
C18	58.32	205.00 M65'37'02"E	59.11
C19	42.60	335.00 M73'15'46"E	42.59
C20	100.38	335.00 M81'02'09"E	100.00
C21	100.38	335.00 M43'52'07"E	100.00
C22	97.91	335.00 M28'54'44"E	97.56
C31	21.03	25.00 M76'09'45"W	20.41
C32	60.05	50.00 M65'01'00"W	56.51
C33	41.15	50.00 M07'51'53"W	40.00
C34	41.15	50.00 M39'17'30"E	40.00
C35	51.62	50.00 M30'55'38"E	49.36
C36	47.21	50.00 M57'33'12"E	45.48
C37	21.03	25.00 M57'58'22"E	20.41
C38	224.05	1407.38 M37'22'03"E	223.82

I, SEAN R. SEEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT. I AM A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF NORTH CAROLINA, LICENSE NO. 12345. I HAVE NOT BEEN DISCIPLINED OR REPROVED BY THE BOARD OF SURVEYING AND MAPPING. I HAVE NOT BEEN CONVICTED OF A CRIME THAT RELATES TO THIS SURVEY. I HAVE NOT BEEN CONVICTED OF A CRIME THAT RELATES TO THE PRACTICE OF SURVEYING. I HAVE NOT BEEN CONVICTED OF A CRIME THAT RELATES TO THE PRACTICE OF ENGINEERING. I HAVE NOT BEEN CONVICTED OF A CRIME THAT RELATES TO THE PRACTICE OF ARCHITECTURE. I HAVE NOT BEEN CONVICTED OF A CRIME THAT RELATES TO THE PRACTICE OF LAND SURVEYING. I HAVE NOT BEEN CONVICTED OF A CRIME THAT RELATES TO THE PRACTICE OF PROFESSIONAL ENGINEERING. I HAVE NOT BEEN CONVICTED OF A CRIME THAT RELATES TO THE PRACTICE OF PROFESSIONAL ARCHITECTURE. I HAVE NOT BEEN CONVICTED OF A CRIME THAT RELATES TO THE PRACTICE OF PROFESSIONAL LAND SURVEYING. I HAVE NOT BEEN CONVICTED OF A CRIME THAT RELATES TO THE PRACTICE OF PROFESSIONAL ENGINEERING. I HAVE NOT BEEN CONVICTED OF A CRIME THAT RELATES TO THE PRACTICE OF PROFESSIONAL ARCHITECTURE. I HAVE NOT BEEN CONVICTED OF A CRIME THAT RELATES TO THE PRACTICE OF PROFESSIONAL LAND SURVEYING.

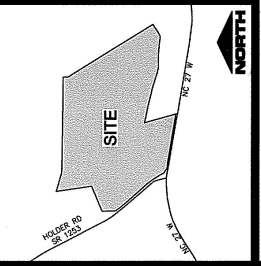
SEAN R. SEEVER
PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY PERFORMED TO C-20I GPS SPECIFICATIONS RTK GPS WITH WRS FIELD PROCEDURES WERE USED. THE COORDINATES USING THE COMBINED SCALE FACTOR SHOWN HEREON SURVEY WAS RECEIVED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS.

SEAN R. SEEVER
PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEEVER, CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

SEAN R. SEEVER
PROFESSIONAL LAND SURVEYOR - L-4571





REVISIONS
06-19-22

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DUNCAN'S
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SUBDIVISION

