

CUSTOM CHANGES

ReDesign HP

ORIGINAL DESIGN

ROYAL OAKS DESIGN
3459 LAKE ELMO AVE,
LAKE ELMO, MN

"This plan is a derivative and has been modified by ReDesign HP from the original ROYAL OAKS DESIGN sock home plan."

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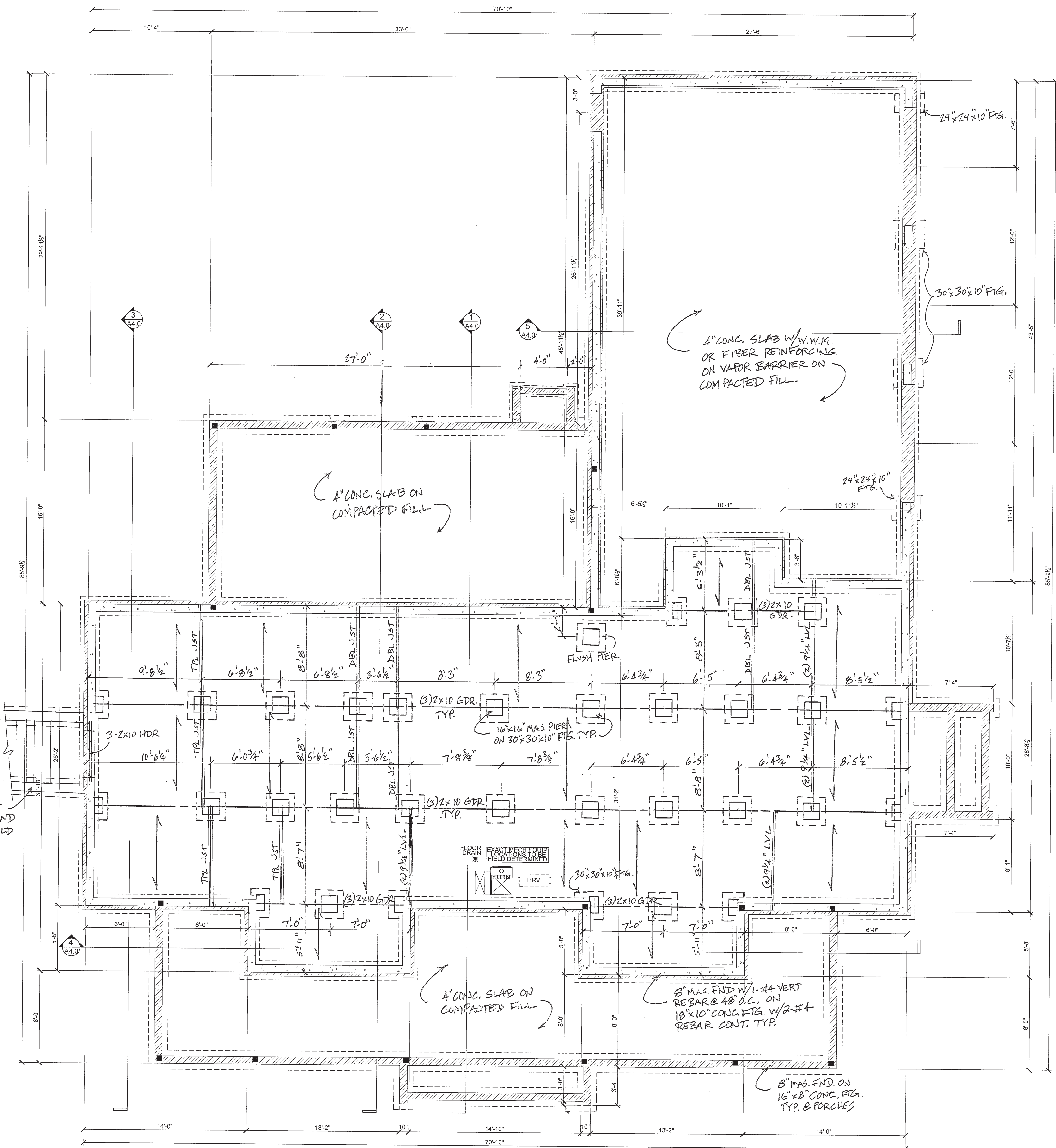
"Final selections of materials are the responsibility of the homeowner and/or builder, including, but not limited to proper installation of materials, nailing, gluing, caulking, insulating, flashing, roofing, waterproofing and many other small items and details not necessarily indicated on the plans, and over which ReDesign HP and ROYAL OAKS DESIGN has no control or responsibility. ReDesign HP and ROYAL OAKS DESIGN, shall not be held liable for any errors, omissions, or deficiencies in any form by any party whatsoever."

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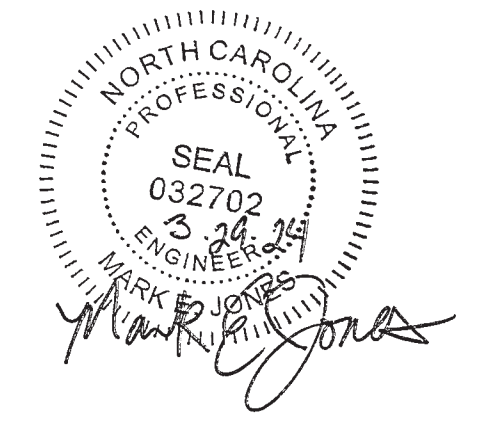
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GENERAL NOTES

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALING OF DRAWINGS
- DIMENSIONS ARE FROM EXTERIOR FACE OF CONCRETE FOUNDATION WALLS AND CENTERLINE OF INTERIOR BEARING WALLS, POSTS AND BEAMS.
- FOUNDATION CONTRACTOR TO VERIFY ALL ROUGH-IN PLUMBING LOCATIONS AND ANY OTHER PENETRATIONS THRU CONCRETE FLOOR PRIOR TO CONSTRUCTION
- BUILDER/FOUNDATION CONTRACTOR TO VERIFY FOOTING SIZE AND REINFORCEMENT REQUIREMENTS BASED ON EXISTING SOIL CONDITIONS PRIOR TO CONSTRUCTION.
- WHILE EVERY EFFORT HAS BEEN MADE TO INSURE THESE PLANS ARE ACCURATE AND COMPLETE, THE OWNER/BUILDER MUST VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS, SITE CONDITIONS AND SPECIFICATIONS AND BE RESPONSIBLE FOR SAME.
- ANY NOTATIONS OF SIZES OF STRUCTURAL MEMBERS SUCH AS FOOTINGS, FOUNDATION SIZING, POSTS, BEAMS, JOISTS, RAFTERS, TRUSSES, ETC. THAT APPEAR ON THESE PLANS ARE FOR DESIGN REVIEW AND BIDDING PURPOSES ONLY. IT IS RECOMMENDED A PROFESSIONAL ENGINEER BE ENGAGED TO CALCULATE AND DESIGN ALL STRUCTURAL COMPONENTS INVOLVED IN THIS STRUCTURE.

* ALL FLOOR JOISTS TO BE 2X10 STR.#2 @ 16" O.C.



CRAWL-SPACE FOUNDATION
SCALE: 1/4" = 1'-0"

Scott Hollowell
8364 McDougald Rd
Broadway, NC 27505

DATE	: MAR/02/2024
SCALE	: AS NOTED
DRAWN BY:	
PROJECT	: Scott Hollowell
SHEET	

A1.0

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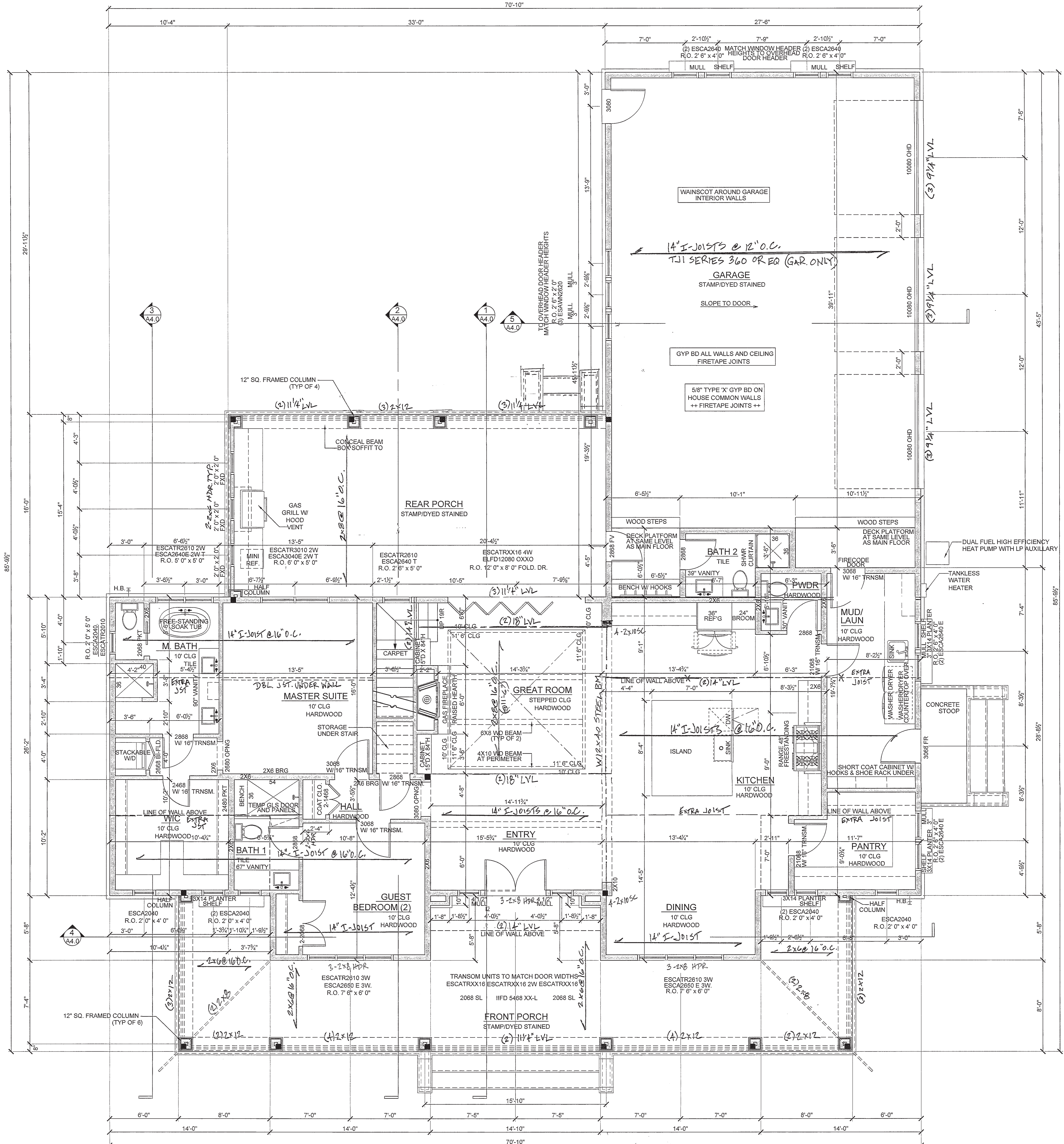
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WINDOWS

