

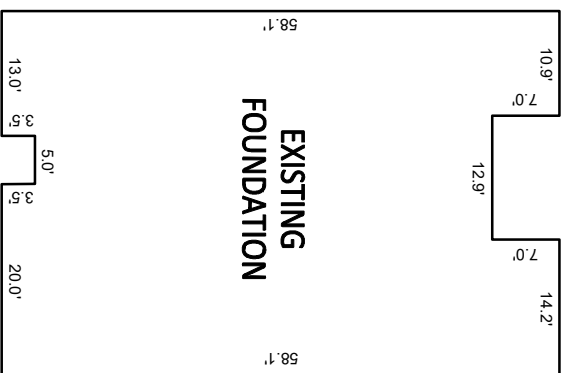
LOT INFORMATION:

PIN: 9681-61-6231.000
 REFERENCE: DB, 4233 PG. 2023
 TOTAL LOT AREA = 0.465 AC = 20,244 SF
 FOUNDATION = 2,100 SF
 EXISTING IMPERVIOUS = 2,100 SF
 PERCENT IMPERVIOUS = 10.37%



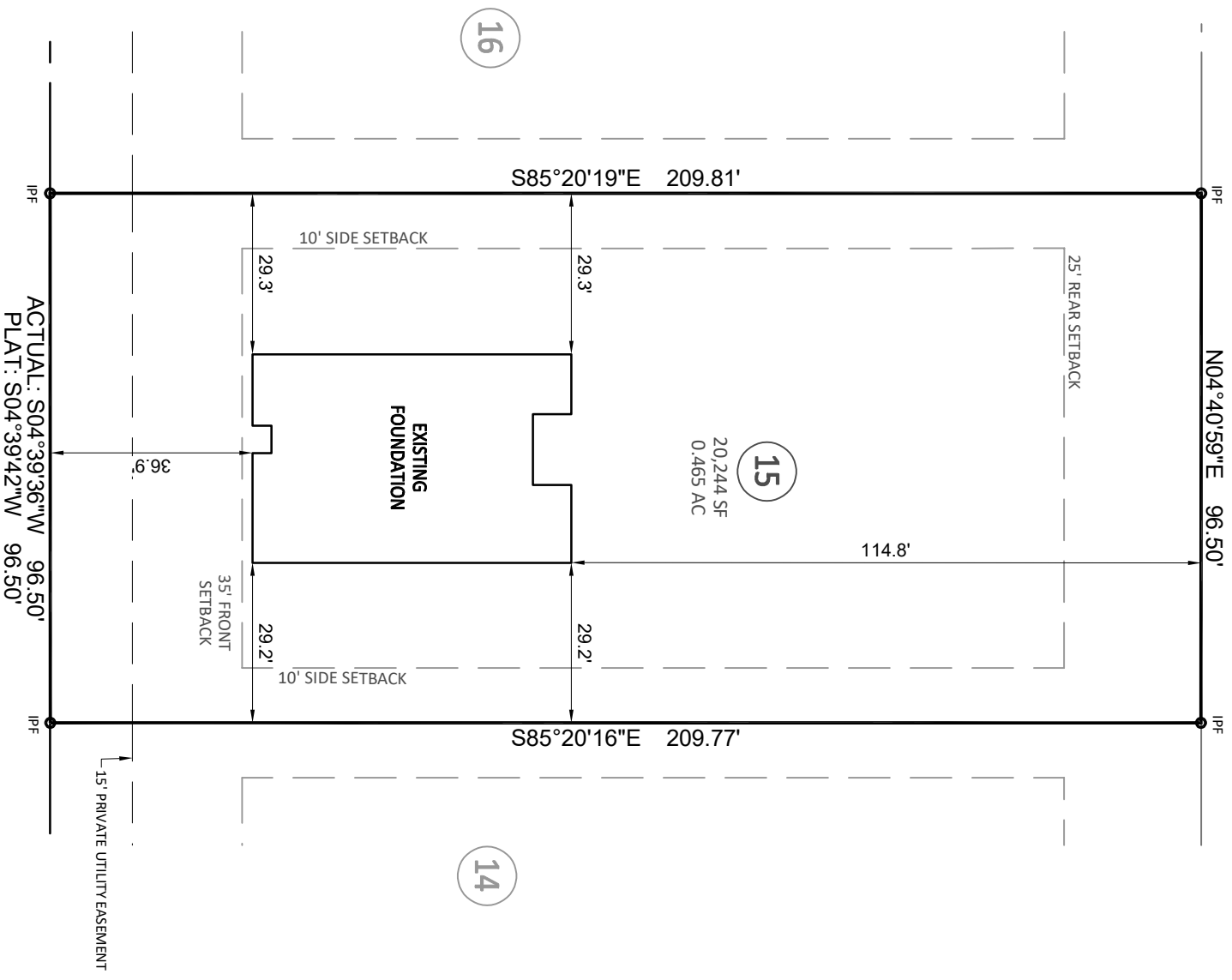
N/E
 REGINALD D. COX
 & TONYA C. COX
 DB, 4171 PG. 2462
 PIN: 9681-61-8379.000

