

GEORGIE DRIVE

Harnett GIS

NOT FOR LEGAL USE

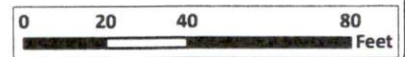


Harnett County GIS



GIS/E-911 Addressing
December 29, 2023

-  County Boundary
-  Address Numbers
-  Road Centerlines
-  Parcels



CERTIFICATION OF OWNERSHIP, DEDICATION AND JURISDICTION

I, the undersigned, do hereby certify that I am (We are) the owner(s) or agent of the property shown and described herein and that (We) hereby adopt this site plan with my (our) free consent, ratification, the minimum building setback lines, and dedicate all streets, alleys, walks, parks and other areas and easements to public or private use as noted, and all the land shown herein is within the zoning regulation jurisdiction of Harnett County.

07-25-07 *Edward B. Patterson*
 Date *Owner/Agent*

DEPARTMENT OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 PROPOSED SUBDIVISION ROAD
 CONSTRUCTION STANDARDS CERTIFICATION

APPROVED *C.W. McGEE*
 DISTRICT ENGINEER RSP
 DATE *7/25/07*

PATTERSON & SONS INC.
 DB 1822, PG 187
 MAP NO. 2002-791

I hereby certify that the development depicted hereon has been granted final approval by the Harnett County Developer Review Board pursuant to the regulations set forth by E-011 Addressing, Environmental Health, Fire Marshal, Planning, and Public Utilities of Harnett County, N.C., Subject to recordation in the Harnett County Office of Registrar of Deeds within thirty days of the date below.

Michelle S. Hargrove *8/10/07*
 Date *Developer Review Board, Chairman*

NON-BUILDABLE LOT
 DUE TO UNREQUITABLE SOILS ON THE LOTS SHOWN AS (NON-BUILDABLE) AT THE RECORDING OF THE MAP, THE OWNERS/DEVELOPERS RESERVE THE RIGHT TO LOCATE OFF SITE SEPTIC TREATMENT, ALTERNATIVE SYSTEM, OR RECONNECT LOT WITH ADJOINING LOTS, AT A LATER DATE, WITH THE APPROVAL OF HARNETT COUNTY ENVIRONMENTAL HEALTH DEPARTMENT AND HARNETT COUNTY PLANNING DEPARTMENT.

NOTE
 STREETSCAPE SHALL BE CONSTRUCTED IN ACCORDANCE TO HARNETT COUNTY SUBDIVISION ORDINANCE SECTION 8.11. MAINTENANCE OF STREETSCAPE BUFFER LOCATED ON LOTS 1 & 18 SHALL BE THE RESPONSIBILITY OF THE SECOND OWNERS OF SAID LOTS AND THEY SHALL BE MAINTAINED IN ACCORDANCE WITH HARNETT COUNTY SUBDIVISION ORDINANCE.

- NOTES:**
1. NEW IRONS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
 2. ALL ROADS SHALL BE DEDICATED TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
 3. ALL DRAINAGE EASEMENTS CROSSING PRIVATE PROPERTY SHALL BE RESPONSIBILITY OF PROPERTY OWNERS.
 4. PUBLIC UTILITIES, FIRE HYDRANTS AND STREET LIGHTS SHALL BE INSTALLED IN ACCORDANCE TO HARNETT COUNTY SUBDIVISION ORDINANCE.

DEED REFERENCE: DEED BK 2044, PAGE 357
 MAP REFERENCE: MAP NO. 2005-143

NORTH CAROLINA HARNETT COUNTY
 I, Mickey R. Bennett, PLS do certify that this plot was drawn under my supervision deed description recorded in Book SEE, Page REF., etc) that the boundaries not surveyed are clearly indicated as drawn from information found in Book SEE, Page REF., that the ratio of precision as calculated is 1:10000; that this plot was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, registration number and seal this 25 day of JULY, A.D. 2007.



Mickey R. Bennett
 MICKEY R. BENNETT
 L-3 1514

I, MICKEY R. BENNETT, DO HEREBY CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND



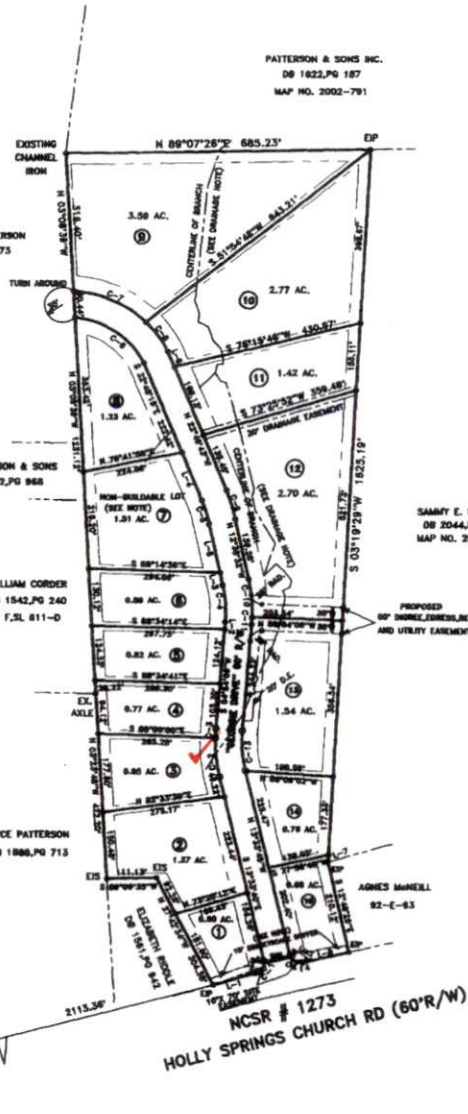
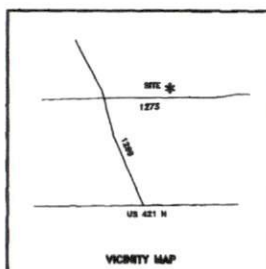
FOR REGISTRATION REGISTER OF DEEDS
 HARNETT COUNTY, NC
 2007 AUG 13 02:42:51 PM
 BK: 2007 PG: 659-700 FEE: \$21.00