- STYLE AND SIZE AS NOTED
- WINDOWS DESIGNATED WITH 'T' TO HAVE TEMPERED GLASS
- WINDOWS DESIGNATED WITH 'E' MEET EGRESS CODES
- WINDOW HEADER HEIGHTS SET TO 8' 11-3/8" (J.I.N.O.)
- BUILDER TO VERIFY WINDOW AND DOOR ROUGH OPENINGS AND HEADER HEIGHTS

AREA TABULATION

CRAWLSPACE	2036 SF
MAIN LEVEL	2039 SF
UPPER LEVEL	1181 SF
FINISHED FUTURE	216
TOTAL FINISHED	3004 SF
TOTAL LIVABLE	3220 SF
GARAGE	1171 SF
FRONT PORCH	643 SF
REAR PORCH	528 SF

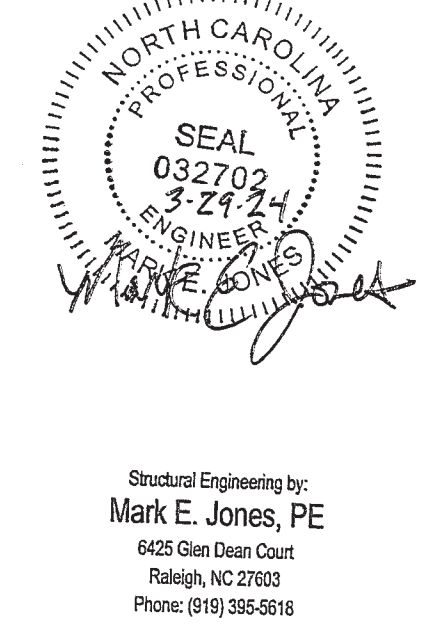
FLOOR AREAS ARE CALCULATED FROM THE OUTSIDE OF FOUNDATION WALLS AND/OR OUTSIDE FACE OF EXTERIOR STUD AT FRAMED WALLS. STAIRS ARE INCLUDED IN CALCULATIONS AT ALL LEVELS.

STRUCTURAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF NORTH CAROLINA STATE 2018 RESIDENTIAL BUILDING CODE, IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
2. DESIGN LOADS:

FLOOR	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (IN.)
ALL FLOORS	40	10	L/360
ATTIC (not down access)	20	10	L/360
ATTIC (down access)	15	5	L/360
EXTERNAL BALCONY	60	10	L/360
ROOF	20	10	L/180
ROOF TRUSSES	20	20	L/240
WIND LOAD	BASED ON 115 MPH (3-second gust)		
3. MINIMUM ALLOWABLE SOIL BEARING PRESSURE = 2000 PSF
4. CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF FIVE INCHES UNLESS NOTED OTHERWISE (MAX).
5. MAXIMUM DEPTH OF UNBALANCED FILL AGAINST FOUNDATION WALLS TO BE LESS THAN 4'-0" WITHOUT USING SUFFICIENT WALL BRACINGS. REFER TO SECTION R101 OF 2018 NC BUILDING CODE FOR BACKFILL LIMITATIONS BASED ON WALL HEIGHT, WALL THICKNESS, SOIL TYPE AND UNBALANCED BACKFILL HEIGHT.
6. ALL FRAMING LUMBER SHALL BE SYP #2 (F = 800 PSI) UNDO.
7. ALL STRUCTURAL STEEL SHALL BE A36. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 4" INCHES AND FULL FLANGE WITH PROPER SOLE BEARING FROM BEAM SUPPORT TO FOUNDATION BEAMS. BEAMS SHALL BE ATTACHED TO EACH SUPPORT WITH TWO LAG SCREWS (1/2" DIAMETER AND 4" LONG) LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDED THE JOISTS ARE TOE NAILLED TO THE SOLE PLATES, AND THE SOLE PLATES ARE NAIL OR TOE TO THE BEAM FLANGES @ 4" O.C.
8. ALL EXTERIOR WALLS TO BE SHEATHED WITH MIN. 7/16" WOOD STRUCTURAL PANELS FASTENED WITH 1/4" WOOD SCREWS @ 16" O.C. AT EDGES AND 12" O.C. AT INT. SUPPORTS. BLOCKING SHALL BE INSTALLED IF LESS THAN 50 PERCENT OF THE WALL LENGTH IS SHEATHED, WHERE BLOCKING IS REQUIRED, ALL PANELS SHALL BE FASTENED AT 2' O.C. AT EDGES AND 4' O.C. AT INT. SUPPORTS.
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10. ANCHOR BOLT PLACEMENT PER SECTION R401.1.6. 1/2" DIAMETER ANCHOR BOLTS SPACED AT 6' O.C. ON WALL AND PLACED 6" FROM THE END OF EACH FLUTE SECTION.
11. FOUNDATION DRAINAGE: SUMP PUMPING OR WATERPROOFING PER SECTION 415 AND 408 OF 2018 NC BUILDING CODE.
12. WALL AND ROOF CLADDING WALLS: WALL CLADDING SHALL BE DESIGNED FOR A 4:1 SLOPE OR GREATER POSITIVE AND NEGATIVE PRESSURE. ROOF WALLS BOTH POSITIVE AND NEGATIVE SHALL BE AS FOLLOWS:
 - 45.1 DESIGN FOR ROOF PITCHES OF 12 TO 24:12
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 - 45.1.2 DESIGN FOR ROOF PITCHES OF 12 TO 24:12
 - 45.1.3 DESIGN FOR ROOF PITCHES OF 12 TO 24:12
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 - 45.1.99 DESIGN FOR ROOF PITCHES OF 12 TO 24:12
 - 45.1.100 DESIGN FOR ROOF PITCHES OF 12 TO 24:12
13. NEAR ROOF HEIGHT 2' OR LESS
14. FOR ROOF SLOPES FROM 2:12 THROUGH 4:12, BUILDER TO INSTALL 2 LAYERS OF 15# FELT PAPER
15. IF THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND R.O. P.T. ARE CORRECT PRIOR TO CONSTRUCTION. DESIGNER IS NOT RESPONSIBLE FOR DIMENSIONING OR R.O. P.T. ERRORS ONCE CONSTRUCTION BEGINS

* ALL LOAD BEARING HEADERS TO BE 3x2x6 UNLESS NOTED.
* ALL JOISTS TO BE TJI SERIES 210 OR EQUAL EXCEPT OVER GARAGE (TJI 300 SERIES OR EQVA).



Structural Engineering by
Mark E. Jones, PE
4425 Glen Drive East
Raleigh, NC 27605
Phone: (919) 368-9216

*Engineer seal applies only to structural components on this document. Seal does not indicate construction methods, materials, installation, inspection, process or safety precautions.
*Any deviations or discrepancies of plans are to be brought to the attention of client of Mark E. Jones, PE. Failure to do so will void Mark E. Jones, PE liability.
*Structural engineer based on NC Residential Building Code 2018.

