

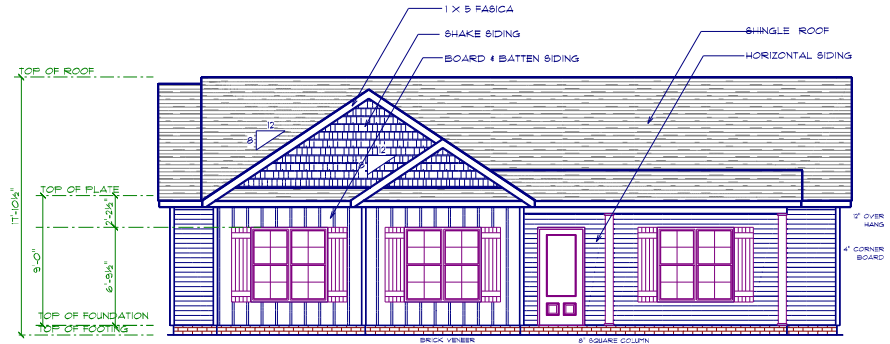
**ELEVATION NOTES**  
 GRADE ELEVATIONS SHOWN DO NOT NECESSARILY REFER TO THIS OR ANY OTHER LOT. THEY ARE FOR DIAGNOSTIC PURPOSES ONLY AND MAY VARY. BUILDER IS RESPONSIBLE FOR ADAPTING THIS PLAN TO SUIT THE EXISTING TOPOGRAPHY OF THE SITE.  
 ROOF VENTILATION TO BE DETERMINED BY BUILDER AS PER CODE.  
 ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MIN. NET CLEAR OPENING OF 4.0 SQ. FT. THE MIN NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 21". THE MIN NET CLEAR OPENING WIDTH SHALL BE 20".  
 EACH EGRESS WINDOW FROM SLEEPING ROOMS MUST HAVE A SILL LIGHT OF NO MORE THAN 4" FROM THE FLOOR. ALL WINDOW SIZES ARE NORMAL AND ARE TO BE VERIFIED WITH MANUFACTURER FOR AVAILABILITY AND CONFORMITY TO STATE AND LOCAL CODE REQUIREMENTS.  
 PORCHES, BALCONIES, OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT.

ASSUME NO RESPONSIBILITY FOR ANY DISTANCES AFTER START OF CONSTRUCTION.  
 CONTRACTOR/BUILDER SHALL CONSULT WITH HOME OWNER ON ALL INTERIOR AND EXTERIOR HOLDINGS, TRIM, COLORS, FINISHES, CABINET LAYOUTS, AND MANUFACTURERS BEFORE CONSTRUCTION BEGINS.  
 ALL BEAMS AND FRAMING MEMBERS ARE SIZED BY OTHERS.

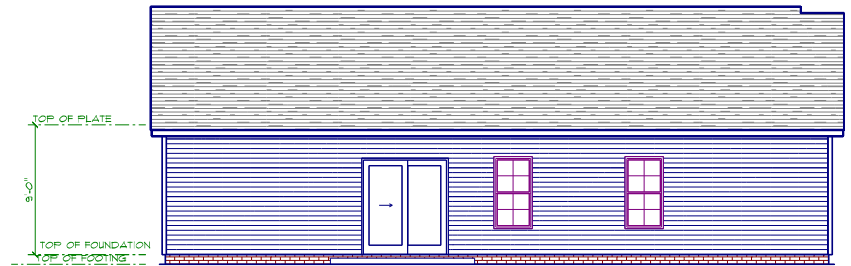
1.1 This plan has been drawn to comply with the 2018 NC Building Code

- 1.2 Minimum Design Loads for Building and Other Structures ASCE 1-98B
- 2 Roof Dead Load 115 PSF
  - 3 Roof Live Load 20 PSF
  - 4 Typical Floor Dead Load 10 PSF
  - 5 Floor Live Loads
    - 5.1 Rooms other than sleeping rooms 40 PSF
    - 5.2 Sleeping Rooms 30 PSF
    - 5.3 Stairs 40 PSF
    - 5.4 Decks 40 PSF
    - 5.5 Exterior Balconies 60 PSF
  - 6 Wind Loads
    - 6.1 Ultimate Design Wind Speeds 15 MPH
    - 6.2 Wind Importance Factor,  $I_W$  1.00
    - 6.3 Exposure B
    - 6.4 Walls (Component and Cladding) 25 PSF
    - 6.5 Roofs (Component and Cladding)
      - 6.5.1 Roof Slopes 2/12 to 11/12 34.8 PSF
      - 6.5.2 Roof Slopes 1/12 to 12/12 21 PSF

It is the sole responsibility of the Contractor and/or Builder to perform up all standards, provisions, requirements, methods of construction and use of materials provided in building codes and structures as required by NC Uniform Building Code, Local Agencies and in accordance with good engineering practices. Verify all dimensions prior to construction.



