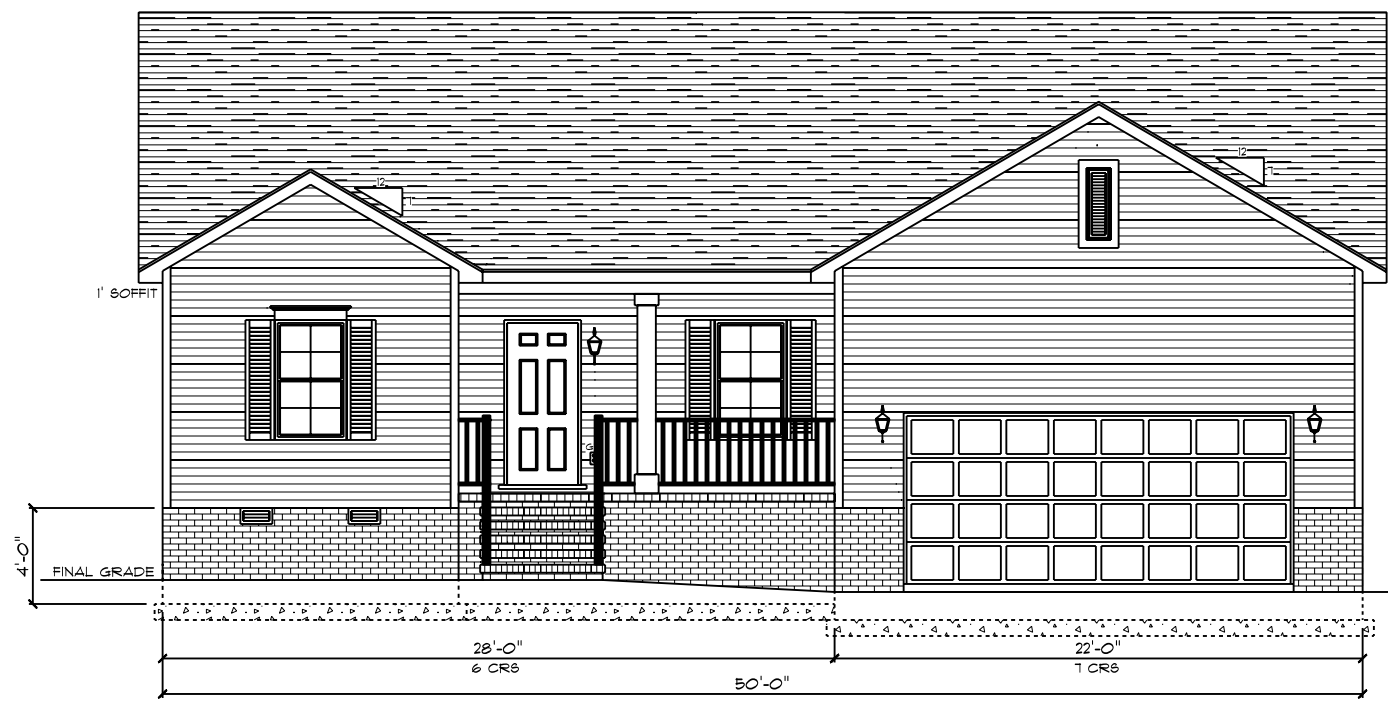
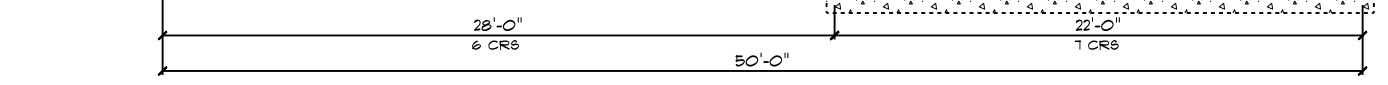
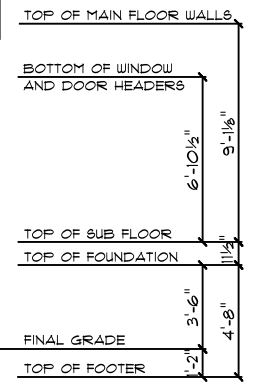


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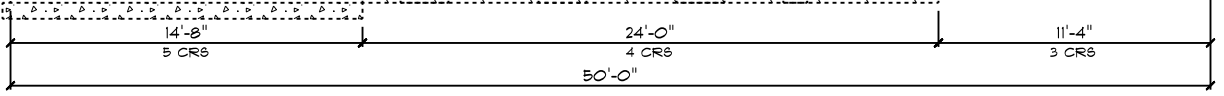
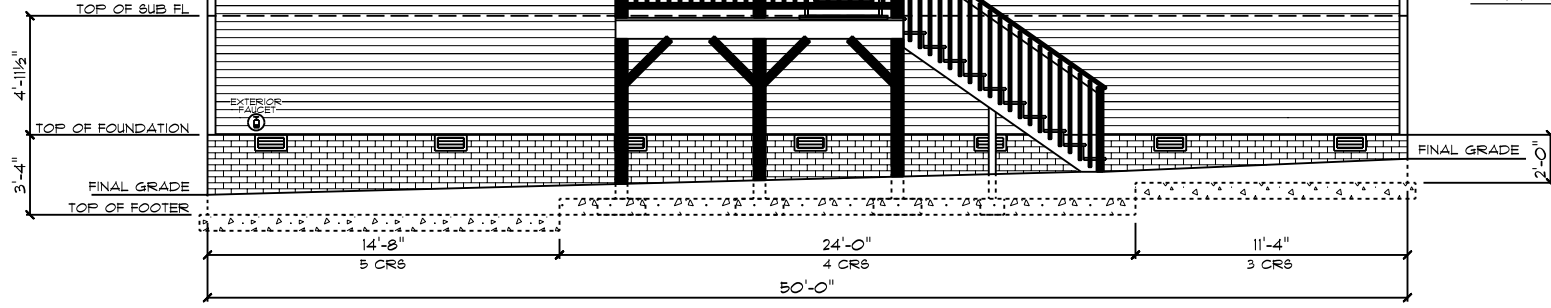


NOTE:  
 CONTINUOUS RIDGE VENTS  
 ALL ROOF RIDGES

**WESTFIELD CLASSIC / CUSTOM**  
 FRONT ELEVATION  
 9' CEILING HEIGHT



**WESTFIELD CLASSIC / CUSTOM**  
 REAR ELEVATION  
 9' CEILING HEIGHT

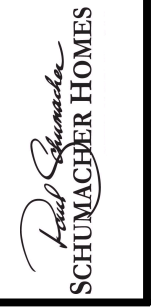


DATE: 1/16/2024  
 SCALE: 1/8" = 1'-0"  
 DRAWN BY: SG  
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SQUARE FOOTAGES (1314)  
 CRAWL SPACE: 1314  
 MAIN FL: 1314  
 GARAGE: 441  
 PORCHES: 159

CUSTOM BUILT FOR: CAROL & CHARLES HARRELL  
 JOB #: DUTCO 023 0251 CN #: 35295 VN #: HAB23  
 LOCATION: 381 VICTORIA HILLS SOUTH  
 FIGUAY VARIANA, NC, 27526  
 HARNETT COUNTY

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DATE: 1/16/2024  
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 DWG: 2

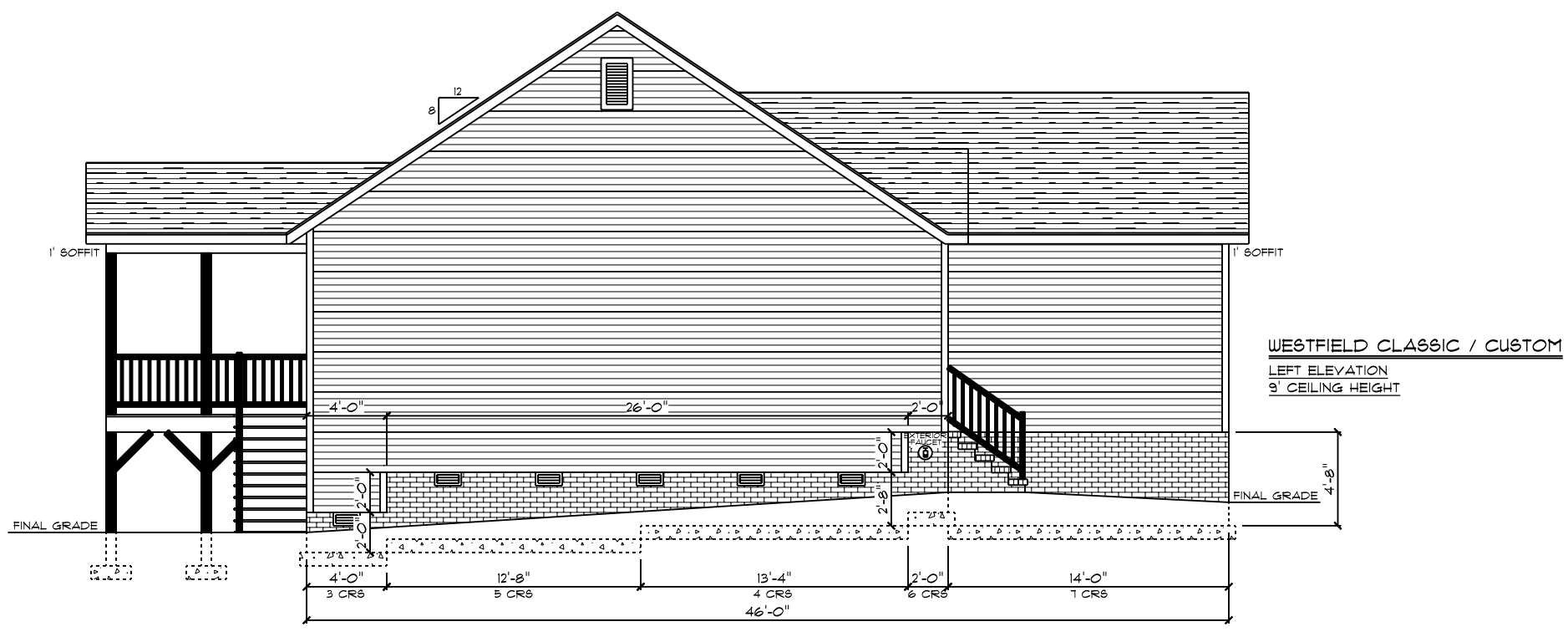
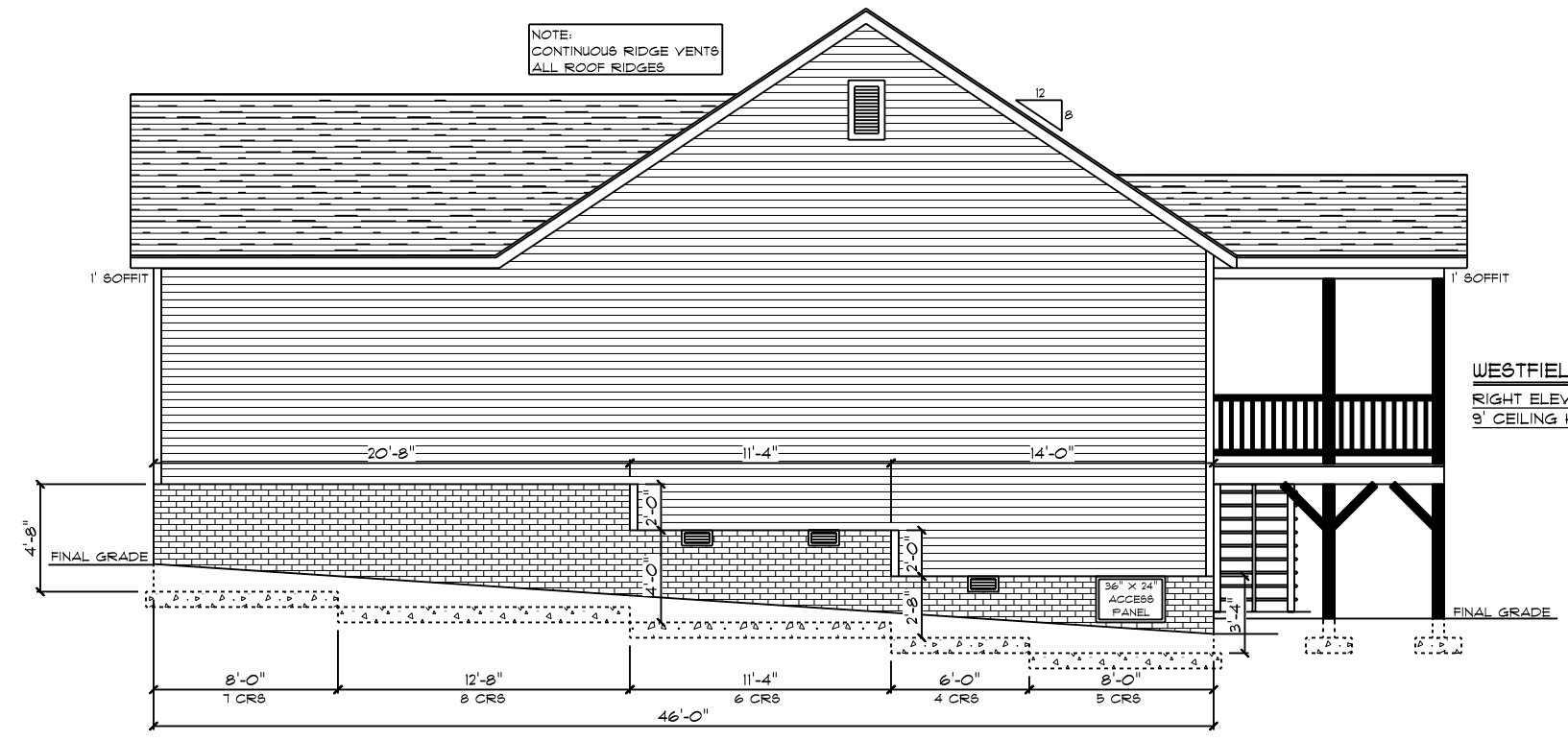
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 MAIN FL: 1314  
 GARAGE: 441  
 PORCHES: 159

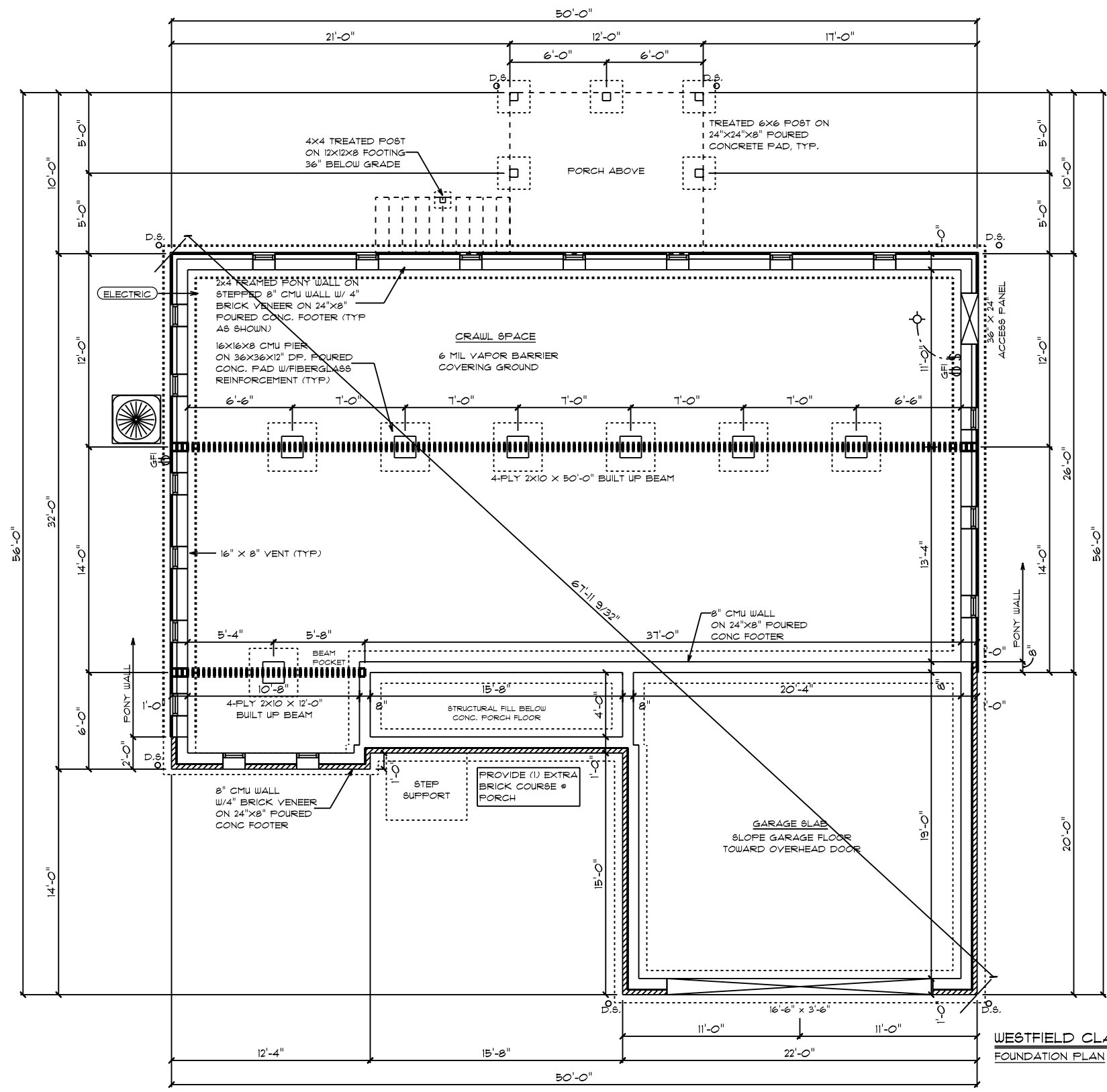
CUSTOM BUILT FOR: CAROL & CHARLES HARRELL  
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NOTE:  
 CONTINUOUS RIDGE VENTS  
 ALL ROOF RIDGES





**FOUNDATION NOTES:**

1. BRICK VENEER ALL EXPOSED FOUNDATION
2. BOTTOM OF PIER PADS ELEVATION SHALL BE 2" BELOW BOTTOM OF CONT. FOOTER ELEVATION.
3. CONCRETE 4 MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE FINISHED GRADE ADJACENT TO THE FOUNDATION A MIN. OF 4" WHERE MASONRY VENEER IS USED AND 6" MIN. ELSEWHERE.
4. ALL SILLS, PLATES, OR BAND JOISTS THAT REST ON OR IN CONTACT WITH CONCRETE OR MASONRY EXTERIOR WALLS SHALL REQUIRE THE USE OF PRESSURE PRESERVATIVE TREATMENT.

**PIERS:**

1. THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED 10 TIMES THEIR LEAST DIMENSION. WHEN HOLLOW CONCRETE MASONRY UNITS ARE USED FOR ISOLATED PIERS TO SUPPORT BEAMS AND GIRDERS, THE CELLULAR SPACES SHALL BE FILLED SOLIDLY WITH CONCRETE.

**CRAWL SPACE VENT CALCULATIONS:**

TOTAL VENTED AREA: 1374  
 8"X16" VENT = 128 SQ IN = 0.89 SQFT  
 ASSUMED NET FREE AREA = 0.53 SQFT  
 TOTAL SQFT VENTILATION NEEDED  
 1374 / 150 = 9.16  
 9.16 / 0.53 = 18 TOTAL VENTS

**GENERAL ELECTRICAL NOTES:**

- GFI'S REQUIRED IN CRAWL SPACE @ ACCESS PANEL
- LIGHTS TO BE WITHIN 6' OF ACCESS PANEL
- AIR HANDLER/FURNACE LOCATED IN ATTIC
- ELECTRICAL PANEL TO BE GROUNDED TO THE OUTSIDE

COORDINATE ALL UTILITY LOCATIONS WITH THEIR RESPECTIVE TRADES PRIOR TO COMMENCING ANY INSTALLATION WORK

WESTFIELD CLASSIC / CUSTOM  
 FOUNDATION PLAN

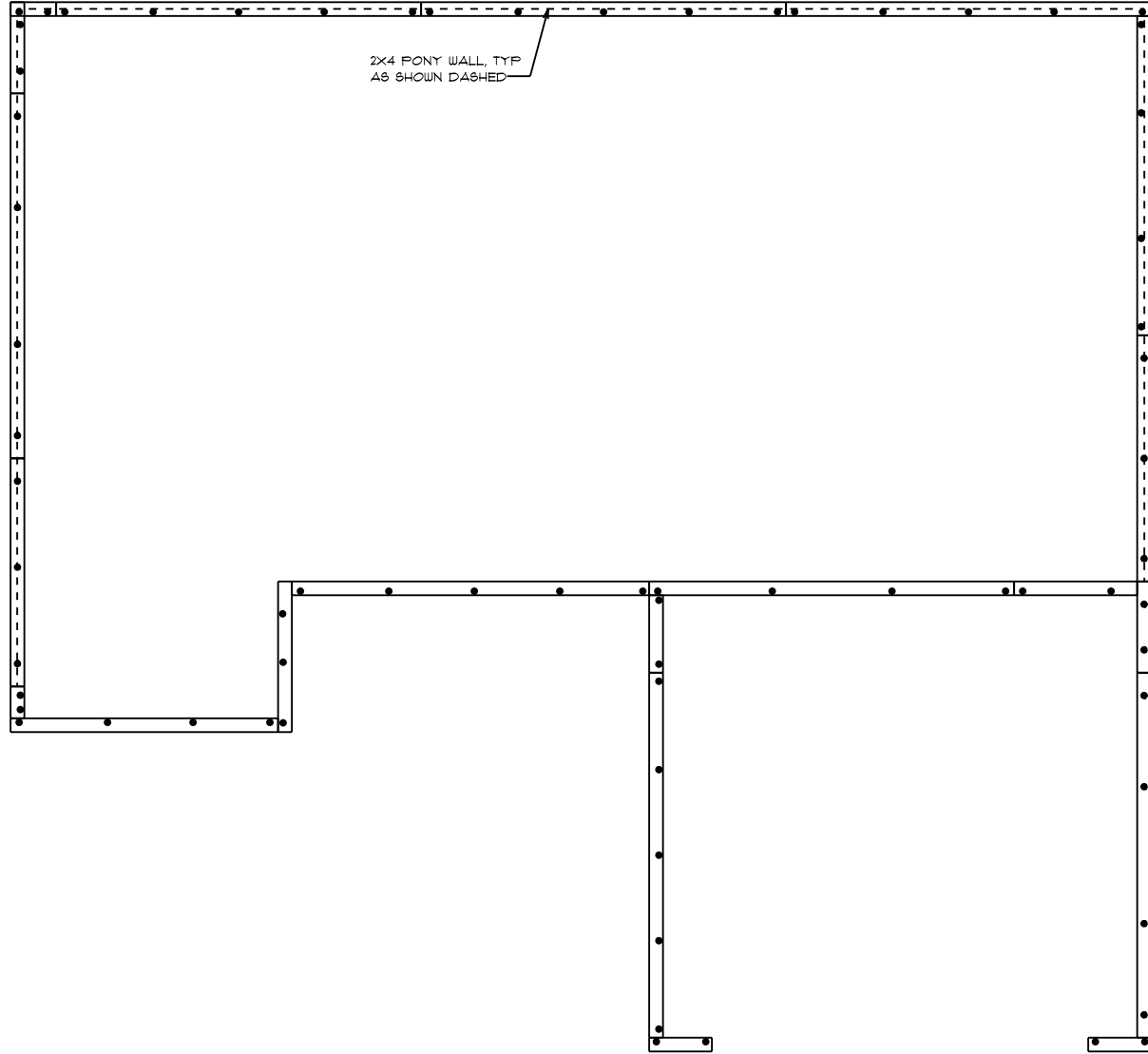
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CUSTOM BUILT FOR: CAROL & CHARLES HARRELL  
 JOB #: DUTCO 023 0251 CN #: 35295 VN #: HAB23  
 LOCATION: 381 VICTORIA HILLS SOUTH  
 FRIQUAY VARIANA, NC, 27526  
 HARNETT COUNTY

SQUARE FOOTAGES (1374)  
 CRAWL SPACE: 1374  
 MAIN FL: 1374  
 GARAGE: 441  
 PORCHES: 159

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**CONSTRUCTION NOTES:**

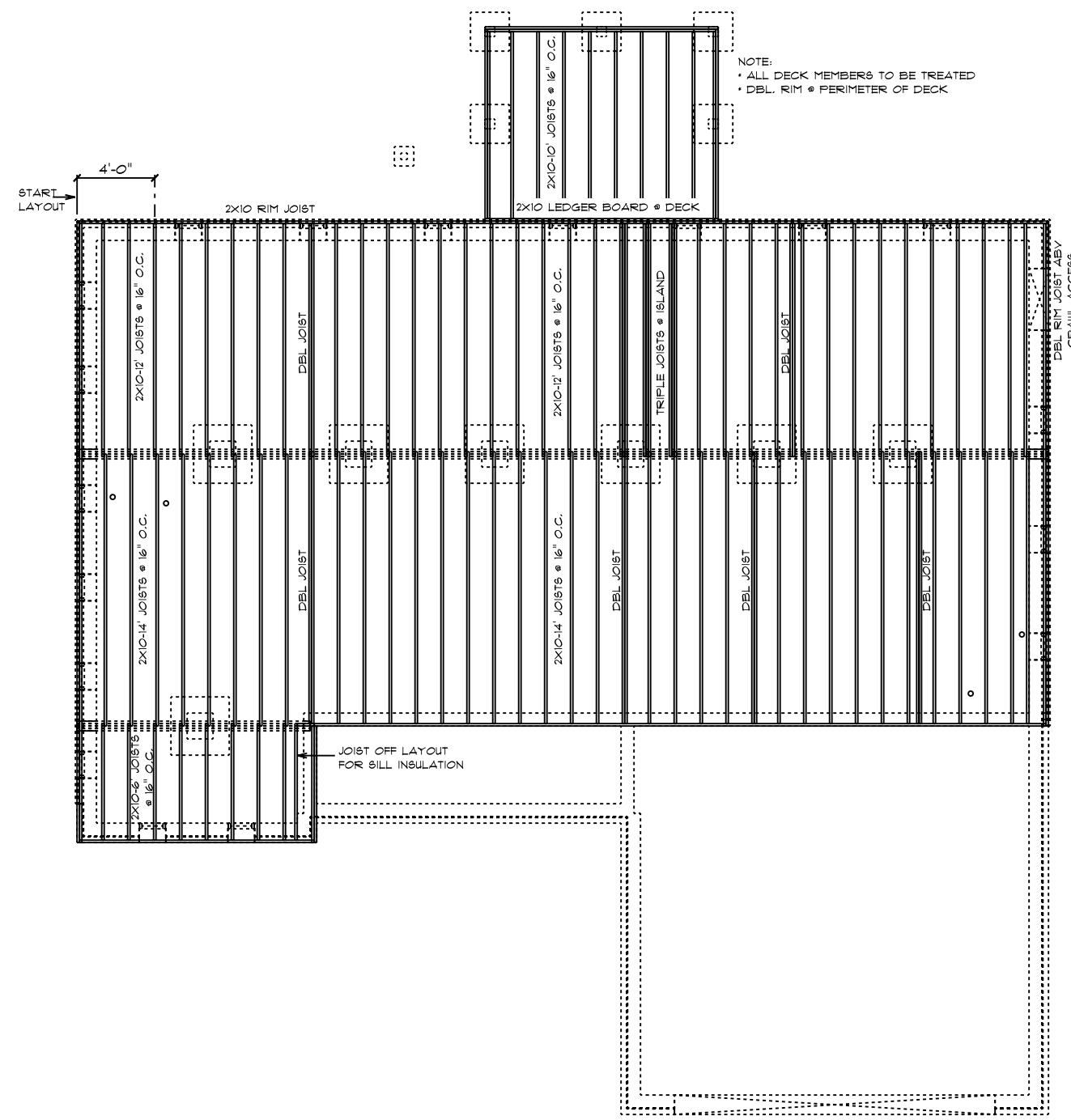
1. 2x8 TREATED SILL PLATE
2. 1/2" DIAM. X 18" L. ANCHOR BOLTS SHALL EXTEND A MINIMUM OF 1" INTO MASONRY OR CONCRETE AS REQUIRED BY CODE @ 6' O.C. AND 12" FROM ALL CORNERS (2 PER CORNER)
3. ANCHOR BOLTS TO BE LOCATED IN CENTER 1/3 OF SILL PLATE

WESTFIELD CLASSIC / CUSTOM  
BOLT & PLATE PLAN

APPROVED: 12-29-23  
REVISED: 01-16-24

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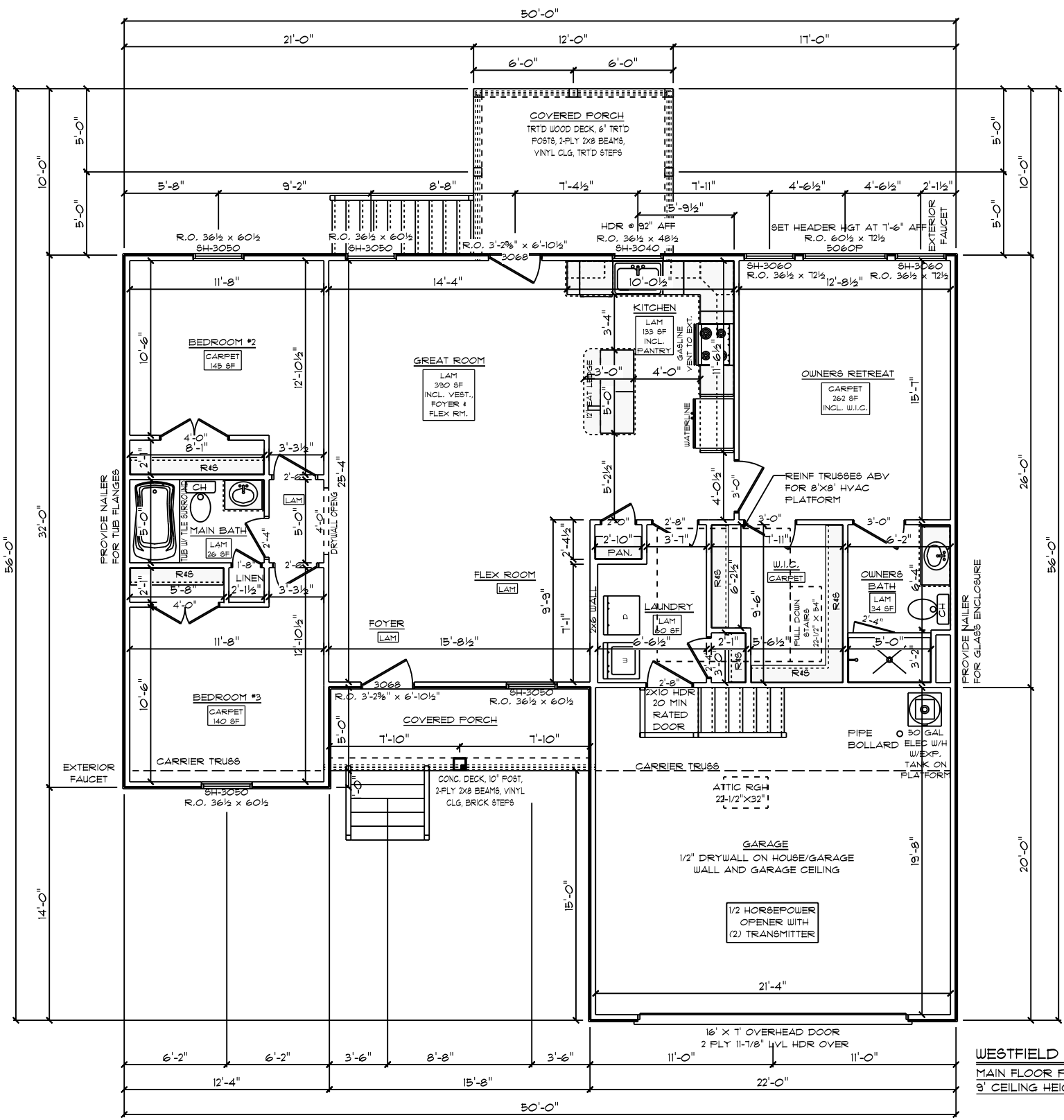
NOTE:  
 \* ALL DECK MEMBERS TO BE TREATED  
 \* DBL. RIM @ PERIMETER OF DECK

- FRAMING NOTES:
1. LEAVE 14 1/2" BETWEEN EACH END JOIST & RIM JOIST TO ALLOW FOR INSULATION.
  2. INSULATE ALL FRAMED CHANNELS & CORNERS; ALSO, BEHIND EACH TUB AND SHOWER UNIT
  3. INSTALL FIREBLOCK FRAMING IN ALL STAIRWAY CEILINGS
  4. INSTALL ALL TRUSSES, I-JOISTS, LVL'S AND BEAMS PER MANUFACTURER SPECIFICATIONS AND LAY OUTS. DO NOT CUT, NOTCH OR BORE WITHOUT EXACT SPECIFICATIONS.
  5. ALL FRAMING TO BE SOUTHERN YELLOW PINE NO. 2 OR GREATER UNLESS NOTED OTHERWISE
  6. DOUBLE JOISTS SHOULD BE LOCATED UNDER ALL PARTITIONS WHEN THE LENGTH OF THE PARTITION EXCEEDS 1/2 THE SPAN OF THE JOIST
  7. 3-PLY 2X10 JOISTS BELOW FIREPLACES & SOLID SURFACE ISLANDS
  8. ALL DECK MATERIAL TO BE TREATED
  9. PROVIDE DOUBLE 2X10 RIM JOIST WHEN RIM JOIST RUNS PARALLEL TO JOISTS
  10. PROVIDE 2x8 X PIER WIDTH TREATED BEARING PLATE @ INTERIOR PIERS

WESTFIELD CLASSIC / CUSTOM  
 MAIN FLOOR JOIST PLAN

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	CUSTOM BUILT FOR: CAROL & CHARLES HARRELL JOB #: DUTCO 023 0251 LOCATION: 391 VICTORIA HILLS SOUTH FIGUAY VARINA, NC 27526 HARNETT COUNTY	SQUARE FOOTAGES (13/14) CRAWL SPACE: 1374 MAIN FL: 1374 GARAGE: 441 PORCHES: 159
DRAWN BY: SG	DATE: 1/16/2024	SCALE: 1/8" = 1'-0" Dwg. # D

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**GENERAL FRAMING NOTES:**

- DRYWALLED OPENINGS TO BE 8'-0" HEIGHT UNLESS OTHERWISE NOTED
- HEADERS TO BE 2-PLY 2X10 W/ (1) KING & (2) JACK STUDS UNLESS OTHERWISE NOTED
- ALL LVL, CARRIER TRUSSES AND BEAMS TO HAVE A MIN OF (2) KING & (2) JACK STUDS, UNLESS NOTED OTHERWISE

**PLAN NOTES:**

- SMOOTH CEILINGS THROUGHOUT HOME
- PAINTED TRIM
- 5-1/4" BASEBOARDS
- 3-1/4" CASING ON INTERIOR DOORS AND WINDOWS HAVE DRYWALLED RETURNS
- INTERIOR DOORS PER SELECTION

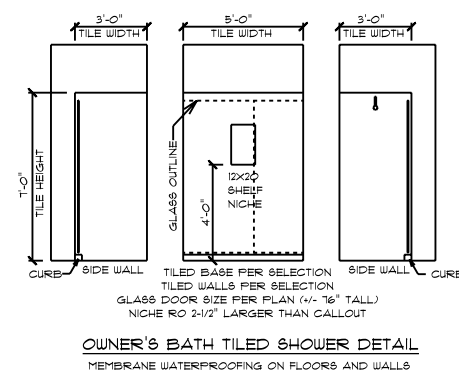
**FLOORING NOTES:**

- ALL FLOORING BREAKS OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS OTHERWISE NOTED
- FLOORING SQUARE FOOTAGES INCLUDE CLOSETS RELATIVE TO THE AREA UNLESS OTHERWISE NOTED
- SOME FLOORING SQUARE FOOTAGES MAY INCLUDE HALLS OR AREAS THAT CONNECT WITHOUT WALL SEPARATION IF THE SAME FINISH IS CONTINUED