Project No. 24-011

1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

DATE : MAR/02/2024
SCALE : AS NOTED
DRAWN BY :
PROJECT : Scott Hollowell

SHEET

A1.1

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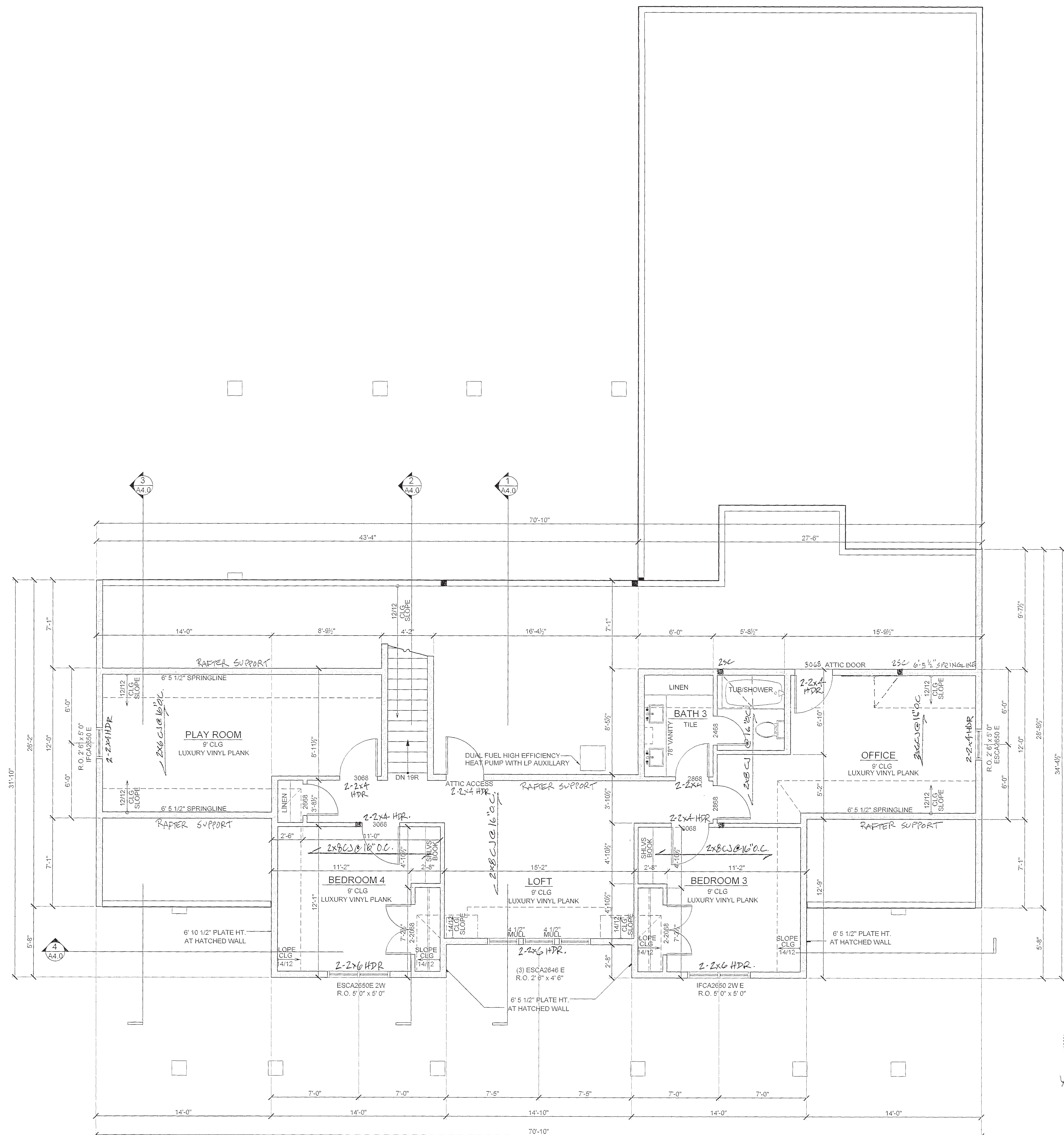
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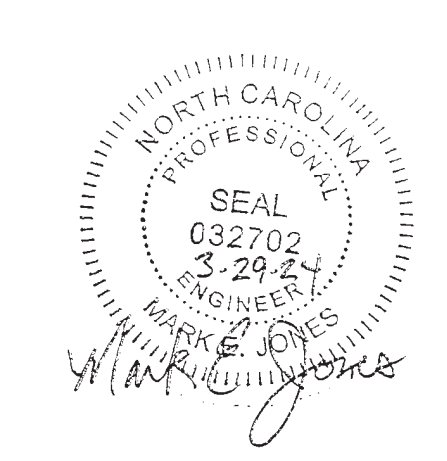
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1 UPPER LEVEL FLOOR PLAN
A1.2 SCALE: 1/4" = 1'-0"



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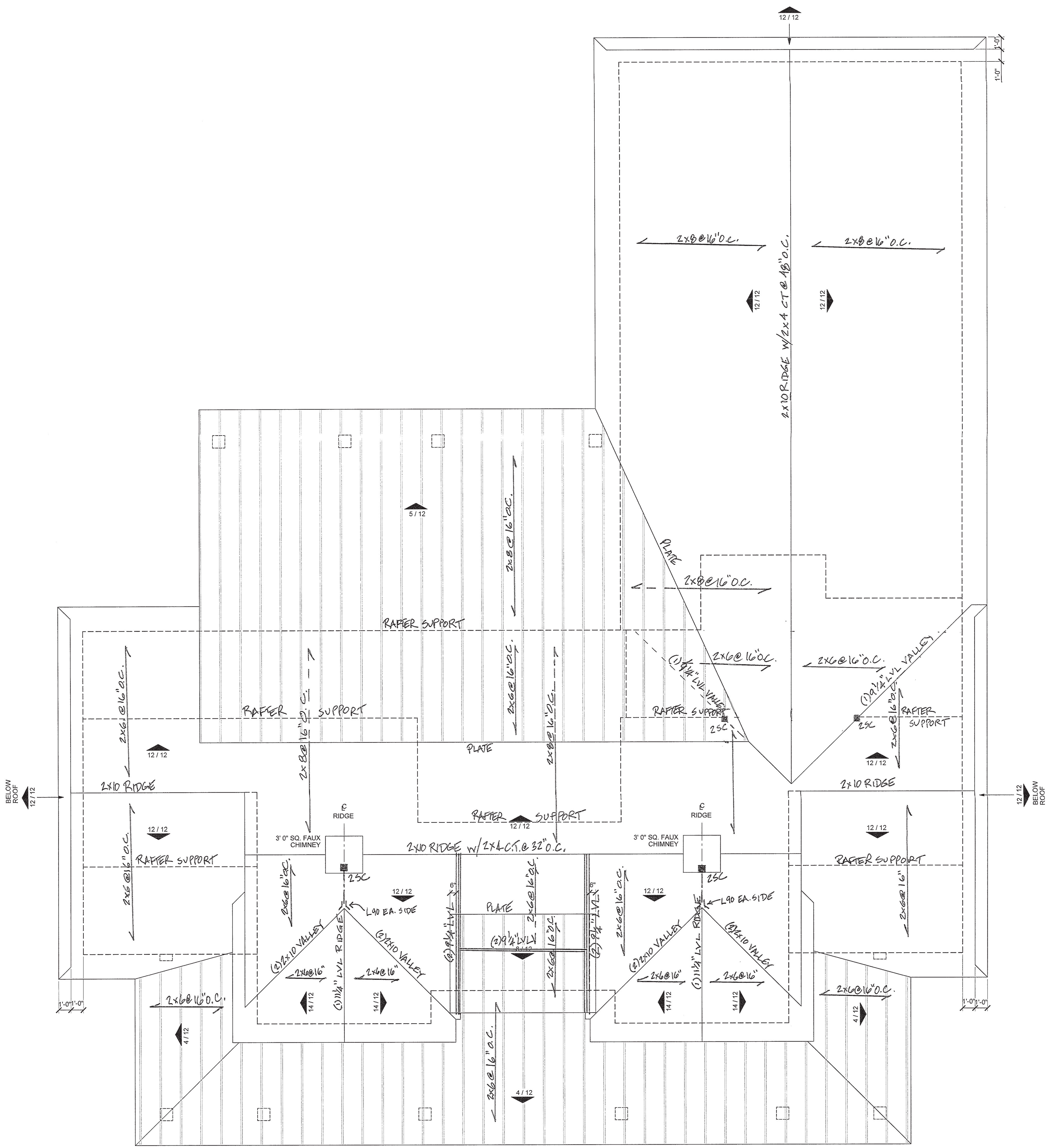
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PROJECT	: Scott Hollowell

SHEET
A1.3



1 ROOF PLAN
A1.3 SCALE: 1/4" = 1'-0"

SHADED AREA INDICATES LOCATION OF STANDING SEAM METAL ROOFING



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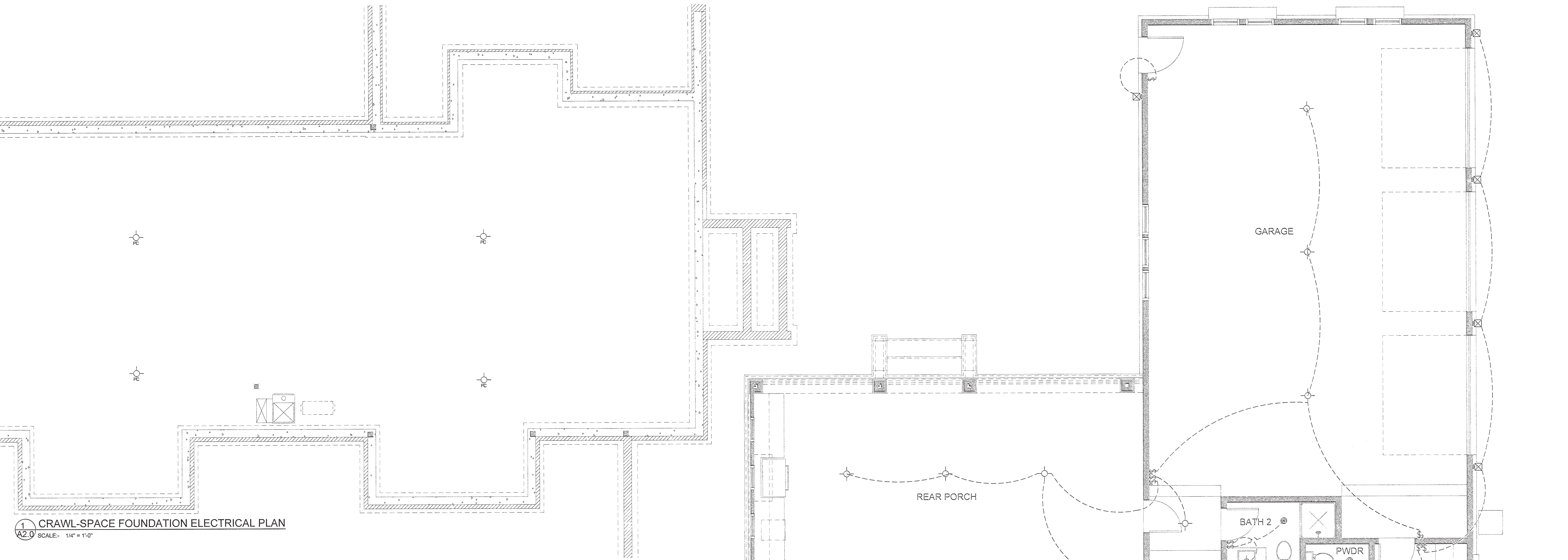
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Scott Hollowell
8364 McDougald Rd
Broadway, NC 27505