**FRONT ELEVATION**  
 SCALE: 1/4"



**REAR ELEVATION**  
 SCALE: 1/4"



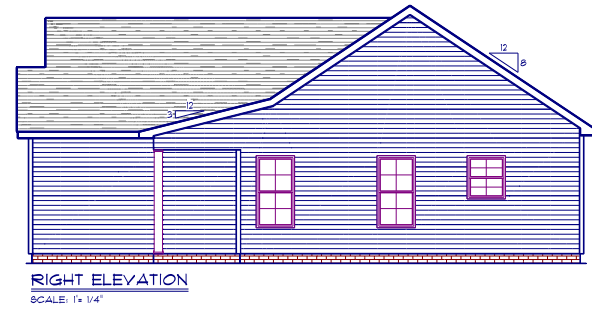
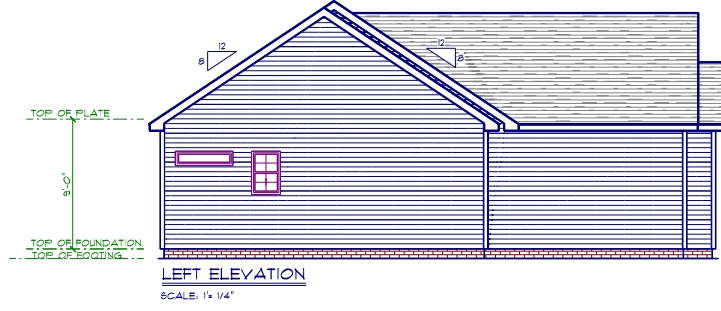
Drone Remote Design  
 Life  
 Sanford, N.C. 27335  
 919-700-0350  
 817-600-0414

SCALE: 1/4"  
 DRAWN BY:  
 DATE: 2/18/2024

CRH HOMES

THE WYATT

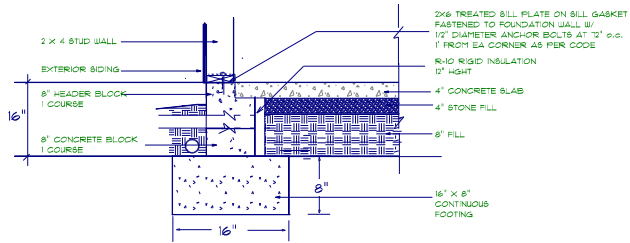
FRONT & REAR  
 ELEVATIONS B



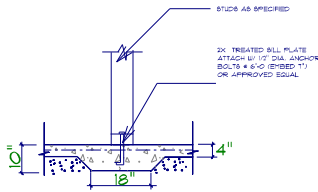
<p><b>RIGHT &amp; LEFT ELEVATIONS</b></p>	<p><b>THE WYATT RIGHT FRONT PORCH</b></p>	<p><b>CRH HOMES</b></p>	<p>SCALE: 1/4" DRAWN BY: DATE: 11/30/2023</p>	<p>DRD Drew Rivers Design 2100 S. Salisbury Blvd. Salisbury, N.C. 27332 910-750-0893 910-750-0894 910-750-0895</p>	<p>2A</p>
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**FOUNDATION NOTES:**  
 ALL FOOTINGS SHALL BEAR ON ORIGINAL UNDISTURBED SOIL.  
 THE 28 DAY COMPRESSIVE STRENGTH OF ALL FOOTINGS IS 3000 PSI.  
 PROVIDE WATER PROOFING AND PERIMETER DRAINING AS REQUIRED.  
 FOUNDATION CONCRETE MIX TO HAVE 1/2" MAX AGGREGATE SIZE. CONCRETE SHALL NOT TO HAVE 1/2" MAX AGGREGATE SIZE.  
 FOOTINGS BOTH ARE BASED ON A LOAD-BEARING SOIL CAPACITY OF 3000 PSI.  
 PROVIDE A MIL POLY VAPOR BARRIER TO COVER GROUND SURFACE IN DRILL SPACE.  
 ALL ANCHOR BOLTS TO BE 1" LONG, 1/2" DIA. AND ANCHOR BOLTS SHALL BE SPACE AT A MAX OF 4' OC AND NO MORE THAN 1' FROM EA CORNER.

