

BRADLEY

HARRINGTON PLACE
LOT 0015



PLAN ID 120121.0901

**110 VILLAGE TRAIL SUITE 215
WOODSTOCK, GA. 30188**

DRAWING INDEX	
A0.0	COVER SHEET
A1.1	FRONT ELEVATIONS
A2.1	SIDE & REAR ELEVATIONS
A3.1	SLAB FOUNDATIONS
A5.1	FIRST FLOOR PLANS AND OPTIONS
A6.1	ROOF PLANS
A7.2	ELECTRICAL PLANS

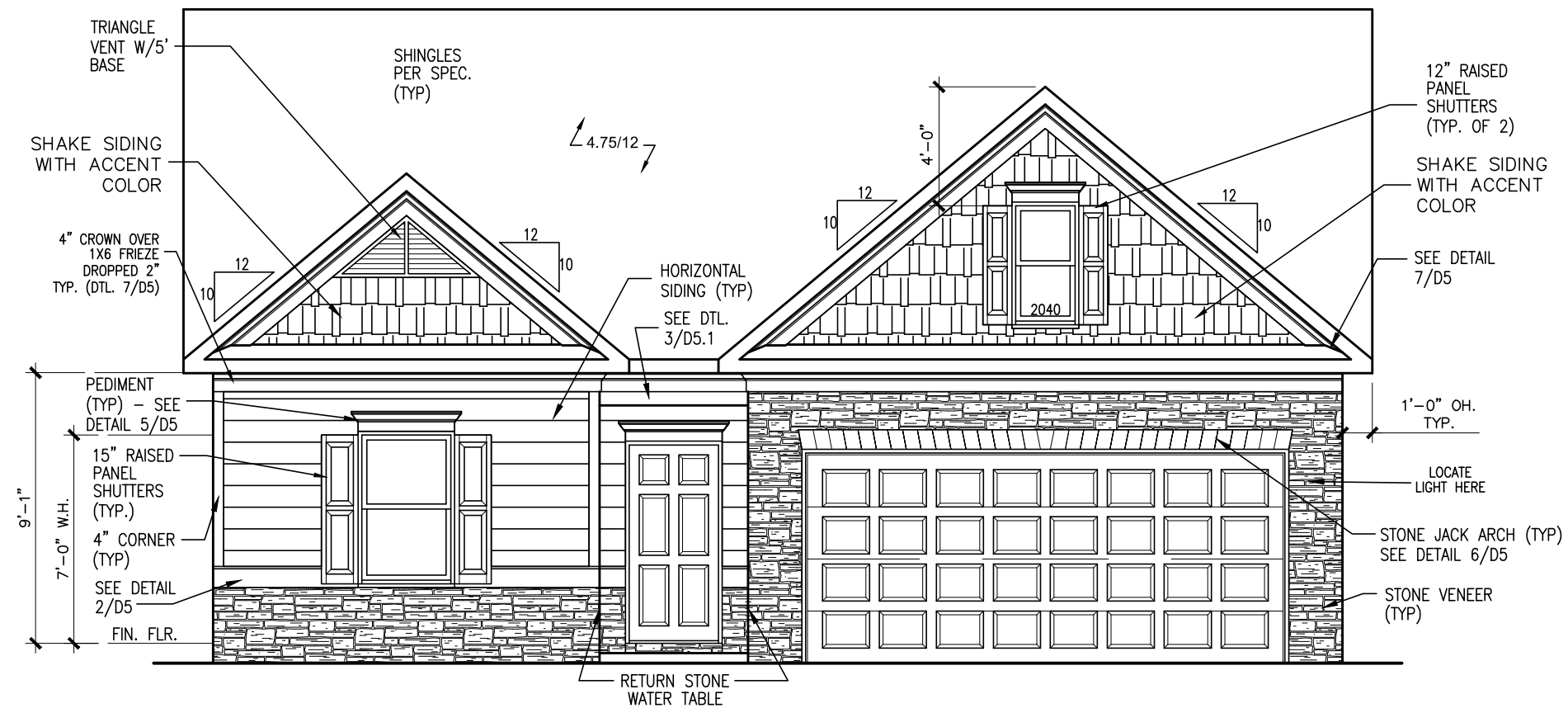
AREA TABULATION	
FIRST FLOOR	1679
TOTAL	1679
GARAGE	396
FRONT PORCH (COVERED)	20
REAR PATIO (COVERED)	91

PLAN REVISIONS			
DATE	BY	REVISION	PAGE #
11/12/2021	AW	Prototype walk revisions - see revision sheet	ALL
1/6/2022	AW	PCR Increased size of HVAC platform when 2nd flr selected and removed 1 switch in Obath to tie LED light to vanity light	A5.2, A7.3-A7.4
4/21/2022	AW	PCR added 4-way switch to Family Rm light and added outlet in Fam Rm next to cooktop wall cabs	A7.3-A7.4
9/1/2022	AW	Changed field framing and misc. items - see revision sheet	A3.1.1, A5.1.1, A5.2, A5.3
6/7/2023	AW	Relocated PDS and HVAC platform to garage for ranch versions (to match new truss layouts)	A5.1-A8.1
9/21/2023	BB	Removed tub and shower sizes on all affected pages	A3.1, A5.1, A7.3

GOVERNMENTAL CODES & STANDARDS
HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

BUILDING CODE ANALYSIS / DESIGN CRITERIA
HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

HARRINGTON PLACE LOT 0015



FRONT ELEVATION "E"

SCALE: 3/16"=1'-0"

ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

BY	REVISION	DATE
#	#	#
#	#	#
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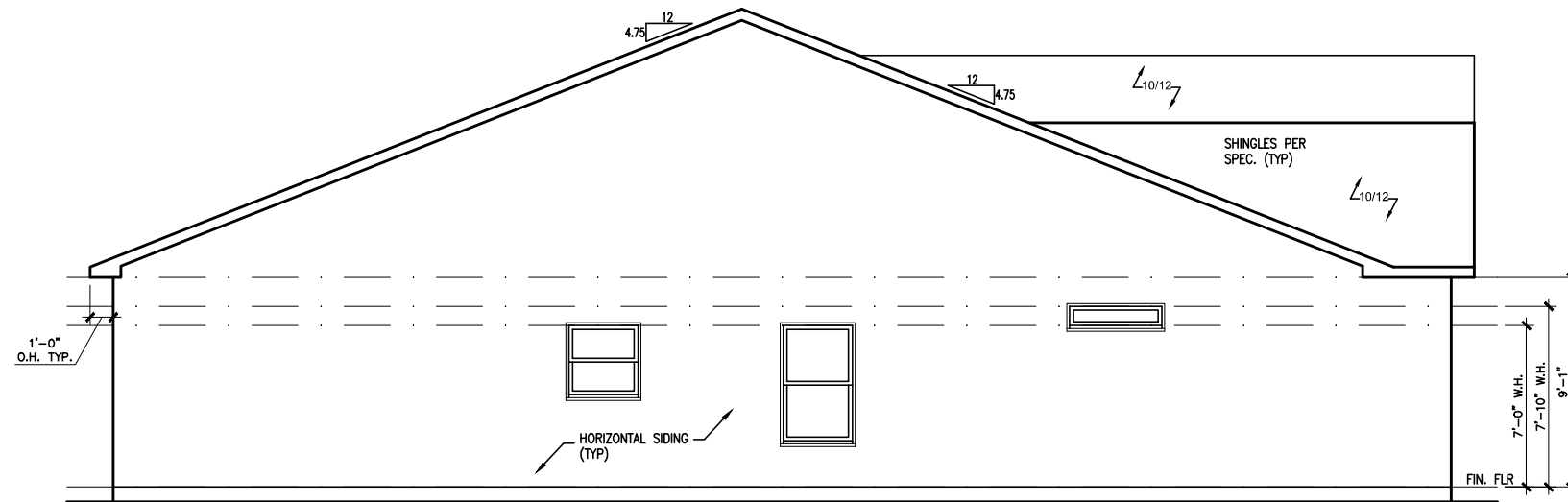
ELEVATIONS
FRONT ELEVATION
BRADLEY

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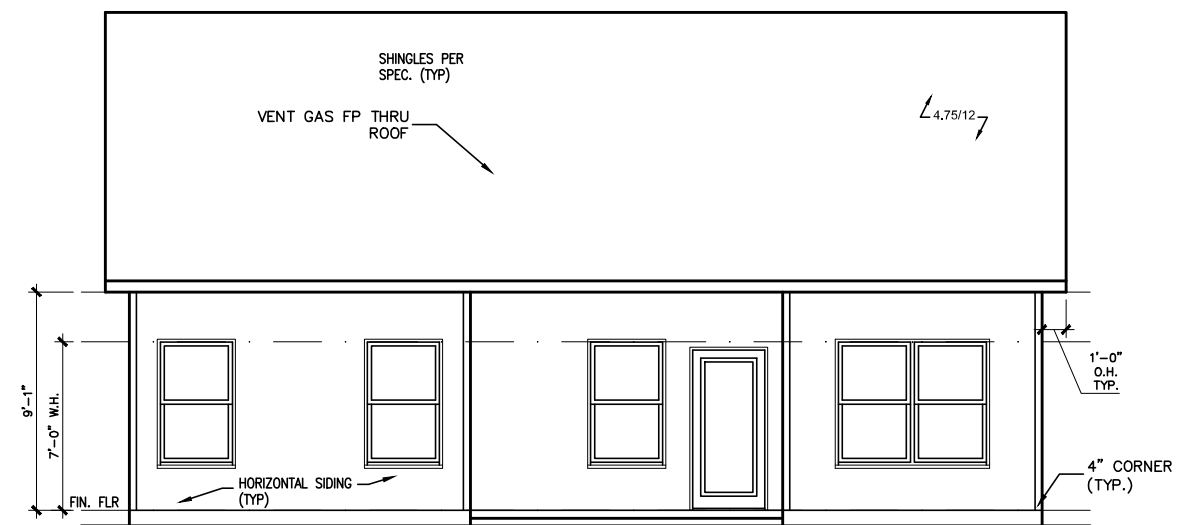
BY: KCC	CH: AW
DATE: 3/28/24	
FACADE OPT: B	
PLAN ID:	
FND: ALL	ELEV: E
PAGE NO: A1.1	

HARRINGTON PLACE LOT 0015



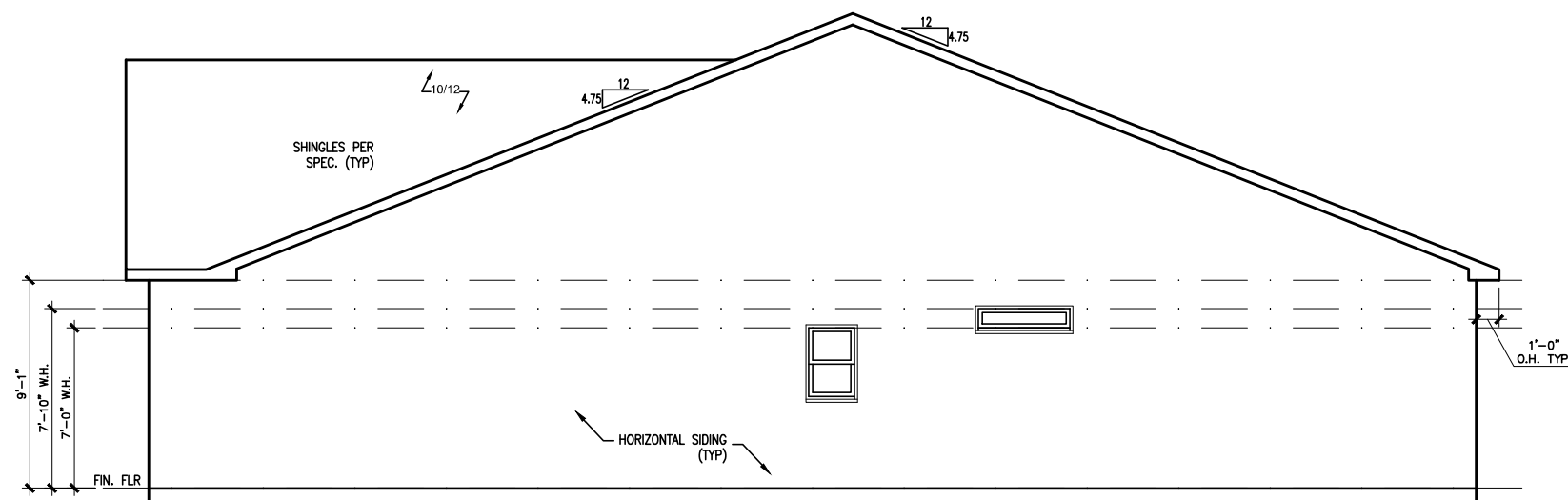
LEFT ELEVATION "E"

SCALE: 1/8" = 1'-0"



REAR ELEVATION "E"

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION "E"

SCALE: 1/8" = 1'-0"