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PROJECT INFORMATION

SURVEYED BY:	CLIFF
DRAWN BY:	SEAN
CHECKED BY:	JIMMY
PROJECT NUMBER:	1871

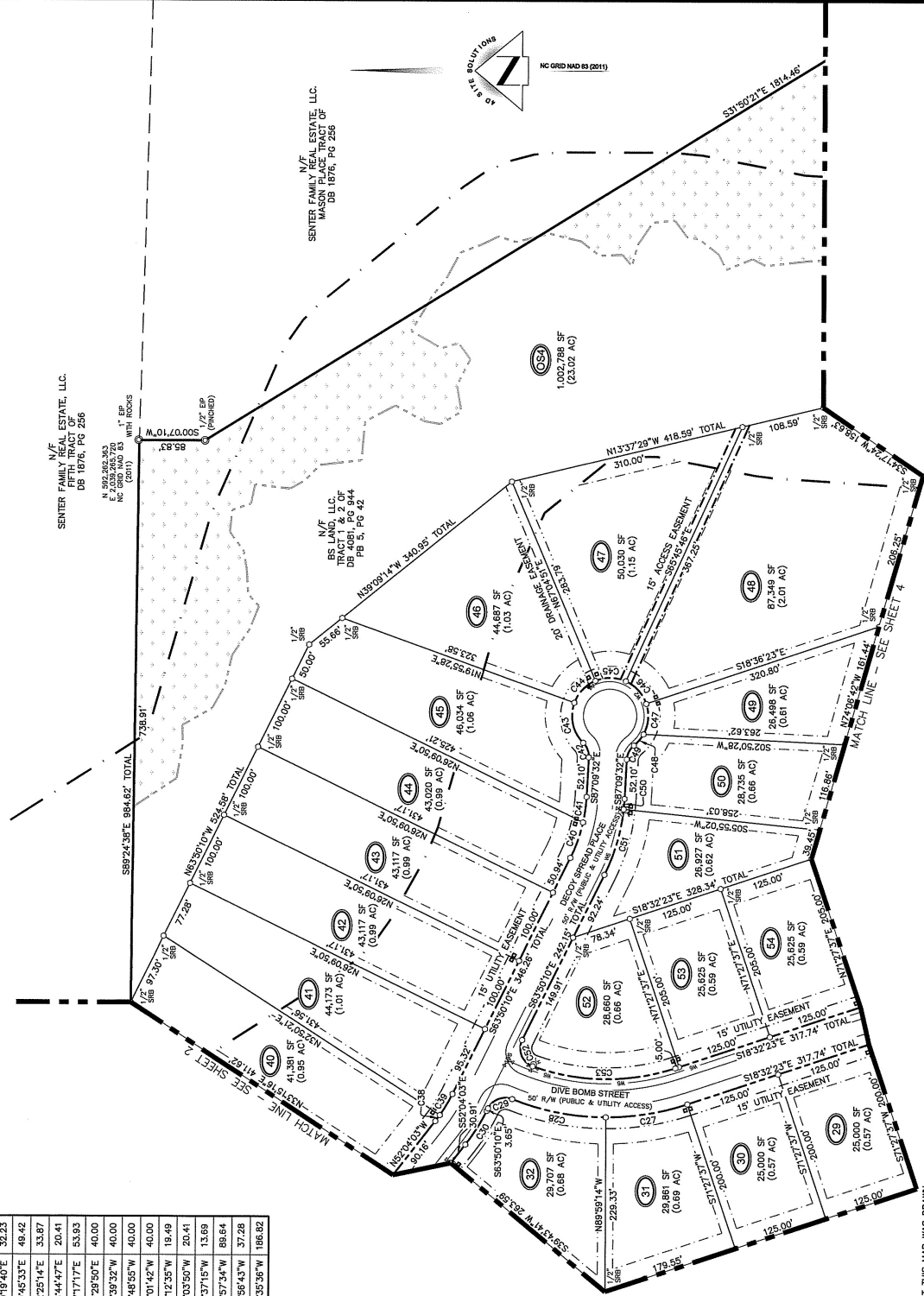
DRAWING SCALE
HORIZONTAL: 1"=100'