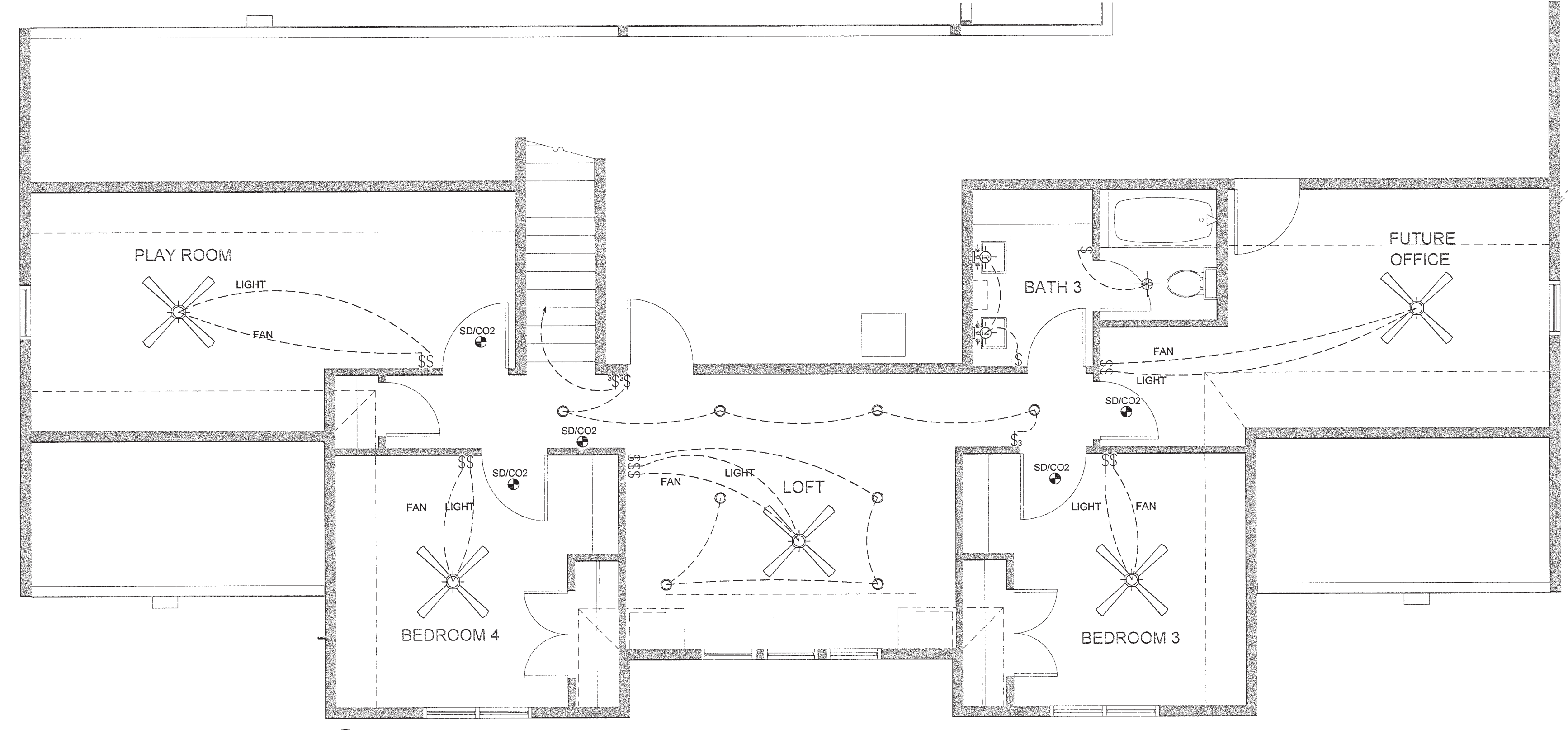
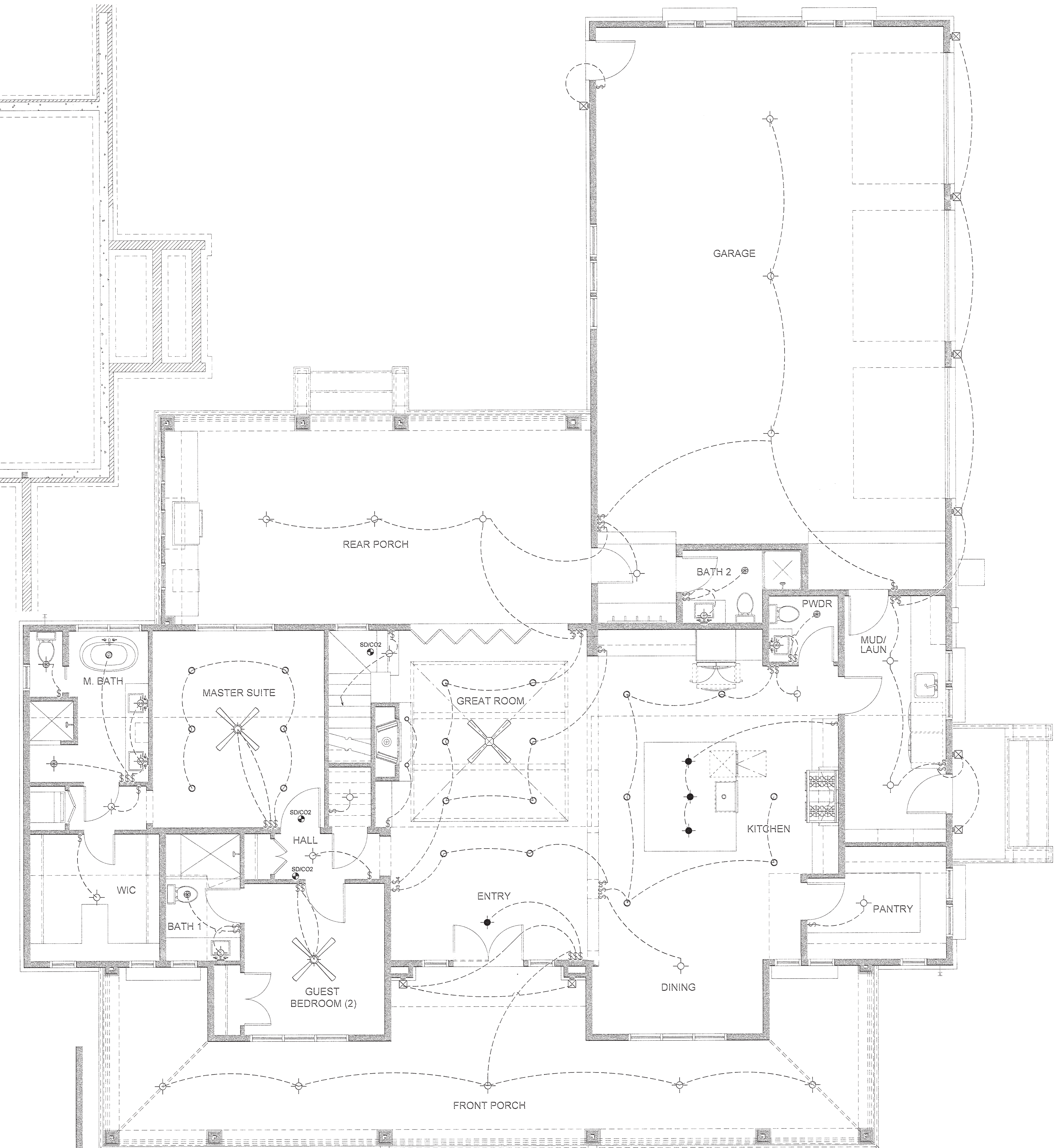
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DRAWN BY: _____
PROJECT : Scott Hollowell

SHEET
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ELECTRICAL LEGEND	
	CEILING MOUNT LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	WALL MOUNT LIGHT FIXTURE
	RECESSED CAN LIGHT FIXTURE
	BATH EXHAUST FAN
	COMBO LIGHT / BATH EXHAUST FAN
	SWITCH
	SWITCH - 3-WAY
	SWITCH - 4-WAY
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	FAN/LIGHT COMBO FIXTURE

ALL ELECTRICAL TO BE INSTALLED IN ACCORDANCE TO THE LATEST NATIONAL AND LOCAL CODES



CUSTOM CHANGES

ReDesign HP

ORIGINAL DESIGN

ROYAL OAKS DESIGN
3459 LAKE ELMO AVE.
LAKE ELMO, MN

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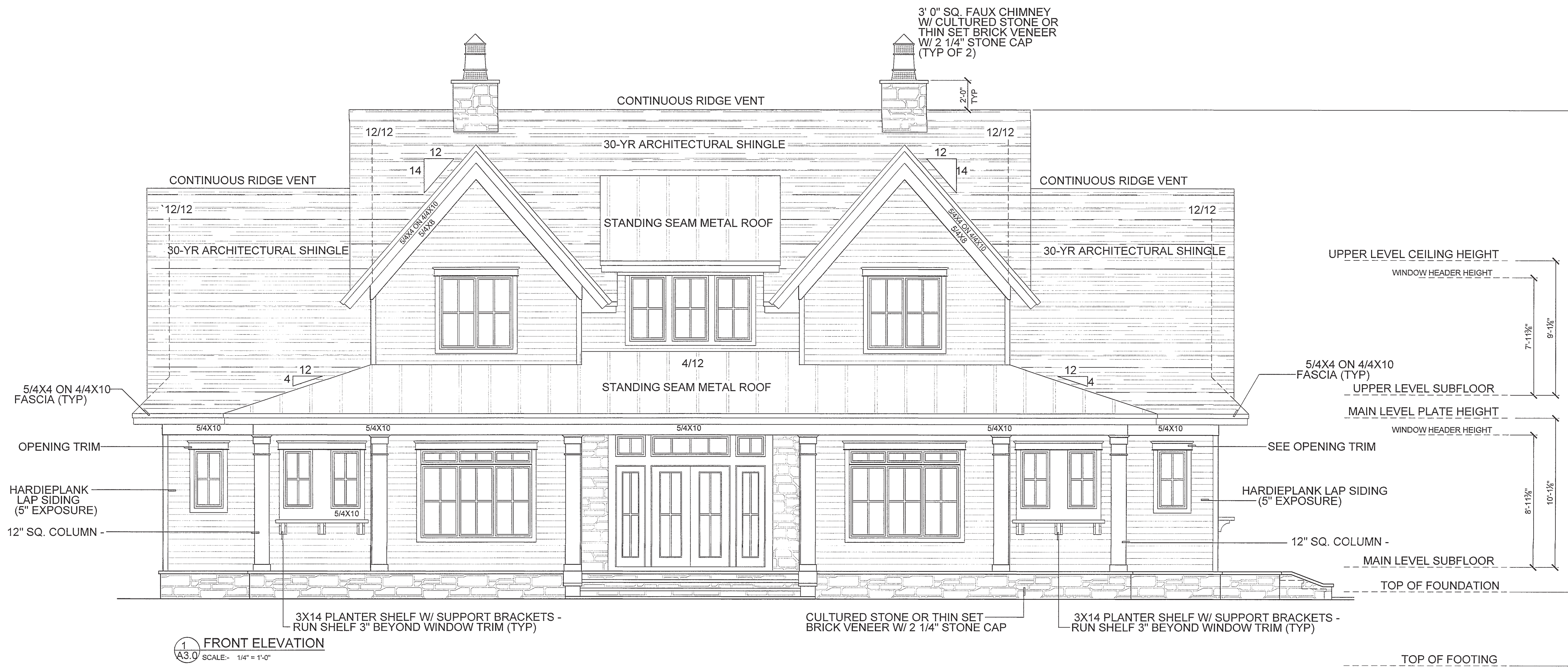
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Scott Hollowell
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Broadway, NC 27505

