

LOT INFORMATION:

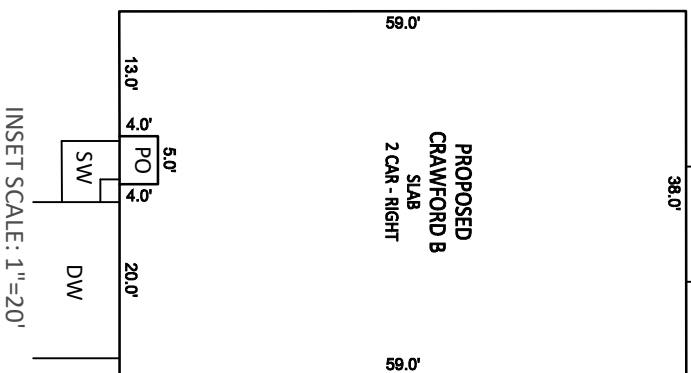
PIN: 9681-61-6022.000
 REFERENCE: DB, 4093 PG. 784
 TOTAL LOT AREA = 0.465 AC = 20,245 SF
 HOUSE = 2,222 SF
 PORCH = 20 SF
 SIDEWALK = 34 SF
 DRIVEWAY = 601 SF
 PATIO = 120 SF
 PROPOSED IMPERVIOUS = 2,997 SF
 PERCENT IMPERVIOUS = 14.80 %



N/E
 TOMMY L. HOLDER
 & GAIL C. HOLDER
 DB, 3352 PG. 871
 PIN: 9681-70-1964.000

BK 2023 PG 335

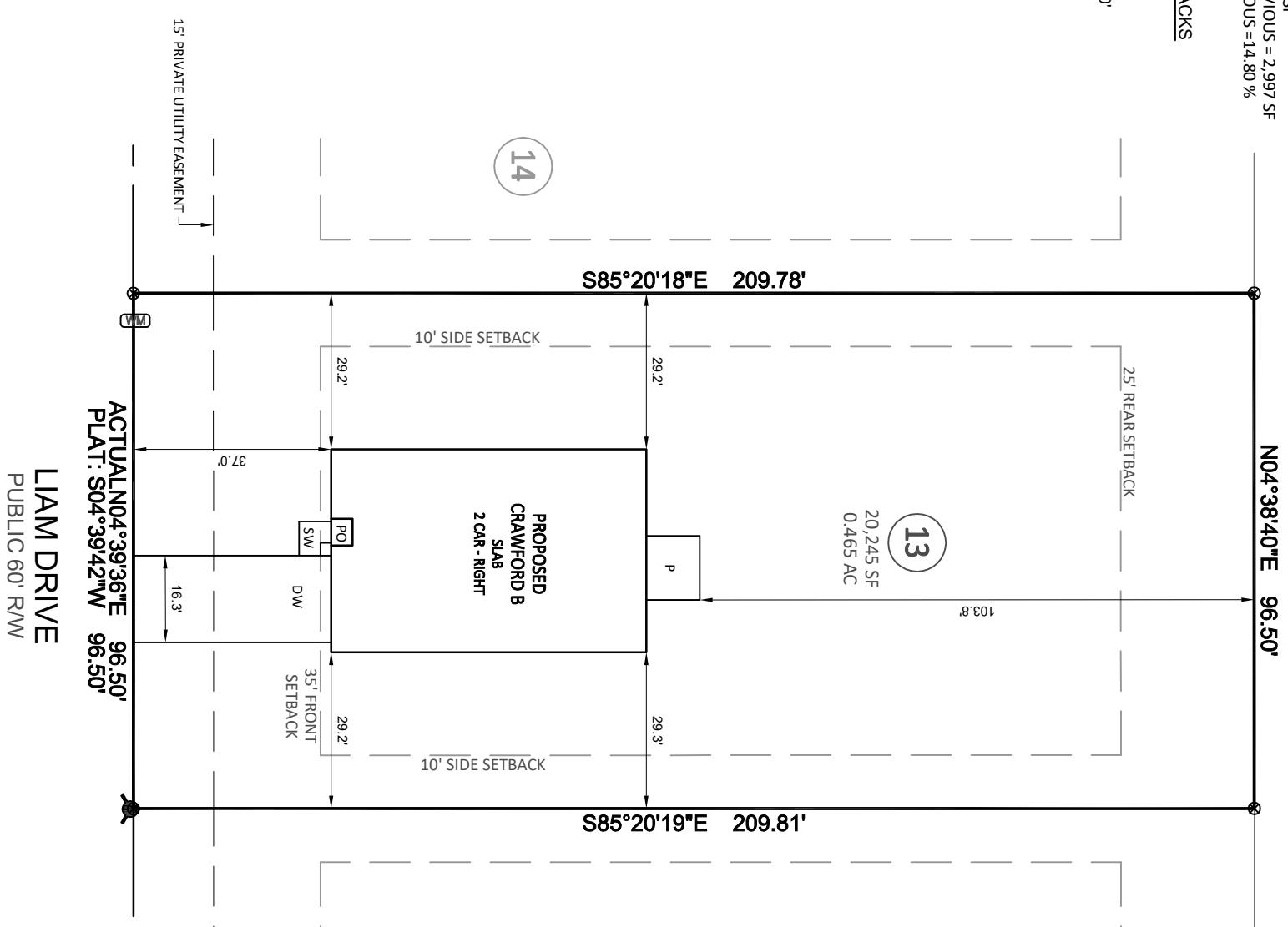
BUILDING SETBACKS
 FRONT - 35'
 REAR - 25'
 SIDE - 10'
 CORNER SIDE - 20'