DATE SURVEYED
JUNE 10, 2022

SHEET NUMBER
3

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C27	106.47	335.00	N09°15'48"W	108.00
C28	125.75	335.00	N10°45'58"E	125.01
C29	37.24	25.00	N21°09'30"W	33.89
C30	52.38	255.00	S07°57'07"E	52.28
C38	9.85	205.00	S52°28'36"E	9.84
C39	32.26	205.00	S59°19'40"E	32.23
C40	49.54	205.00	S70°45'33"E	49.42
C41	33.91	205.00	S82°25'14"E	33.87
C43	21.03	25.00	N68°44'47"E	20.41
C43	95.96	50.00	N77°17'17"E	53.93
C44	41.15	50.00	S46°28'50"E	40.00
C46	41.15	50.00	S00°39'32"W	40.00
C46	41.15	50.00	S77°48'55"W	40.00
C47	41.15	50.00	N85°01'42"W	40.00
C48	19.62	50.00	N50°12'35"W	19.49
C49	21.03	25.00	N63°03'50"W	20.41
C50	13.69	255.00	N85°37'15"W	13.69
C51	90.11	255.00	N73°57'34"W	89.64
C52	42.08	25.00	S87°26'43"W	37.28
C53	180.34	285.00	S00°35'36"W	186.82



SEE SHEET 5 FOR
NOTES AND SIGNATURES

GRAPHIC SCALE
1 inch = 100 ft.



I, SEAN R. SEVER, CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN HARNETT COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

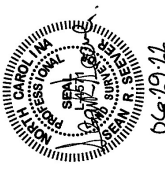
Sean R. Sever
PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY PERFORMED TO C-201 FCC SPECIFICATIONS. THE GPS WITH VRS FIELD PROCEDURES WERE USED. THE COORDINATES WERE OBTAINED FROM THE NATIONAL TRIPNET. THIS SURVEY WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS.

Sean R. Sever
PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY. BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK PAGE OR THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10,000. THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITHNESS MY HAND AND SEAL THIS 22 DAY OF JUNE, 2022.

Sean R. Sever
PROFESSIONAL LAND SURVEYOR - L-4571



REVISIONS
06-19-21

PROJECT NAME CORRECTION PLAT DUNCAN'S CROSSING SUBDIVISION

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0639-91-8366.000
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Phone: (919) 892-8805

CLIENT

**WELLONS
CONSTRUCTION,
INC.**

PO Box 790
Dunn, North Carolina 28335
Phone: (919) 892-6630

PROJECT INFORMATION

SURVEYED BY:	CLIFF SEAN
DRAWN BY:	SEAN JIMMY
CHECKED BY:	JIMMY
PROJECT NUMBER:	1871

DRAWING SCALE

HORIZONTAL: 1"=100'

