

Benton Dewar & Associates
Professional Land Surveyor
5920 Honeycutt Road
Holly Springs, NC 27540
Office – 919-552-9813
Cell – 919-868-1449
e-mail – bentondewar@gmail.com

Date : 7/22/2024

INVOICE

Mack & Danielle Carter
56 Hazel Sue Land
Fuquay-Varina, NC 27526

RE: Lot 3 Bryan & Terri Howell Division
Book of Maps 2022 Page 4
Deed Book 3793 Page 742

Office research. Field survey crew to site, search for and check property corners. Locate foundation and measure up. Office computations, drafting and email drawing to you.

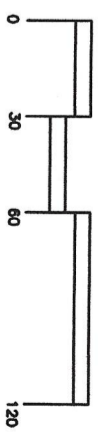
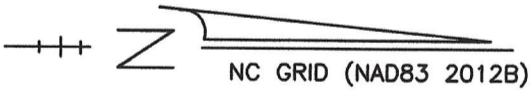
TOTAL - \$ 75.00

Terms : A service charge of 1.5% per month will be added to any outstanding balance.

LEGEND
 D.B. - DEED BOOK
 B.M. - BOOK OF MAPS
 SQ.FT. - SQUARE FEET
 EIP - EXISTING IRON PIPE
 EIS - EXISTING IRON STAKE
 ISS - IRON STAKE SET
 R/W - RIGHT OF WAY
 WM - WATER METER
 CO - CLEAN OUT
 INTX. - INTERSECTION
 TP - TELEPHONE PEDESTAL
 CATV - CABLE TV PEDESTAL
 ET - ELECTRIC TRANSFORMER
 GM - GAS METER
 HVAC - HEAT/AC UNIT
 MBL - MINIMUM BUILDING LINE

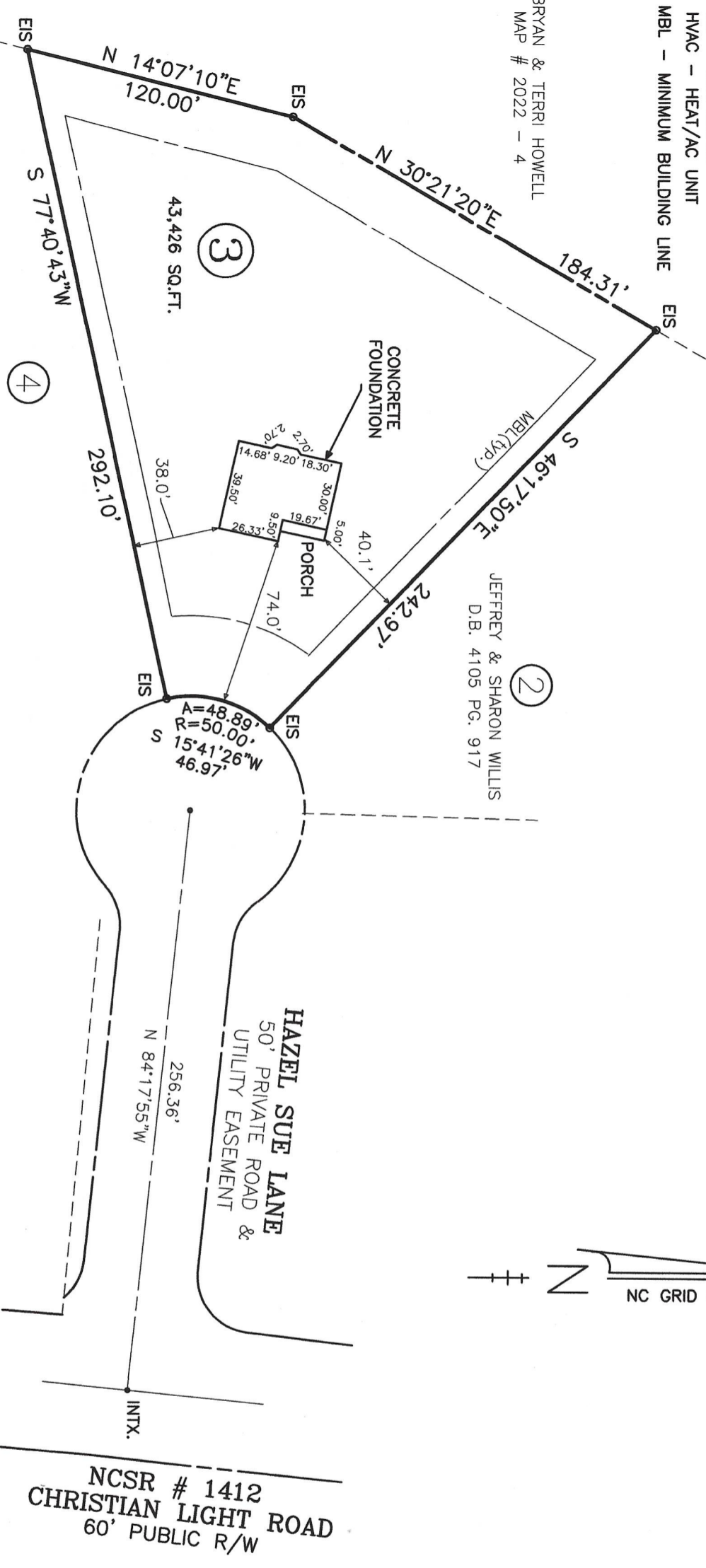
NOTES
 AREA BY COORDINATES.
 THIS PROPERTY IS NOT LOCATED IN A FEMA MAPPED FLOOD HAZARD AREA. FEMA MAP # 3720064400J; ZONE X; EFF. DATE 10/3/2006.
 SUBJECT TO ABOVE AND OR UNDERGROUND UTILITIES AND OR EASEMENTS.