6-6-23

**ADDITIONAL NOTES:**

- PROVIDE AIR BARRIER/THERMO-PLY AT INSULATED VERTICAL WALLS BETWEEN HEATED & UNHEATED AREAS



**WESTFIELD CLASSIC / CUSTOM**  
 MAIN FLOOR PLAN  
 9' CEILING HEIGHT

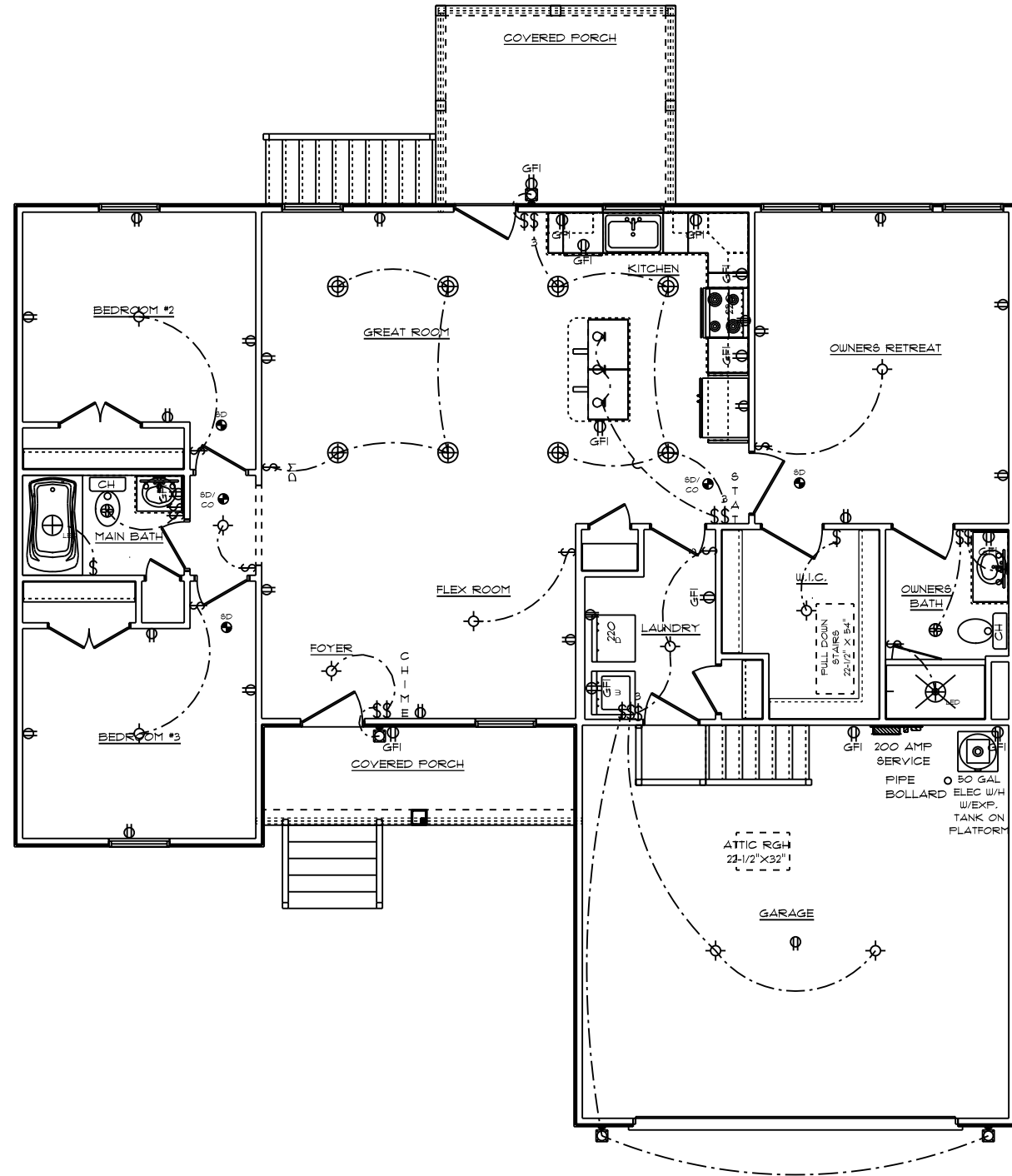
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SQUARE FOOTAGES (1314):  
 CRAWL SPACE: 1314  
 MAIN FL: 1314  
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CUSTOM BUILT FOR: CAROL & CHARLES HARRELL  
 JOB #: DUTCO 033 0251 CN #: 35295 VN #: HAB23  
 LOCATION: 391 VICTORIA HILLS SOUTH  
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**GENERAL ELECTRICAL NOTES:**

- (1) EXISTING SWITCH UPGRADED TO A 3-WAY SWITCH, (1) ADDITIONAL 3-WAY SWITCH AND (1) COACH LIGHT WIRED TO A STANDARD SWITCH ARE INCLUDED WHEN A GARAGE SERVICE DOOR IS PURCHASED
- (1) COACH LIGHT, (1) SWITCH, AND (1) GFI OUTLET ARE INCLUDED WHEN ANY ADDITIONAL DOOR IS PURCHASED, EXCLUDING THE GARAGE SERVICE DOOR
- ALL SMOKE DETECTORS TO BE INTERCONNECTED WITH BATTERY BACKUP
- E3902.11 ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- GARAGE DOOR LOW VOLTAGE WIRING BY ELECTRICIAN
- TWO SEPARATE KITCHEN GENERAL ELECTRIC OUTLET CIRCUITS FED BY NUMBER 12 WIRE AND ON 20 AMP BREAKERS REQUIRED IN KITCHEN
- ALL OUTLETS INSTALLED IN BATHROOMS, GARAGES, & UNFINISHED BASEMENTS SHALL HAVE GFCI PROTECTIONS ALONG WITH OUTLETS LOCATED W/IN 6'-0" OF LAUNDRY, UTILITY & WET BAR SINKS & ALL OUTLETS SERVING KITCHEN COUNTERTOP SURFACES
- ALL OUTLETS TO BE PLACED PER CODE
- MOUNTING HEIGHTS
  - VANITY LIGHTS: 80" AFF
  - WALL SCONCES: 66" AFF
  - PENDANT LIGHTS: 66" AFF
  - CHANDELIERS (TO BTM OF FIXTURE)
  - FOYER 9' CEILING: 84"
  - FOYER OVER 9' CLG: 80"
  - DINING ROOM: 60"