DATE SURVEYED

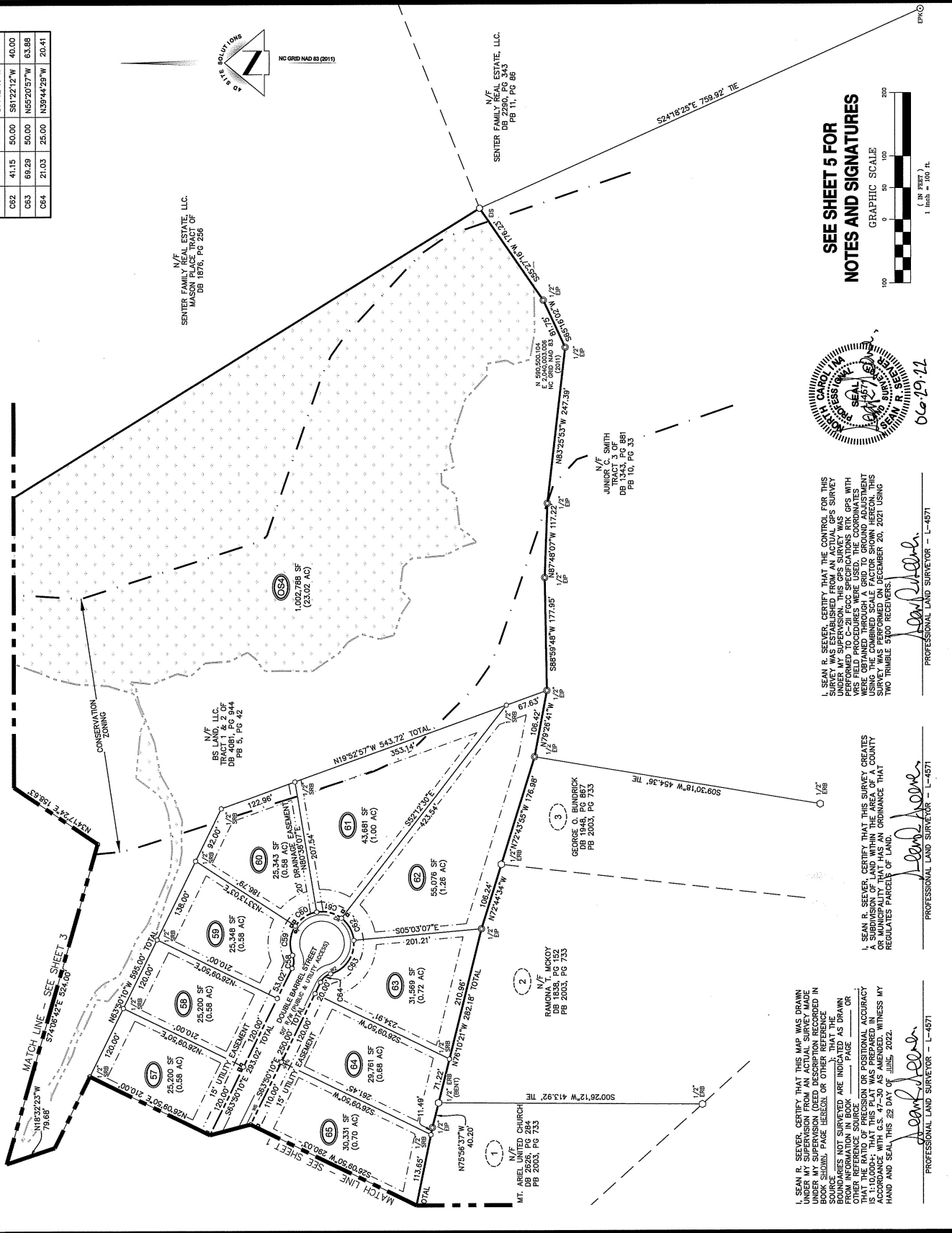
JUNE 10, 2022

SHEET NUMBER

4

OF 5

CURVE TABLE	CURVE LENGTH	RADIUS	BEARING	CHORD
C58	21.03	25.00	S87°55'52"E	20.41
C59	48.21	50.00	S84°24'15"E	46.36
C60	41.38	50.00	S33°04'25"E	40.21
C61	41.15	50.00	S1°12'49"W	40.00
C62	41.15	50.00	S81°22'12"W	40.00
C63	66.29	50.00	N52°20'57"W	63.88
C64	21.03	25.00	N39°44'25"W	20.41



SEE SHEET 5 FOR
NOTES AND SIGNATURES



I, SEAN R. SEEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY PERFORMED TO C-200 PRECISION SPECIFICATIONS BY GPS WITH VERIFIED PROCEDURES WERE USED. THE COORDINATES WERE OBTAINED THROUGH A GRID TO GROUND ADJUSTMENT SURVEY THAT WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS.

I, SEAN R. SEEVER, CERTIFY THAT THIS SURVEY CREATES AN EASEMENT THAT HAS AN ORIGINANCE THAT REGULATES PARCELS OF LAND.

I, SEAN R. SEEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN BOOK SHOWING PAGE RECORD OR OTHER REFERENCE SOURCE. THE SURVEY ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK SHOWING PAGE RECORD OR OTHER REFERENCE SOURCE. THAT THE RATIO OF PRECISION WAS PROFESSIONAL ACCURACY IN ACCORDANCE WITH G.S. 47-50 AS AMENDED. WITNESS MY HAND AND SEAL THIS 22 DAY OF JUNE, 2022.