HARNETT COUNTY JURISDICTION
 PROPERTY ZONED - RA 30
 MINIMUM BUILDING SETBACKS
 FRONT - 35'
 SIDE - 10'
 CORNER SIDE - 20'
 REAR - 25'



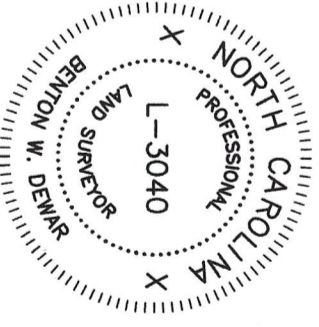
FOUNDATION LOCATION SURVEY
 PROPERTY OF
MACK & DANIELLE CARTER
 56 HAZEL SUE LANE
 FUQUAY-VARINA, NC 27526
 LOT 3 BRYAN & TERRI HOWELL DIVISION
 MAP # 2022 - 4
 DEED BOOK 3793 PAGE 742
 PIN # 0644-17-4524.000
 HECTOR'S CREEK TOWNSHIP
 HARNETT COUNTY - NORTH CAROLINA
 SCALE : 1" = 60' - JULY 22, 2024

BENTON DEWAR & ASSOCIATES
 PROFESSIONAL LAND SURVEYOR
 5920 HONEYCUTT ROAD
 HOLLY SPRINGS, NC 27540
 (919)-552-9813



JUSTON & FRANCES SIMO
 D.B. 4111 PG. 601

JEFFREY & SHARON WILLIS
 D.B. 4105 PG. 917



NCSR # 1412
 CHRISTIAN LIGHT ROAD
 60' PUBLIC R/W

24-32s#2
 MCKINNY\14A\600

I, BENTON W. DEWAR CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; BOOK 3793 PAGE 742 THAT THE BOUNDARIES NOT SURVEYED THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK 3793 PAGE 742 THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1:110.00 THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 24TH DAY OF JULY, A.D. 2024
 BENTON W. DEWAR
 PROFESSIONAL LAND SURVEYOR L-3040

THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS.