

VICINITY MAP  
Not To Scale



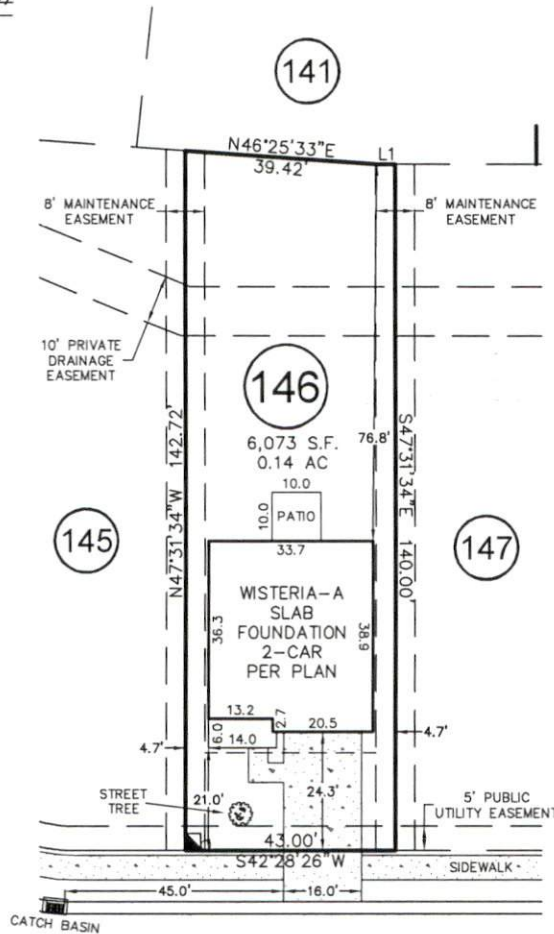
IMPERVIOUS SURFACE AREA	
DESCRIPTION	AREA
HOUSE w/ PORCH	1,357 S.F.
PATIO/HVAC	109 S.F.
DRIVEWAY & WALKS	431 S.F.
TOTAL (PROPOSED)=	1,897 S.F.
*TOTAL (ALLOWED)=	2,530 S.F.

\*PB 2023 PG 356



SETBACKS: (PB 2023 PG 350)

FRONT - 20'  
REAR - 20'  
SIDE - 4'  
CORNER YARD - 12'



# ASHBROOK COVE

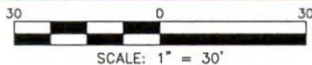
50' PUBLIC R/W  
& UTILITY

LINE	BEARING	DISTANCE
L1	N42°28'26"E	3.67'

THIS PROPERTY MAY BE SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AND RESTRICTIVE COVENANTS WHICH MAY BE OF RECORD OR IMPLIED

THIS DRAWING DOES NOT REFLECT AS-BUILT INFORMATION

**PRELIMINARY PLAT**  
NOT FOR RECORDATION, CONVEYANCES, OR SALES



## RESIDENTIAL LAND SERVICES, PLLC.

1917 Evans Road  
Cary, North Carolina 27513  
Phone (919) 378-9316  
Firm License # P-0873

## HOUSE LOCATION PLOT PLAN

FOR  
#90 ASHBROOK COVE  
LOT 146, SERENITY SUBDIVISION, PHASE 1D, 1E & 2G  
(LOTS LESS THAN 9,000 SF) LOTS 144-167, & 248-272  
Hector's Creek Township, Harnett County, North Carolina

PROPERTY OF: GARMAN HOMES  
MAP BOOK 2023 PAGE 350-356 DEED REFERENCE \_\_\_\_\_

DRAWN: JLS    SURVEYED: N/A    CHECKED: DMR    DATE: FEBRUARY 8, 2024