DATE	REVISION	BY	#



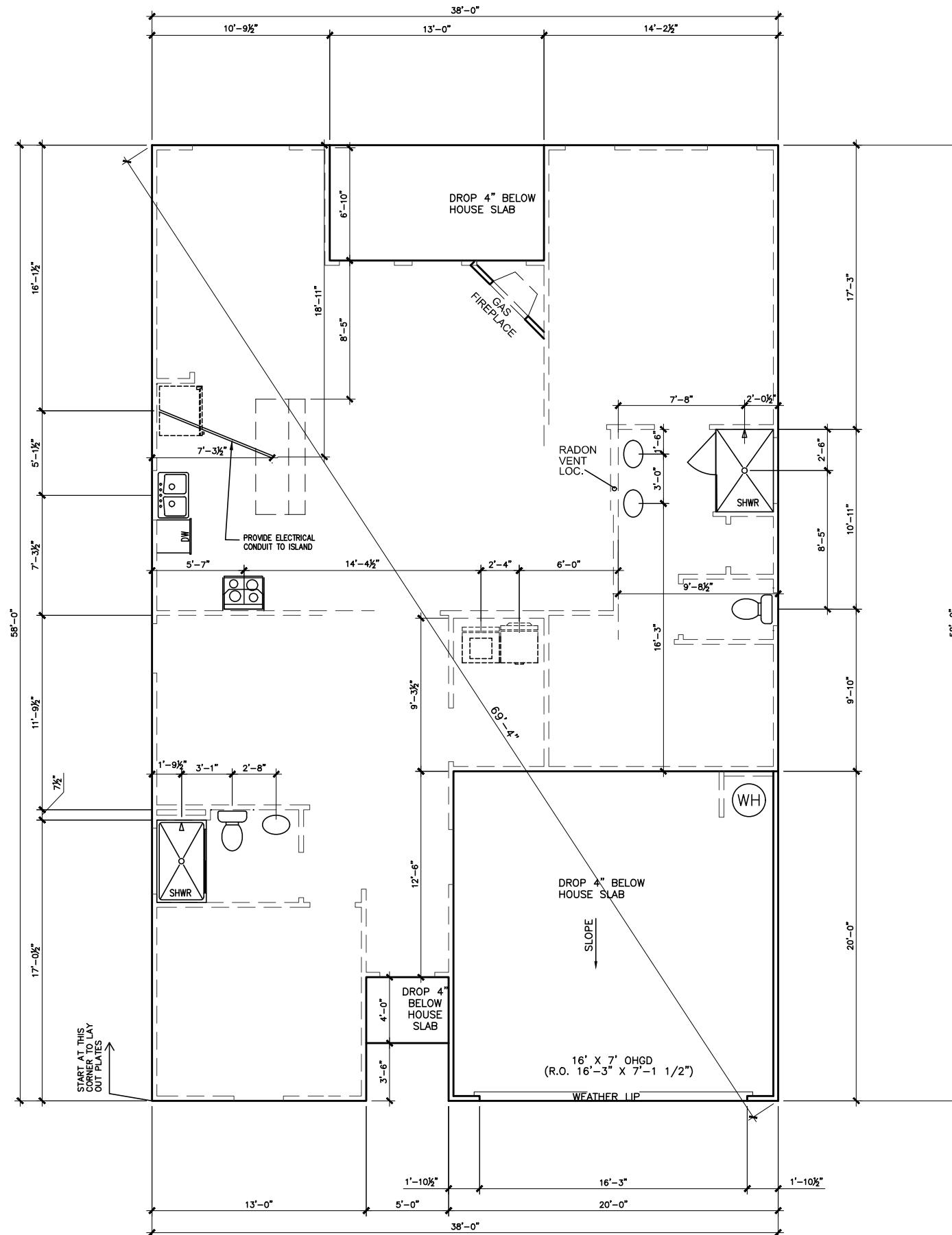
ELEVATIONS
SIDES AND REAR
BRADLEY

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PAGE NO: A2.1	

HARRINGTON PLACE LOT 0015



*RADON VENT PROVIDED PER LOCAL CODE

REFER TO DETAIL 3/D1 FOR BRICK LEDGE DETAIL WHEN BRICK VENEER IS CHOSEN

SLAB PLAN

SCALE: 1/8" = 1'-0"

DATE	REVISION	BY



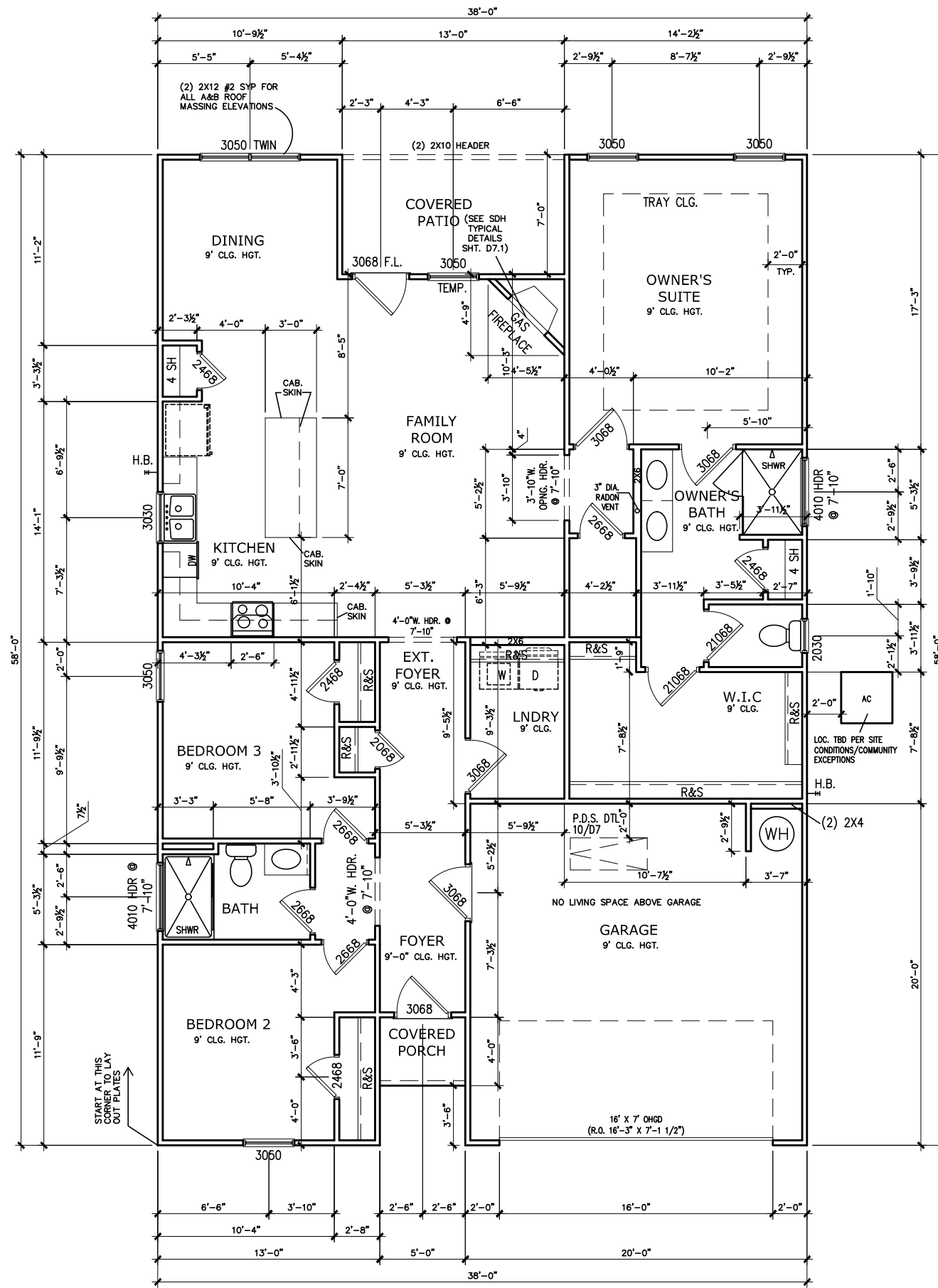
FOUNDATION PLAN
SLAB PLAN
BRADLEY

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PAGE NO: A3.1	

HARRINGTON PLACE LOT 0015



FIRST FLOOR PLAN

SCALE : 1/8" = 1'-0"

REFER TO MANUFACTURER'S
SPECS. FOR DRAIN LOCATIONS
ON DETAIL SHEETS
D12,D12.1,D12.2 & D12.3

*RADON VENT PROVIDED
PER LOCAL CODE

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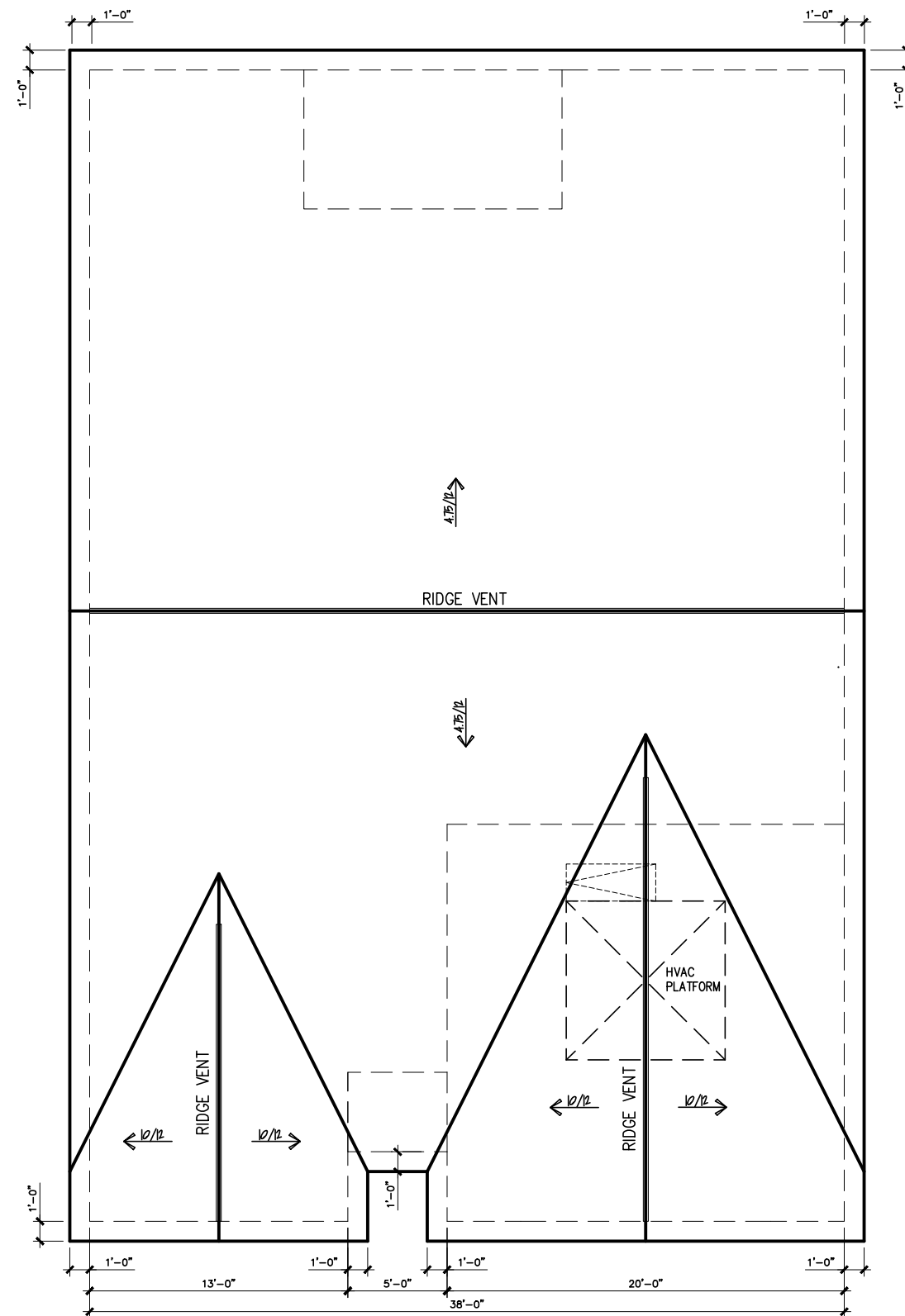
FLOOR PLAN
FIRST FLOOR
BRADLEY

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PLAN ID:	
PKD: ALL	BLVD: E
PAGE NO: A5.1	

HARRINGTON PLACE LOT 0015



ROOF PLAN "E"

SCALE: 1/8" = 1'-0"

DATE	REVISION	BY
#	#	#
#	#	#
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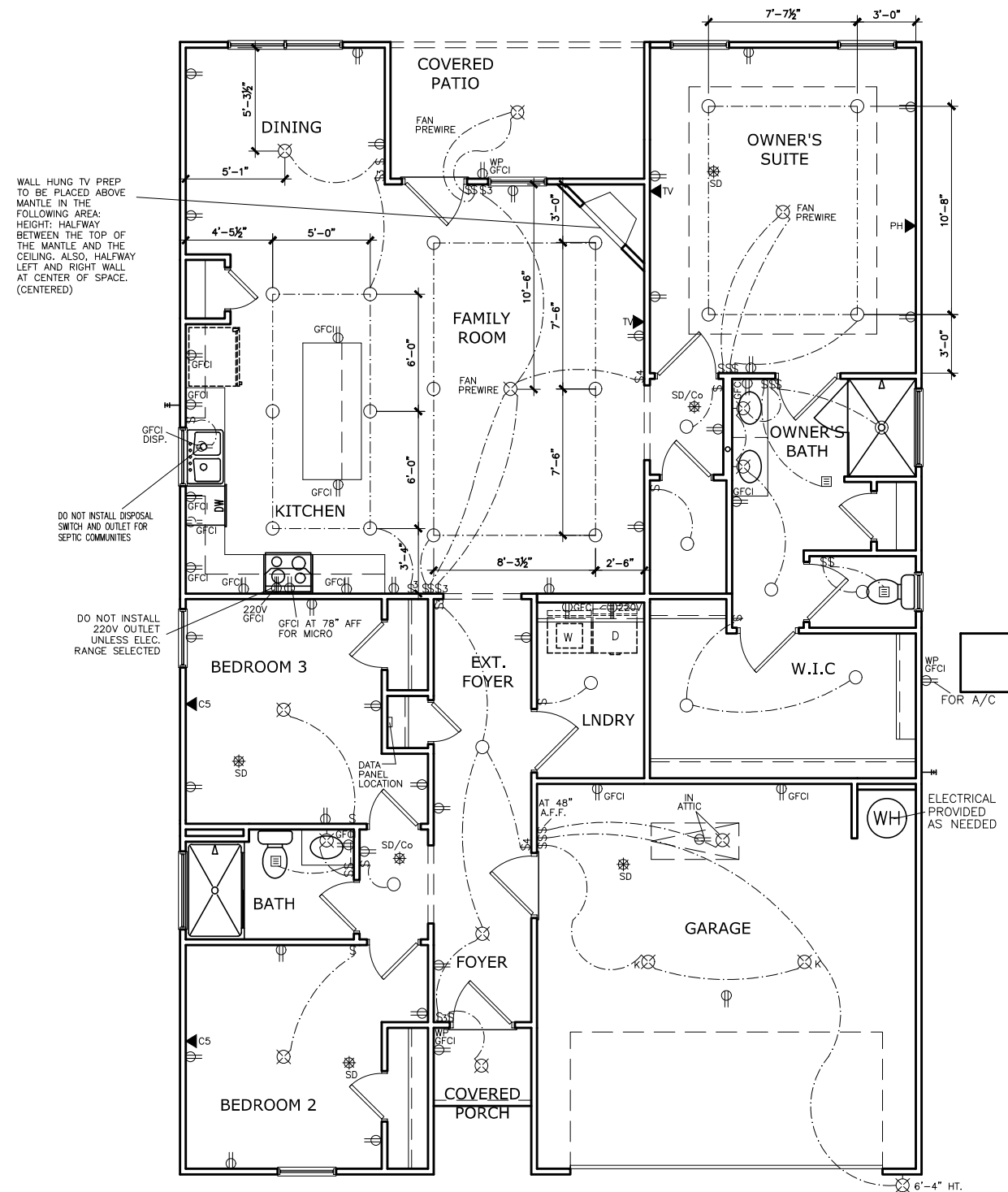
ROOF PLAN
ROOF PLAN
BRADLEY