PROFESSIONAL LAND SURVEYOR - L-4871

PROFESSIONAL LAND SURVEYOR - L-4871

PROFESSIONAL LAND SURVEYOR - L-4871

06-19-21

PKO



REVISIONS

06-19-22

STATE OF NORTH CAROLINA
COUNTY OF HARNETT

I, Sean R. Seever, REVIEW OFFICER OF HARNETT COUNTY, CERTIFY THAT THE MAP OR PLAN TO WHICH THIS CERTIFICATE IS APPLIED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

DATE: 7-5-22
Sean R. Seever
REGISTERED PROFESSIONAL LAND SURVEYOR

HARNETT COUNTY, NORTH CAROLINA

FILED FOR REGISTRATION ON THE 5th DAY OF JULY AT 11:55 (AM/PM) AND DULY RECORDED IN MAP BOOK 117 AT PAGE 318-322

Matthew S. Willis
Matthew S. Willis
REGISTERED PROFESSIONAL LAND SURVEYOR

DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS

PROPOSED SUBDIVISION ROAD
CONSTRUCTION STANDARDS CERTIFICATION

APPROVED Cecilia Hines Sr. PE
DISTRICT ENGINEER

DATE 7-5-22

ACCEPTED FOR THE NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS

BY Cecilia Hines Sr. PE
DISTRICT ENGINEER

DATE 7-5-22

- LEGEND:
- EP1 15' EOP-EXISTING CONCRETE MONUMENT
 - EP2 15' EOP-EXISTING IRON STAKE
 - EP3 15' EOP-EXISTING IRON STAKE
 - EP4 15' EOP-EXISTING PK NAIL
 - EP5 15' EOP-EXISTING REBAR
 - EP6 15' EOP-EXISTING REBAR
 - EP7 15' EOP-EXISTING REBAR
 - EP8 15' EOP-EXISTING REBAR
 - EP9 15' EOP-EXISTING REBAR
 - EP10 15' EOP-EXISTING REBAR
 - EP11 15' EOP-EXISTING REBAR
 - EP12 15' EOP-EXISTING REBAR
 - EP13 15' EOP-EXISTING REBAR
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 - EP93 15' EOP-EXISTING REBAR
 - EP94 15' EOP-EXISTING REBAR
 - EP95 15' EOP-EXISTING REBAR
 - EP96 15' EOP-EXISTING REBAR
 - EP97 15' EOP-EXISTING REBAR
 - EP98 15' EOP-EXISTING REBAR
 - EP99 15' EOP-EXISTING REBAR
 - EP100 15' EOP-EXISTING REBAR

N/A - NOW OR FORMERLY
R/W - RIGHT OF WAY

PROPERTY LINE
ADJACENT PROPERTY LINE

RIGHT-OF-WAY
SETBACK LINE

WATER LINE
WETLANDS

PERMANENT EASEMENT
ACCESS & MAINTENANCE EASEMENT

UTILITY EASEMENT
UTILITY EASEMENT BUFFER

WATER VALVE
WATER METER

WATER BLOW OFF
WETLANDS

CLIFF
SEAN
JIMMY
PROJECT NUMBER: 1871

DRAWING SCALE
HORIZONTAL: 1"=200'

DATE SURVEYED
JUNE 10, 2022

SHEET NUMBER
5

OF
5

CERTIFICATE OF OWNERSHIP AND DEDICATION

I, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF HARNETT COUNTY, NORTH CAROLINA, AND THAT I HAVE A MINIMUM SUBDIVISION WITH MY FREE CONSENT, ESTABLISH MINIMUM BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I HEREBY DEDICATE ALL WATER LINES TO THE COUNTY OF HARNETT.

DATE: 7-5-22
Bradford School
OWNER'S SIGNATURE
BS LAND, LLC.

