

144 DC - Duncans Creek Rd., Lillington, NC 27546

# PLAN 6

## The Raleigh - LH

### 'FARMHOUSE' ELEVATION

**NEW HOME INC.**

**NEW HOME INC.** Trademark Plus

**REVISION LOG**

- REVISION:001      DATE:11/24/21
- 6x6 @ COVERED PORCH. PACK OUT BEAM.
  - CHANGE WALL BETWEEN PANTRY/ COAT CLOSET TO A 2X6 WALL.
  - NOTE 3/0 C.O. "3/0X6/8 C.O."
  - CHANGE WALL BETWEEN KITCHEN COUNTER & MESSY KITCHEN TO 28" LENGTH. LOCATE 2/8X6/8 C.O. @ END OF THE WALL.
  - ADD (3) OPT 2/0X2/0 @ CAFE, CENTERED @ 21"-4" FRONT REAR WALL.
  - CHANGE 1ST FLOOR STAIR RAIL AND WALL FROM A 2X4 WALL TO A 2X6 WALL. SLIDE BATH #2 WALL 2" TO MAINTAIN 3'-4" STAIR WIDTH. ADJUSTED WALL AND STAIR ON THE 2ND FLOOR.
  - END STAIR RAIL 10'-0" FROM WIC WALL.
  - REMOVE WIDE WALL BEHIND BATH #2 TUB.
  - CHANGE BATH #2 WIDTH TO 5'-0" & ADD ROOM TO BED #2.
  - CHANGE WALL BEHIND THE OWNER'S TOILET WALL FROM A 2X6 WALL TO A 2X4 WALL & MOVE WALL INTO WIC TO INCREASE DEPTH THE TOILET TO 6'-1". REVISE ALL OWNER'S BATH OPTIONS TO MATCH.
  - ADD GOURMET KITCHEN W/ WALL OVEN AND 36" COOKTOP.
  - ADD 24"X36" ATTIC ACCESS TO BED #4 WIC.
  - CHANGE 2ND FLOOR 3/0 C.O. TO A 5/0X6/8 C.O.
  - CHANGE DOOR SIZES FROM 2/6X6/8 TO 2/4X6/8 @ FOYER CLOSET, BATH #2, WIC @ BED #2, BATH #3, LINEN, WIC @ BED #3 & WIC @ BED #4.
  - FLIP DOOR SWING INTO OPT. OFFICE/HOME GYM.
  - ADD 8'-0" DEEP MECHANICAL RM TO REAR OF OPT. SUPER GAMEROOM/ HOME GYM/ OFFICE.
  - 2X10 BEAM UNDER TOP PLATES @ FRONT PORCHES.
  - ALIGN (3) 2/0X2/0 WINDOW HEADER HT @ FLEX ROOM W/ FRONT DOOR HEADER HT.
  - ADD PARTIAL FOR OPT FIREPLACE.
  - ADD PARTIAL ELEVATIONS FOR OWNER'S BATH OPTIONS.
  - ADD PARTIAL FOR OPT SMART DELIVERY DOOR.
  - 4" DSP BETWEEN WINDOWS & DIMENSION TO THE CENTER.
  - DIMENSION WIDTH OF HIPS

REVISION:002      DATE:2/4/2022

- DIMENSION TRIPLE STUD POCKETS (4.5")
- RELOCATED & RESIZE KITCHEN ISLAND PER REDLINES, & REMOVE UNDER-COUNTER WALL TO THE RIGHT OF KITCHEN SINK.
- SHOW FULL HEIGHT WALL AT STANDARD MASTER BATH SHOWER.
- CHANGE MASTER BATH LINEN CLOSET DOOR TO 4/0X6/8 DOUBLE DOOR.
- CALL OUT ALL LINEN CLOSETS AS (4) SHELVES.
- REMOVE SHELF/ROD BEHIND WATER CLOSET & ADJACENT TO DOOR IN MASTER WC
- CALL OUT FRONT PORCH COLUMNS AS 6X6 P.T. POST W/ 1X WRAP.
- LABEL 12" DROPPED HEADER.
- REMOVE THE OWNER'S ENTRY OPTION.
- RESIZE/RELOCATE/REMOVE UNDER-COUNTER WALL IN KITCHEN ISLAND PER BASE PLAN.
- SHOW 42X42 SHOWER W/ 18" SEAT FOR TUB SHOWER COMBO PER REVISION REDLINES.
- SHOW OPT. STANDALONE 42X42 W/ 18" SEAT.
- LOCATE SHOWER VALVE ON HALF WALL FOR SUPER SHOWER OPT.
- LABEL OPT DOOR TO FLEX ROOM AS 15-LITE FRENCH DOORS
- SWING DOOR AT GAMEROOM INTO UNFIN. ATTIC STORAGE.
- REMOVE FAUX SHUTTER FROM FARMHOUSE PLAN SINCE IT IS NOT SHOWING ON ELEVATION.
- UPDATE ROOF HEIGHT FOR REAR OPTIONS TO REFLECT STANDARD HEEL HEIGHT.
- REMOVED HALF WALLS AT KITCHEN ISLAND AND UPDATED PER CABINET PROVIDER
- EXTEND PORCH SLAB 4" AT FRONT AND EXTEND AROUND CORNER 20" TO SUPPORT STONE VENER.
- REMOVED HALF WALLS AT KITCHEN ISLAND AND UPDATED PER CABINET PROVIDER
- CHANGED THE BASE OWNER'S BATH WINDOW TO 4010
- CHANGED THE OWNER'S BATH OPTION SHOWER WINDOW TO 4010
- CHANGED THE OWNER'S BATH OPTION SUPER SHOWER WINDOWS TO (2)3010

REVISION: 003      DATE: 3/21/2022

- ADD ELECTRICAL PLANS
- ADD ALTERNATE SECOND FLOOR PLANS WITH OWNER'S SUITE OPTIONS

REVISION: 004      DATE: 7/22/2022

- ADD STEM WALL SLAB FOUNDATION SHEETS
- ADD "STEM WALL" TO CRAWL ELEVATION TITLES AND NOTE "SEE FOUNDATION PAGES FOR FOUNDATION TYPE". UPDATE SHEET TITLES.

**1-26-24 - Initial Redlines - JJ**



**ARCHITECTURAL DRAWINGS**

Sheet No.	Sheet Description
0.0	Cover Sheet
1.1	Foundation (Slab)
1.1.1	Foundation Options (Slab)
1.1.2	Foundation Options (Slab)
1.2	Foundation (Crawl)
1.2.1	Foundation Options (Crawl)
1.2.2	Foundation Options (Crawl)
1.3	Foundation (Stem Wall Slab)
1.3.1	Foundation Options (Stem Wall Slab)
1.3.2	Foundation Options (Stem Wall Slab)
2.1	First Floor Plan
2.1.1	First Floor Plan Options
2.2	Second Floor Plan
2.2.1	Second Floor Plan Options
2.2.2	Alt. Second Floor Plan Owner's Suite Options
2.4	Covered Parch Plans & Elevations (Slab)
2.4.1	Covered Parch Plans & Elevations (Crawl/Stem Wall)
2.5	Extended Owner's Suite Plans & Elevations (Slab)
2.5.1	Extended Owner's Suite Plans & Elevations (Crawl/ Stem Wall)
2.6	Ext. Owner's Suite W/Cov. Parch Plans & Elevations (Slab)
2.6.1	Ext. Owner's Suite W/Cov. Parch Plans & Elevations (Crawl/Stem Wall)
2.7	2-Car Sideload Garage Plans
2.7.1	2-Car Sideload Garage Elevations
2.8	3-Car Garage Plans
2.8.1	3-Car Garage Elevations (Crawl/ Stem Wall)
2.8.2	3-Car Garage Elevations (Slab)
3.1	Front & Rear Elevations (Slab)
3.1.1	Front & Rear Elevations (Crawl/Stem Wall)
3.2	Side Elevations (Slab)
3.2.1	Side Elevations (Crawl/ Stem Wall)
3.3	Roof Plan
5.1	First Floor Electrical Plan
5.1.1	First Floor Options Electrical Plan
5.2	Second Floor Electrical Plan
5.2.1	Second Floor Options Electrical Plan

**DESIGN CRITERIA:**

THIS PLAN IS TO BE BUILT IN CONFORMANCE WITH THE 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE  
 DIMENSIONS SHALL GOVERN OVER SCALE, AND CODE SHALL GOVERN OVER DIMENSIONS.