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PLAN ID:	
FND: ALL	ELEV: E
PAGE NO: A6.1	

HARRINGTON PLACE LOT 0015



ELECTRICAL LEGEND

\$	SWITCH	TV	TV
\$3	3 WAY SWITCH	⊕	120V RECEPTACLE
\$4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕	KEYLESS	⊕	GFCI OUTLET
⊗	WALL MOUNT FIXTURE	⊕	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	†	GAS LINE
●	FLEX CONDUIT	†	WATER LINE
CH	CHIMES	⊥	HOSE BIBB
PH	TELEPHONE	⊕	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	⊕	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊗	CEILING FAN
□	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
⊕	EXHAUST FAN	⊕	CEILING FIXTURE
⊕	FAN/LIGHT		

ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES

APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)

BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR
CEILING FAN	96" ABOVE FINISHED FLOOR

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

FIRST FLOOR ELECTRICAL PLAN
SCALE : 1/8" = 1'-0"

BY:	#	#	#	#	#
REVISION					
DATE					

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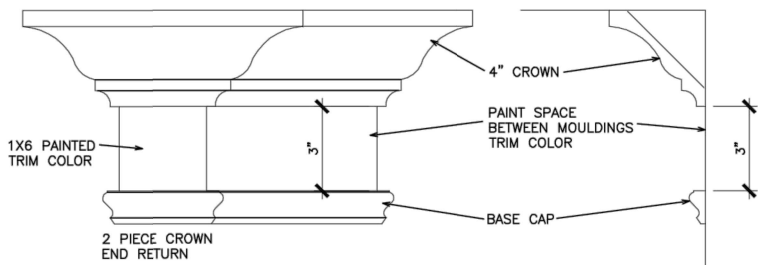
ELECTRICAL PLAN
FIRST FLOOR
BRADLEY

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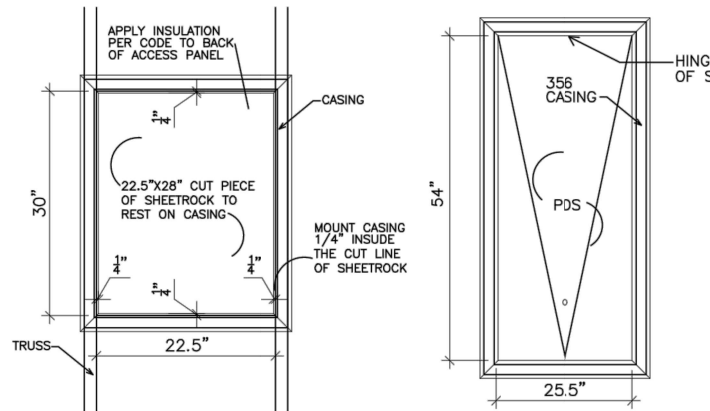
BY: KCC CH: AW
DATE: 3/28/24
FACADE OPT: B
PLAN ID:
FND: ALL ELEV: E
PAGE NO: A7.2

REFER TO LOT SPECIFIC PLAN TO DETERMINE WHICH DETAILS APPLY



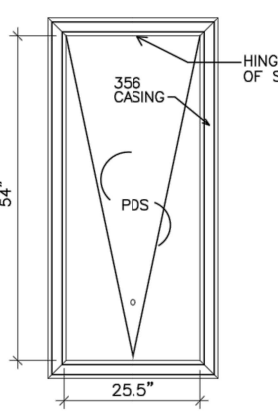
TYPICAL TWO PIECE CROWN

N.T.S.



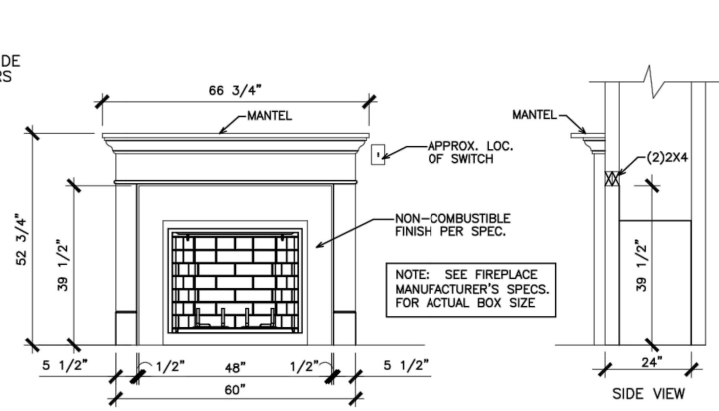
SCUTTLE HOLE DETAIL

N.T.S.



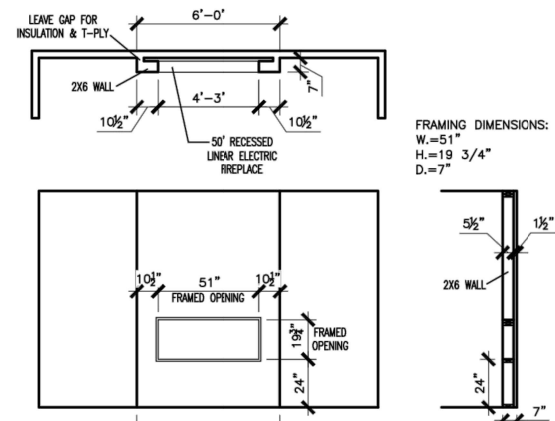
PDS TRIM DETAIL

N.T.S.



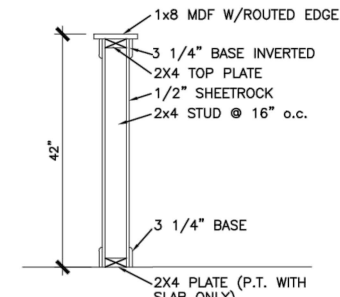
GAS/ELECTRIC FIREPLACE DETAIL WITH WESCOTT WOOD MANTEL

N.T.S.



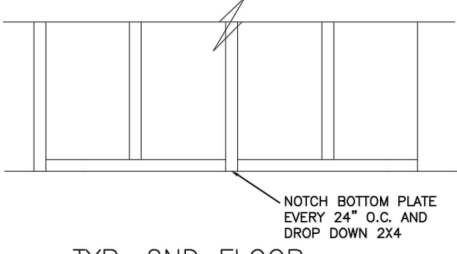
LINEAR ELECTRIC FIREPLACE DETAIL

N.T.S.



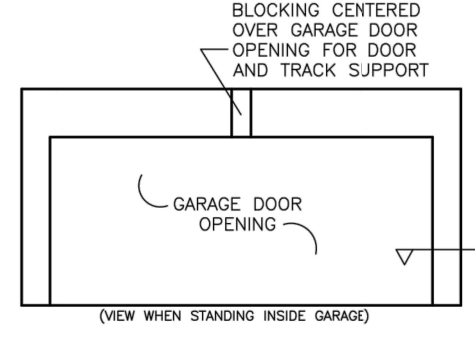
TYP. KNEEWALL SECTION

N.T.S.



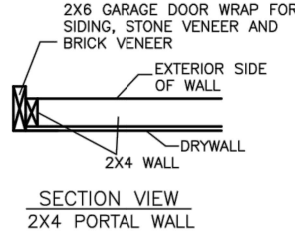
TYP. 2ND FLOOR KNEE WALL STABILITY

N.T.S.



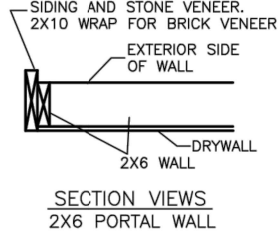
TYP. GARAGE WRAP & BLOCKING

N.T.S.



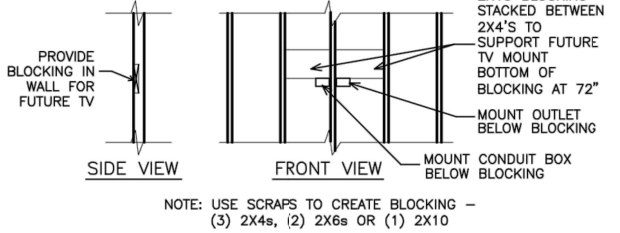
SECTION VIEW 2X4 PORTAL WALL

N.T.S.



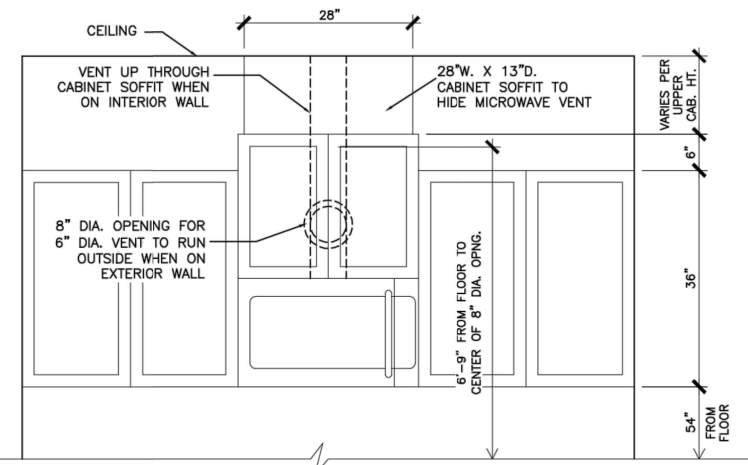
SECTION VIEWS 2X6 PORTAL WALL

N.T.S.



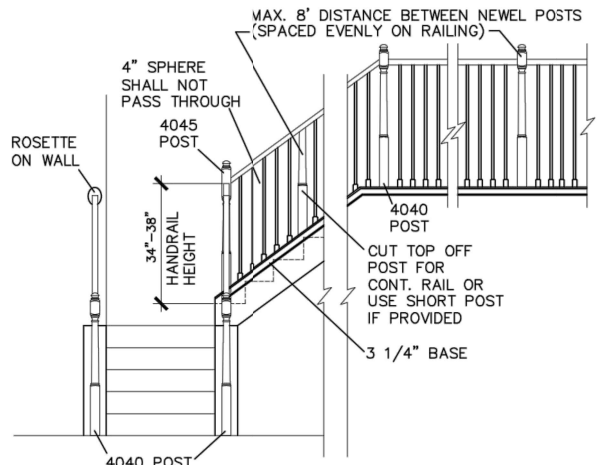
TYP. TV WALL PREP

N.T.S.



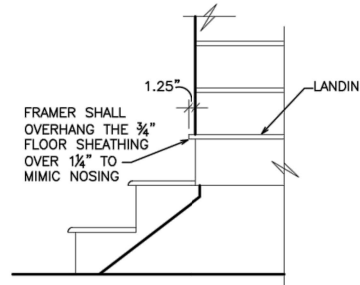
CABINET SOFFIT DETAIL ABOVE VENTED MICROWAVE W/CABINET ABOVE RANGE BUMPED UP & OUT

N.T.S.



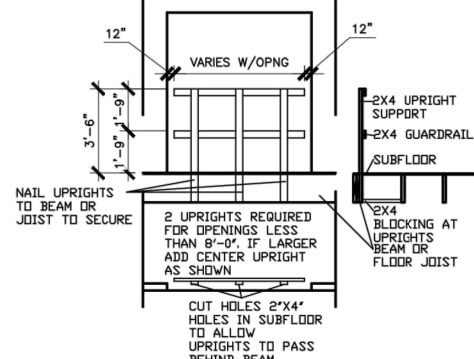
HANDRAIL/POST DETAIL @ STAIRS

N.T.S.



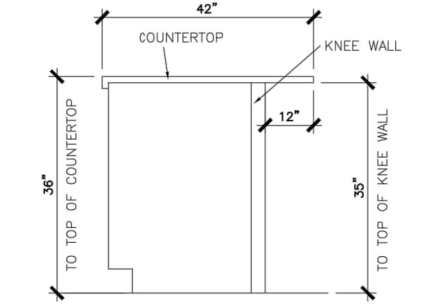
BOX STEP OVERHANG

N.T.S.



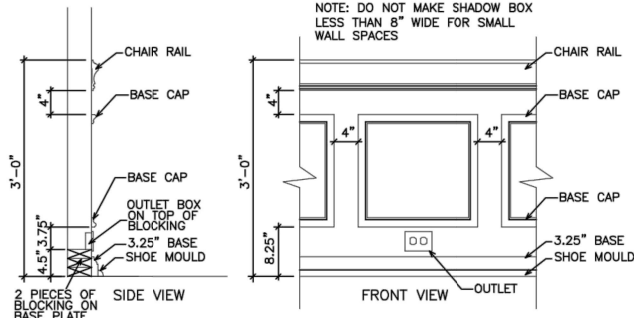
GUARD RAIL DTL. AS REQ'D

N.T.S.



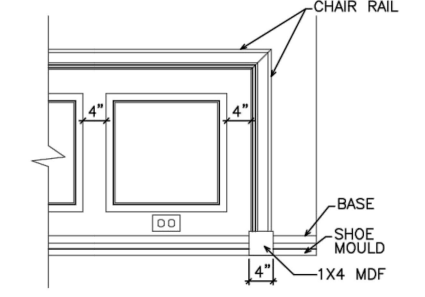
SECTION @ ISLAND KNEEWALL

N.T.S.



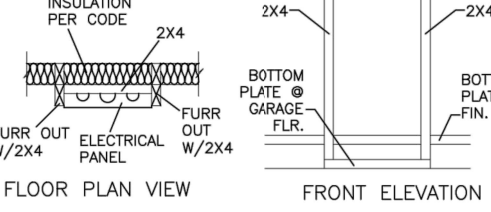
TYPICAL CHAIR RAIL & SHADOW BOX DETAIL

N.T.S.



