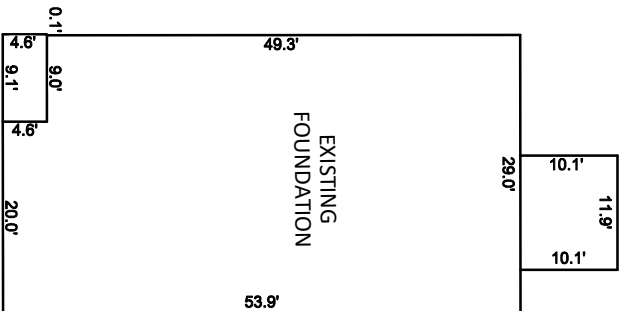


**LOT INFORMATION:**

PIN: 0529-88-7003.000  
 REFERENCE: DB 4228, PG. 2535-2537  
 TOTAL LOT AREA = 0.639 AC = 27,838 SF  
 FOUNDATION = 1,684 SF  
 EXISTING IMPERVIOUS = 1,684 SF  
 PERCENT IMPERVIOUS = 6.05%  
 MAXIMUM IMPERVIOUS = 7,000 SF

CURVE	RADIUS	LENGTH	CHORD DIRECTION	CHORD
C57	550.00'	100.14'	N14°02'27"W	100.00'



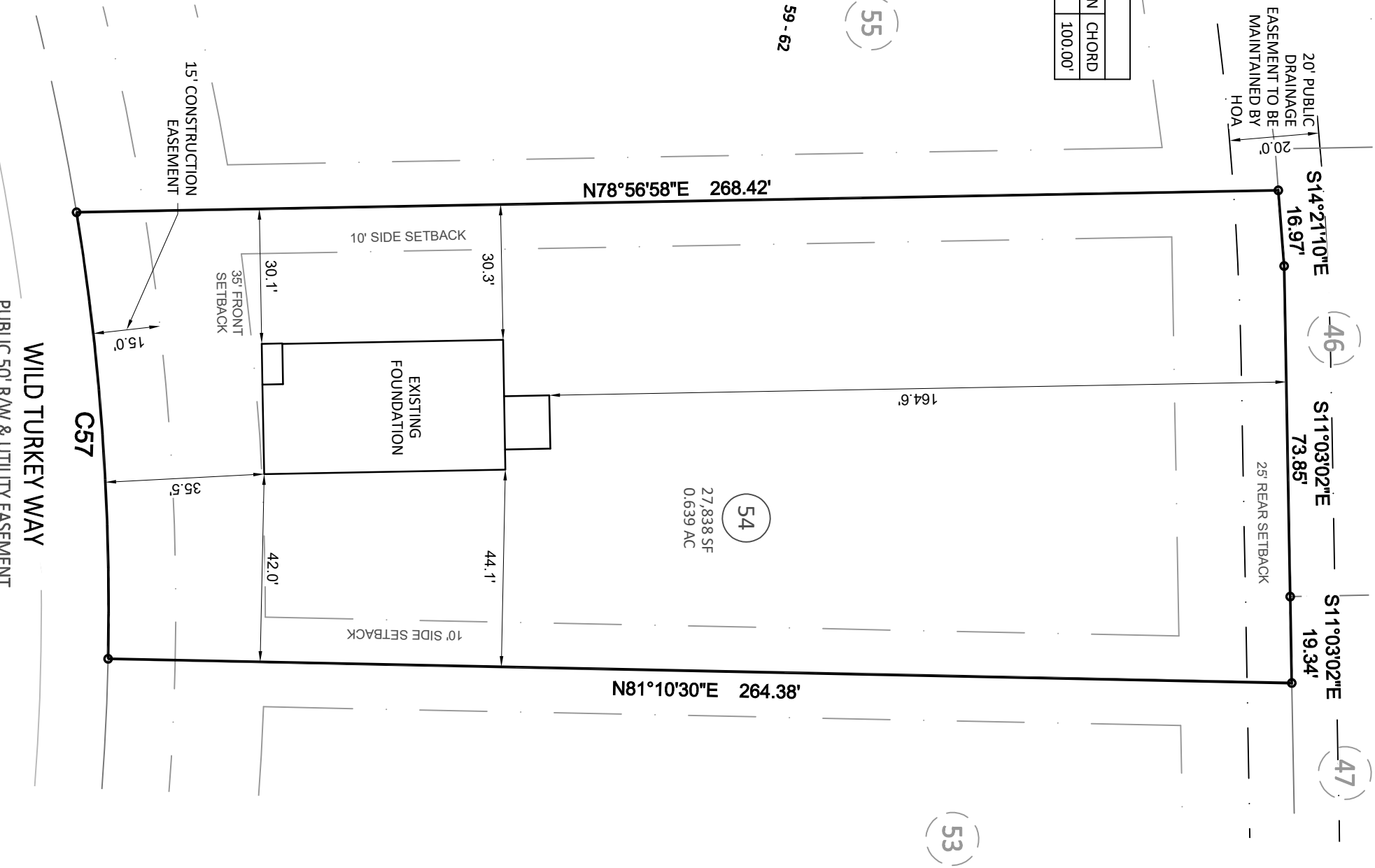
INSET SCALE: 1"=20'