**SQUARE FOOTAGE**

	FARMHOUSE	
	UNHEATED	HEATED
FIRST FLOOR	0	1955
SECOND FLOOR	0	945
FRONT PORCH	147	0
2 CAR GARAGE	437	0
PATIO	220	0
SUBTOTALS	<b>804</b>	<b>2900</b>
TOTAL UNDER ROOF	<b>3704</b>	

**OPTIONS**

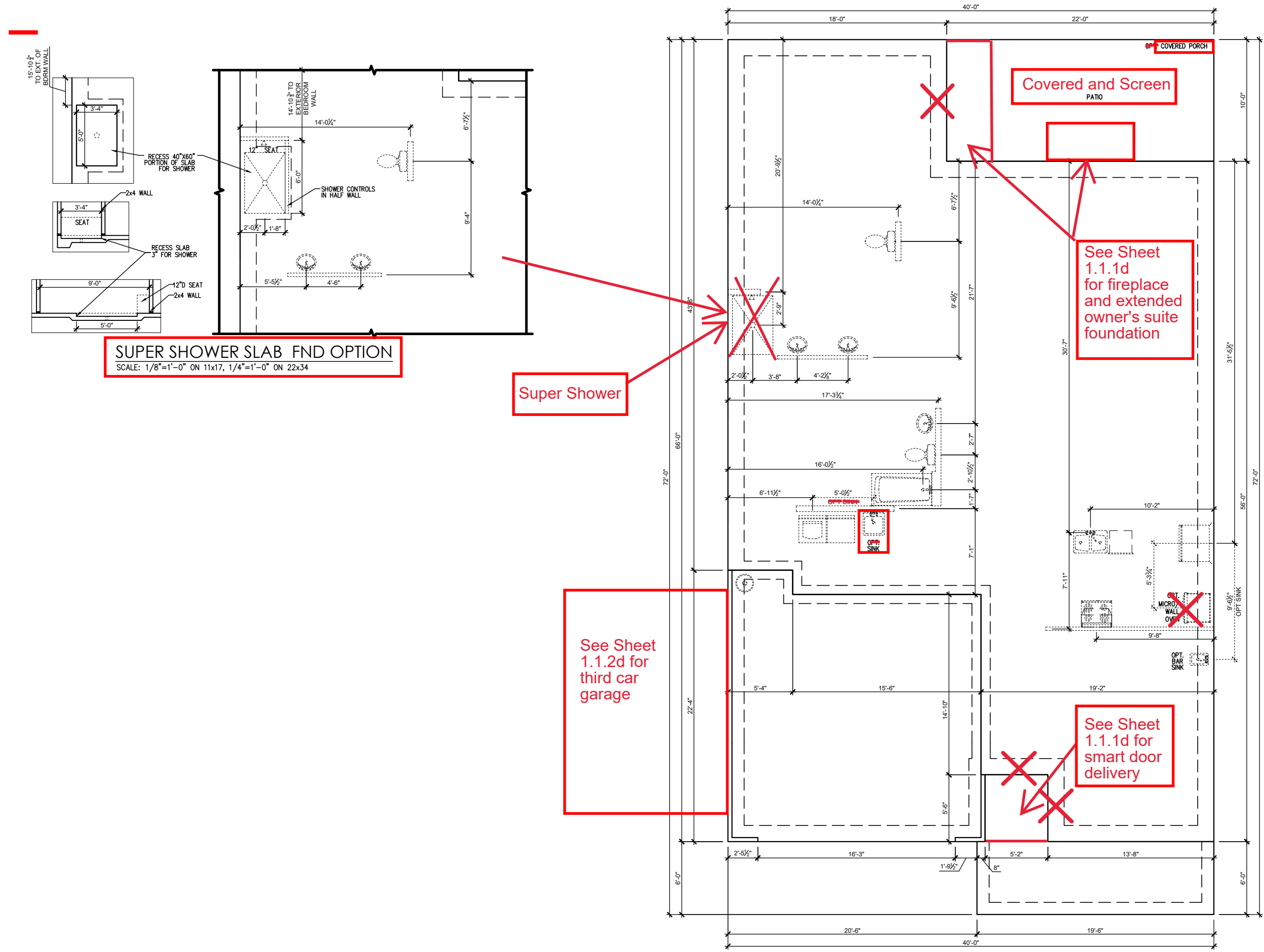
	UNHEATED S.F.	HEATED S.F.
COVERED PATIO	220	0
EXTENDED OWNER'S SUITE	0	+32
ALT. SECOND FLOOR	+17	+139
SUPER GAME ROOM	0	+183
OFFICE	0	+183
HOME GYM	0	+183
SMART DOOR	-28	+28
MECHANICAL RM	+158	0
3RD CAR GARAGE	260	0

DATE	DESCRIPTION	REV.#
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PLAN 6 - THE RALEIGH - LH  
 SINGLE FAMILY  
 Cover Sheet 'Farmhouse'

DRAWN BY:  
South Designs  
 ISSUE DATE:  
7/1/2021  
 CURRENT REVISION DATE:  
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 SCALE:  
1/8" = 1'-0"  
 SHEET  
0.0d

REV.#	DESCRIPTION	DATE
1	REFER TO COVER SHEET	11/24/2021
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**SUPER SHOWER SLAB FND OPTION**  
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

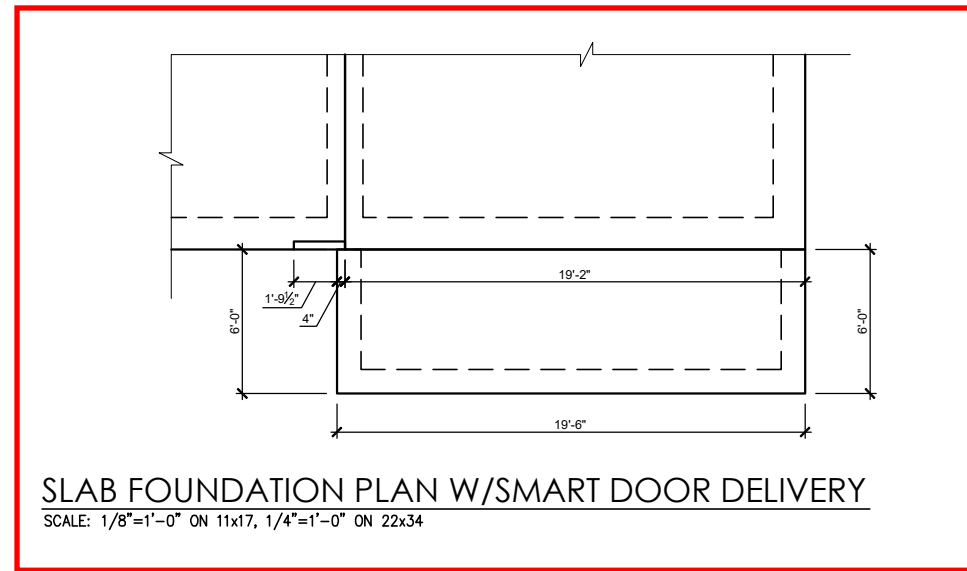
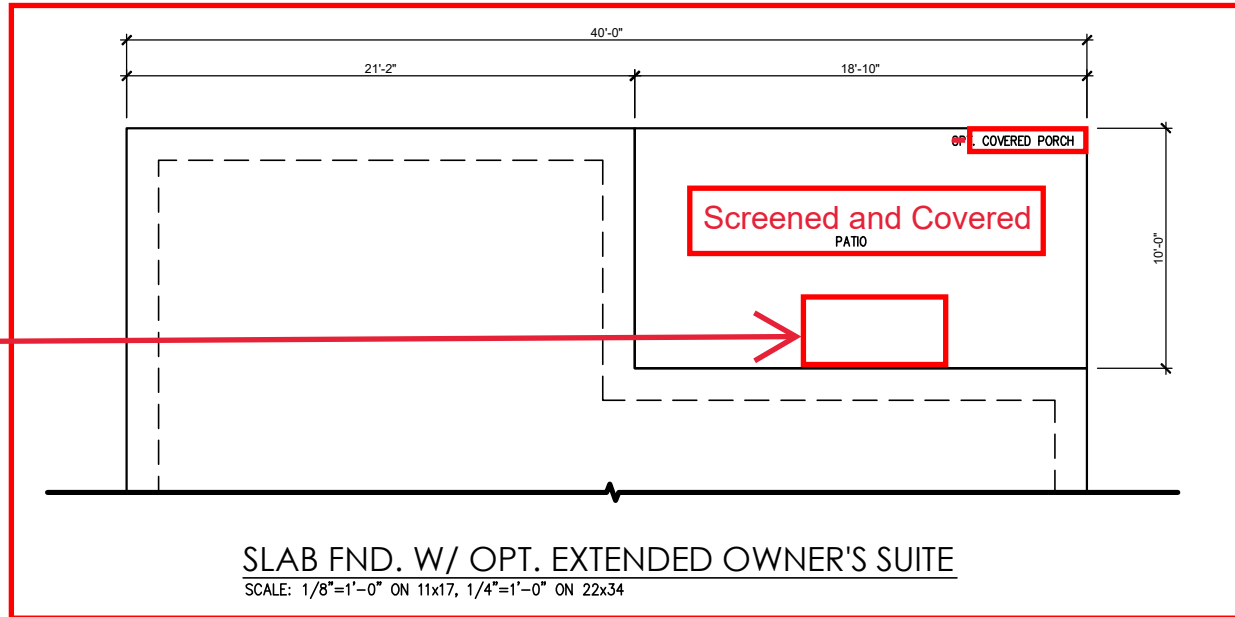
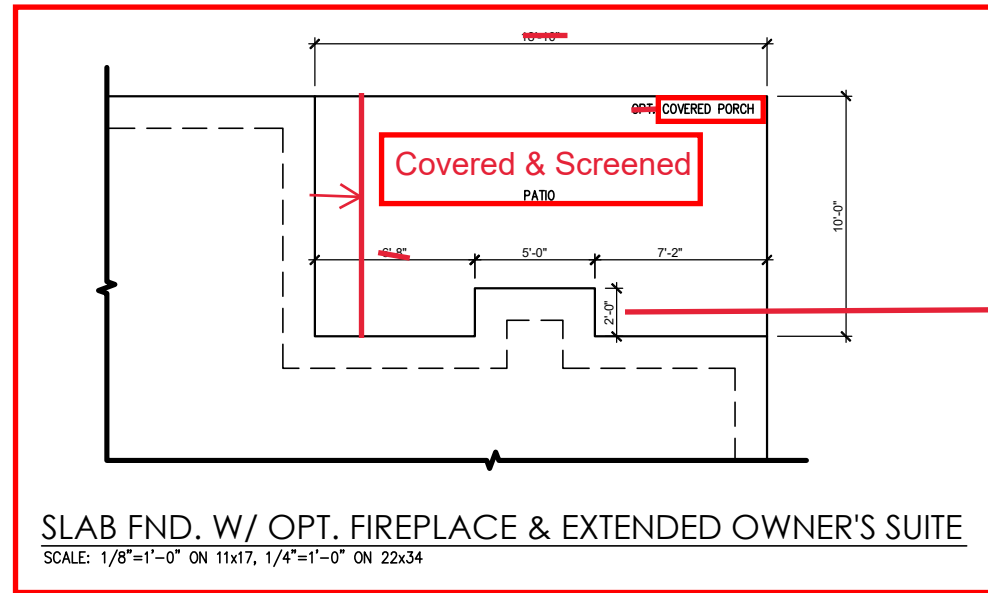
Super Shower