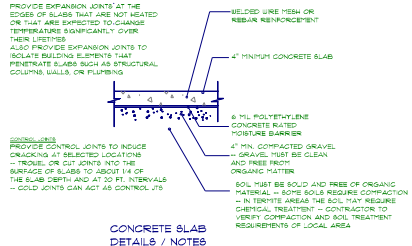
**Termite Soil Treatment:** Treat entire slab area soil or crawl space surface before vapor barrier is installed and slab is poured with a state approved termiticide. Termiticide should be applied by a licensed and certified pest control professional by the state of North Carolina.



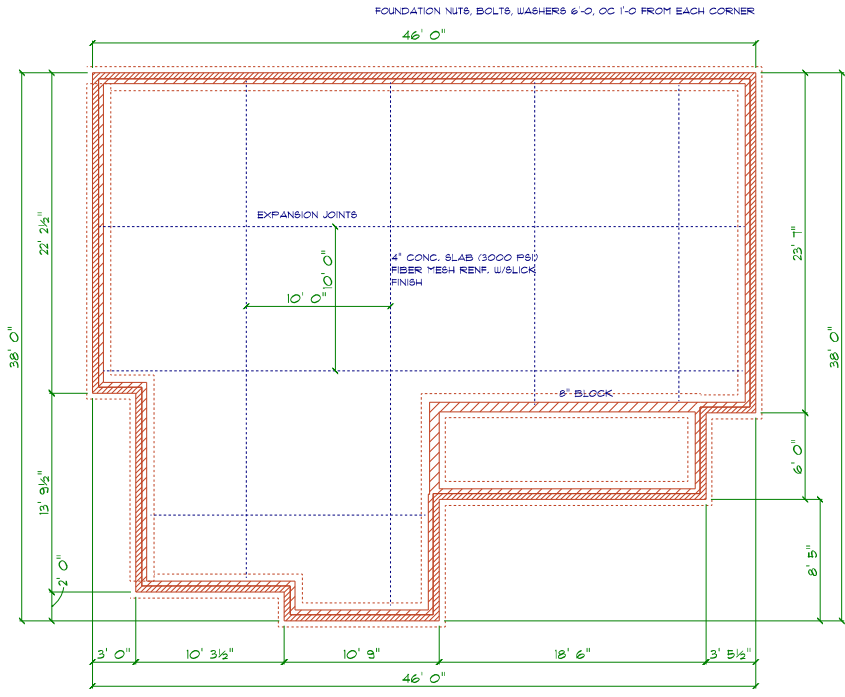
**STEM WALL FOUNDATION Detail** not to scale



**TYPICAL THICKENED SLAB**




**CONCRETE SLAB DETAILS / NOTES**



**FOUNDATION PLAN**

SCALE: 1" = 1/4"



DRD  
 Design & Drafting  
 4005 Industrial Blvd  
 Sanford, N.C. 27332  
 919.286.0000  
 www.drddesign.com

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SCALE: 1" = 1/4"  
 DRAWN BY:  
 DATE: 11/09/2023

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**LAMCO HOMES**

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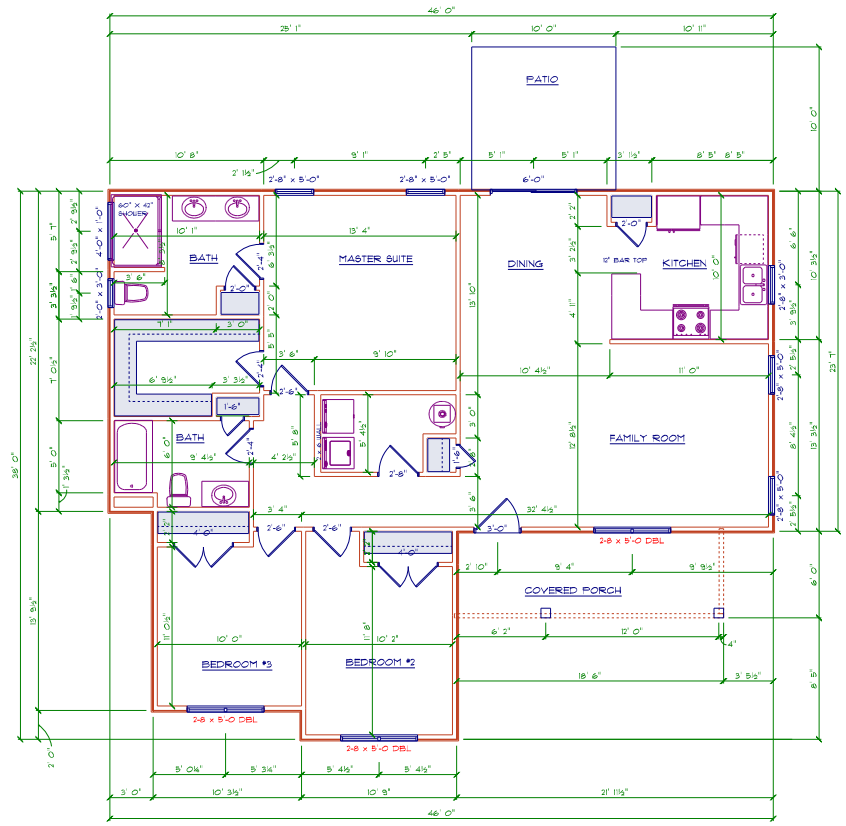
**THE WYATT  
 RIGHT FRONT PORCH**