I HEREBY CERTIFY THAT STORMWATER CONVEYANCE AND CONTROL MEASURES HAVE BEEN COMPLETED IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION SPECIFICATIONS TO THE BEST OF OUR ABILITIES. DUE CARE AND DILIGENCE WERE USED IN OBSERVATION AND TESTING OF THE CONSTRUCTION AND MATERIALS TO BE BUILT WITHIN SUBSTANTIAL COMPLIANCE OF THE PERMIT AND OTHER SUPPORTING MATERIALS.

DATE: 7-5-22
Bradford School
OWNER'S SIGNATURE
BS LAND, LLC.

PUBLIC PLAT DECLARATION

ALL LOTS IN THIS SUBDIVISION ARE HEREBY DECLARED TO BE OPEN TO THE PUBLIC AND SHALL BE AVAILABLE TO THE PUBLIC FOR THE USE AND ENJOYMENT OF THE PUBLIC. THE SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE DISTRICT ENGINEER OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE ANY STREETS OR HIGHWAYS ARE OPEN TO THE PUBLIC. THE DISTRICT ENGINEER HAS NOT RECOMMENDED THAT THE A.C. DEPARTMENT OF TRANSPORTATION SHALL BE RESPONSIBLE FOR THE REQUIRED PUBLIC ROAD IMPROVEMENTS BY THE SEVENTY-FIVE PERCENT (75%) OF THE LOTS SHOWN ON THIS SUBDIVISION MAP. THE DISTRICT ENGINEER MAKES SUCH A RECOMMENDATION AND FORMALLY NOTICES THE SUBDIVISION ADMINISTRATOR.

TOTAL AREA (BY COORDINATE COMPUTATION)
4,977,047 Sq. (107.37 AC)

PIN: 0539-71-6223.000 & 0539-81-8366.000

TOWNSHIP: UPPER LITTLE RIVER

LAND USE CLASSES: AGRICULTURAL & RURAL RESIDENTIAL
ENVIRONMENTALLY SENSITIVE

ZONING: RA-30 & CONSERVATION

35' FRONT
10' SIDE
25' REAR

TO VERIFY SETBACK INFORMATION
CONTACT THE HARNETT COUNTY
REGISTER OF DEEDS
PLANNING DEPARTMENT 910-863-7525

SOURCE OF TITLE
COUNTY RECORDS
HARNETT COUNTY
REGISTER OF DEEDS

I, SEAN R. SEEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY UNDER MY SUPERVISION. THIS GPS SURVEY WAS PERFORMED IN ACCORDANCE WITH THE GPS SURVEYING ACT AND THE FIELD PROCEDURES WERE USED. THE COORDINATES WERE OBTAINED THROUGH A GRID TO GROUND ADJUSTMENT SURVEY WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS.

DATE: 7-5-22
Sean R. Seever
PROFESSIONAL LAND SURVEYOR - L-4571

I, HEREBY CERTIFY THAT THE DEVELOPMENT DEPICTED HEREON HAS BEEN GRANTED FINAL APPROVAL BY THE HARNETT COUNTY PLANNING AND ZONING DEPARTMENT AND THE HARNETT COUNTY REGISTER OF DEEDS WITHIN THIRTY DAYS OF THE DATE BELOW.

APPROVED: Sean R. Seever DATE: 7-5-22
DEVELOPMENT REVIEW CHAIRMAN

CERTIFICATE OF IMPROVEMENTS MAINTENANCE
I, HEREBY CERTIFY THAT I ASSUME ALL FINANCIAL AND LEGAL RESPONSIBILITIES FOR THE MAINTENANCE AND IMPROVEMENTS OF THE CROSSING SUBDIVISION UNTIL SUCH TIME THAT THEY ARE ACCEPTED FOR MAINTENANCE BY THE NCDOT.

DATE: 7-5-22
Bradford School
OWNER
BS LAND, LLC.

