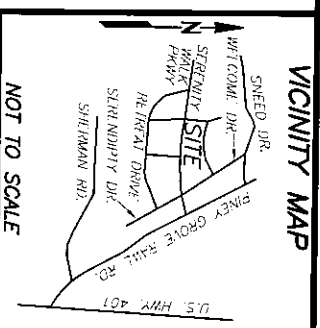


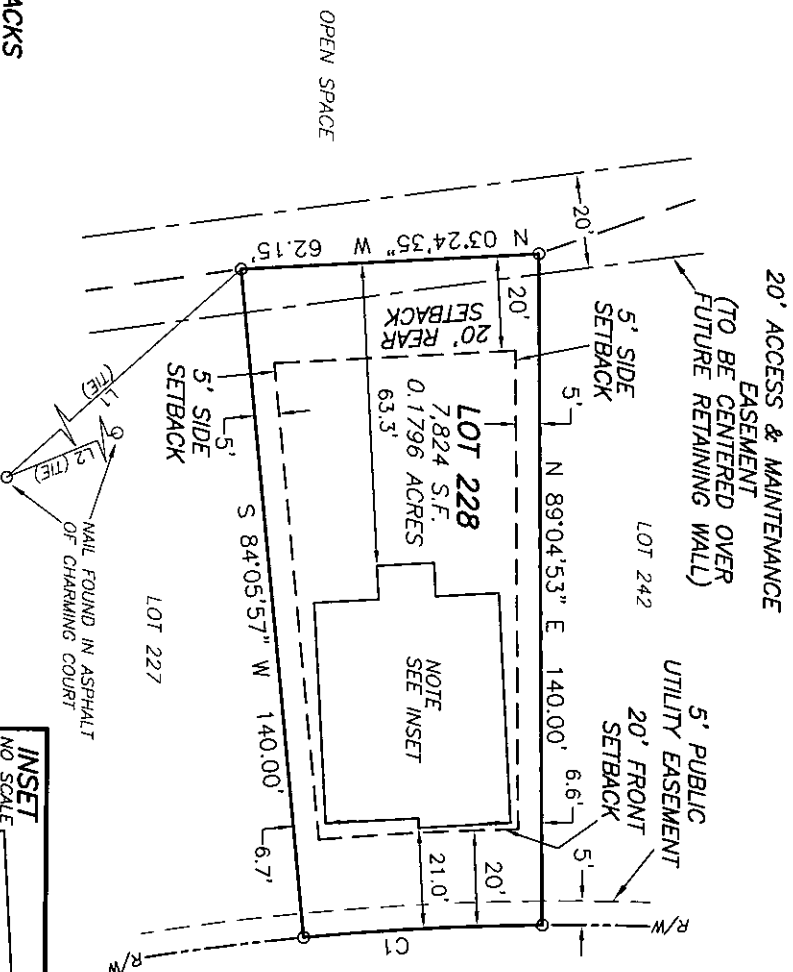
CURVE TABLE						
CURVE	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BRG
C1	4°58'56"	575.00'	50.00'	49.98'	25.02'	S 03°24'35" E

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 42°03'08" E	363.53'
L2	N 22°10'56" W	143.16'

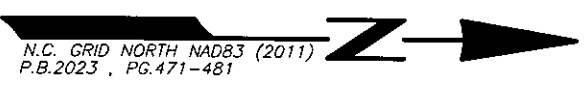


NOT TO SCALE

- REFERENCES:
- D.B. 4229 PG. 1542
P.N. 0645-83-9422.000
P.I.D. 08065502 0032 68
- NOTICE OF DEVELOPMENT GUIDELINES:
- D.B. 4149, PG. 210
 - RESTRICTIVE COVENANTS:
 - D.B. 4109, PG. 612



CHARMING COURT
(50' PUBLIC R/W & UTILITY)



SETBACKS
>43' LOT WIDTHS
FRONT YARD-20'
SIDE YARD-5'
REAR YARD-20'
CORNER SIDE-12'

NOTES:

- ALL EASEMENTS, RIGHTS OF WAY AND BOUNDARY INFORMATION TAKEN FROM P.B. 2023, PG. 471-481 UNLESS OTHERWISE NOTED.
- PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN DONE BY ROBINSON & PLANTE, P.C.

NOTE:
RATIO OF PRECISION IS 1:10,000+, MISCLASURE WAS DISTRIBUTED BY THE COMPASS METHOD. THE DISTANCES ON THIS MAP ARE ADJUSTED HORIZONTAL GROUND UNLESS NOTED OTHERWISE. ALL AREAS ARE CALCULATED BY COORDINATE COMPUTATION.

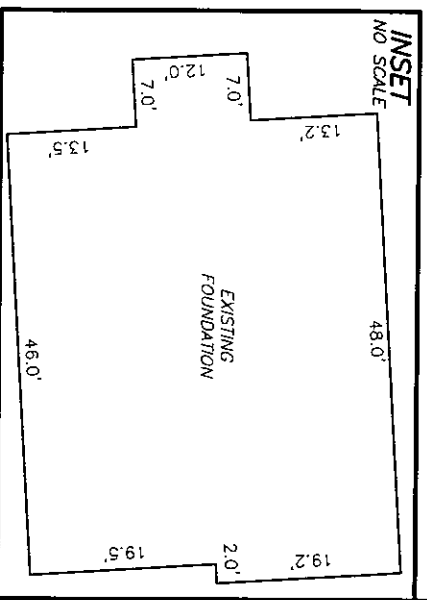
LOT 228 SERENITY SUBDIVISION

PHASE 2E
67 CHARMING COURT
HARNETT COUNTY
FUQUAY-VARINA, N.C. 27526

REFERENCE: PLAT BOOK 2023 PAGE 471-481.



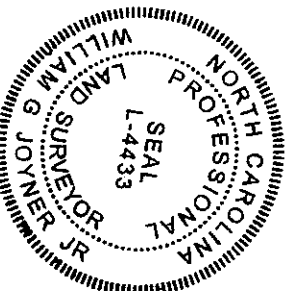
FILE: STY101228FD



FOUNDATION SURVEY FOR
DREES HOMES

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION DESCRIPTION RECORDED IN REFERENCES AS SHOWN THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN INFORMATION THAT THE RATIO OF PRECISION IS 1:10,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.16000).

THIS 23rd DAY OF APRIL 2024,
William G. Joyner Jr.
PROFESSIONAL LAND SURVEYOR L-4433



ROBINSON & PLANTE PC
LAND SURVEYING
C-2687

970 TRINITY ROAD
RALEIGH, N.C. 27607
PHONE (919) 859-6030
FAX (919) 859-6032

DATE: 4-22-24

SCALE: 1"=40'