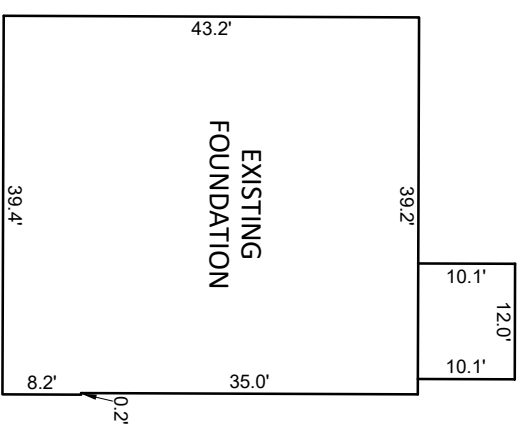


**LOT INFORMATION:**

PIN: 0529-88-1098.000  
 REFERENCE: DB 4183, PG. 652-657  
 TOTAL LOT AREA = 0.685 AC = 29,830 SF  
 FOUNDATION = 1,820 SF  
 EXISTING IMPERVIOUS = 1,820 SF  
 PERCENT IMPERVIOUS = 6.10%  
 MAXIMUM IMPERVIOUS = 7,000 SF



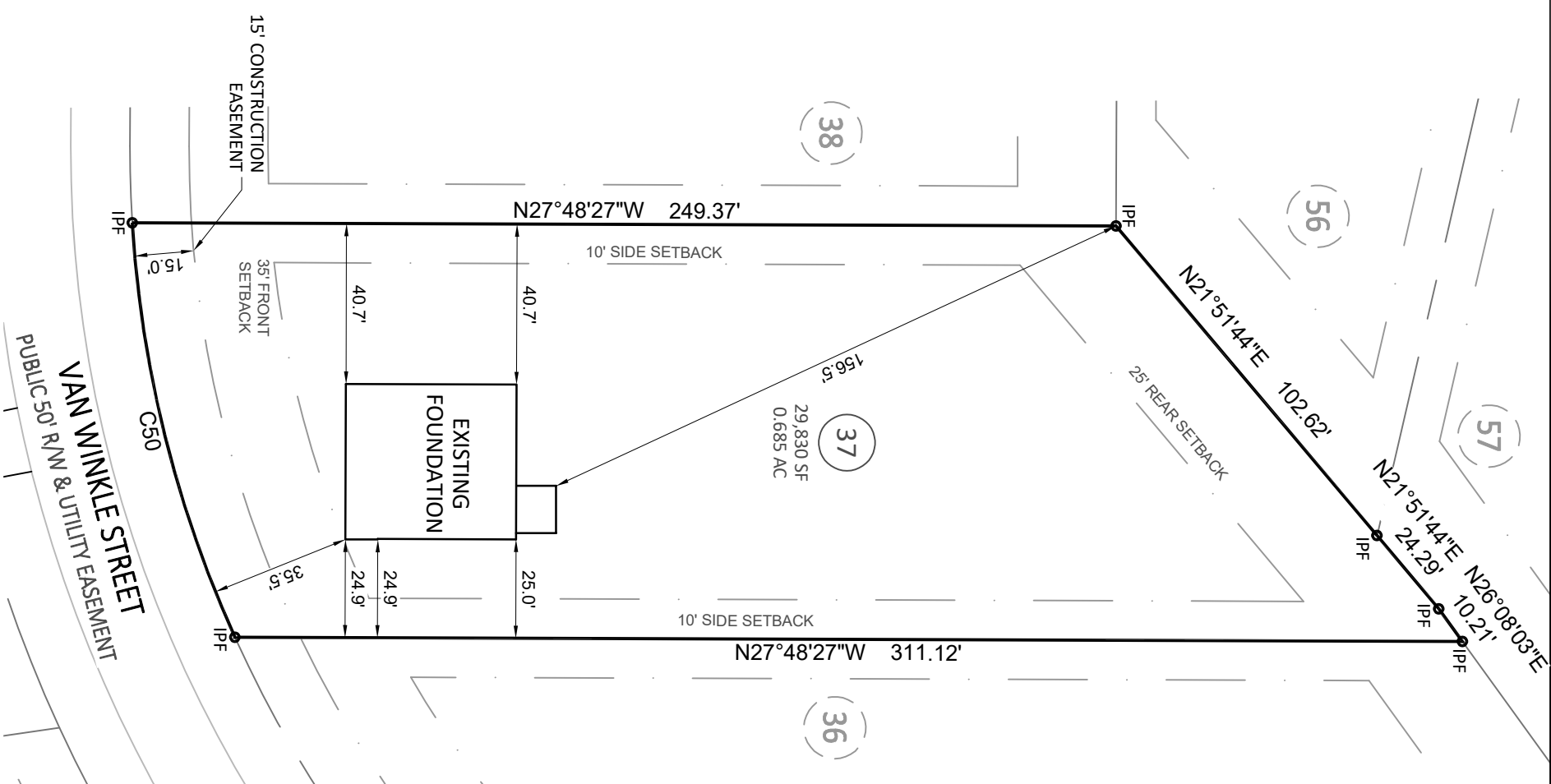
INSET SCALE: 1" = 20'