See Sheet 1.1.2d for third car garage

See Sheet 1.1.1d for smart door delivery

See Sheet 1.1.1d for fireplace and extended owner's suite foundation

**SLAB FOUNDATION PLAN 'FARMHOUSE'**  
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

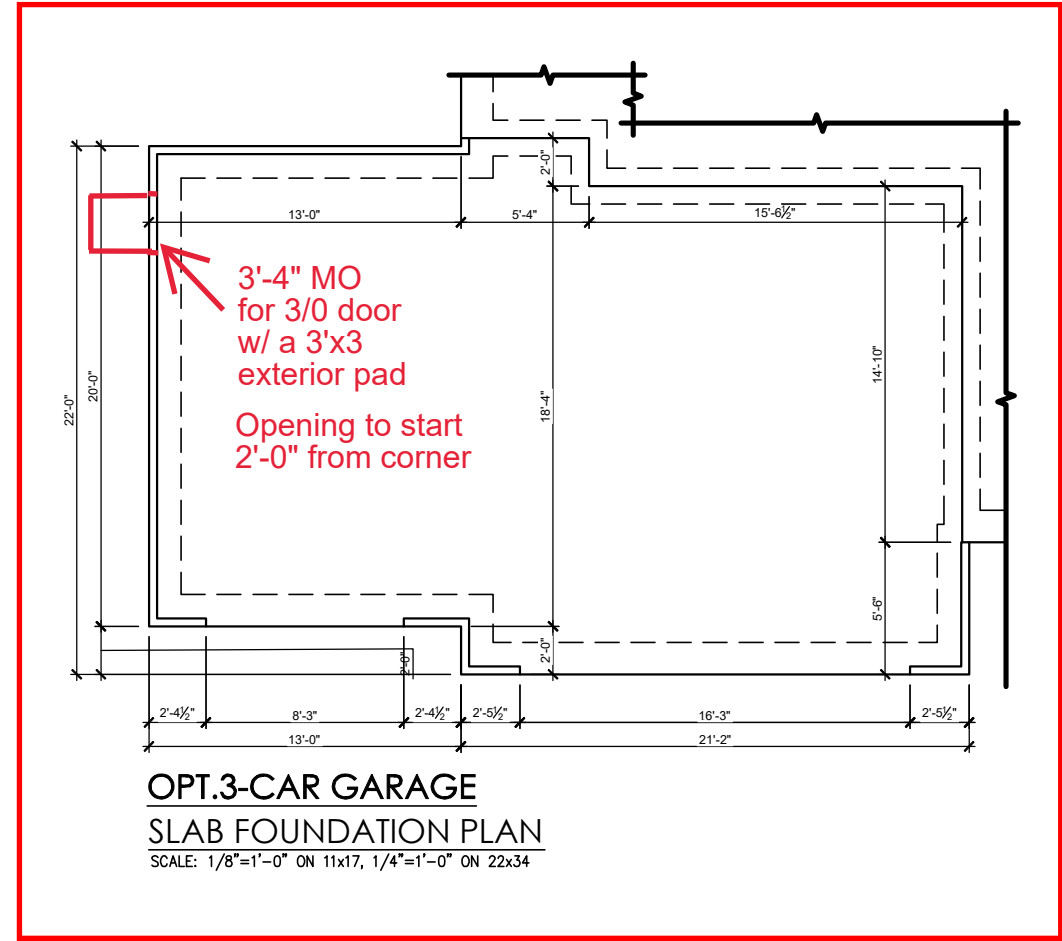


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**PLAN 6 - THE RALEIGH - LH**  
 SINGLE FAMILY  
 Slab Foundation Options 'Farmhouse'

DRAWN BY:  
 South Designs  
 ISSUE DATE:  
 7/1/2021  
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 07/22/2022  
 SCALE:  
 1/8" = 1'-0"