DATE : MAR/02/2024
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DRAWN BY :
PROJECT : Scott Hollowell

SHEET

A3.0



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALING OF DRAWINGS
- KICKOUT FLASHING TO BE INSTALLED AS NEEDED
- EXTERIOR WALL FINISHER TO VERIFY KICKOUT FLASHING IS INSTALLED PRIOR TO FINISHING
- CARPENTER TO FLASH ALL EXTERIOR WINDOWS & DOORS PER MIN. AND IRC CODE REQUIREMENTS
- WHILE EVERY EFFORT HAS BEEN MADE TO INSURE THESE PLANS ARE ACCURATE AND COMPLETE, THE OWNER/BUILDER MUST VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS, SITE CONDITIONS AND SPECIFICATIONS AND BE RESPONSIBLE FOR SAME.
- ANY NOTATIONS OF SIZES OF STRUCTURAL MEMBERS SUCH AS FOOTINGS, FOUNDATION SIZING, POSTS, BEAMS, JOISTS, RAFTERS, TRUSSES ETC. THAT APPEAR ON THESE PLANS ARE FOR DESIGN REVIEW AND BIDDING PURPOSES ONLY. IT IS RECOMMENDED A PROFESSIONAL ENGINEER BE ENGAGED TO CALCULATE AND DESIGN ALL STRUCTURAL COMPONENTS INVOLVED IN THIS STRUCTURE.

WINDOWS

- INTEGRITY ALL ULTREX SERIES
- TYPE AND SIZE PER PLAN
- WINDOWS DESIGNATED WITH 'T' TO HAVE TEMPERED GLASS
- WINDOWS DESIGNATED WITH 'E' MEET EGRESS CODES
- BUILDER TO VERIFY ALL ROUGH OPENING DIMENSIONS AND HEADER HEIGHTS

EXTERIOR FINISHES

- SIDING (AS NOTED)
- HARDIEPLANK LAP SIDING
- 5" EXPOSURE
- THIN SET BRICK VENEER OR CULTURED STONE W/ 2 1/4" ROCK FACE STONE CAP
- HARDIETRIM BOARDS
- THICKNESS AND WIDTH AS NOTED



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

CUSTOM CHANGES

ReDesign HP

ORIGINAL DESIGN

ROYAL OAKS DESIGN
3459 LAKE ELMO AVE,
LAKE ELMO, MN

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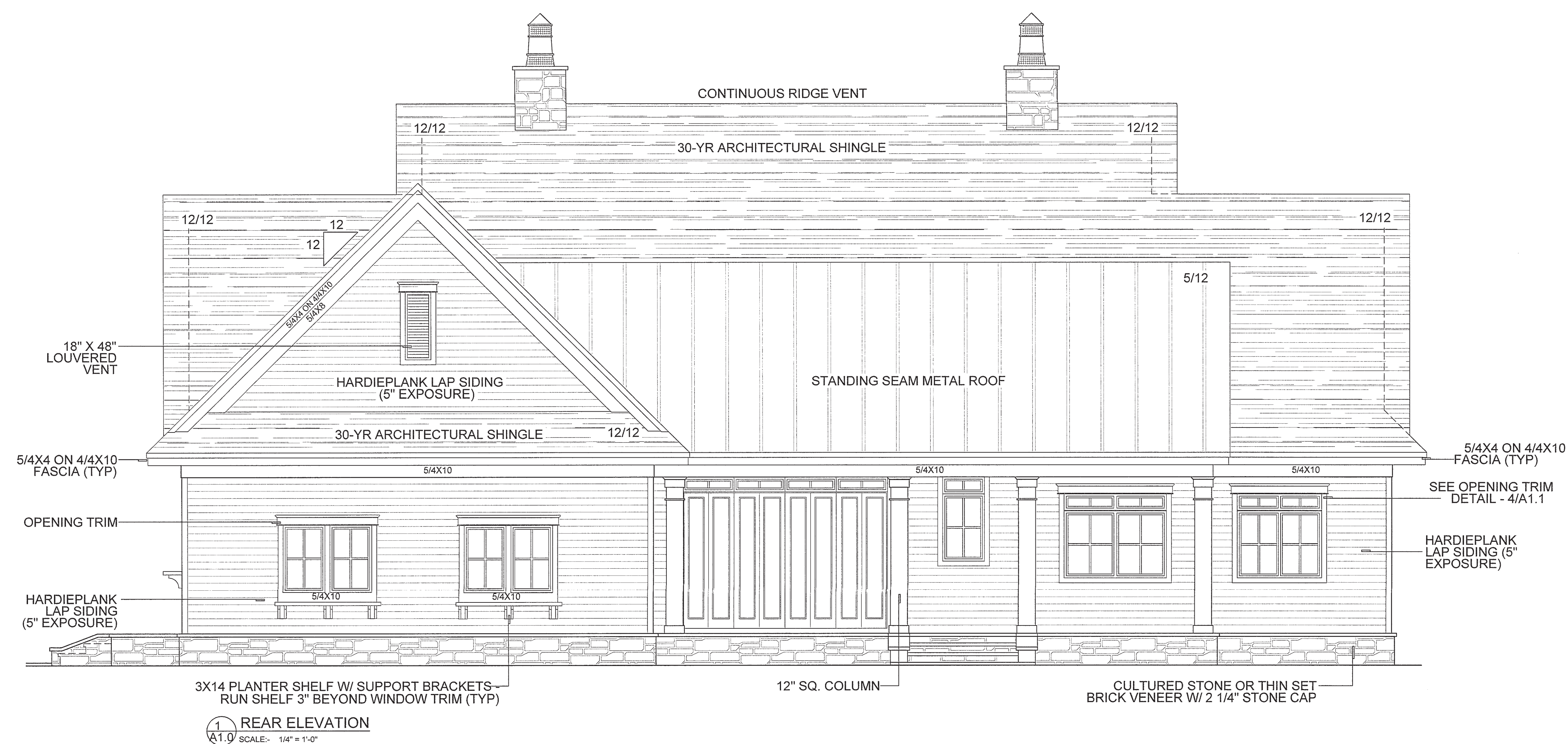
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PROJECT : Scott Hollowell

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GENERAL NOTES

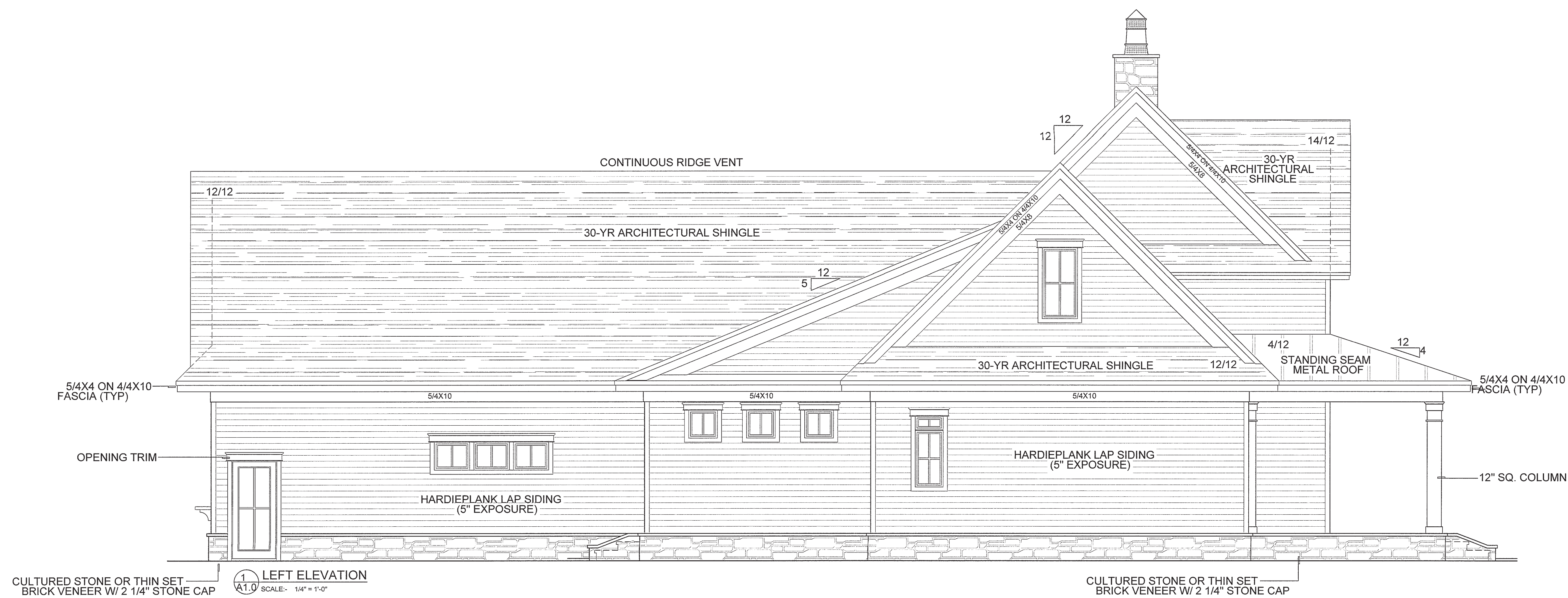
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- HARDIETRIM BOARDS
- THICKNESS AND WIDTH AS NOTED