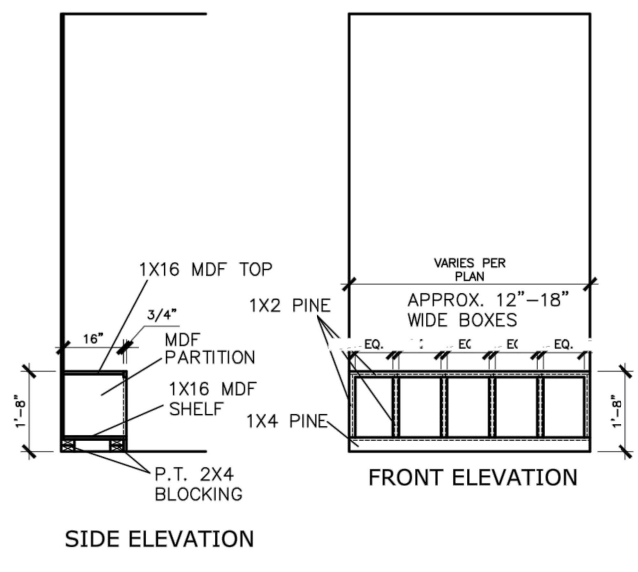
CHAIR RAIL END TRIM DETAIL

N.T.S.



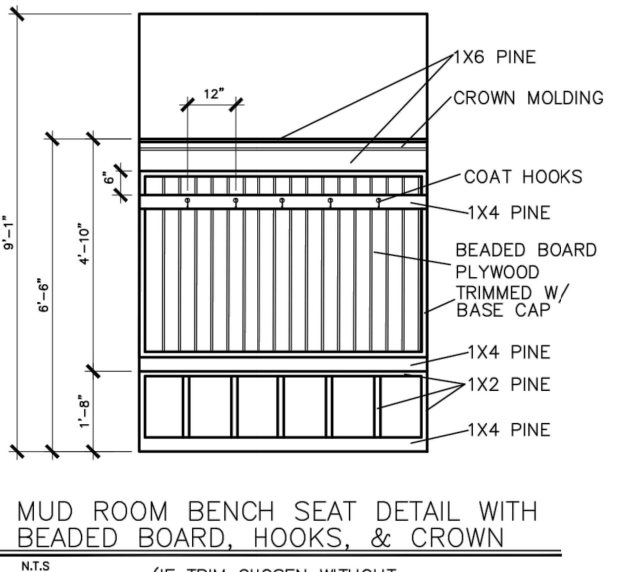
ELECTRICAL PANEL DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL WITH BEADED BOARD, HOOKS, & CROWN

N.T.S.

(IF TRIM CHOSEN WITHOUT BENCH CONTINUE TO FLOOR)

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INTERIOR TRIM
DETAILS

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DATE:	6/13/23
PLAN ID:	
END:	
ELEV:	
PAGE NO.:	D1.1

Mulhern+Kulp project number:
256-21011

project mgr: **SMK**
 drawn by: **MJF**
 issue date: **02-21-2022**

REVISIONS:

date:	initial:
03/04/2022	KMF
08/11/2022	SMM
UPDATE PER ARCH COMMENTS	

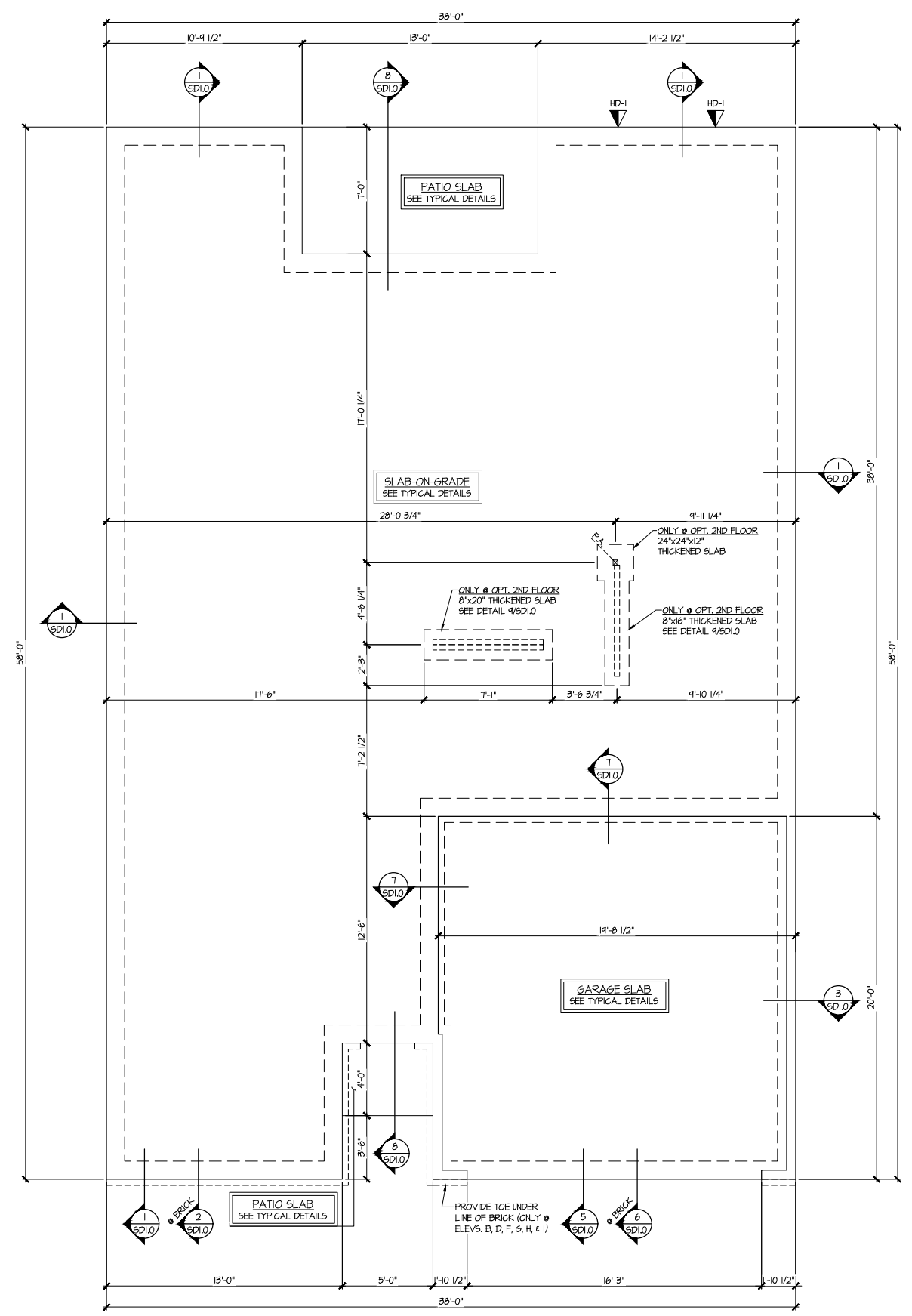
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**Harrington
 Lot 15**

REFER TO S0.0 FOR TYPICAL
 STRUCTURAL NOTES & SCHEDULES

MONO-SLAB FOUNDATION
 BRADLEY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

sheet:
S1.0



MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ALL ELEV. SIM.
 OPT. 2ND FLOOR SIM

HOLD-DOWN SCHEDULE	
SYMBOL	SPECIFICATION
HD-1	USP HTT45 HOLD-DOWN w/ STB16 ANCHOR BOLT *
HD-2	USP STAD14 HOLD-DOWN STRAP
HD-3	USP MSTC40 HOLD-DOWN STRAP

ALTERNATIVE TO STB16 ANCHOR BOLT SPECIFICATION:
 * ANCHOR HOLD-DOWN UTILIZING THREADED ROD (REFER TO USP SPECIFICATION FOR ANCHOR DIAMETER). EPOXY-SET INTO CONCRETE FOUNDATION w/ USP CIA-GEL 1000 EPOXY SYSTEM PER MANUF. RECOMMENDATIONS.
 CONG. FOUND. - PROVIDE 9" MIN. EMBEDMENT INTO CONCRETE.
 DO NOT LOCATE EPOXY-SET ANCHORS WITHIN 1 3/4" OF FACE OF CONCRETE FOUNDATION.
 CMU FOUND. - PROVIDE 12" MIN. EMBEDMENT INTO SOLID GROUTED CELLS. DO NOT LOCATE EPOXY-SET ANCHORS WITHIN 3" OF EDGE OF CMU FOUNDATION.

LEGEND	
R.T.	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
O.F.	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
F.I.	INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
D.I.	INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
(Symbol)	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
(Symbol)	INTERIOR BEARING WALL
(Symbol)	BEARING WALL ABOVE (B.W.A.)
(Symbol)	BEAM/HEADER
(Symbol)	METAL HANGER
(Symbol)	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

Mulhern+Kulp project number:
256-21011

project mgr: **SMK**
 drawn by: **MJF**
 issue date: **02-21-2022**

REVISIONS:

date:	initial:
03/04/2022	KM
08/11/2022	SMM
UPDATE PER ARCH COMMENTS	

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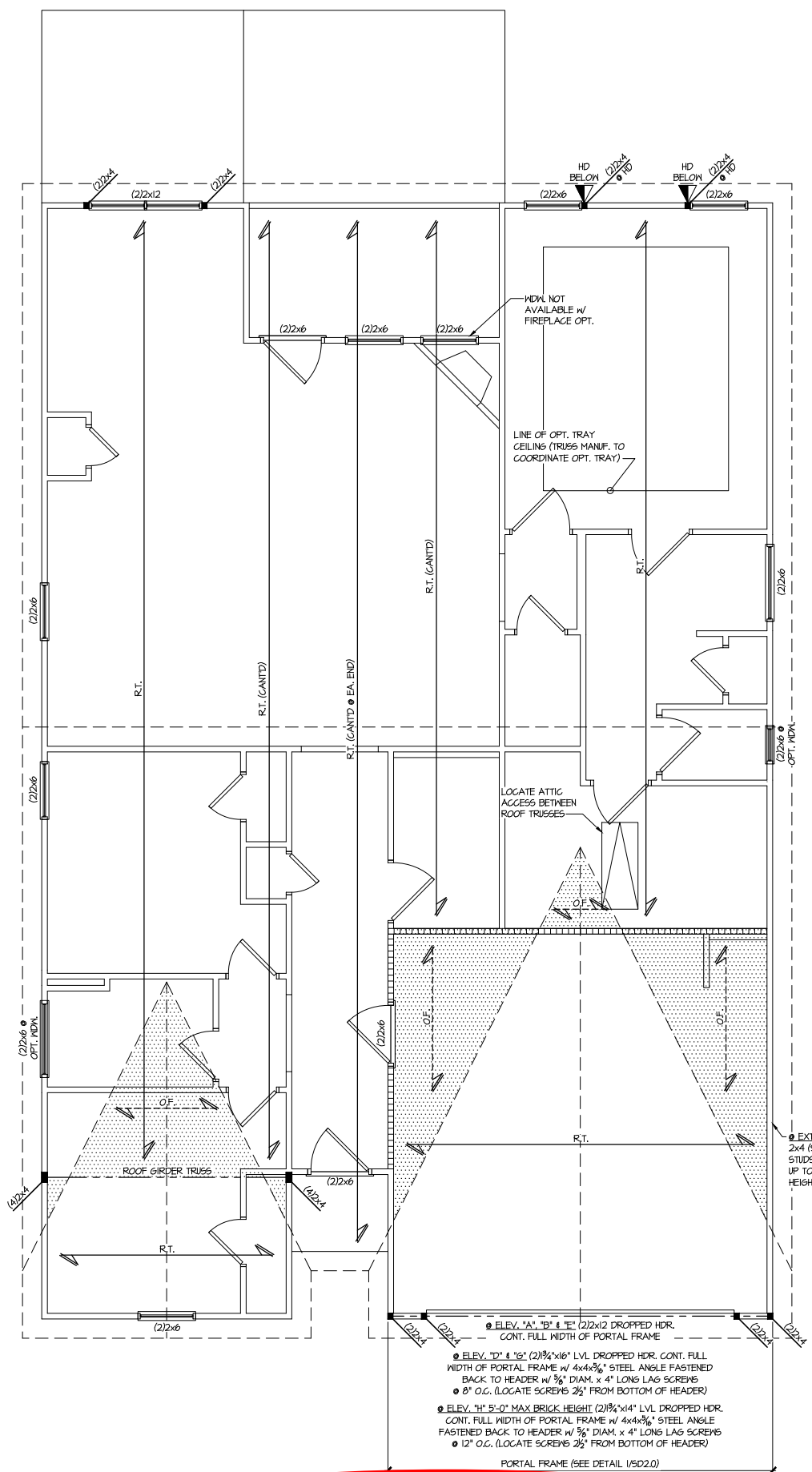
**Harrington
 Lot 15**