SHEET  
**1.1.1d**



**OPT.3-CAR GARAGE**  
**SLAB FOUNDATION PLAN**  
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

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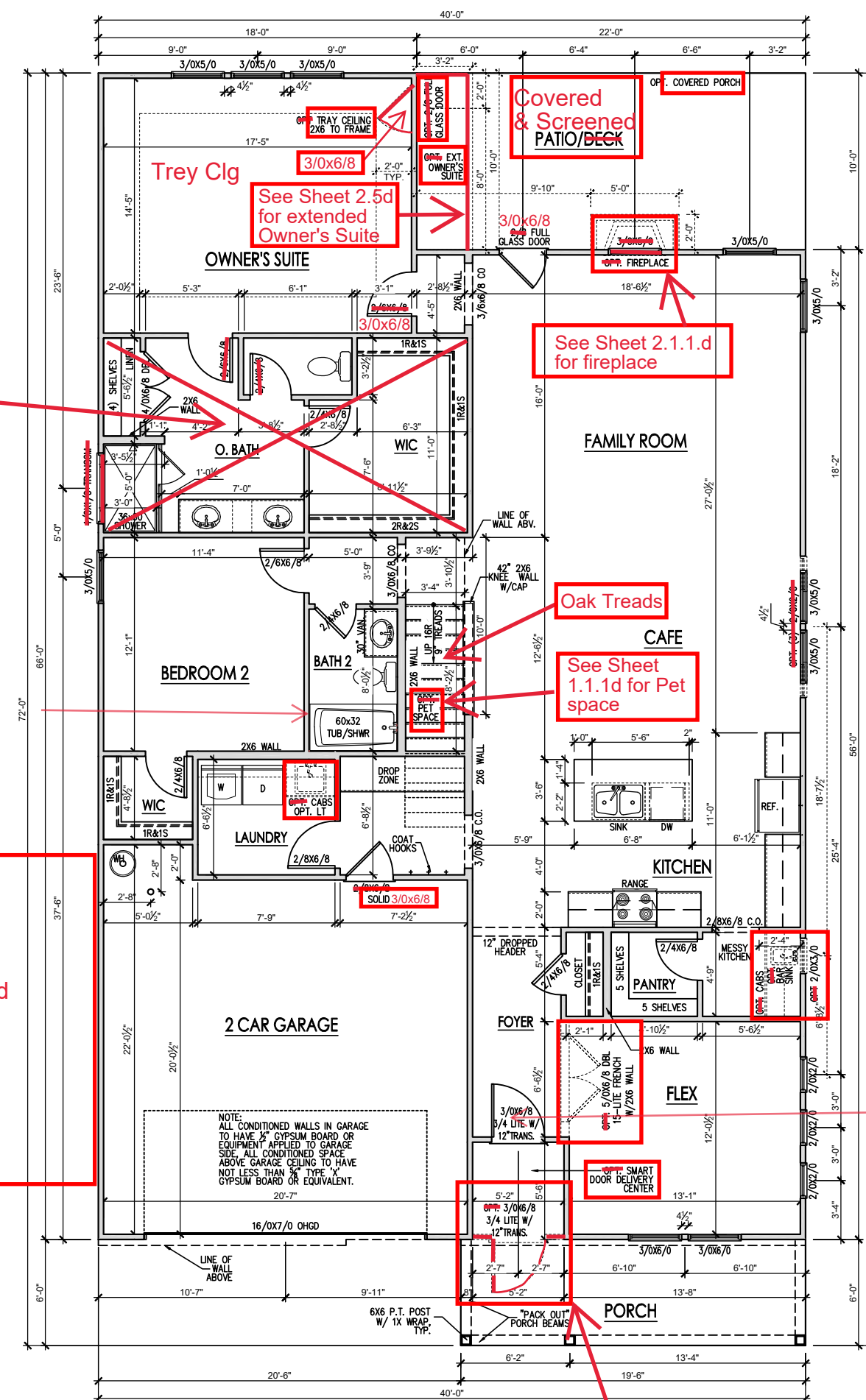
**PLAN 6 - THE RALEIGH - LH**  
 SINGLE FAMILY  
 Slab Foundation Options  
 'Farmhouse'

DRAWN BY:  
 South Designs  
 ISSUE DATE:  
 7/1/2021  
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 SCALE:  
 1/8" = 1'-0"

**General Floor Plan Notes**

General Floor Plan Notes shall apply unless noted otherwise on plan.

1. Wall Heights: Typically 9'-1 1/2" at first floor and second floor, and 9'-1 1/2" at attics U.N.O. All walls are constructed using a double top plate. Splices of Double Top Plate do not need to occur at Vertical Studs but must be at least 24" apart from Joint in other Top Plate layer. Special wall heights are noted on plans where they occur.
2. Wall Thickness is typically 3 1/2". 2x6 frame shall be used of walls that back up to plumbing fixtures. Walls greater than 10' high shall be framed with 2x6 framing or greater and will be noted as a special condition where it occurs on plan.
3. Typical header height shall be 7'-8" AFF at First Floor, and 7'-4" AFF at Second Floor U.N.O.
4. Jacks: Openings up to 3'-4" wide shall have (1) 2x4 jack stud SPF on each side. Openings greater than 3'-4" wide shall have (2) 2x4 jack studs SPF on each side.
5. Soffits, Coffered Ceilings, Trey Ceilings and other significant ceiling plan elements are shown on the floor plans and are denoted as single dashed lines. Unless specifically call out as included, Kitchens **do not** include soffits over wall cabinetry.
6. Door & Window Frames, where occurring near corners, shall be a minimum of 4 1/2" from corner. Except for walk-in closets with doors near a corner, doors at closets shall be centered on closet.
7. Windows: Shall have at least (1) window in each sleeping room, that meets egress. Shall be provided with tempered glass at hazardous glazing areas. False windows shall be installed with obscure glazing.
8. Closets for clothing or coat storage shall be equipped with 1 rod/shelf. Closets for linen shall have 4 open equal shelves. Closets for pantries shall have 4 equal wood shelves, painted.
9. Stair treads shall be a min of 9" deep, risers shall be a maximum of 8 1/4", unless noted otherwise, per the current North Carolina Residential Code
10. Handrails and Guards of stairs shall be 34" above the finished surface of the ramp surface of the stair. Handrails at landings and overlooks of multilevel spaces shall be 36" above finished floor. Guards (pickets or balusters) shall be spaced with no more than 4" between guards.
11. Attic Access shall be provided at all attic area with a height greater than 30". Minimum clear attic access shall be 20" x 30". Pull down stairs and access doors in knee walls meeting minimum criteria are also acceptable.
12. Garage Door to Living Space shall be 2'-8" x 6'-8" minimum size and shall be 20 minute fire rated and weather sealed.
13. Garage Walls, as a minimum, shall be separated from living space by installing 1/2" gypsum board on the garage side of the wall. With habitable space above, the inside of all garage walls require 1/2" GWB supporting 5/8" type X GWB on ceiling.



See Sheet 2.1.1d for Super Shower door sizes and new dimensions for closet and water closet

Center of door from corner to be 3'-7 1/2"

3'x3' pad  
3/0x6/8 door  
See sheet 2.8d for third car garage

Oak Treads

See Sheet 1.1.1.d for Pet space

See Sheet 2.2.1d for Smart Door Delivery



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**PLAN 6 - THE RALEIGH - LH**  
SINGLE FAMILY  
First Floor Plan 'Farmhouse'

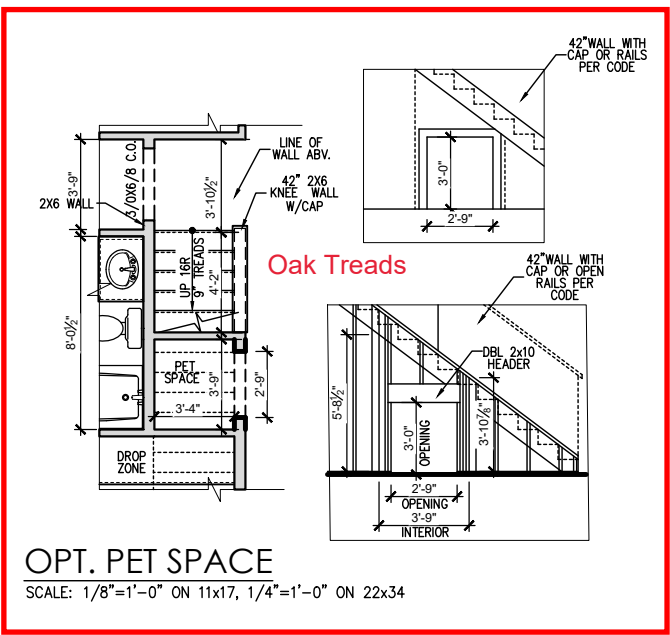
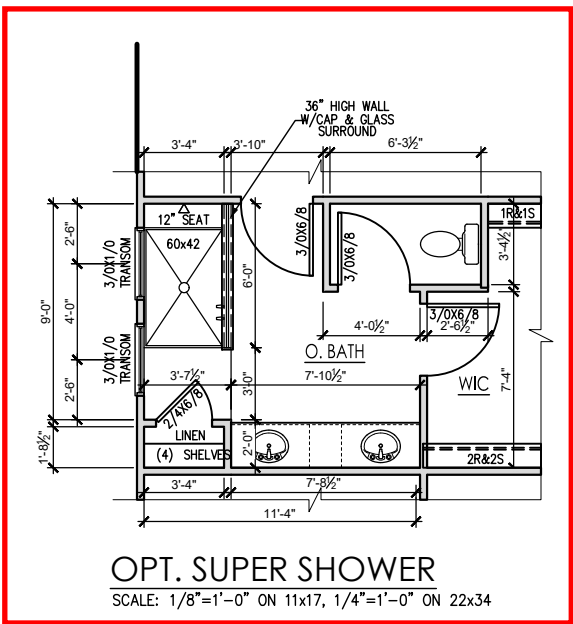
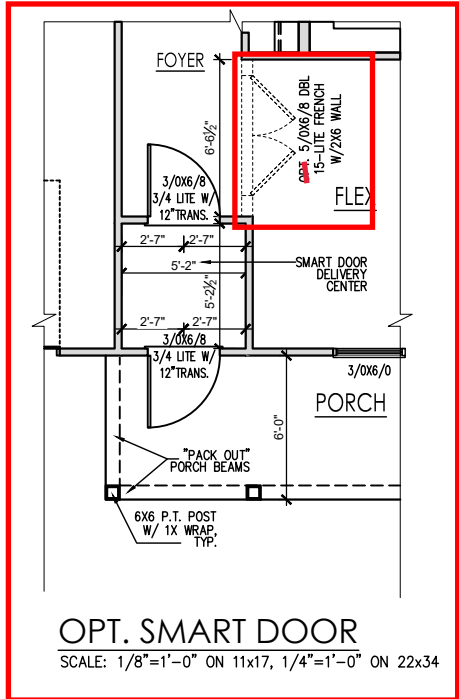
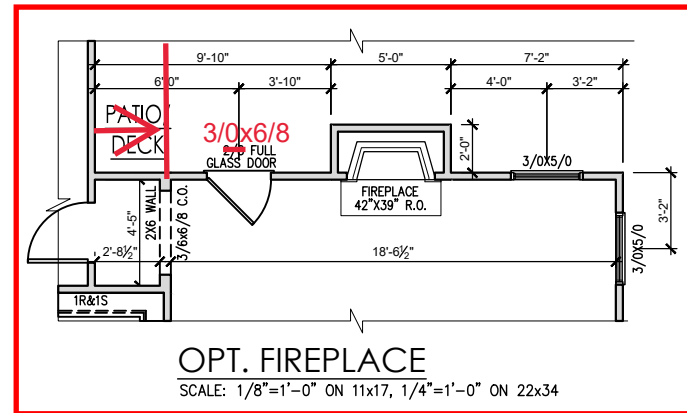
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South Designs  
7/1/2021  
ISSUE DATE:  
7/1/2021  
CURRENT REVISION DATE:  
07/22/2022  
SCALE:  
1/8" = 1'-0"