CUSTOM CHANGES

ReDesign HP

ORIGINAL DESIGN

ROYAL OAKS DESIGN
2491 LAKE ELMO AVE.
LAKE ELMO, MN

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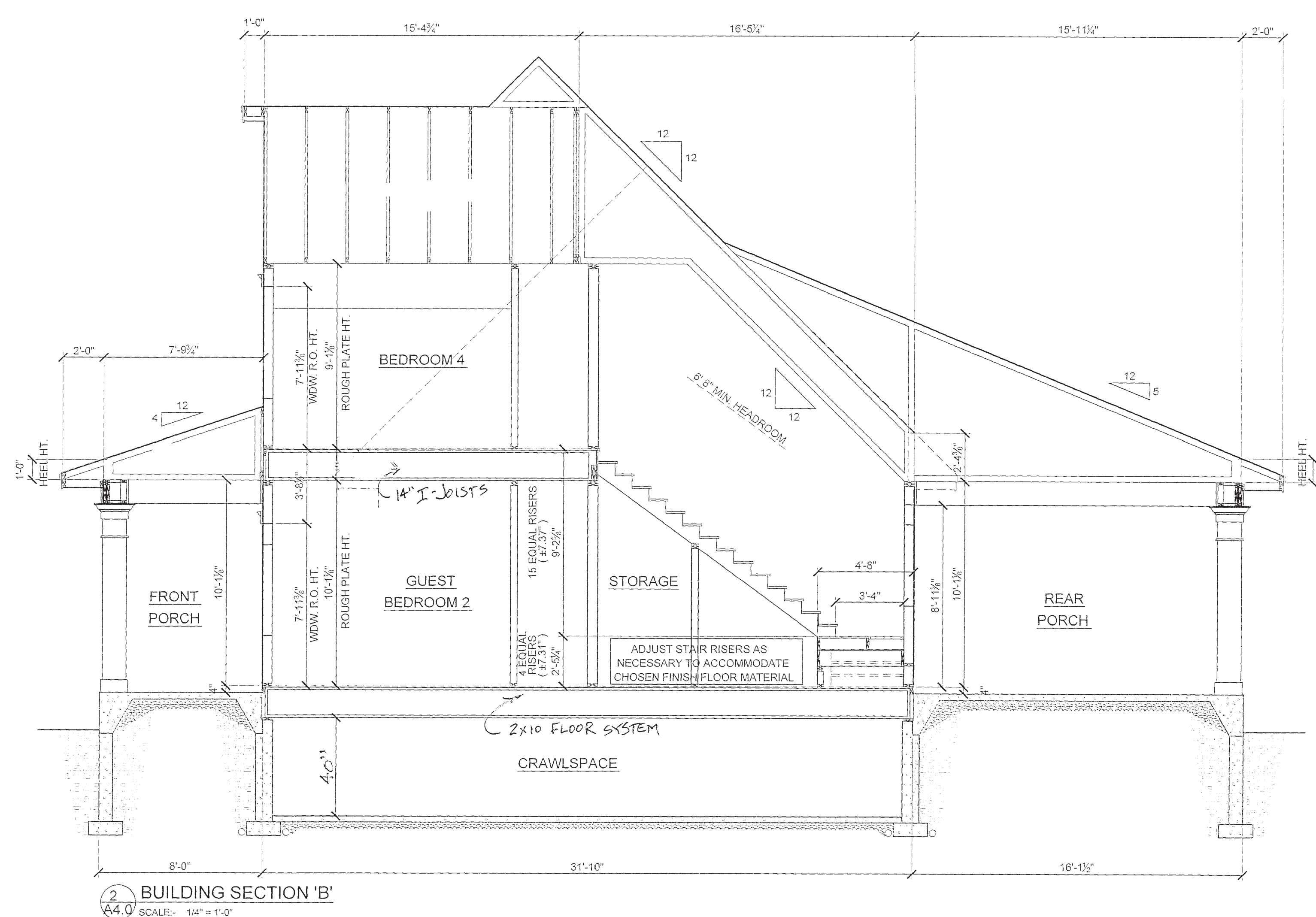
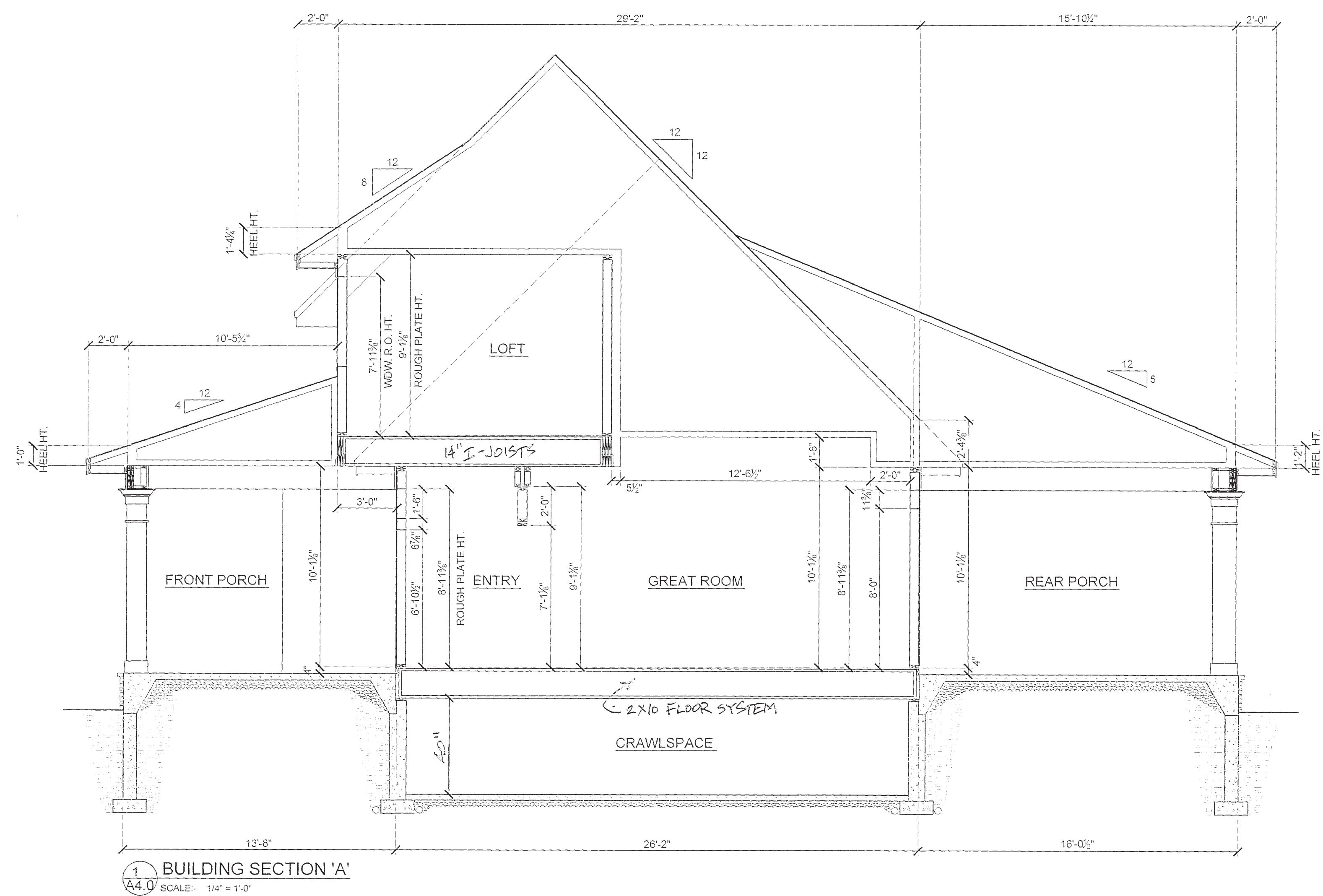
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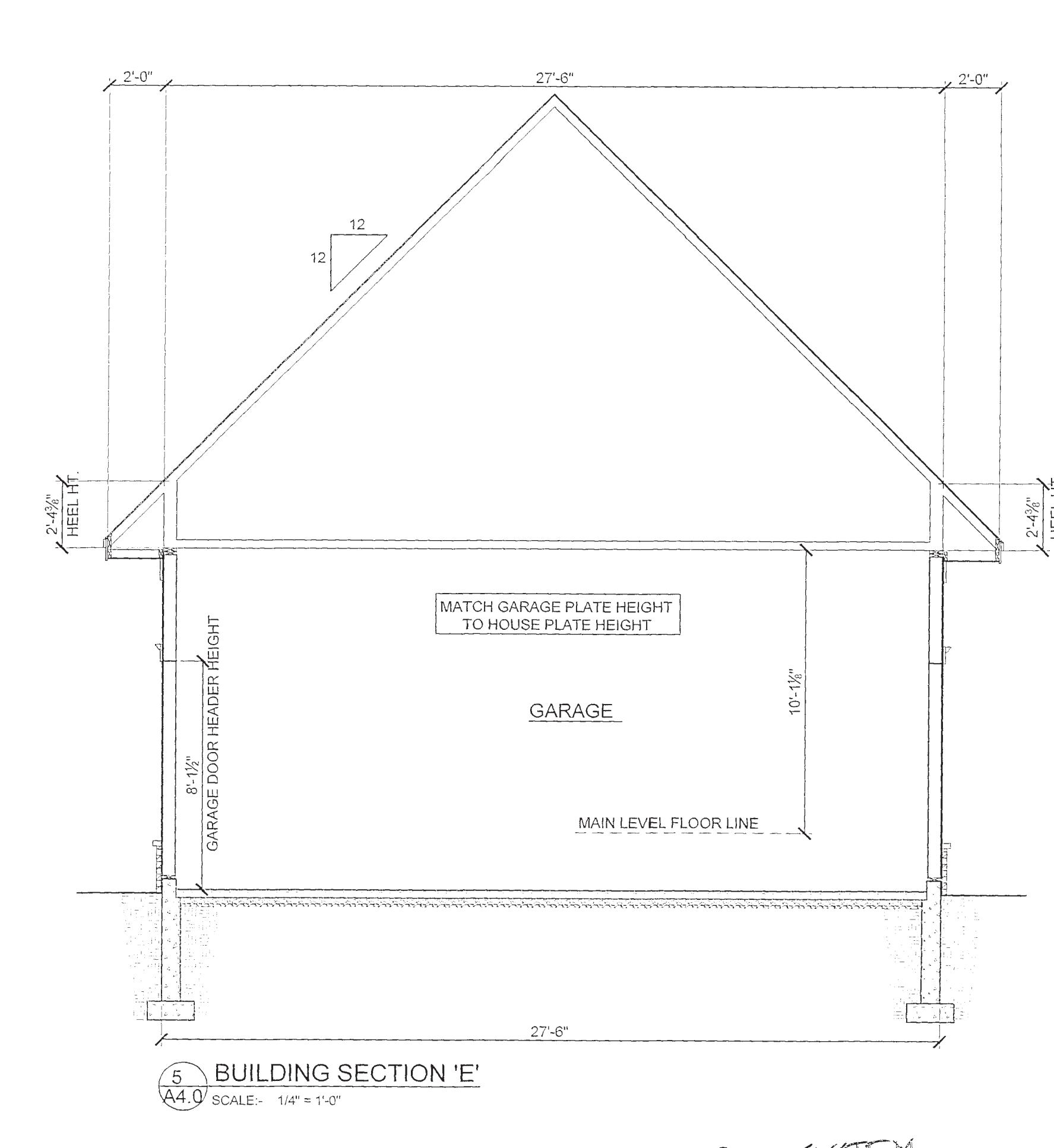