INSTRUMENT # 2007014619

STATE OF NORTH CAROLINA
 COUNTY OF HARNETT
 I, *Michelle N. Temple*, REVIEW OFFICER OF HARNETT COUNTY, CERTIFY THAT THE MAP OR PLAN TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.
 8-13-07 *Michelle N. Temple*
 DATE: *REVIEW OFFICER*

NORTH CAROLINA
 HARNETT COUNTY
 This Map/Plan was presented for registration and recorded in this office at Map Number 2007-699
 This 13th day of August 2007
 at 2:42 o'clock P.M.
 KIMBERLY S. HARGROVE Register of Deeds
 By: *Angela J. Boyd*
 Assistant Register of Deeds

- LEGEND**
- LINES NOT SURVEYED ---
 - LINES SURVEYED ---
 - EP --- EXISTING IRON PIPE
 - ECM --- EXISTING CONCRETE MONUMENT
 - ES --- EXISTING IRON STAKE
 - EPN --- EXISTING P.C. NAIL
 - PKNS --- P.C. NAIL SET
 - ELS --- EXISTING LIGHTWOOD STAKE
 - N/T --- NOW OF FORMERLY
 - R/W --- RIGHT OF WAY
 - C/L --- CENTER LINE
 - NS --- NEW IRON STAKE
 - NP --- NEW IRON PIPE
 - ENMS --- EXISTING RAILROAD SPIKE
 - MS --- EXISTING RAILROAD SPIKE
 - CP --- CALCULATED POINT
 - EM --- EXISTING MAGNETIC NAIL
 - NMN --- NEW MAGNETIC NAIL
 - ESCS --- EXISTING COTTON SPINDLE
 - NCS --- NEW COTTON SPINDLE
 - EP/ETS --- (CONTROL CORNERS)
 - ECM/PKN/ECN --- (CONTROL CORNERS)
 - D.C. --- DRAINAGE EASEMENT
- NOTES: ALL DRAINAGE EASEMENTS ARE ASSUMED TO BE 10' EACH SIDE OF EXISTING DRAINAGE WAYS OR STORM DRAINAGE.



MINIMUM BUILDING SET BACKS
 FRONT YARD ----- 35'
 REAR YARD ----- 25'
 SIDE YARD ----- 10'
 CORNER LOT SIDE YARD --- 20'
 MAXIMUM HEIGHT ----- 35'

24.39 AC. TOTAL
 15 LOTS
 "GEORGE DRIVE" = 1682' LINEAR FEET

CURVE	RADIUS	LENGTH	CHORD	CH. BEARING
C-1	35.00'	38.78'	35.72'	S 31°43'00"W
C-2	340.00'	88.30'	88.00'	S 08°09'24"E
C-3	340.00'	21.47'	21.47'	S 03°00'33"W
C-4	280.00'	84.32'	84.20'	S 03°44'41"E
C-5	280.00'	58.11'	58.00'	S 17°01'31"E
C-6	190.00'	183.88'	186.41'	S 30°58'17"E
C-7	250.00'	180.08'	178.20'	N 68°17'54"W
C-8	250.00'	83.17'	83.17'	N 38°17'02"W
C-9	340.00'	88.14'	88.00'	N 17°01'31"W
C-10	340.00'	88.20'	88.97'	S 08°09'24"E
C-11	340.00'	16.43'	16.43'	S 03°31'00"W
C-13	280.00'	90.40'	90.01'	N 04°20'50"W
C-14	25.00'	38.78'	34.98'	N 58°17'00"W

COURSE	BEARING	DISTANCE
L-1	S 74°12'32"W	99.48'
L-2	S 64°48'02"W	18.80'
L-3	S 13°38'08"E	38.24'
L-4	S 22°45'10"W	118.88'
L-5	S 12°38'08"E	112.20'
L-6	N 22°48'43"W	40.00'
L-7	S 03°18'28"W	15.78'
L-8	S 77°17'18"W	106.01'

COURSE	BEARING	DISTANCE
L9	N 08°17'00"W	15.80'
L10	S 31°43'00"W	38.72'
L11	N 08°17'00"E	4.87'
L12	N 31°43'00"E	15.80'
L13	N 08°17'00"E	34.88'
L14	S 31°43'00"W	7.00'

ALL LOTS TO BE SERVED BY PUBLIC WATER & PRIVATE SEPTIC SYSTEMS.

OWNER/DEVELOPER: EDWARD B. PATTERSON
 911 LLOYD STEWART RD.
 BROADWAY, NC 27505
 919-499-3416

SURVEY FOR: CEDAR LANDING S/D		BENNETT SURVEYS, INC. 1662 CLARK RD., LILLINGTON, N.C. 27546 (910) 893-5252	
TOWNSHIP: UPPER LITTLE RIVER	COUNTY: HARNETT	100 0 200	SURVEYED BY: _____
STATE: NORTH CAROLINA	DATE: APRIL 10, 2007	SCALE: 1" = 200'	DRAWN BY: RVB
ZONE: RA-30	WATERSHED DISTRICT: WS - IV	TAX PARCEL ID#: 13-0601-0082	CHECKED & CLOSURE BY: _____
			FIELD BOOK: _____
			DRAWING NO: _____
			05285

MAGNETIC NORTH
 MAP NO. 2005-143

Map# 2007-699