CURVE	RADIUS	LENGTH	CHORD DIRECTION	CHORD
C50	300.00'	108.88'	N48°04'55"E	108.27

**NOTES:**

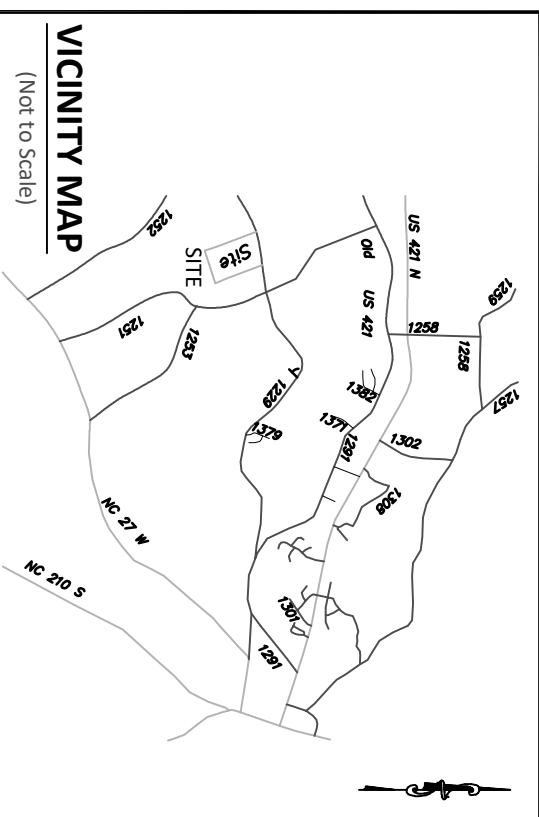
1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS
6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK
7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS, FLOOD ZONES, OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM.
8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
9. ZONING: RA-30
10. PROPERTY OWNER: DAVIDSON HOMES  
1903 NORTH HARRISON AVENUE  
CARY, NC 27513

**BUILDING SETBACKS**  
 FRONT - 35' FROM RW  
 REAR - 25'  
 SIDE - 10'  
 SIDE CORNER - 20'



**Bateman Civil Survey Company**

Engineers • Surveyors • Planners  
 2524 Reliance Avenue, Apex, NC 27539 Ph: 919.577.1080 Fax: 919.577.1081  
 www.batemancivilsurvey.com info@batemancivilsurvey.com  
 NCBELS Firm No. C-2378

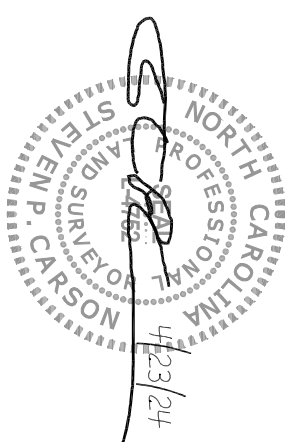


**VICINITY MAP**

(Not to Scale)

**LEGEND**  
 PO = PORCH  
 SP = SCREENED PORCH/PATIO  
 CP = COVERED PORCH/PATIO  
 WD = WOOD DECK  
 SW = SIDEWALK  
 DW = CONC DRIVEWAY  
 P = CONC PATIO  
 X = COMPUTED POINT  
 \* = MAG NAIL FOUND  
 ○ = IRON PIPE FOUND (IPF)  
 ● = IRON PIPE SET (IPS)  
 ○ = DRILL HOLE FOUND  
 (WMD) = WATER METER  
 (WMO) = WATER METER  
 CO = CLEAN OUT  
 AC = AIR CONDITIONER  
 ● = SEWER MANHOLE  
 (EB) = ELECTRIC BOX  
 ○ = CABLE BOX  
 □ = TELEPHONE PEDESTAL  
 □ = CATCH BASIN  
 IC = IRRIGATION CONTROLLER  
 ✱ = LIGHT POLE  
 ○ = UTILITY POLE  
 ● = FIRE HYDRANT  
 DI = DRAIN INLET  
 W = WATER VALVE  
 X = STREET SIGN  
 Y = YARD INLET  
 G = GAS METER  
 E = ELECTRIC METER

I, STEVEN P. CARSON, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY DIRECT SUPERVISION FROM A SURVEY MADE UNDER MY SUPERVISION (PLAT BOOK REFERENCED IN TITLE BLOCK), THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION LISTED UNDER REFERENCES; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARD OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA. L-4752 DATED: 4/23/24



This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

**FOUNDATION SURVEY**  
 FOR  
**DAVIDSON HOMES**

**WELLERS KNOLL - LOT 37**  
 179 VAN WINKLE STREET, LILLINGTON, NC  
 UPPER LITTLE RIVER TOWNSHIP, HARNETT COUNTY

DATE: 4/23/24 DRAWN BY: AJR CHECKED BY: SPC  
 REFERENCE: BM 2023 PG. 59-62 BCS# 230051 SCALE: 1" = 40'