SHEET  
**2.1d**

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REV.#	DESCRIPTION	DATE
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**PLAN 6 - THE RALEIGH - LH**  
SINGLE FAMILY  
First Floor Options 'Farmhouse'

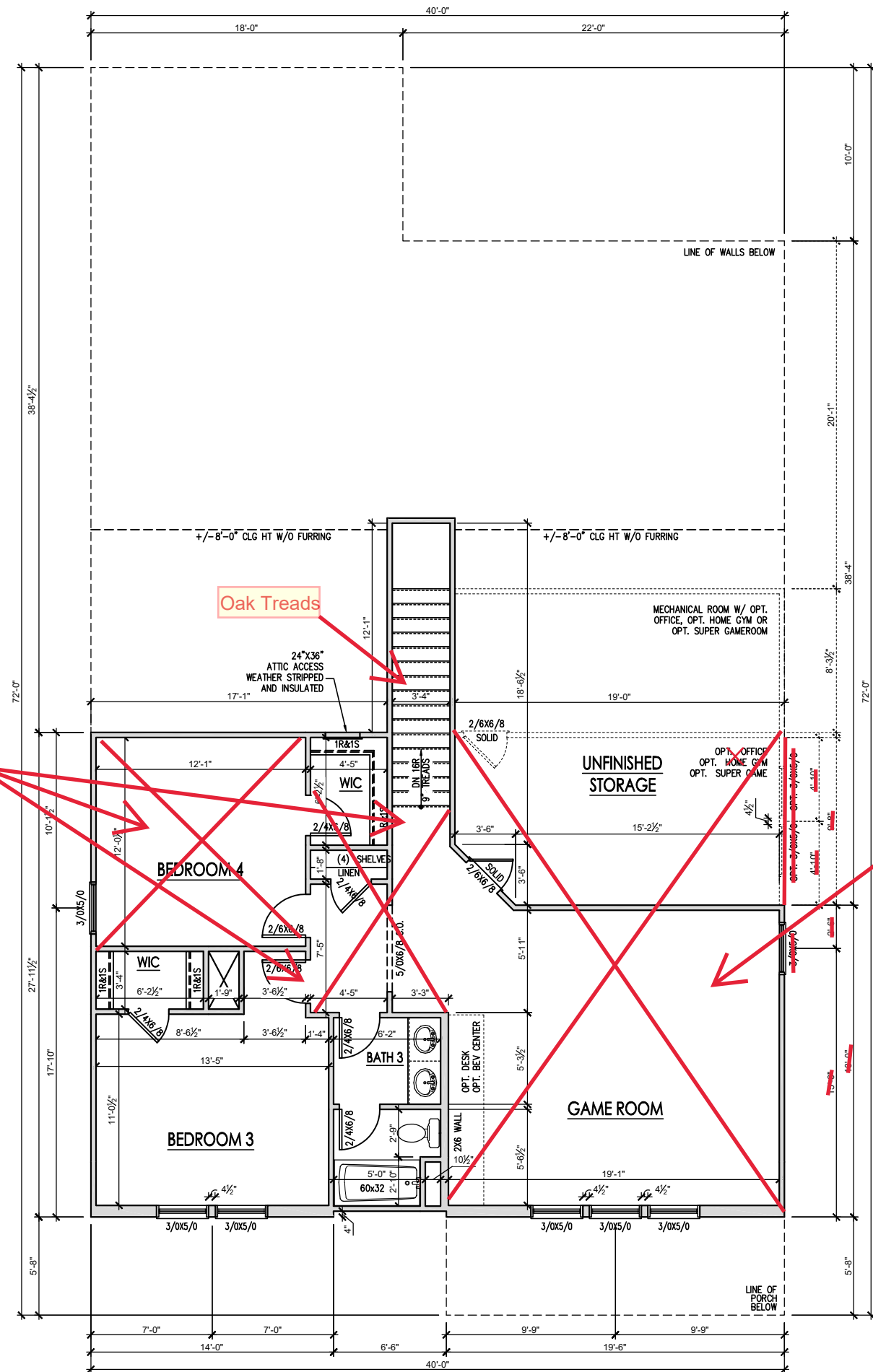
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ISSUE DATE: 7/1/2021
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SCALE: 1/8" = 1'-0"
SHEET <b>2.1.1d</b>



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See Sheet 2.2.d for loft, landing and door at the top of the stairs, entry into bedroom 3