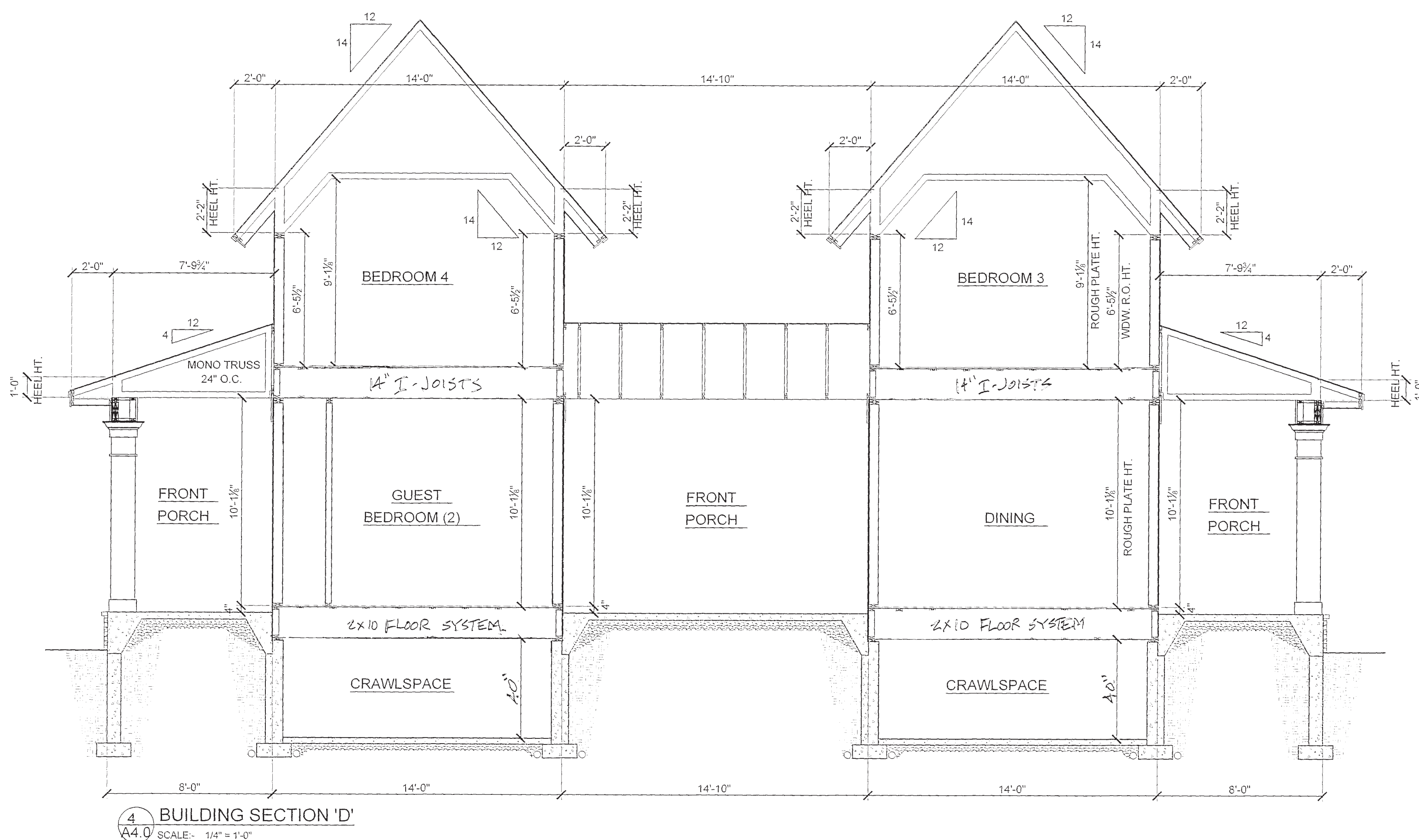
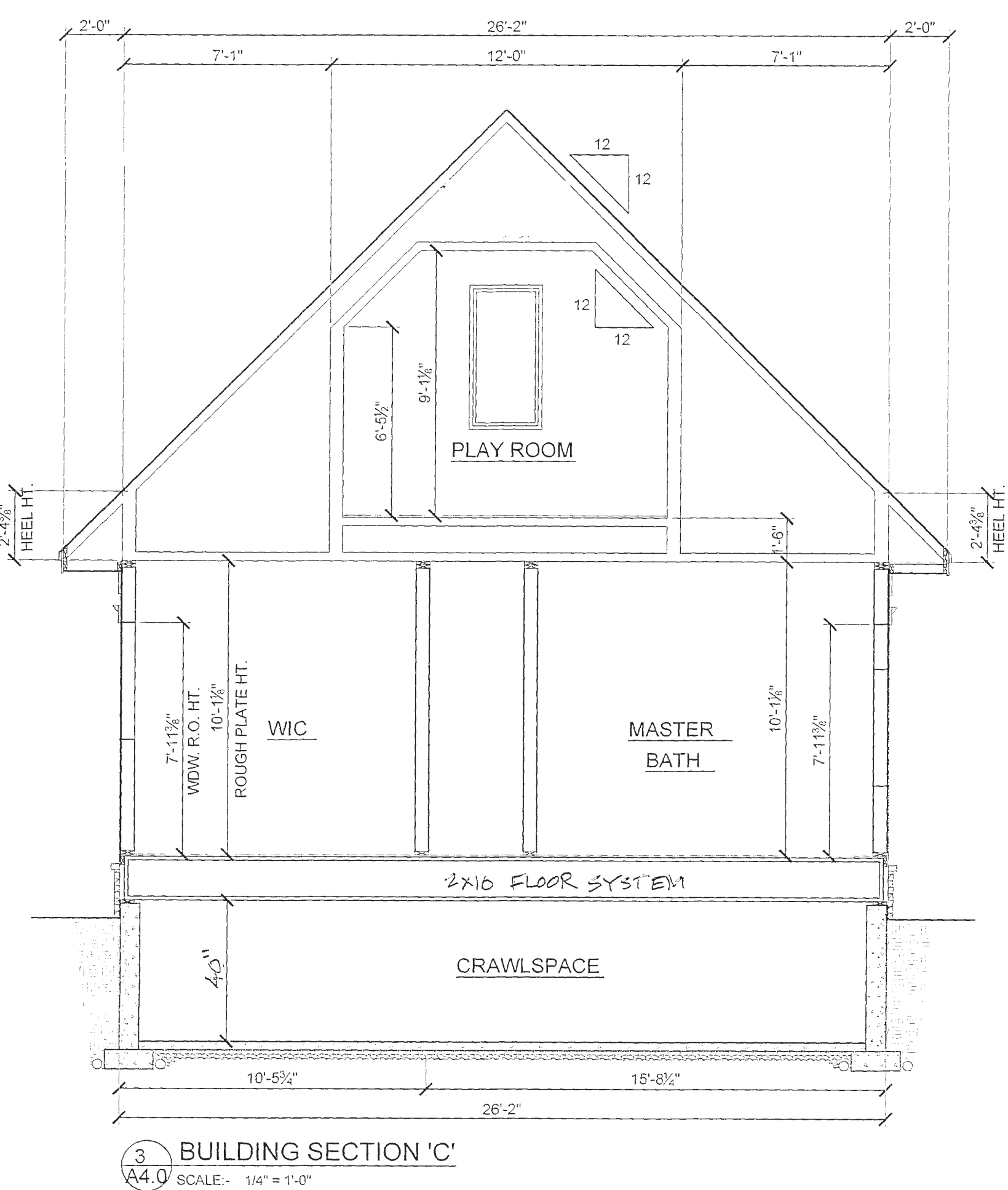
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NOTE: ALL FOUNDATION WALLS TO BE 8" MASONRY w/ #4 VERTICAL REBAR @ 48" ON CENTER ON 18"x8" CONTINUOUS CONCRETE FOOTINGS w/ 2 - #4 REBAR CONTINUOUS.