THIS LEVEL HAS BEEN DESIGNED
 FOR 9'-1" PLATE HEIGHT

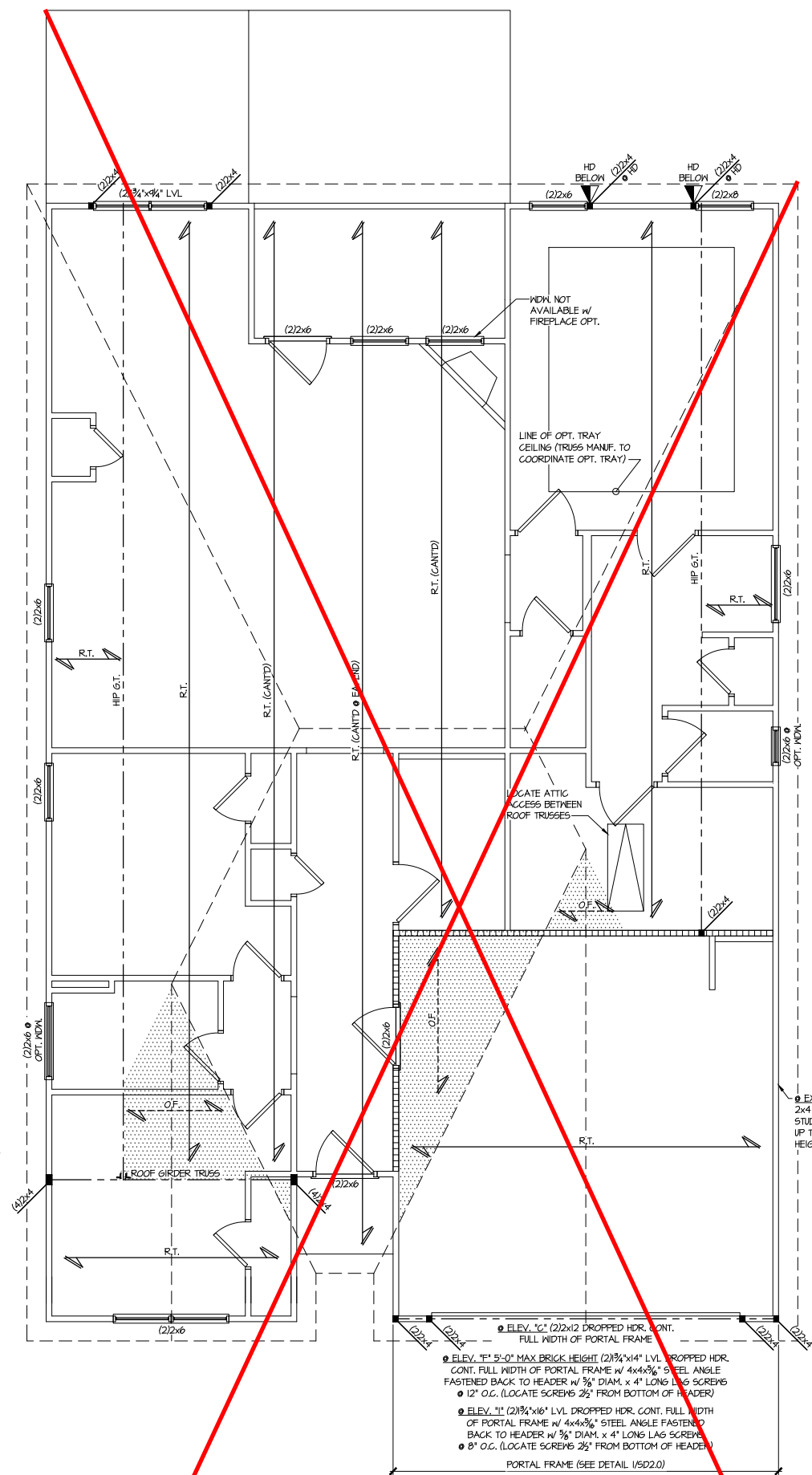
REFER TO S.O.0 FOR TYPICAL
 STRUCTURAL NOTES & SCHEDULES

LEGEND

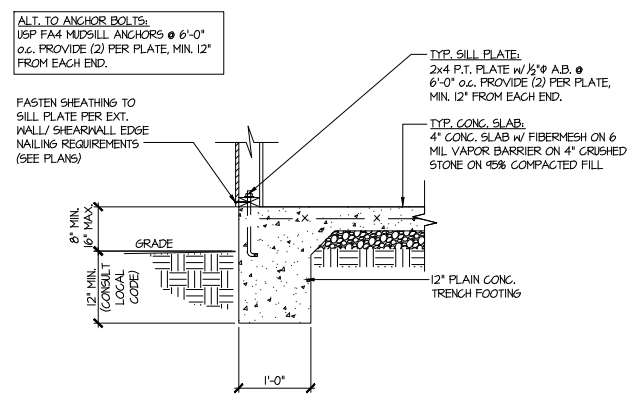
- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
- F.I. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.I. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



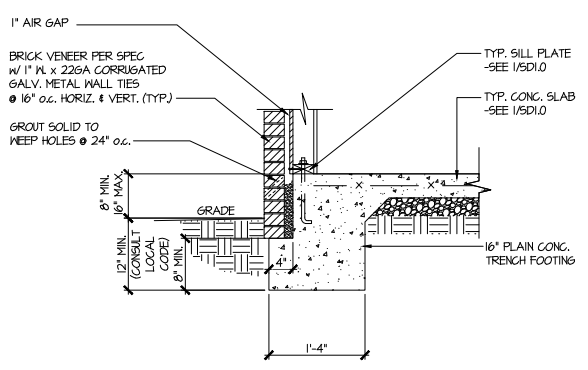
1 ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. A, B, D, E, G, & H



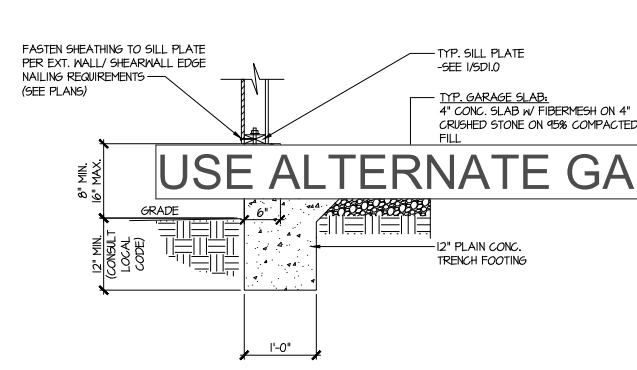
2 ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. C, F, & I



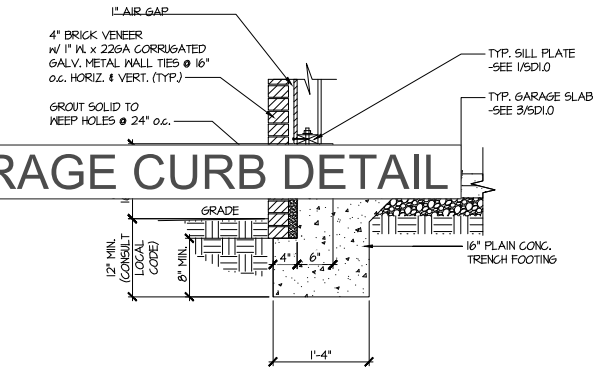
1 TYPICAL SLAB ON GRADE PERIMETER FOOTING



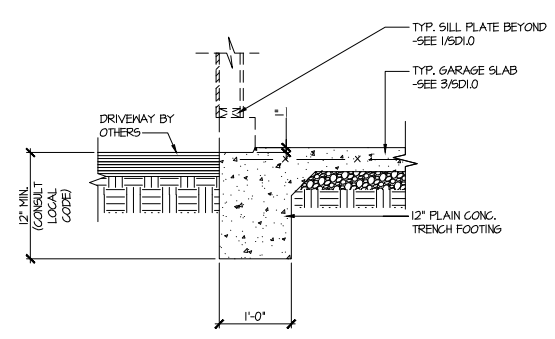
2 TYPICAL SLAB ON GRADE PERIMETER FOOTING w/ BRICK VENEER



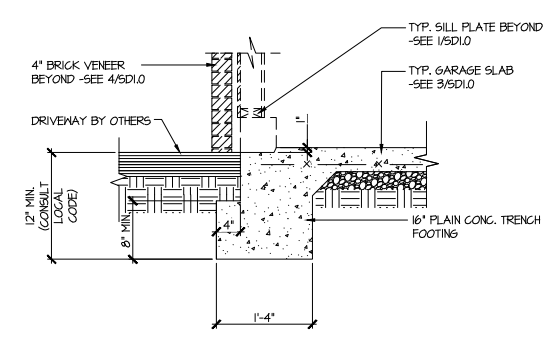
3 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



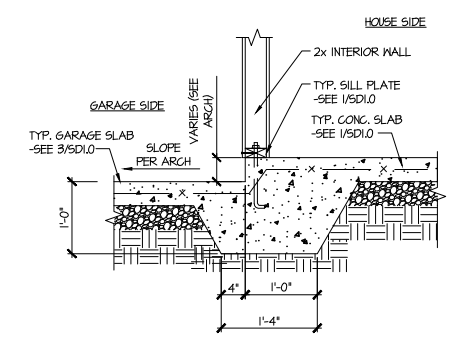
4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING w/ BRICK VENEER



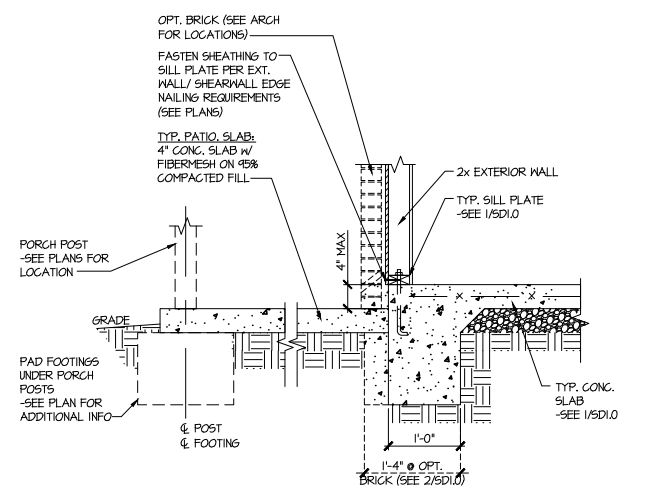
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



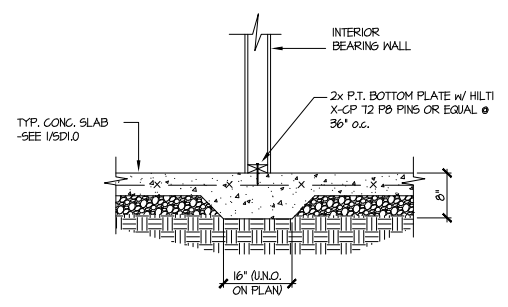
6 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING w/ BRICK VENEER



7 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



8 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



9 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

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 RESIDENTIAL STRUCTURAL ENGINEERING
 3025 Dunwoody Parkway, Suite 105 - Alpharetta, GA 30022
 770-777-8974 • mulhern+kulp.com
 NC License # C-3825

Mulhern+Kulp project number:
256-21011

project mgr: **SMK**
 drawn by: **MJF**
 issue date: **02-21-2022**

REVISIONS:

date:	initial:
03/04/2022	KMH
08/11/2022	SMM
UPDATE PER ARCH COMMENTS	

SMITH DOUGLAS
 HOMES

FOUNDATION DETAILS
 BRADLEY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

Harrington
 Lot 15

sheet:
SD1.0



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RESIDENTIAL STRUCTURAL ENGINEERING

3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

August 18, 2023

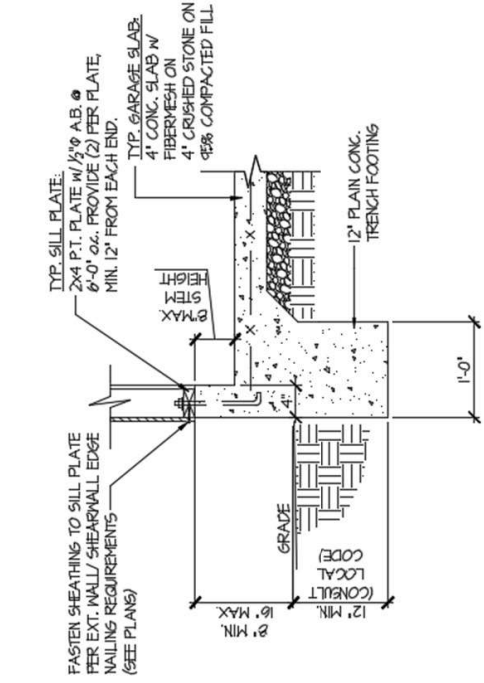
Jody Hunt
Director of Product Development
SMITH DOUGLAS HOMES
110 Village Trail, Suite 215
Woodstock, GA 30188

ALTERNATE GARAGE CURB DETAIL
Smith Douglas Homes

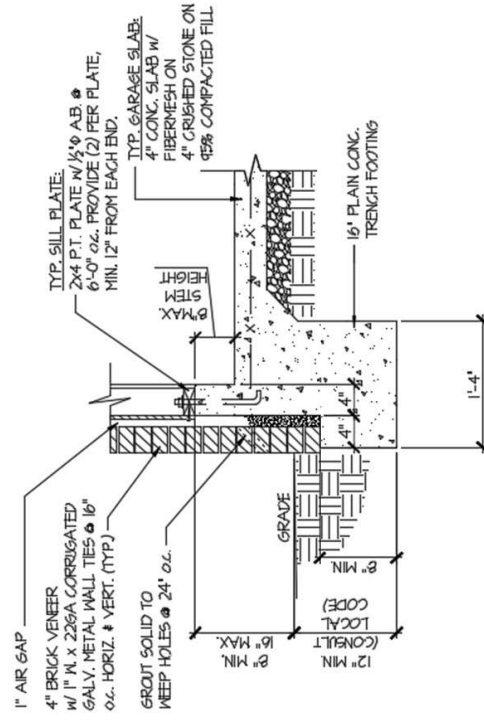
Reference
Current Structural Plans prepared by Mulhern & Kulp

Jody:

Pursuant to your request, we have prepared this letter to address the “Alternate Garage Curb Details”, prepared by Mulhern & Kulp for Smith Douglas Homes shown below. The foundation details shown below call for a 4” wide curb with a maximum of 8” stem wall height; these are an acceptable alternative to the 6” wide curb at the garage per M&K foundation details 3 & 4 on sheet SD-1.0 at 2x4 garage wall locations.



(A) TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



(B) TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

Please feel free to call if you have any questions.

Respectfully,

MULHERN & KULP STRUCTURAL ENGINEERING, INC.