NOTES:

- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- COMBINED SCALE FACTOR: 0.99987479
- LOCALIZATION POINT N: 590.372796 E: 2.07550105
- LOCATED VIA NORTH CAROLINA GEODETIC SURVEY VIRTUAL REFERENCE SYSTEM.
- THE HORIZONTAL AND VERTICAL CONTROL FOR THIS SURVEY WERE ESTABLISHED FROM THE STATE OF NORTH CAROLINA GEODETIC SURVEY.
- ALL LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION ON RECORDED RECORDS.
- THIS SURVEY WAS DONE WITHOUT BENEFIT AND HAS BEEN BASED ON RECORDED INFORMATION SHOWN HERE ON. OTHER DOCUMENTS OF RECORD ASSUMED BY THIS SURVEY OR THIS PROPERTY HAS NO RESPONSIBILITY TO EXIST BUT ARE UNKNOWN OR REFERENCED HERE ON, SUCH AS BUT NOT LIMITED TO HAZARDOUS WASTE MATERIALS, EASEMENTS, CEMETERIES AND FLOOD AREAS.
- THE FLOOD INSURANCE RATE, DATED OCTOBER 3, 2008.
- WATER LINES ARE SHOWN USING INFORMATION PROVIDED BY HARNETT COUNTY.
- THIS DEVELOPMENT WAS DESIGNED IN ACCORDANCE WITH COMPATIBILITY DESIGN CONCEPT STANDARDS.
- PROPERTY IS WITHIN ONE MILE OF A VOLUNTARY AGRICULTURAL DISTRICT.
- PORTION OF PROPERTY IS LOCATED IN MSW CLASSIFICATION.
- THE MAINTENANCE OF STREETS/SCAPE BUFFERS, OPEN SPACE, MAIL BOX/SIDE DRIVE, AND OTHER AMENITIES SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.
- SEAN SHALL BE PLACED AT LEAST 20' FROM ALL INTERSECTION R/W'S AND A MINIMUM 10' FROM ALL ADJACENT PROPERTY LINES.
- NE 27W IS ON THE HARNETT COUNTY COMPREHENSIVE TRANSPORTATION PLAN AS WELL AS THE HARNETT COUNTY GREENWAY PLAN.
- ACCESS TO PRIVATE PROPERTY IS PROVIDED SUCH THAT THE COUNTY CAN ACCESS THE PRIVATE PROPERTY FOR THE PURPOSES OF THE PUBLIC HEARINGS.
- STREET LIGHTS ARE INSTALLED NOT MORE THAN 300' APART.
- FIRE HYDRANTS ARE INSTALLED NO FURTHER THAN 500' FROM ANY STRUCTURE.
- DOUBLE BARREL STREET: 1,885 LF
- CLYDE DOG COURT: 1,141 LF
- WATER VALVE: 736 LF
- WATER METER: 736 LF
- WATER BLOW OFF: 885 LF
- DECAY SPREAD PLACE:

THIS CORRECTION PLAT HAS BEEN PREPARED AND RECORDED FOR THE SOLE PURPOSE OF ADDING THE OWNER'S NAME TO THE TITLE BLOCK AND DOES NOT OTHERWISE ALTER LINES OR CHANGE ANY OTHER ASPECTS OF THE PRIOR PLAT RECORDED IN PB 2022, PG 293.

I, SEAN R. SEEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE IN ACCORDANCE WITH THE GPS SURVEYING ACT AND THE FIELD PROCEDURES WERE USED. THE COORDINATES WERE OBTAINED THROUGH A GRID TO GROUND ADJUSTMENT SURVEY WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS.

DATE: 7-5-22
Sean R. Seever
PROFESSIONAL LAND SURVEYOR - L-4571



I, SEAN R. SEEVER, CERTIFY THAT THIS SURVEY CREATES OR SUBSTANTIALLY CHANGES AN INTEREST IN A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

DATE: 7-5-22
Sean R. Seever
PROFESSIONAL LAND SURVEYOR - L-4571