BUILDING SETBACKS
 FRONT - 35'
 REAR - 25'
 SIDE - 10'
 CORNER SIDE - 20'



INSET SCALE: 1"=20'

- NOTES:**
1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
 2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
 3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
 4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
 5. THIS MAP IS NOT FOR RECORDDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
 6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.
 7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS, FLOOD ZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM.
 8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 9. ZONING IS RA-20
 10. PROPERTY OWNER: SMITH DOUGLAS HOMES
 2520 RELIANCE AVENUE
 APEX, NC 27539

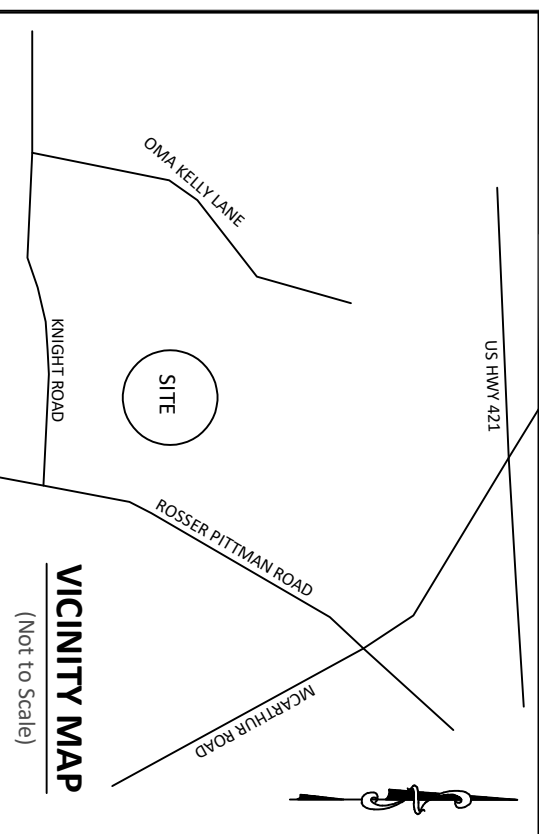


LIAM DRIVE
 PUBLIC 60' R/W

ACTUAL: S04°39'36"W 96.50'
 PLAT: S04°39'42"W 96.50'



Bateman Civil Survey Company
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 www.batemancivilsurvey.com info@batemancivilsurvey.com
 NCBELS Firm No. C-2378



LEGEND

- PO = PORCH
- SP = SCREENED PORCH/PATIO
- CP = COVERED PORCH/PATIO
- WD = WOOD DECK
- SW = SIDEWALK
- DW = CONC DRIVEWAY
- P = CONC PATIO
- ⊗ = COMPUTED POINT
- X = MAG NAIL FOUND
- = IRON PIPE FOUND (IPF)
- = DRILL HOLE FOUND
- = WATER METER
- = CLEAN OUT
- = AIR CONDITIONER
- = SEWER MANHOLE
- = ELECTRIC BOX
- = CABLE BOX
- = TELEPHONE PEDESTAL
- = CATCH BASIN
- = IRRIGATION CONTROLLER
- ⊙ = LIGHT POLE
- ⊙ = UTILITY POLE
- = FIRE HYDRANT
- DI = DRAIN INLET
- WV = WATER VALVE
- ⊗ = STREET SIGN
- YI = YARD INLET
- G = GAS METER
- E = ELECTRIC METER

Professional seal for Steven P. Carson, North Carolina Professional Land Surveyor, No. 16899, dated 5/24/24.

This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

FOUNDATION SURVEY
 FOR
SMITH DOUGLAS HOMES

HARRINGTON PLACE PH. 1 - LOT 15
 276 LIAM DRIVE, BROADWAY, NC
 UPPER LITTLE RIVER TOWNSHIP, HARNETT COUNTY
 DATE: 5/24/24 DRAWN BY: LCJ CHECKED BY: SPC