NC License # C-3825

Shaun M. Kreidel, P.E. Project Manager + Atlanta Office Director



Signature + Seal 08/18/2023

Mulhern+Kulp project number:
256-21011

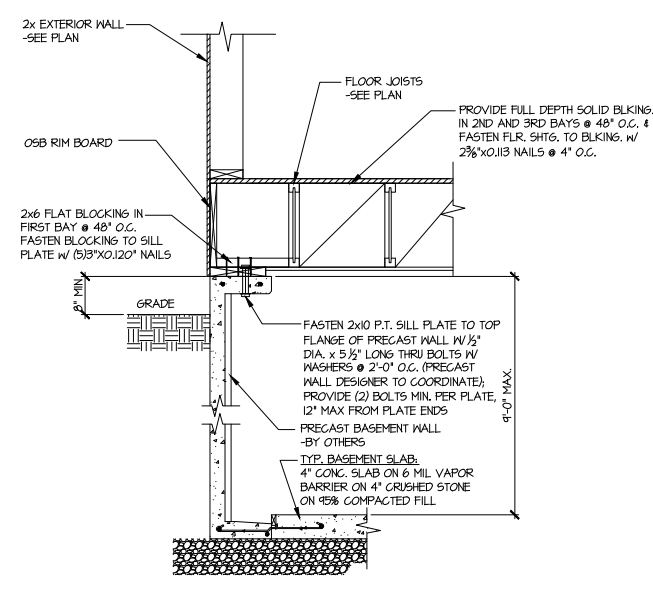
project mgr: **SMK**
 drawn by: **MJF**
 issue date: **02-21-2022**

REVISIONS:

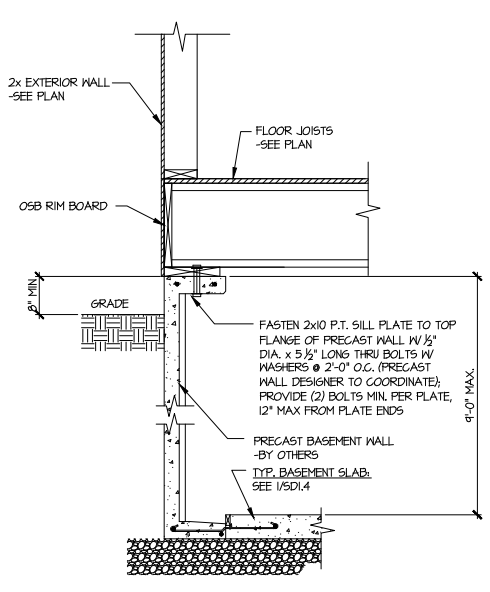
date:	initial:
03/04/2022	KMV
REVISIONS ADDED	
08/11/2022	SMK
UPDATE PER ARCH COMMENTS	

SMITH DOUGLAS
 HOMES

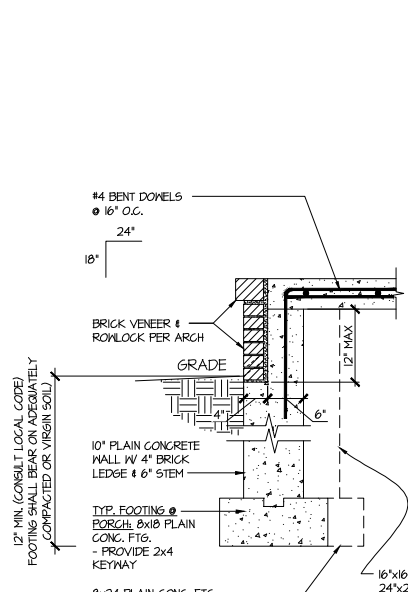
FOUNDATION DETAILS
BRADLEY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA



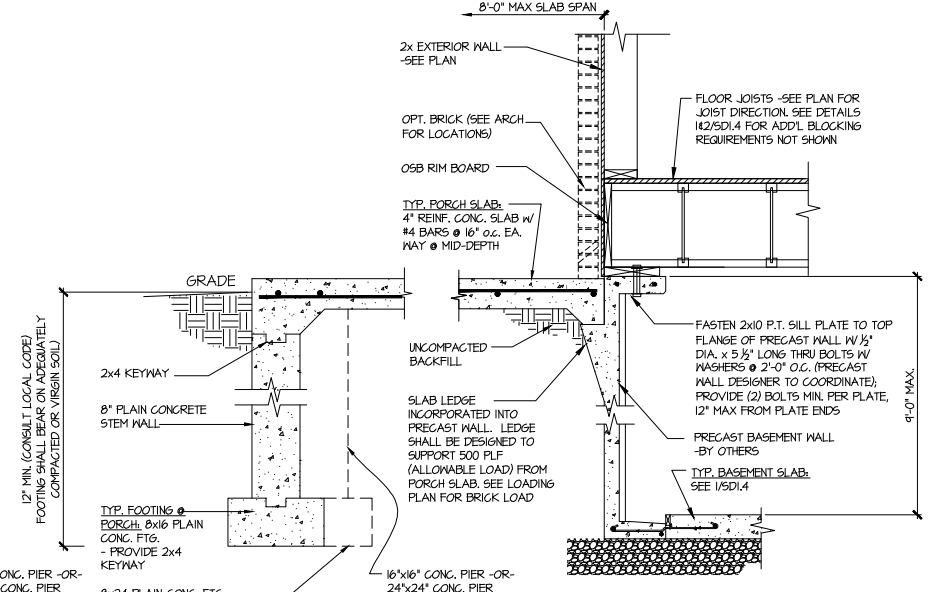
1 SECTION
 SCALE: 3/4"=1'-0"



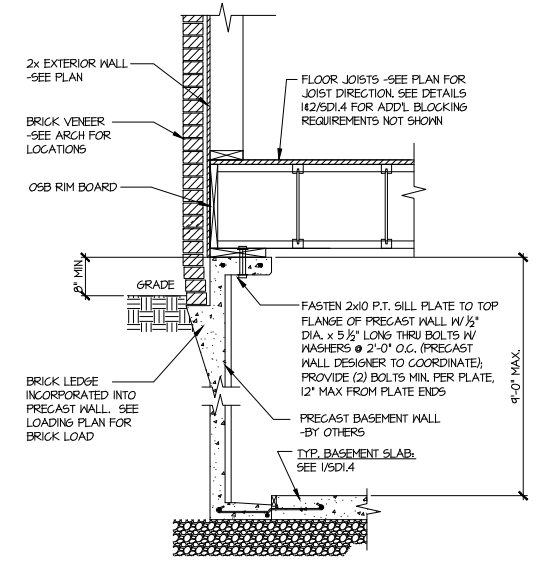
1A SECTION
 SCALE: 3/4"=1'-0"



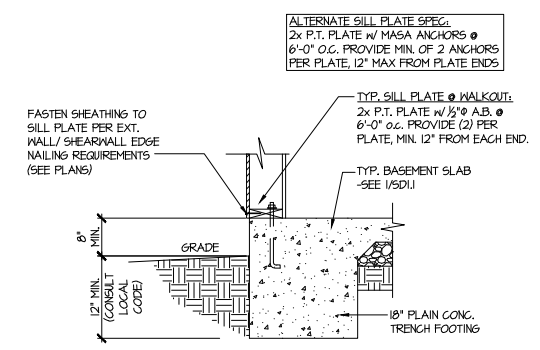
3 SECTION
 SCALE: 3/4"=1'-0"



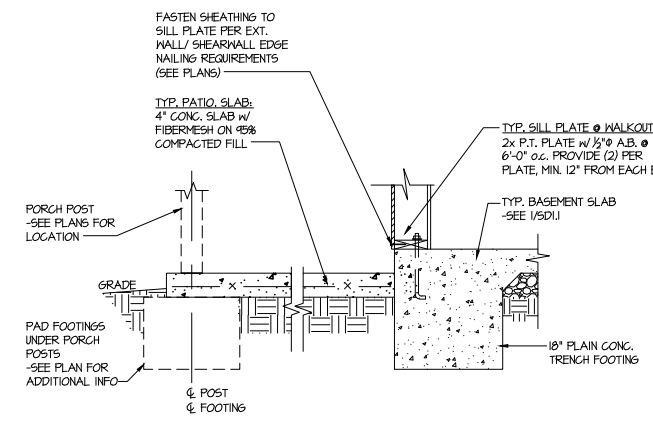
NO BRICK @ PORCH PERIMETER



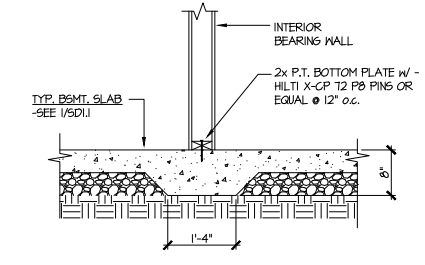
2 SECTION
 SCALE: 3/4"=1'-0"



4 TYPICAL BASEMENT FOUNDATION @ WALKOUT



5 TYPICAL BASEMENT FOUNDATION @ WALKOUT



6 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

Harrington
 Lot 15

Mulhern+Kulp project number:
 256-21011

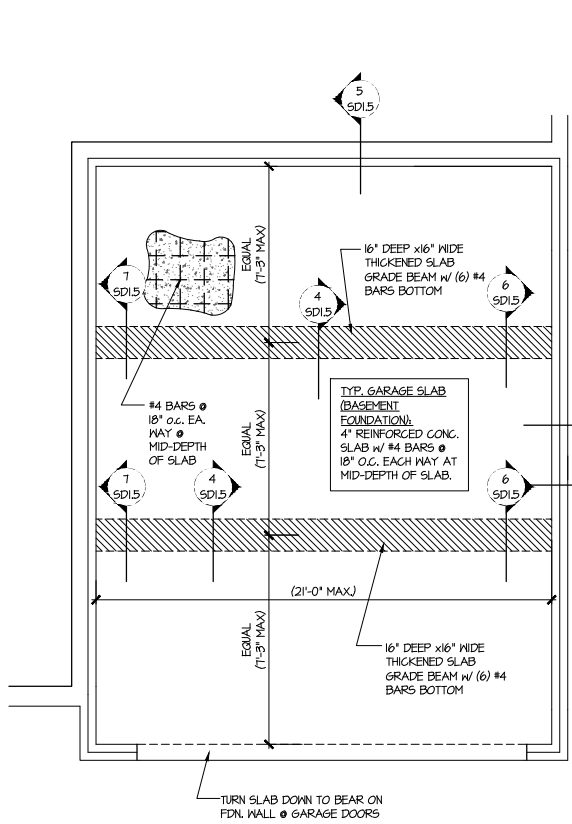
project mgr: SMK
 drawn by: MJF
 issue date: 02-21-2022

REVISIONS:

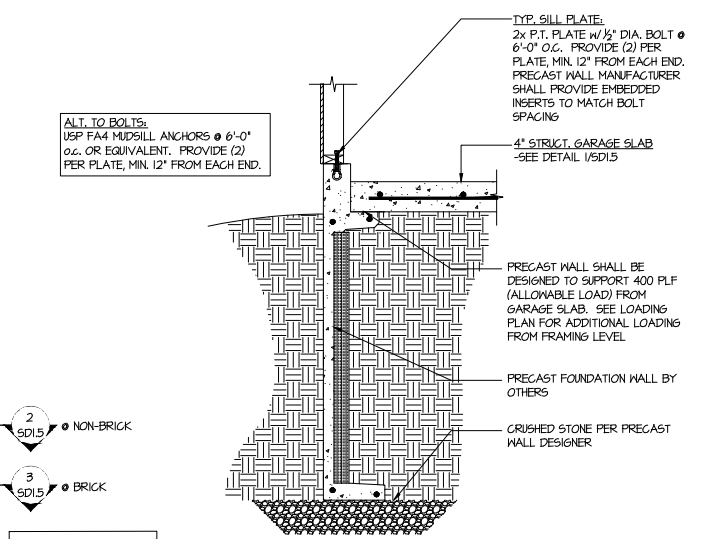
date:	initial:
03/01/2022	KM
08/11/2022	SMM
UPDATE PER ARCH COMMENTS	

SMITH DOUGLAS
 HOMES

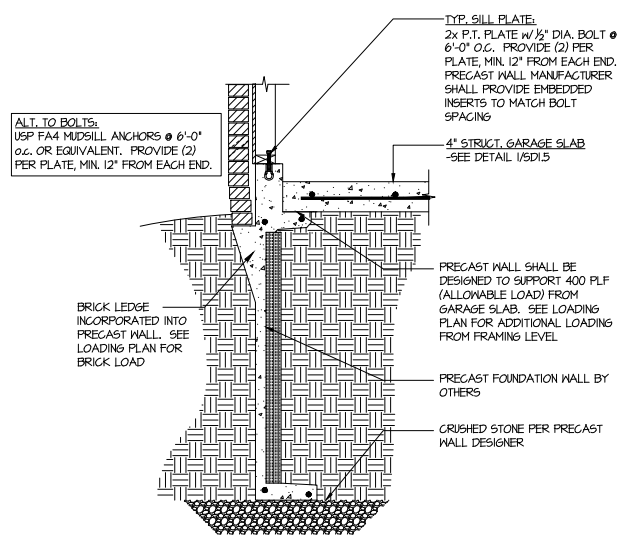
FOUNDATION DETAILS
 BRADLEY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA



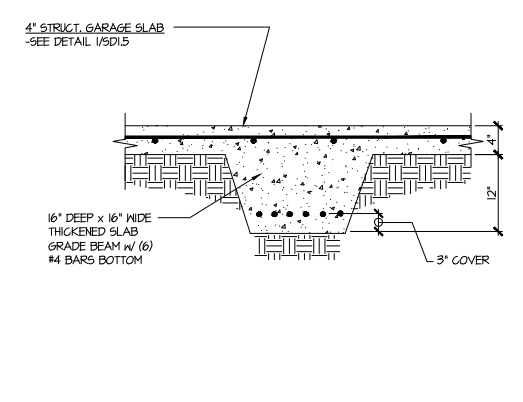
1 GENERIC FOUNDATION PLAN KEY @ GARAGE
 SCALE: 1/4"=1'-0"



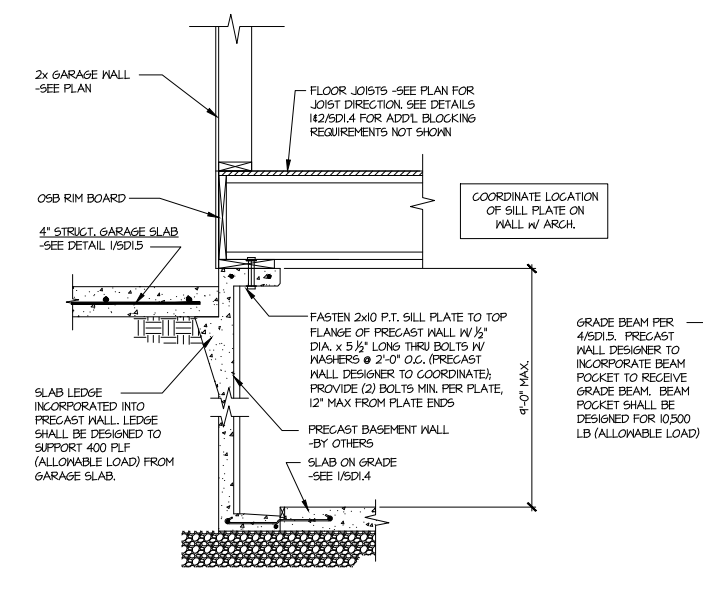
2 TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION
 (NON-BRICK)