**ADDITIONAL ELECTRICAL NOTES:**

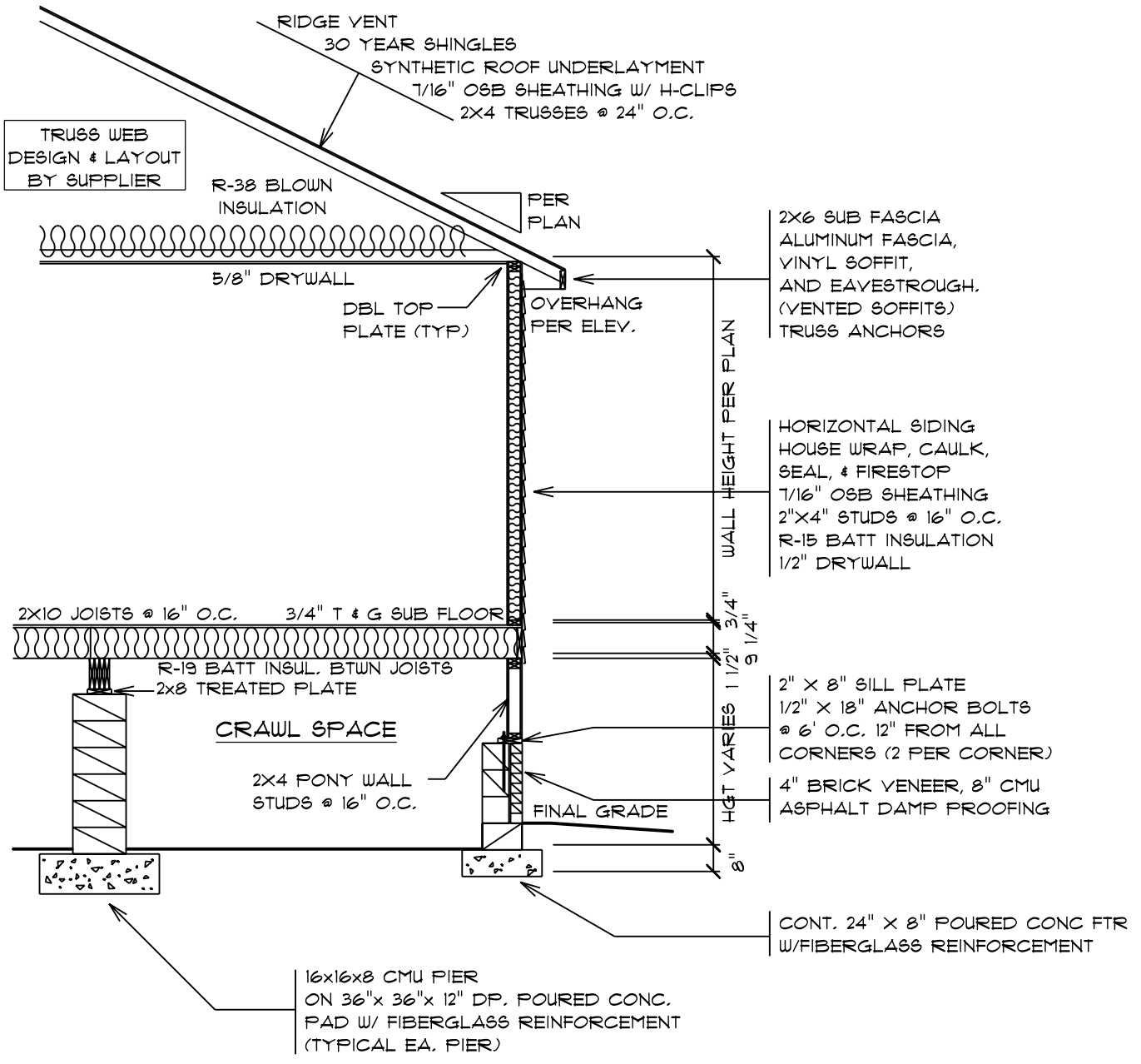
- CABLE & PHONE TO BE LOCATED AT ELECTRICAL WALK-THRU
- INSTALL ALL BATHROOM LIGHT FIXTURES WITH GLOBES FACING DOWN

**WESTFIELD CLASSIC / CUSTOM**  
 MAIN FLOOR PLAN  
 9' CEILING HEIGHT  
 ELECTRICAL PLAN

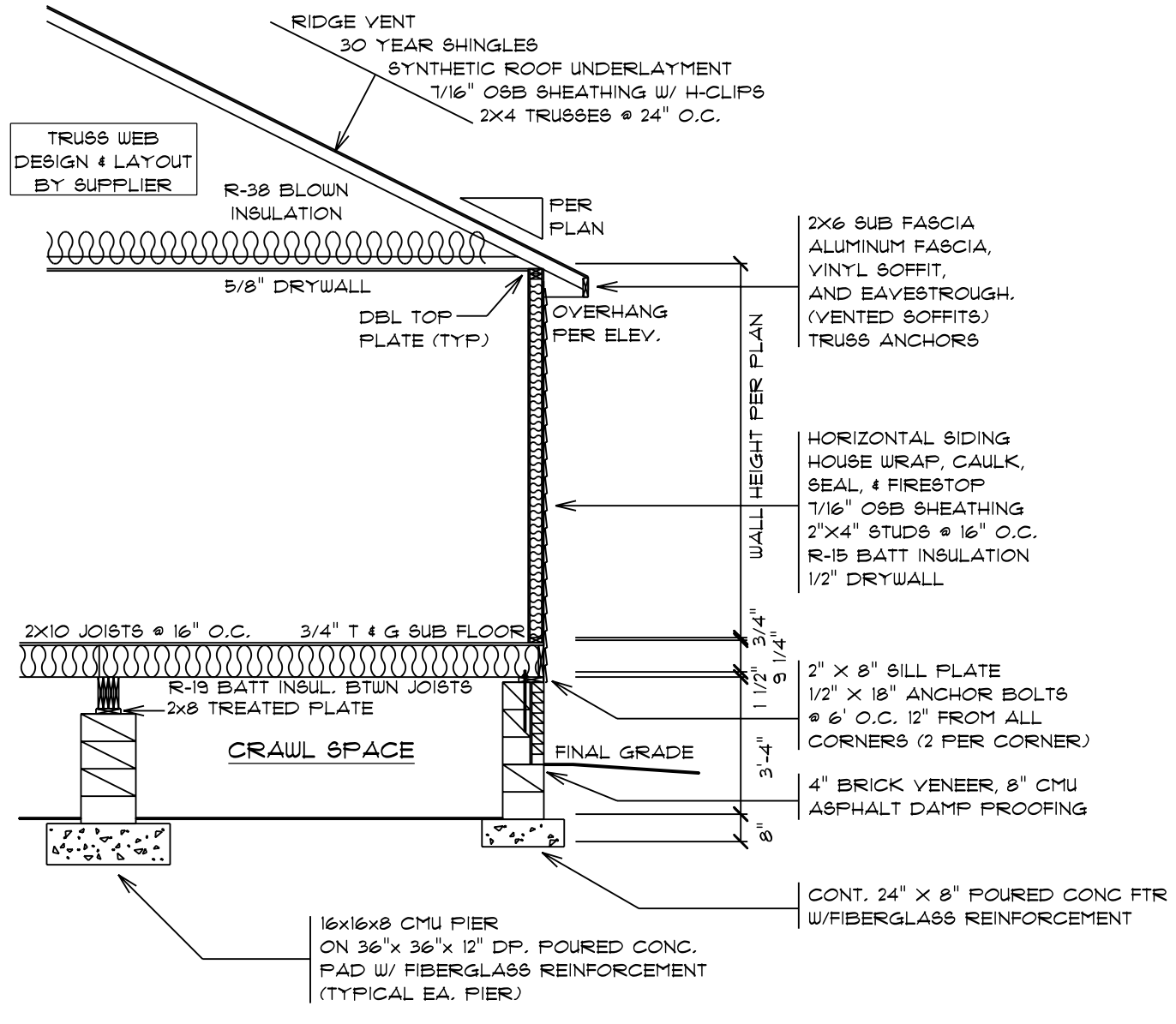
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NOTE:  
 ROOF UNDERLAYMENT TO BE OVERLAPPED  
 50% PLUS 1" ON ROOFS LESS THAN 4/12 PITCH