BUILDING SETBACKS  
 FRONT - 35' FROM R/W  
 REAR - 25'  
 SIDE - 10'  
 SIDE CORNER - 20'

- NOTES:**
1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
  2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
  3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT
  4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
  5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS
  6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK
  7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS, FLOOD ZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM.
  8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
  9. ZONING: RA-30
  10. PROPERTY OWNER: DAVIDSON HOMES LLC  
1903 NORTH HARRISON AVENUE  
CARY, NC 27513

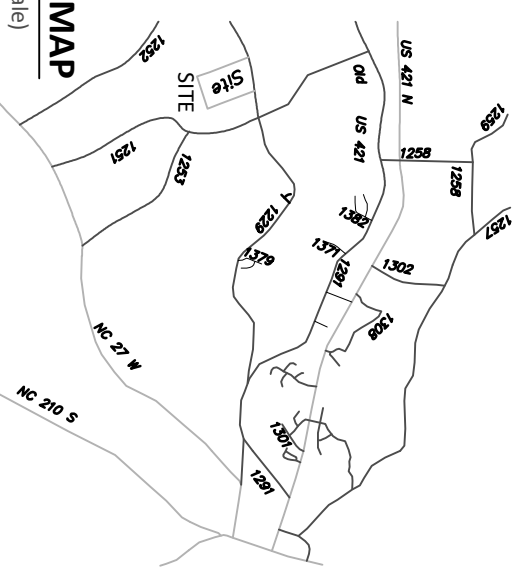
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 www.batemancivilsurvey.com info@batemancivilsurvey.com  
 NCBELS Firm No. C-2378


**VICINITY MAP**  
 (Not to Scale)



**LEGEND**

PO = PORCH  
 SP = SCREENED PORCH/PATIO  
 CP = COVERED PORCH/PATIO  
 WD = WOOD DECK  
 SW = SIDEWALK  
 DW = CONC DRIVEWAY  
 P = CONC PATIO  
 X = COMPUTED POINT  
 \* = MAG NAIL FOUND  
 o = IRON PIPE FOUND  
 ● = IRON PIPE SET  
 ● = DRILL HOLE FOUND  
 (M) = WATER METER  
 CO = CLEAN OUT  
 AC = AIR CONDITIONER  
 ● = SEWER MANHOLE  
 (EB) = ELECTRIC BOX  
 ○ = CABLE BOX  
 □ = TELEPHONE PEDESTAL  
 CB = CATCH BASIN  
 IC = IRRIGATION CONTROLLER  
 ✕ = LIGHT POLE  
 ○ = UTILITY POLE  
 ● = FIRE HYDRANT  
 DI = DRAIN INLET  
 WV = WATER VALVE  
 X = STREET SIGN  
 YI = YARD INLET  
 G = GAS METER  
 E = ELECTRIC METER

This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.



**FOUNDATION SURVEY**  
 FOR  
**DAVIDSON HOMES**  
**WELLERS KNOLL - LOT 54**  
 81 WILD TURKEY WAY, LILLINGTON, NC  
 UPPER LITTLE RIVER TOWNSHIP, HARNETT COUNTY  
 DATE: 5/3/24 DRAWN BY: AMG CHECKED BY: SPC  
 REFERENCE: BM 2023 PG. 59-62 BCS# 230051 SCALE: 1" = 30'