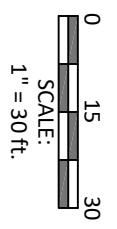
INSET SCALE: 1"=20'

NOTES:

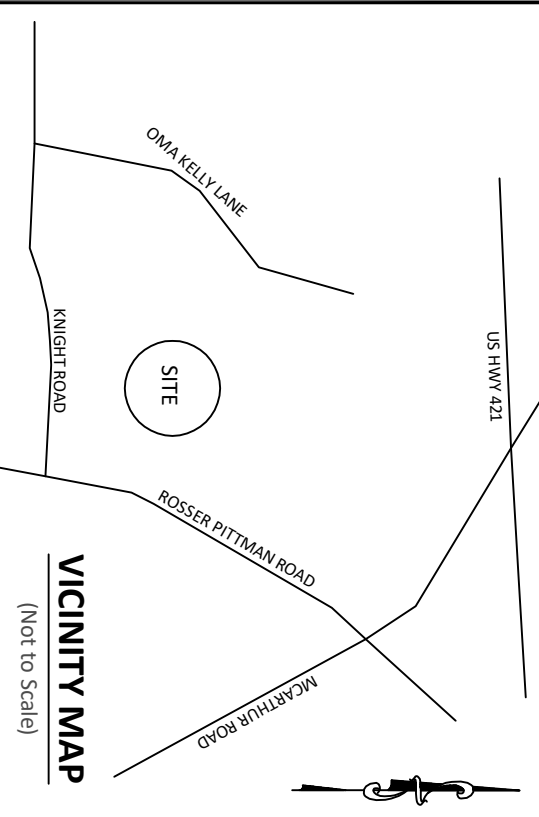
1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
4. ALL DISTANCES ARE HORIZONTAL. GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC., REFERENCED IN TITLE BLOCK.
7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM.
8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
9. THE PROPERTY IS LOCATED IN FEMA FLOOD ZONE "X" MAP # 3710968000U DATED 10/3/2006.
10. ZONING IS RA-20.
11. PROPERTY OWNER: SMITH DOUGLAS HOMES
2520 RELIANCE AVENUE
APEX, NC 27539



ACTUAL N04°39'36"E 96.50'
 PLAT: S04°39'42"W 96.50'
 LIAM DRIVE
 PUBLIC 60' R/W



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 Engineers • Surveyors • Planners
 2524 Reliance Avenue, Apex, NC 27539 Pk: 919.577.1080 Fax: 919.577.1081
 www.batemancivilsurvey.com info@batemancivilsurvey.com
 NCBELS Firm No. C-2378



LEGEND
 PO = PORCH
 SP = SCREENED PORCH/PATIO SURVEY MADE UNDER MY DIRECT SUPERVISION FROM A CP = COVERED PORCH/PATIO REFERENCED IN TITLE BLOCK); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION LISTED UNDER REFERENCES; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARD OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA. L-4752 DATED:

- ☉ = CABLE BOX
 - ☒ = TELEPHONE PEDESTAL
 - ☑ = CATCH BASIN
 - ☒ = IRRIGATION CONTROLLER
 - ☒ = LIGHT POLE
 - ☒ = UTILITY POLE
 - ☒ = FIRE HYDRANT
 - DI = DRAIN INLET
 - WV = WATER VALVE
 - ⊗ = STREET SIGN
 - YI = YARD INLET
 - G = GAS METER
 - E = ELECTRIC METER
- This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

BUILDER TO VERIFY HOUSE LOCATION DIMENSIONS AND REVIEW TOTAL IMPERVIOUS NOTED ON THIS PLOT PLAN
PRELIMINARY PLOT PLAN
 FOR
SMITH DOUGLAS HOMES

HARRINGTON PLACE - LOT 13
 240 LIAM DRIVE, BROADWAY, NC
 UPPER LITTLE RIVER TOWNSHIP, HARNETT COUNTY
 DATE: 3/6/24 DRAWN BY: AHB CHECKED BY: SPC
 REFERENCE: BK 2023 PG 335