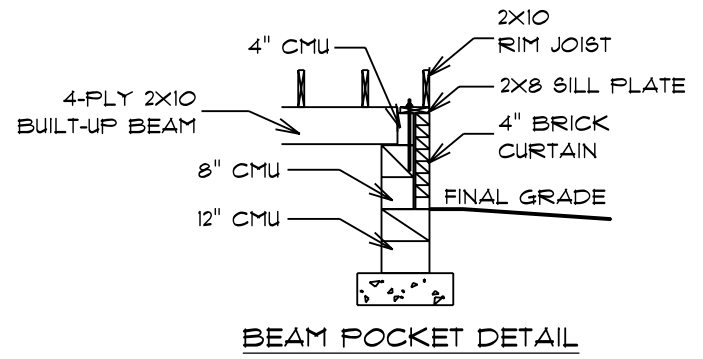
NOTE:  
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TYPICAL PONY WALL SECTION



TYPICAL WALL SECTION



BEAM POCKET DETAIL

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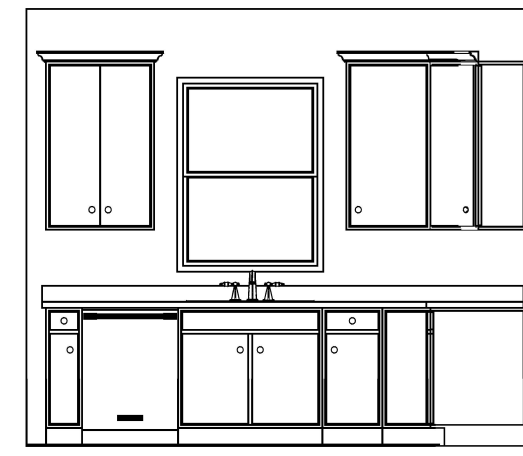
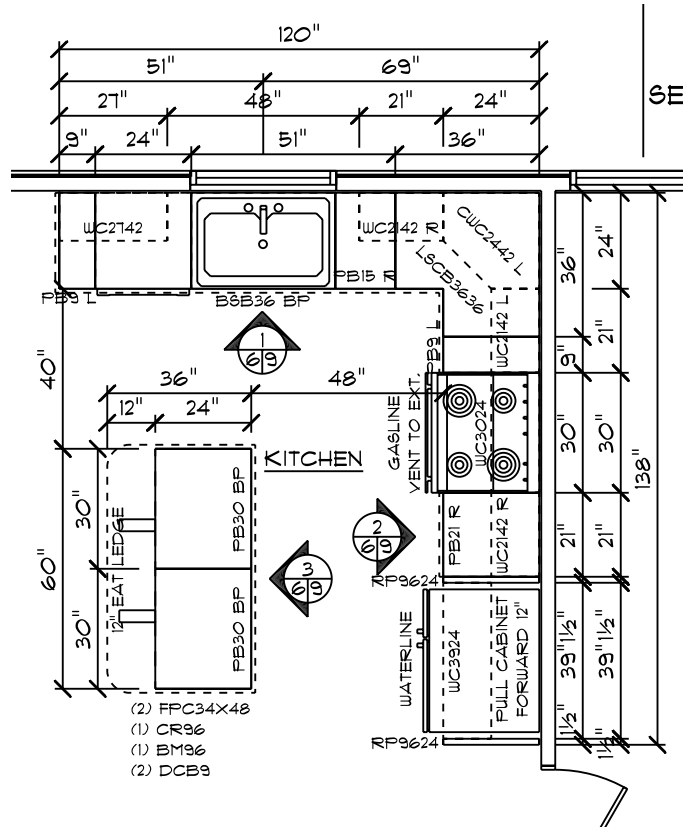
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 JOB #: DUT00 023 0251 CN #: 35295 VN #: H4523  
 LOCATION: 391 VICTORIA HILLS SOUTH RICHWAY VARIANA, NC, 27526 HARNETT COUNTY

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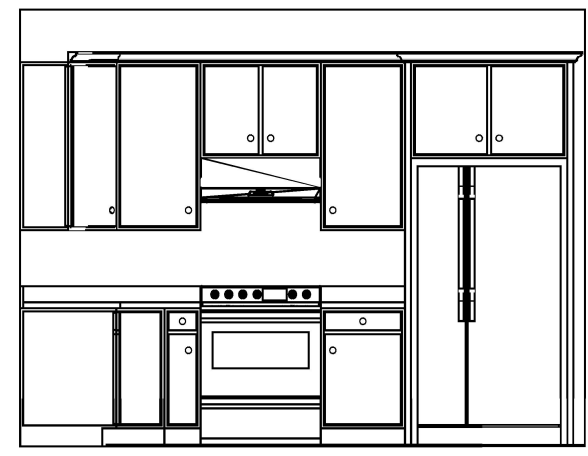
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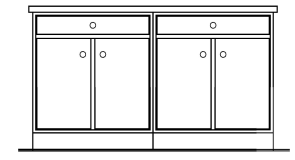
APPROVED: 12-29-23  
 REVISED: 01-16-24



1  
69



2  
69

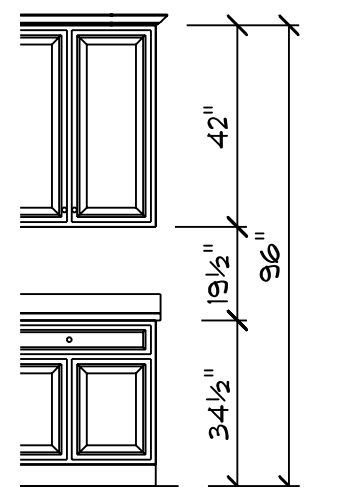


3  
69

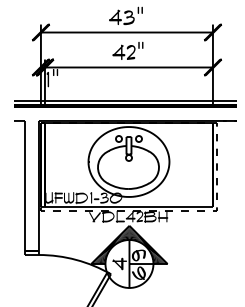
**WESTFIELD CLASSIC / CUSTOM  
 CABINET DRAWING**

**CABINET NOTES:**  
**KITCHEN**  
 \* MARSH CABINETS W/  
 TRADITIONAL OVERLAY  
 \* 2-1/4" KITCHEN CABINET CROWN MOLDING  
 \* COUNTERTOPS PER SELECTION  
 \* UNDERMOUNT STAINLESS STEEL  
 KITCHEN SINK  
 \* HARDWARE PER SELECTION  
**BATHS**  
 \* MARSH CABINETS W/  
 TRADITIONAL OVERLAY  
 \* COUNTERTOPS PER SELECTION  
 \* HARDWARE PER SELECTION

CABINET IMAGES, HARDWARE, APPLIANCES &  
 OTHER DESIGN ITEMS ARE SHOWN FOR  
 REPRESENTATION PURPOSES ONLY  
 REFER TO FINAL SELECTIONS

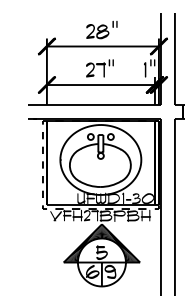


TYPICAL CABINET  
 HEIGHTS



OWNER'S BATH

4  
69



MAIN BATH

5  
69

DATE: 1/16/2024  
 SCALE: 1/4" = 1'-0"  
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