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**STEM WALL  
 FOUNDATION**

**GENERAL FRAMING NOTES:**  
 ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.  
 FRAMING LUMBER SHALL BE BY 1/4 GRADE AND/OR BRIDGE PINE FOR FLOOR OR 1/4 SUD ORED.  
 WHERE PRE-ENGINEERED JOISTS ARE USED, JOIST MANUFACTURER SHALL PROVIDE SHOP DRAWINGS, WHICH BEAR SEAL OF A P.C. ENGINEER.  
 STUDS AND JOISTS SHALL NOT BE CUT TO INSTALL PUMPING OR WIRING WITHOUT ADDING METAL OR WOOD SIDE PANELS TO STRENGTHEN THE MEMBER TO ITS ORIGINAL CAPACITY.  
 NAIL MULTIPLE MEMBERS WITH 1 ROW OF 16D NAILS STAGGERED 30" OC AN USE 16D NAILS 1" IN AT EACH END. DOUBLE ALL STUDS UNDER ROOF PITCH DOGMS AND NAIL FLOOR JOISTS TO BIL PLATE WITH 8D TOE NAILS.  
 ALL EXPOSED FRAMING ON PORCHES AND DECKS SHALL BE PRESSURE TREATED. PROVIDE WATERPROOFING AND DRAIN AS REQUIRED.  
 ALL FRAMING TO BE 6" OC UNL. WALL FRAMING DIMENSIONS ARE BASED ON 2 X 4 STUDS UNL. DOUBLE STUDS UNDER ALL HEADERS.  
 LVL'S AND T&S TO BE SIZED BY OTHERS.  
 EXTERIOR WALLS IN LIVING AREAS ARE 2 X 4

OPENING SCHEDULE				
SIZE	COUNT	LIBRARY NAME	R.O. HEIGHT	R.O. WIDTH
2'-8" x 3'-0"	1	Window\Single Hung	36"	32"
2'-8" x 5'-0"	4	Window\Single Hung	60-1/2"	32"
2-8 x 5'-0 DBL	3	Window\Single Hung	60-1/2"	64"
2'-0" x 3'-0"	1	Window\Single Hung	36"	24"
4'-0" x 1'-0"	1	Window\Transom	12"	48"



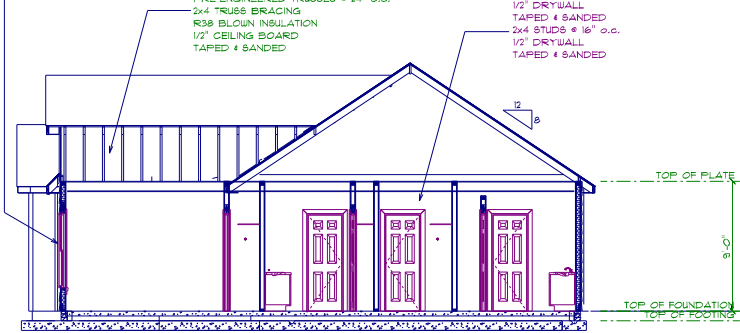
**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

AREA SCHEDULE	
NAME	AREA
Heated	1384 sq. ft.
Covered Front Porch	108 sq. ft.

TYPICAL 2x4 SIDING EXTERIOR WALL:  
 HORIZONTAL SIDING  
 1/8" PLYWOOD SHEATHING  
 2x4 STUDS @ 16" o.c.  
 R15 BATT INSULATION  
 1/2" DRYWALL  
 TAPED & SANDED

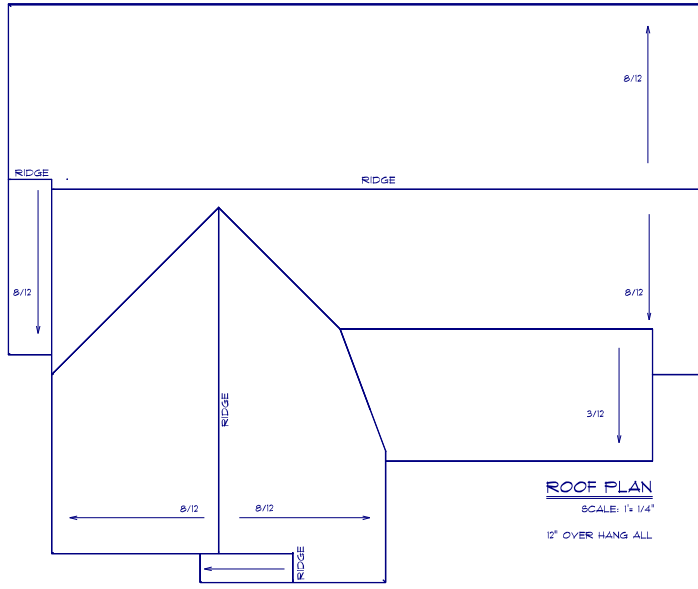
TYPICAL TRUSS ROOF:  
 SHINGLES  
 1/8" ROOFING PLYWOOD @ 1/8"  
 1" CLIPS  
 BLOCK & BRACE PER TRUSS MGR.  
 PRE-ENGINEERED TRUSSES @ 24" o.c.  
 2x4 TRUSS BRACING  
 R38 BLOWN INSULATION  
 1/2" CEILING BOARD  
 TAPED & SANDED

TYPICAL 2x4 WALL:  
 1/2" DRYWALL  
 TAPED & SANDED  
 2x4 STUDS @ 16" o.c.  
 1/2" DRYWALL  
 TAPED & SANDED



**SECTION A**  
 SCALE: 1" = 1/4"

**ROOF NOTES:**  
 TRUSSES, BRACINGS, BRIDGING AND CONNECTORS ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER.  
 IDENTIFY LUMBER BY OFFICIAL GRADE MARKINGS.  
 DO NOT CUT OR REMOVE CHORDS OR OTHER TRUSS MEMBERS.  
 DO NOT NOTCH OR DRILL TRUSS MEMBERS.  
 WHERE PRE-ENGINEERED ROOF TRUSSES ARE USED, TRUSS MANUFACTURERS SHALL PROVIDE SHOP DRAWINGS, WHICH BEAR SEAL OF A N. C. REGISTERED ENGINEER.



**ROOF PLAN**  
 SCALE: 1" = 1/4"  
 12" OVER HANG ALL

BA

DRD  
 6028 Packaged Linc  
 919-700-0353  
 gpl@homepartners.net

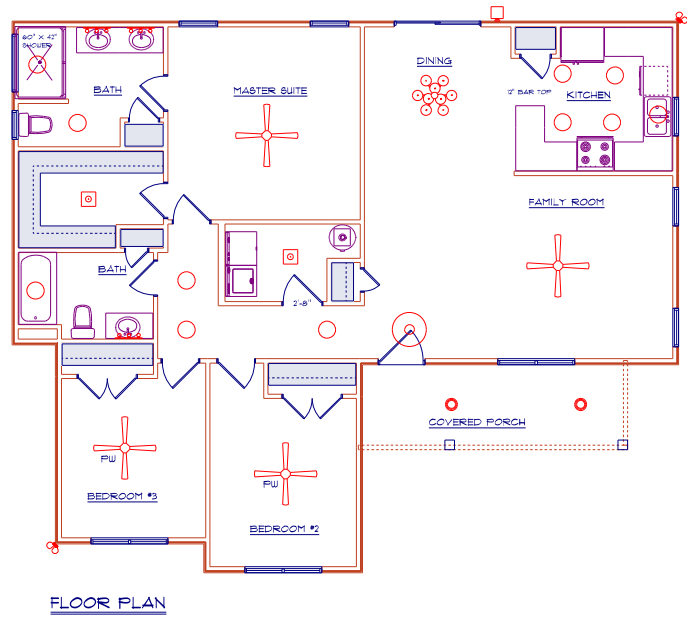
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CRH HOMES

THE WYATT  
 RIGHT FRONT PORCH

DETAIL SHEET

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
ceiling fan	2	
10" led	2	
7" led	12	
foyer light	1	
dinning room light	1	
ceach light	1	
exterior over head light	2	
floor light	2	
vanity bar light	3	
wall sconce		
pendant light		



Diane Rivers Designs  
 10000 W. Highway 101  
 Sanford, N.C. 28783  
 919-707-0383  
 diane@drdnc.com

SCALE: 1" = 1'-0"  
 DRAWN BY:  
 DATE: 2/28/2024

CRH HOMES

THE WYATT

ELECTRICAL  
 LAYOUT