NOTE: SECTIONS WERE DRAWN FOR A TRUSS ROOF SYSTEM. FRAMER TO VERIFY ALL EAVE HEIGHTS INFIELD.

DATE	: MAR/02/2024
SCALE	: AS NOTED
DRAWN BY:
PROJECT	: Scott Hollowell
SHEET	

A4.0

Scott Hollowell
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CUSTOM CHANGES

ReDesign HP

ORIGINAL DESIGN

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LAKE ELMO, MN

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ROOF
- SEE PLAN FOR MATERIAL
- (1) LAYER 15# FELT UNDERLAYMENT
- 1/2" OXBOARD SHEATHING W/ CLIPS

VENT BAFFLES AT EVERY TRUSS SPACE (MIN. 1" CLEARANCE)

ICE & WATER SHIELD TO 24" PAST INSIDE WALL

5/4X4 ON 4/4X10 HARDIETRIM

2X SUB-FASCIA W/ 2X4 LOOKOUTS AT 24" O.C. W/ HARDIESOFFIT - VENTED AS REQUIRED

EXTERIOR WALL

- EXTERIOR FINISH - SEE ELEVATIONS
- (2) LAYERS 15# FELT PAPER
- 1/2" OSB SHEATHING
- 2X6 STUDS AT 16" O.C.
- MIN. R-21 INSULATION
- VAPOR BARRIER
- 1/2" GYP BD

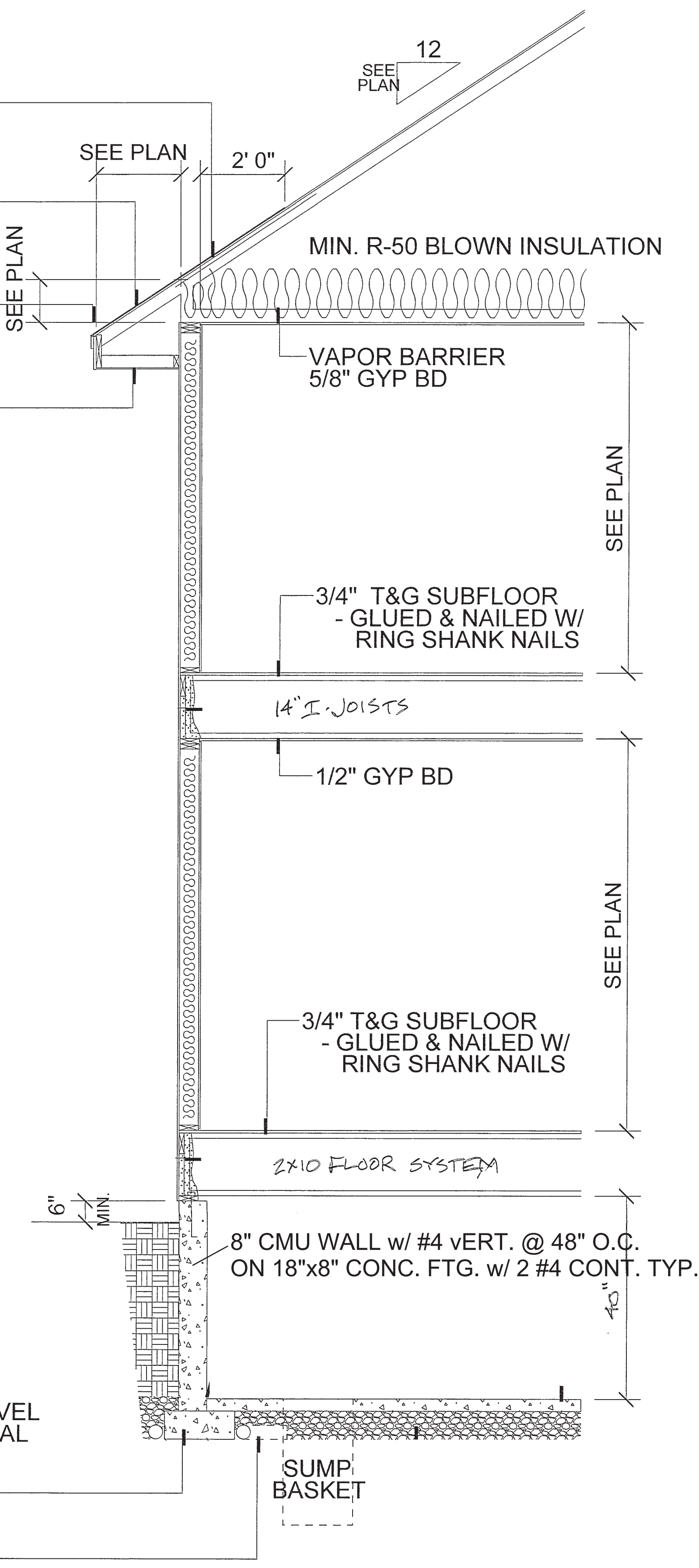
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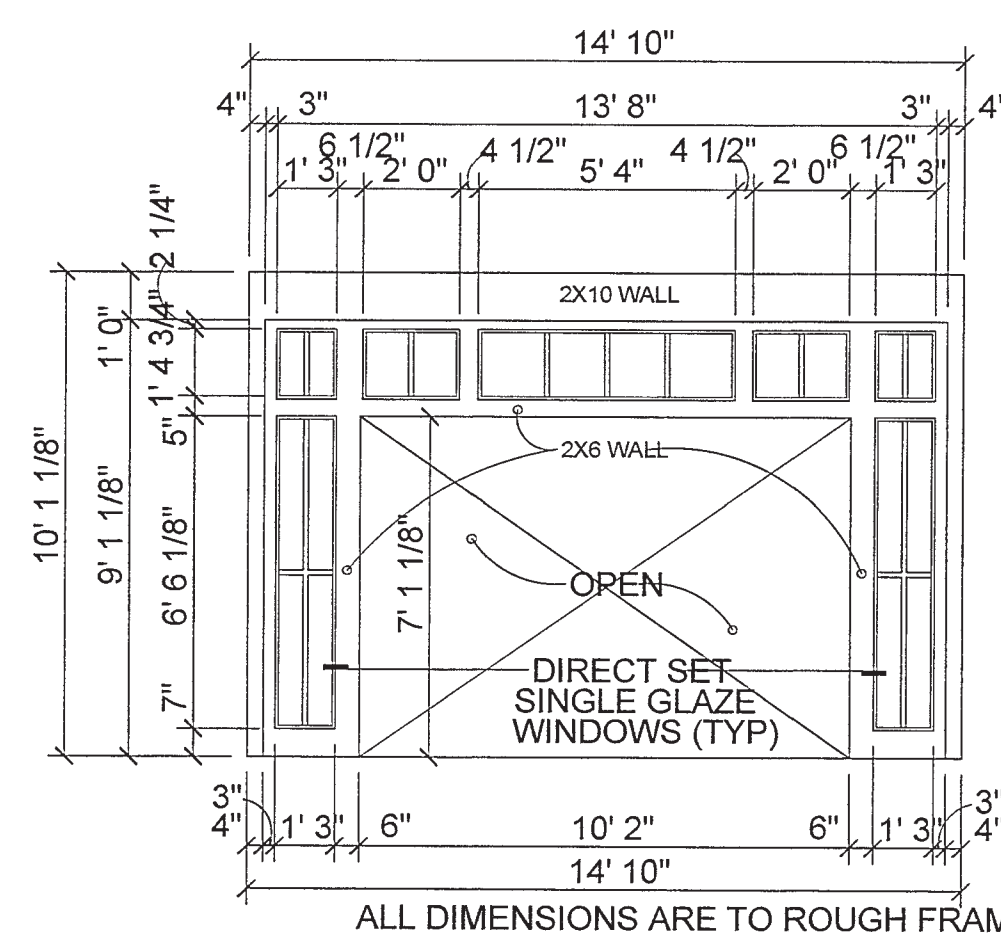
DRAIN TILE AS REQ'D ON MIN 2" CRUSHED ROCK OR WASHED GRAVEL W/ MIN 6" COVER OF SAME MATERIAL

18" X 8" CONCRETE FOOTING W/ CONTINUOUS REINFORCING

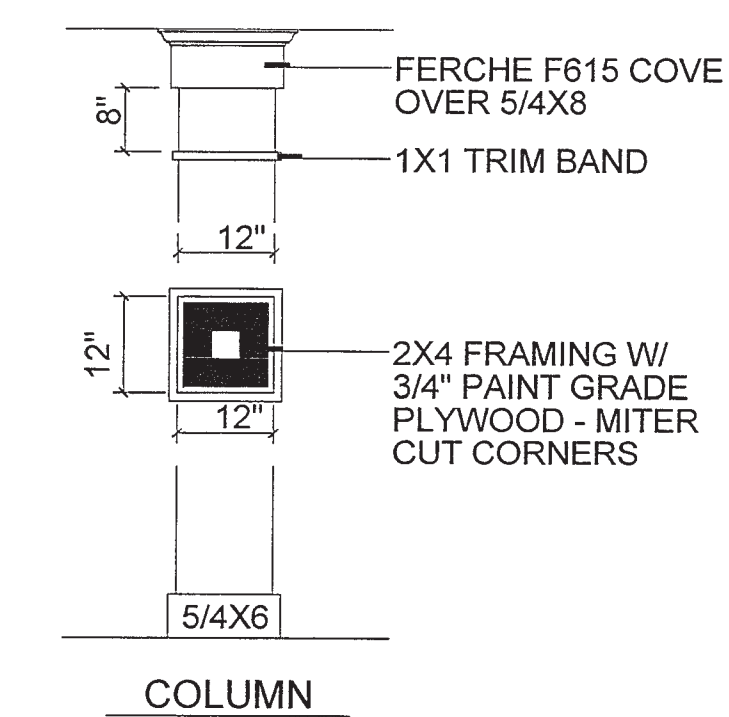
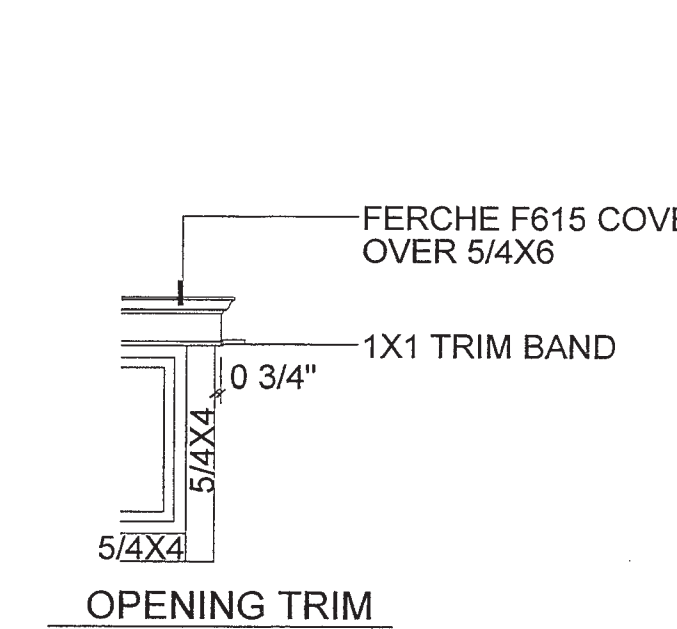
4" PERFORATED DRAIN TILE W/ FILTER FABRIC



TYPICAL WALL SECTION



ENTRY ELEVATION



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SHEET

REF-1