See Sheet 2.2.d for bedroom and bathroom

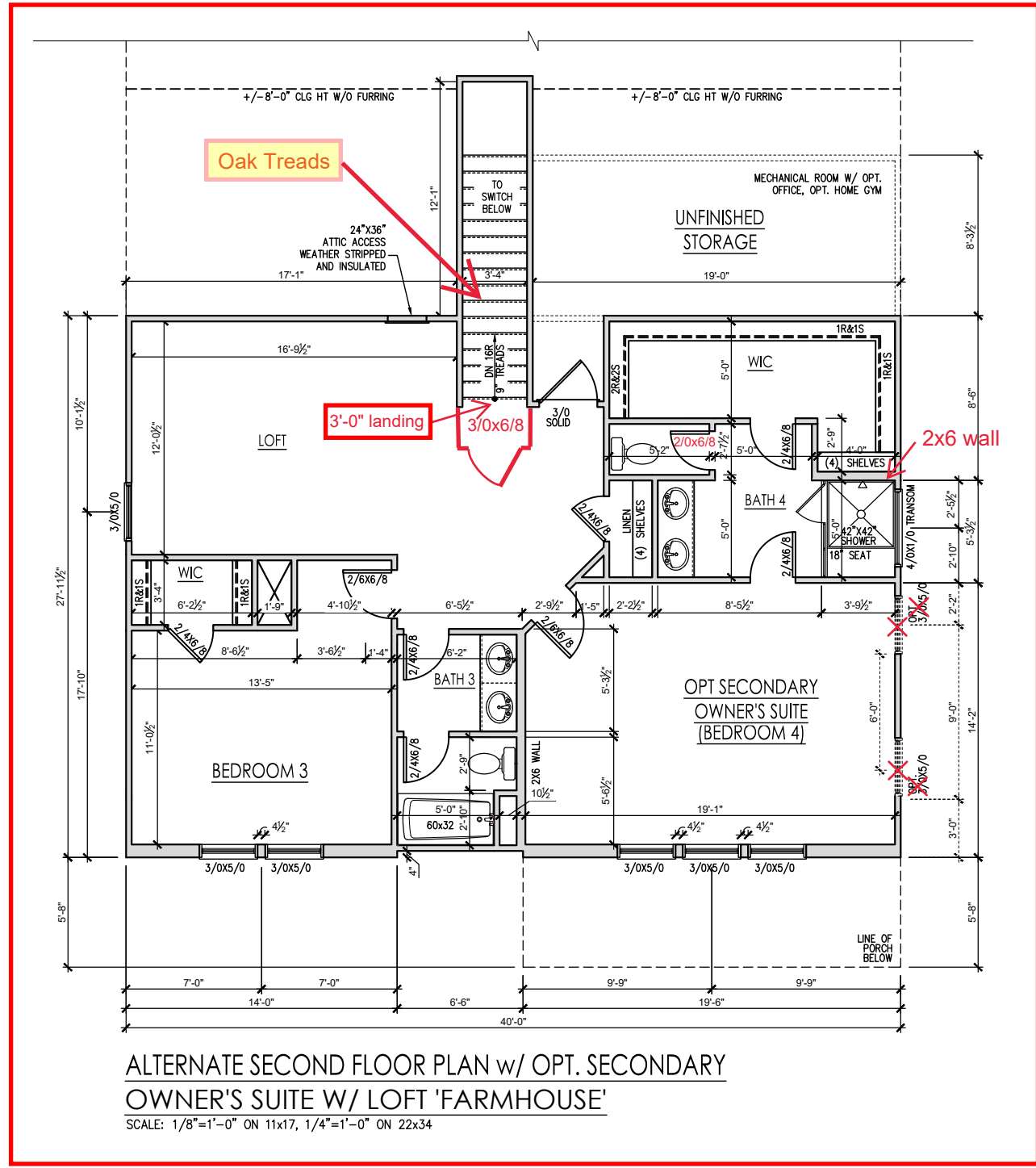


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**PLAN 6 - THE RALEIGH - LH**  
**SINGLE FAMILY**  
 Second Floor Plan 'Farmhouse'

DRAWN BY:  
 South Designs  
 ISSUE DATE:  
 7/1/2021  
 CURRENT REVISION DATE:  
 07/22/2022  
 SCALE:  
 1/8" = 1'-0"

SHEET  
**2.2d**



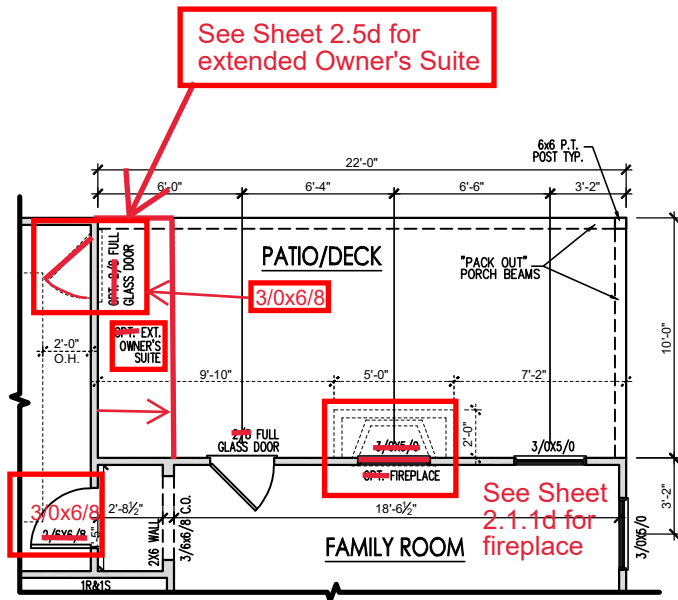
**ALTERNATE SECOND FLOOR PLAN w/ OPT. SECONDARY OWNER'S SUITE w/ LOFT 'FARMHOUSE'**  
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

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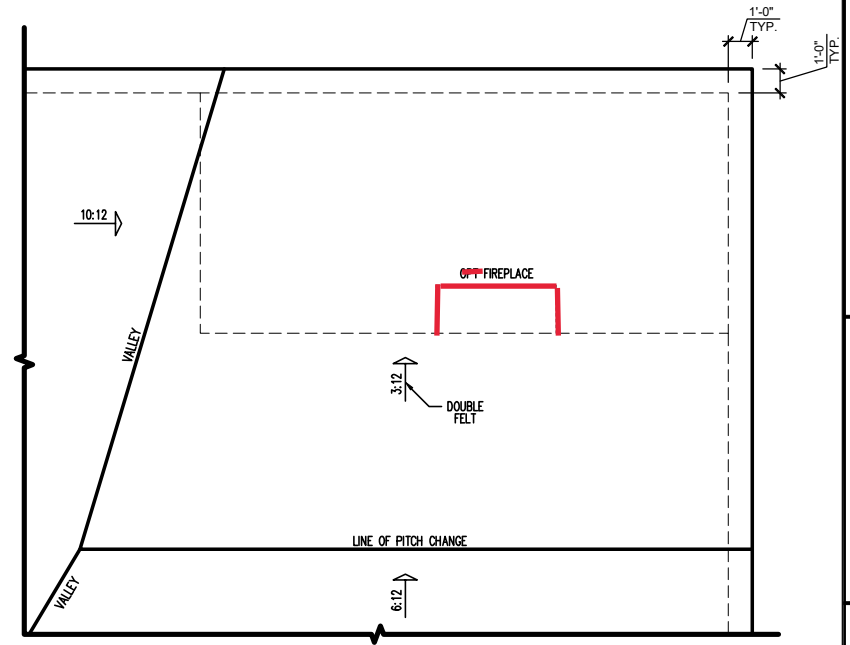
**PLAN 6 - THE RALEIGH - LH**  
 SINGLE FAMILY  
 Second Floor Options w/ Owner's Suite 'Farmhouse'

DRAWN BY: South Designs
ISSUE DATE: 7/1/2021
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SCALE: 1/8" = 1'-0"
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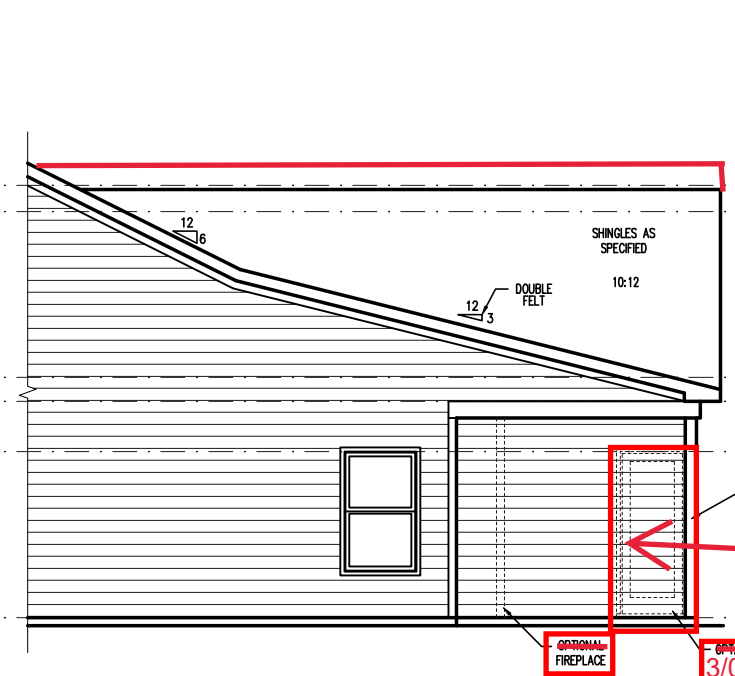




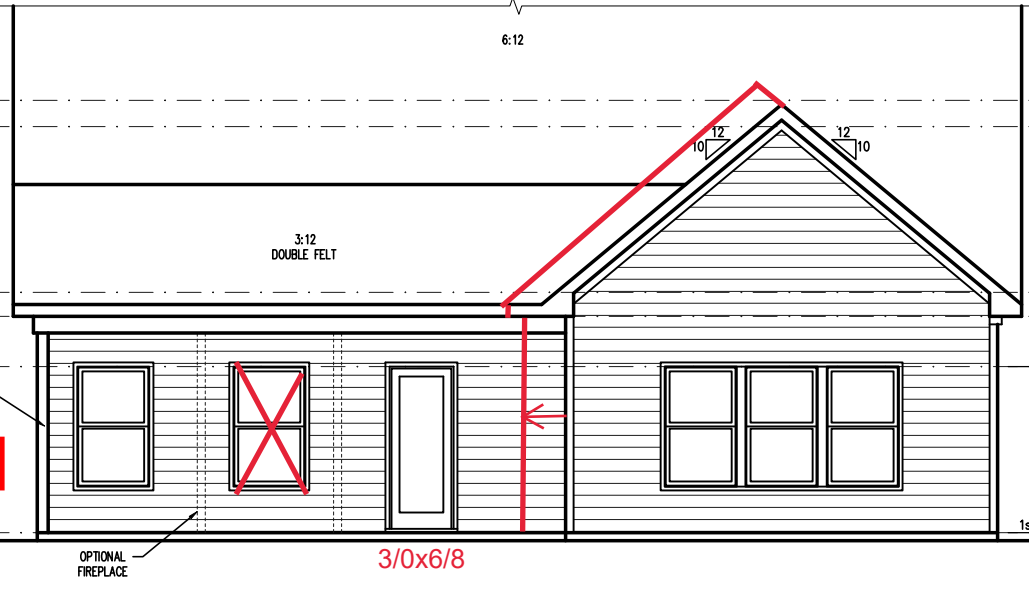
**COVERED PORCH FLOOR PLAN**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**COVERED PORCH ROOF PLAN**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**PARTIAL RIGHT SIDE ELEVATION (SLAB)**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