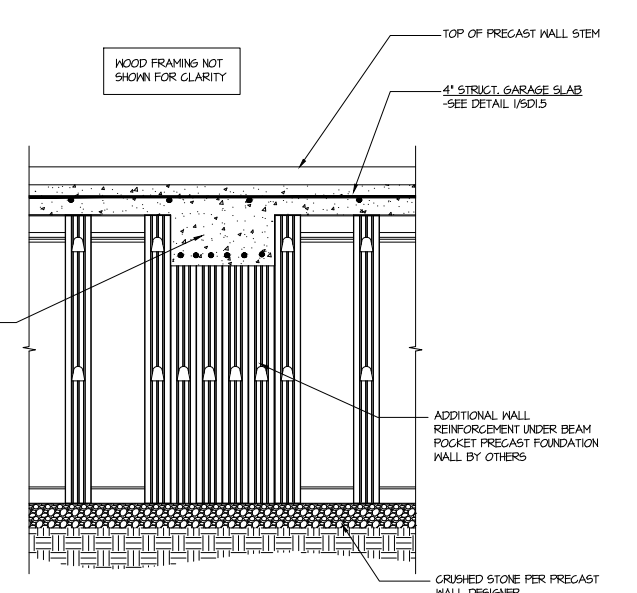
3 TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION (BRICK)



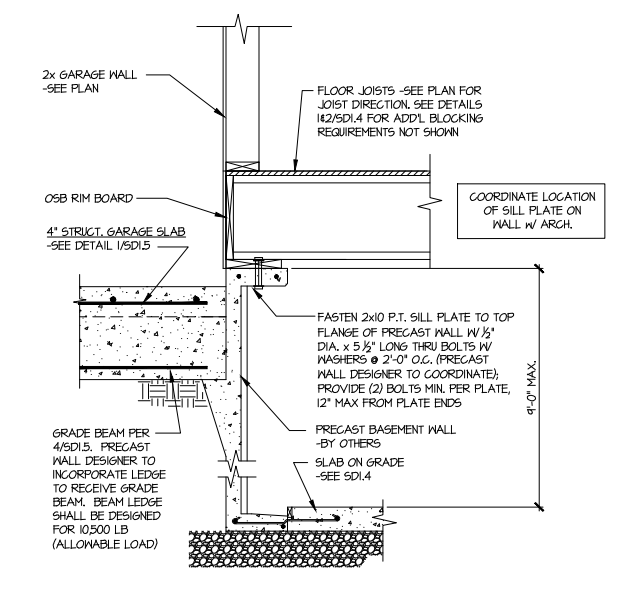
4 TYPICAL CONCRETE GRADE BEAM @ GARAGE FDN.
 SCALE: 3/4"=1'-0"



5 CONCRETE BSMT. FDN. WALL @ GARAGE

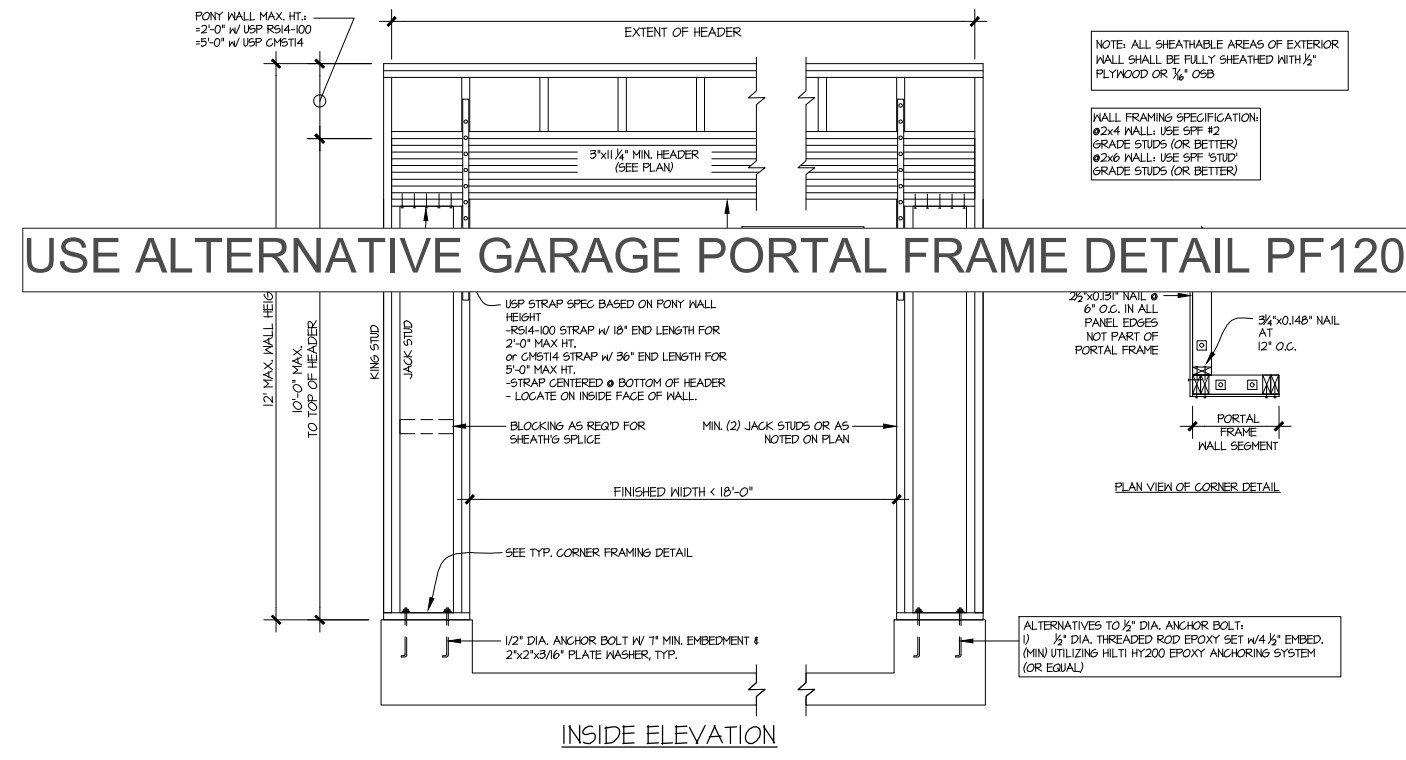
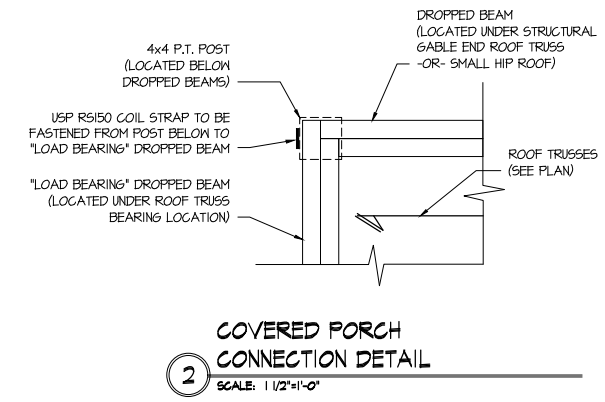
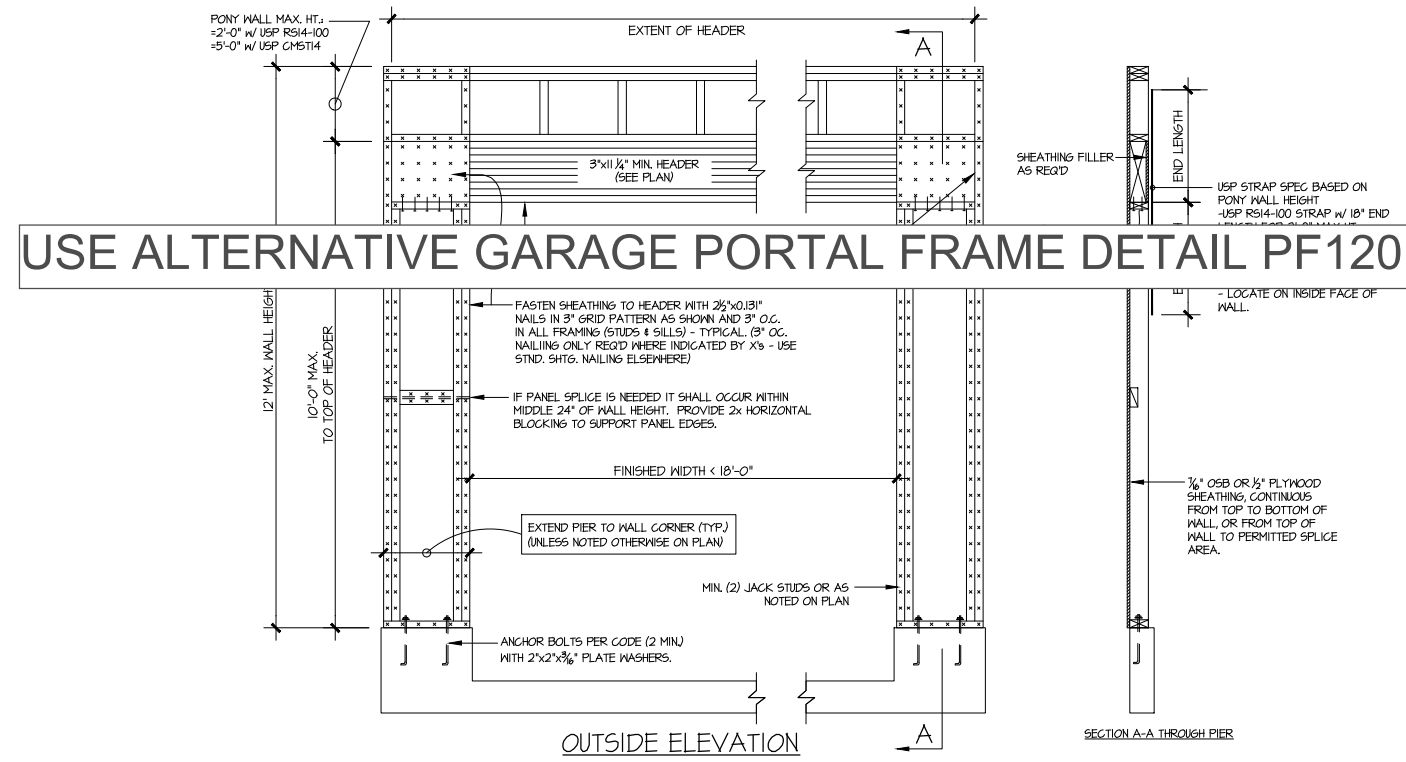


6 SECTION
 SCALE: 3/4"=1'-0"



7 SECTION
 SCALE: 3/4"=1'-0"

Harrington
 Lot 15



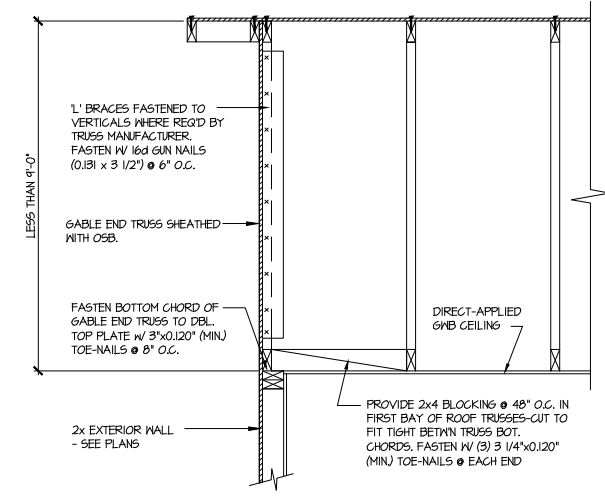
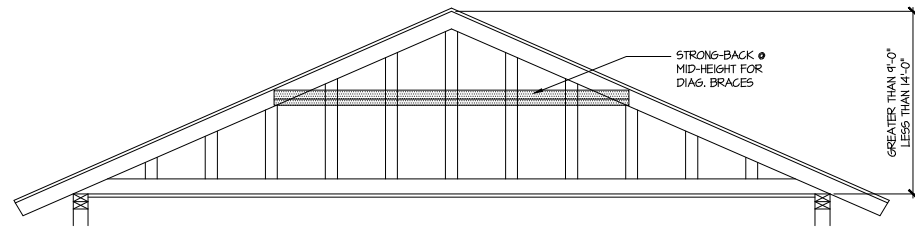
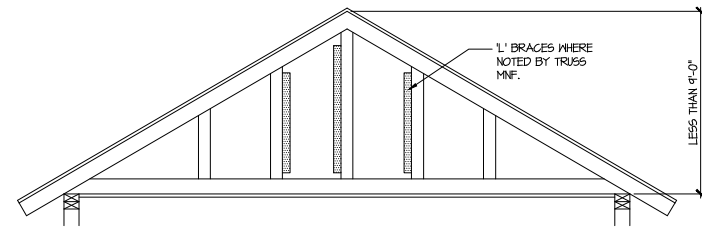
GARAGE PORTAL FRAME BRACING ELEVATION
 SCALE: N.T.S.
 BOTH SIDES OF GARAGE DOOR
 115 MPH WIND SPEED (ULT)

MULHERN+KULP
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 3825 Remondino Parkway, Suite 105 - Alpharetta, GA 30022
 770-777-8974 - mulhern+kulp.com
 NC License # C-3825

Mulhern+Kulp project number:	256-21011
project mgr:	SMK
drawn by:	MJF
issue date:	02-21-2022
REVISIONS:	
date:	initial:
03/04/2022	KM
MISSING PLANS ADDED	
08/11/2022	SMM
UPDATE PER ARCH COMMENTS	