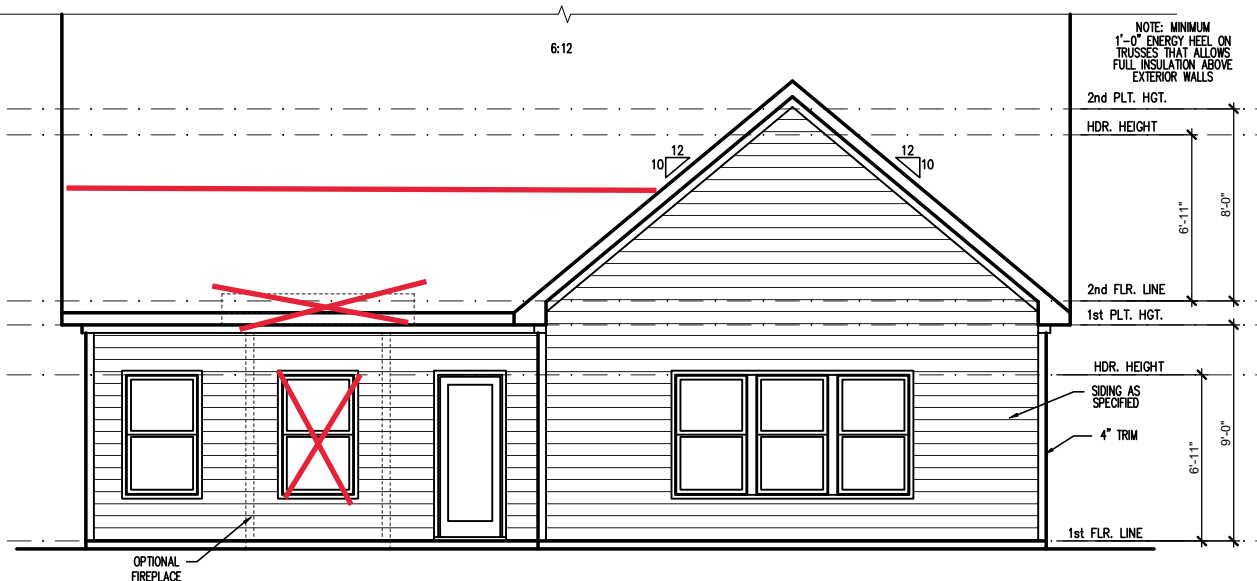
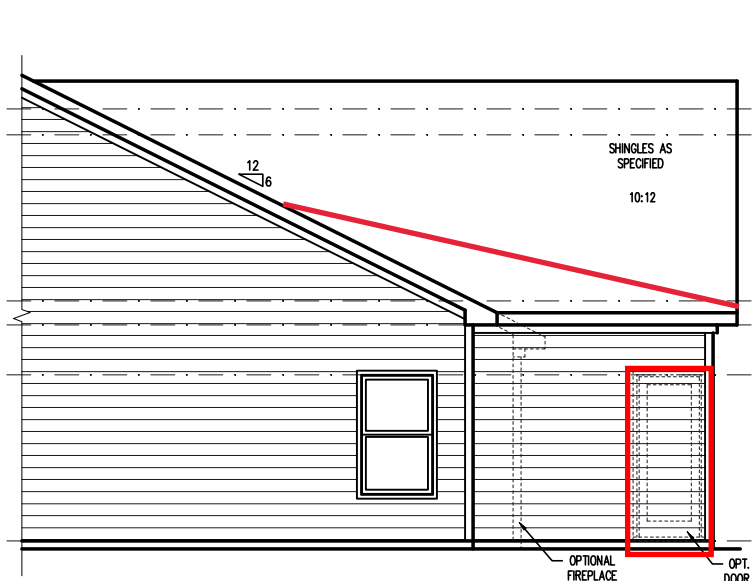
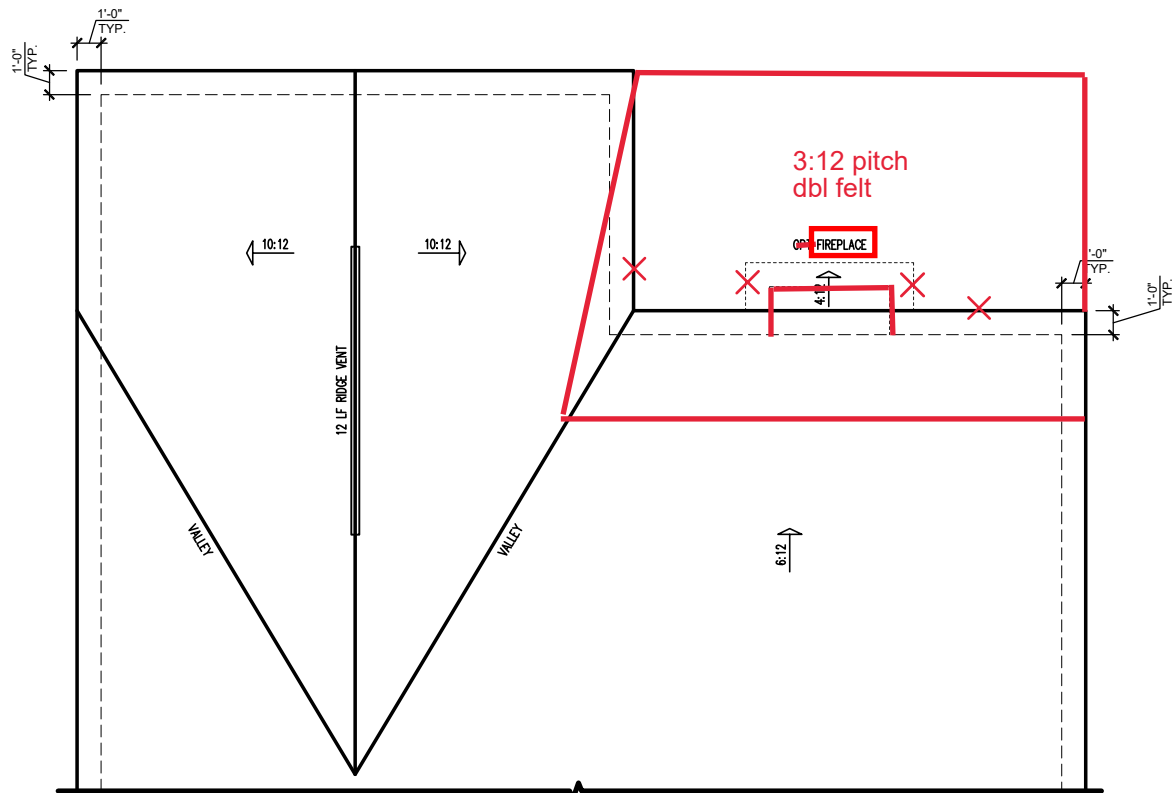
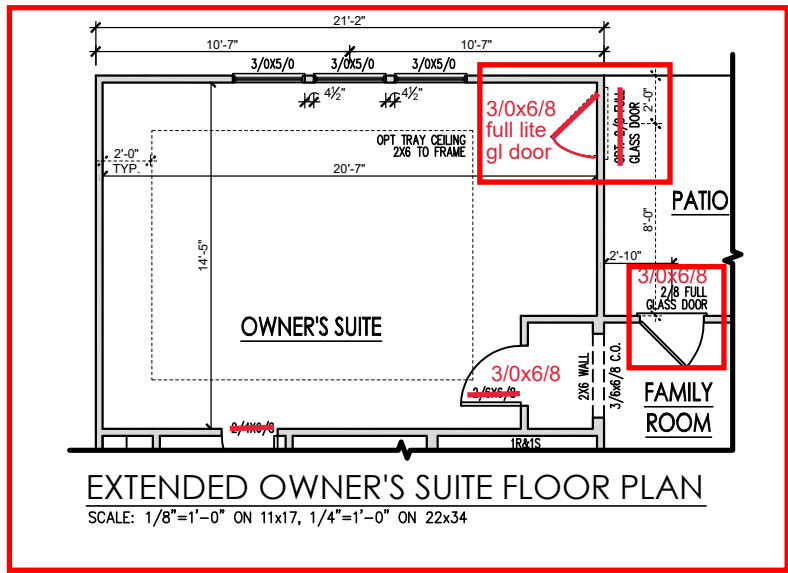