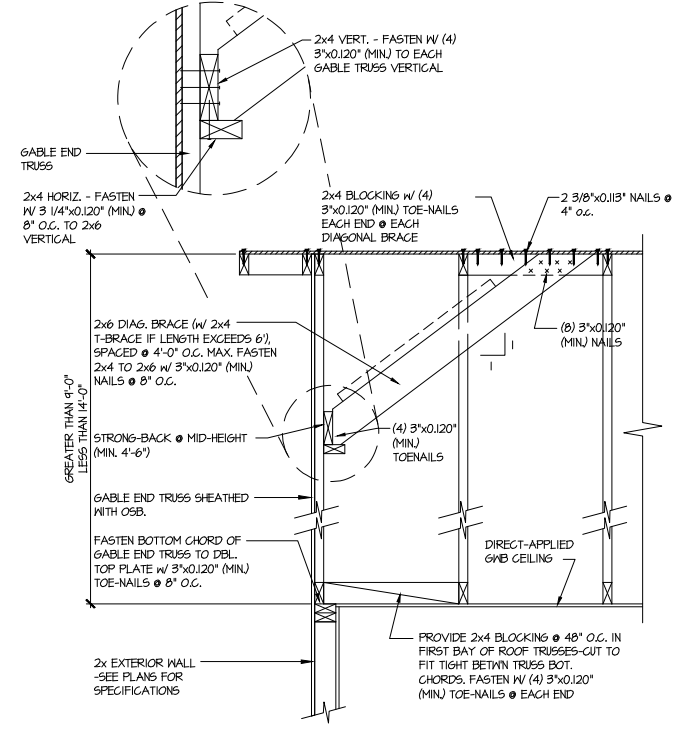
SMITH DOUGLAS
 HOMES

FRAMING DETAILS
 BRADLEY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA



A TYPICAL GABLE END BRACING DETAIL
 SCALE: NONE
 REQ'D • GABLE END TRUSS HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



B TYPICAL GABLE END BRACING DETAIL
 SCALE: NONE
 REQ'D • GABLE END TRUSS HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.
 NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

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 770-777-8074 • mulhern+kulp.com
 NC License # C-3825

Mulhern+Kulp project number:
 256-21011

project mgr: SMK
 drawn by: MJF
 issue date: 02-21-2022

REVISIONS:

date:	initial:
03/04/2022	KMV
08/11/2022	SMM
MISSED PLANS ADDED	
UPDATE PER ARCH COMMENTS	

SMITH DOUGLAS
 HOMES

FRAMING DETAILS
 BRADLEY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

Harrington
 Lot 15

sheet:
SD2.1



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RESIDENTIAL STRUCTURAL ENGINEERING

3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

July 28, 2023

Jody Hunt
Director of Product Development
SMITH DOUGLAS HOMES
110 Village Trail, Suite 215
Woodstock, GA 30188

ALTERNATE GARAGE PORTAL FRAME DETAIL
Smith Douglas Homes

Reference

"Alternate Garage Portal Frame Detail" on sheet PF-120 & PF-130, prepared by Mulhern & Kulp dated 07/28/2023 - attached

Jody:

Pursuant to your request, we have prepared this letter to address the "Alternate Garage Portal Frame Detail", prepared by Mulhern & Kulp for Smith Douglas Homes.

The "Alternate Garage Portal Frame Detail" on sheet "PF-120" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than or equal to 120mph ultimate wind speed per ASCE 7-16. The "Alternate Garage Portal Frame Detail" on sheet "PF-130" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than or equal to 130mph ultimate wind speed per ASCE 7-16. These details only apply to structural plans that have been designed by Mulhern & Kulp. It is the responsibility of "SDH" to provide the correct "Alternate Garage Portal Frame Detail", to the building department that matches the jurisdiction's wind speed requirements.

Please feel free to call if you have any questions.

Respectfully,

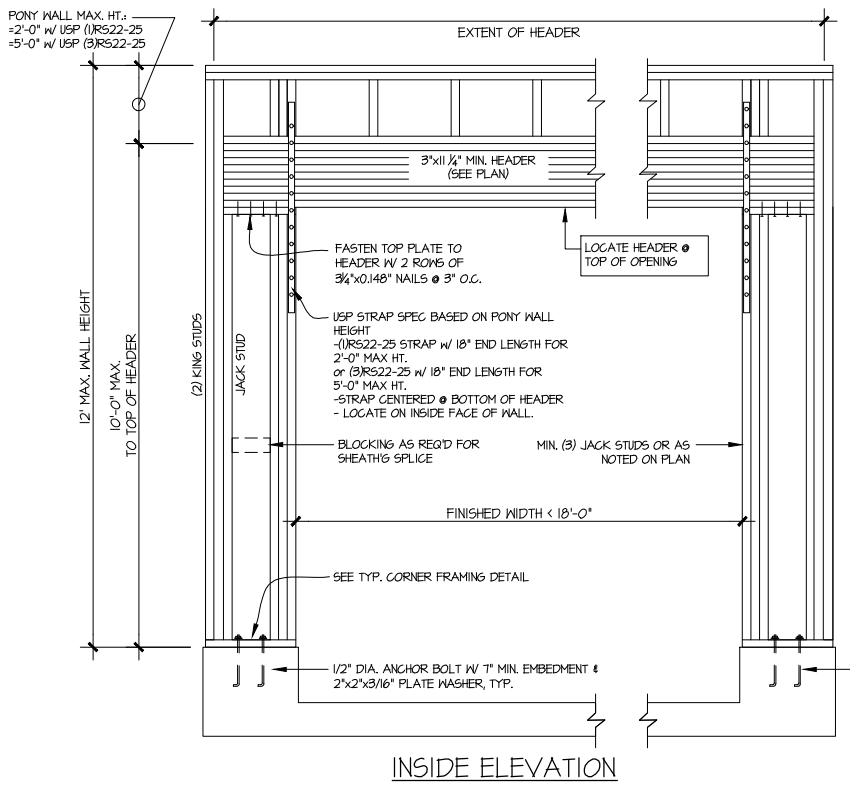
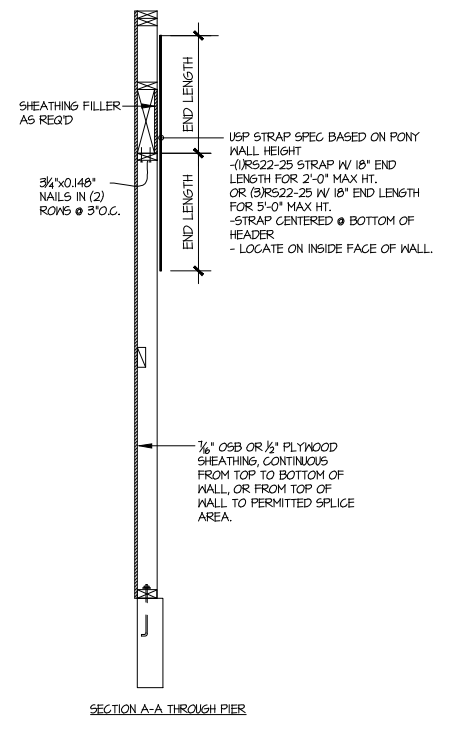
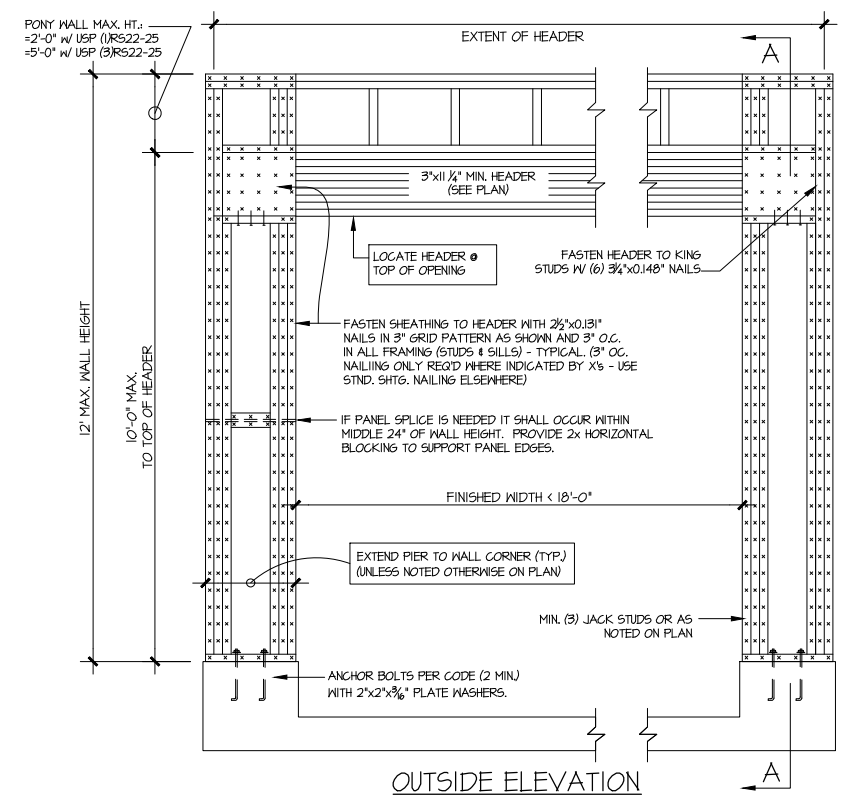
MULHERN & KULP STRUCTURAL ENGINEERING, INC.

NC License # C-3825

Shaun M. Kreidel, P.E. Project Manager + Atlanta Office Director

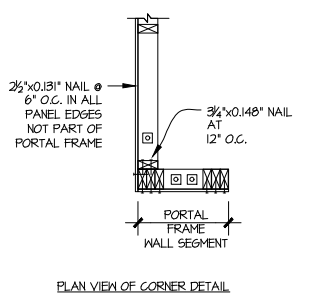


Signature + Seal 07/28/2023



NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 3/8" OSB

WALL FRAMING SPECIFICATION:
 @2x4 WALL: USE SFF #2 GRADE STUDS (OR BETTER)
 @2x6 WALL: USE SFF #1UD GRADE STUDS (OR BETTER)



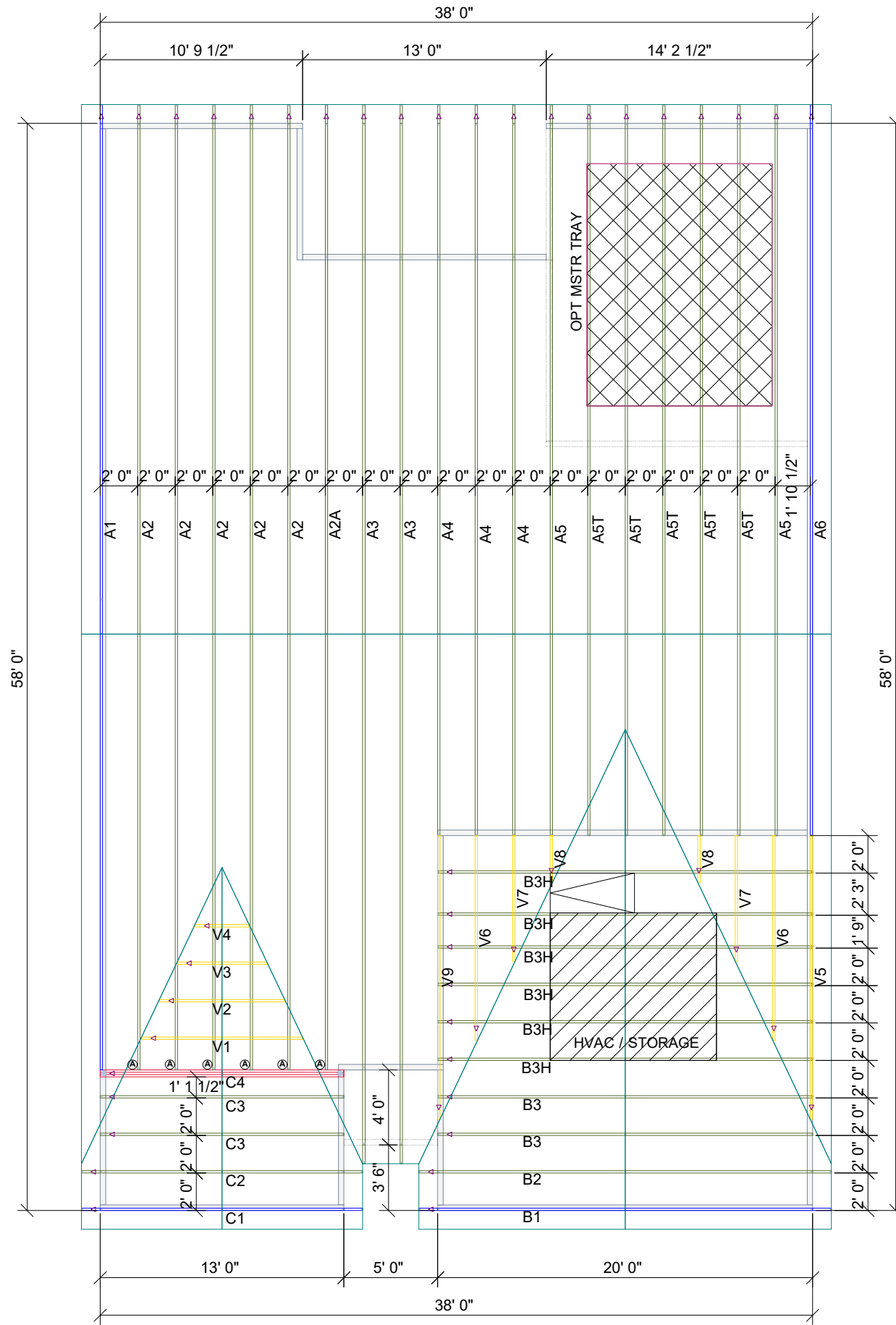
ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
 1) 1/2" DIA. THREADED ROD EPOXY SET w/4 1/2" EMBED.
 (MIN) UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)

A ALTERNATE GARAGE PORTAL FRAME BRACING ELEVATION
 SCALE: N.T.S. BOTH SIDES OF GARAGE DOOR 120 MPH WIND SPEED (ULT)

Harrington
Lot 15

THIS IS A TRUSS/COMPONENT PLACEMENT DIAGRAM (TPD) ONLY: NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDD's) for each truss design identified on the TPD. The Contractor is responsible for the temporary bracing of the roof and floor system, and the building designer is responsible for the permanent bracing of the roof and floor system and the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbccomponents.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.

PLACEMENT PLAN



Roof Hanger List			
MARK	TYPE	DESCRIPTION	QTY
(A)	HUS26	FACE MOUNT HANGER	6

**BRADLEY RANCH
ADGBEH
MASTER TRAY**

SCALE: N.T.S

REVISIONS	DATE	DESCRIPTION

DESIGNER JNN
LAYOUT DATE -05.31.2023
ARCH DATE -
STRUC DATE -
JOB #: -MASTER

SMITH DOUGLAS

**BRADLEY ADGBEH RCH MSTR
TRAY (RH)**

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