**COVERED PORCH REAR ELEVATION (SLAB)**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

REV.#	DESCRIPTION	DATE
1	REFER TO COVER SHEET	11/24/2021
2	REFER TO COVER SHEET	2/4/2022
3	REFER TO COVER SHEET	03/21/2022
4	REFER TO COVER SHEET	07/22/2022
5		
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**PLAN 6 - THE RALEIGH - LH**  
SINGLE FAMILY  
Covered Porch Plans & Elevations (Slab) Farmhouse

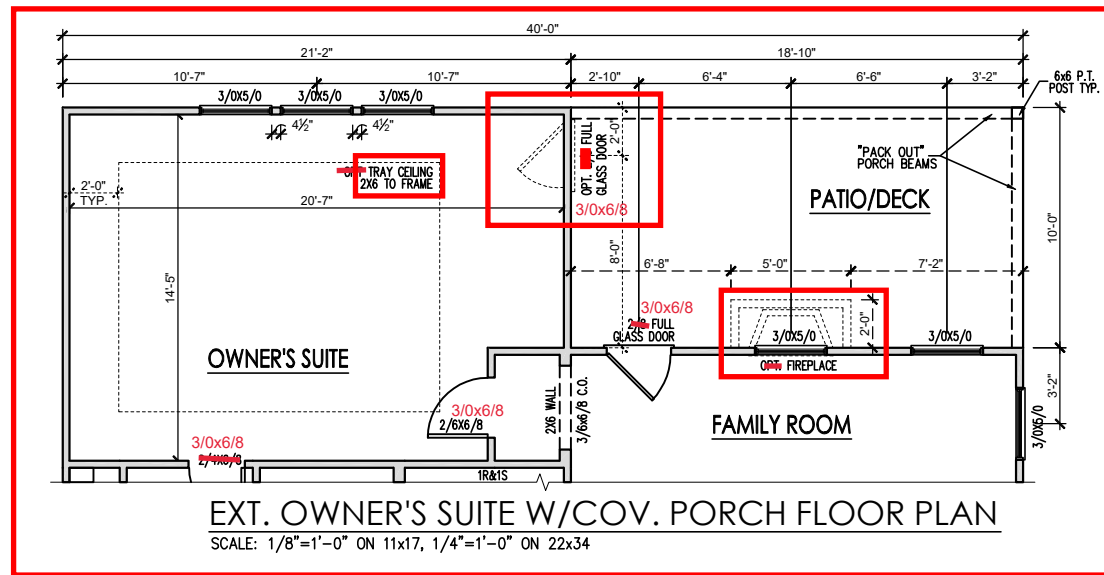
DRAWN BY: South Designs
ISSUE DATE: 7/1/2021
CURRENT REVISION DATE: 07/22/2022
SCALE: 1/8" = 1'-0"
SHEET <b>2.4d</b>



REV.#	DESCRIPTION	DATE
1	REFER TO COVER SHEET	11/24/2021
2	REFER TO COVER SHEET	2/4/2022
3	REFER TO COVER SHEET	03/21/2022
4	REFER TO COVER SHEET	07/22/2022
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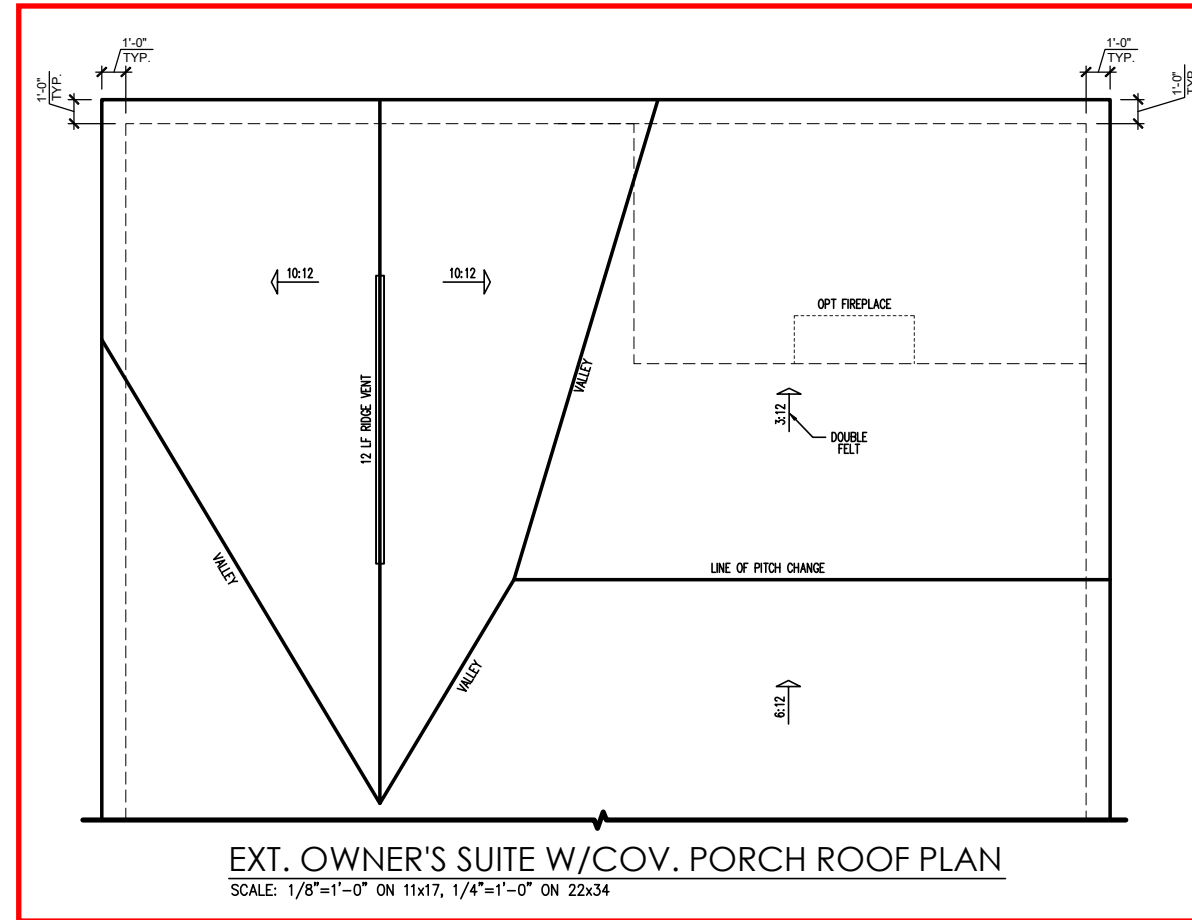
**PLAN 6 - THE RALEIGH - LH**  
**SINGLE FAMILY**  
 Ext Owner's Suite Plans & Elevations (Slab) Farmhouse'

DRAWN BY: South Designs
ISSUE DATE: 7/1/2021
CURRENT REVISION DATE: 07/22/2022
SCALE: 1/8" = 1'-0"
SHEET <b>2.5d</b>



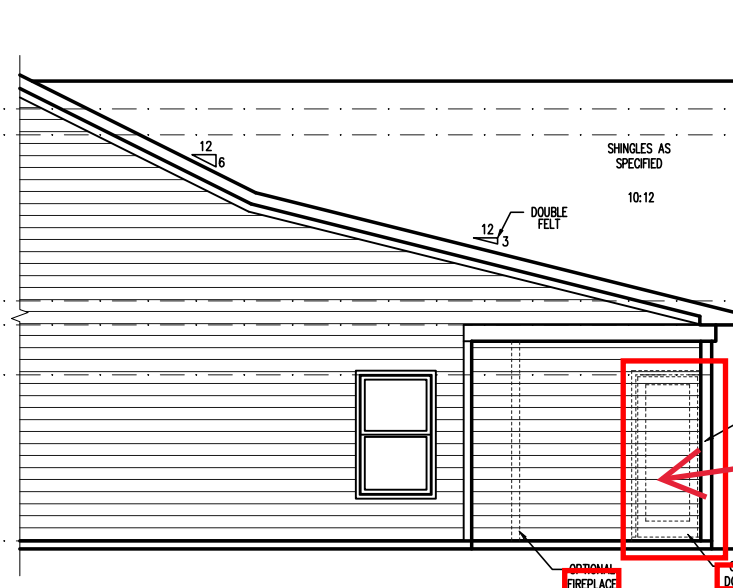
**EXT. OWNER'S SUITE W/COV. PORCH FLOOR PLAN**

SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



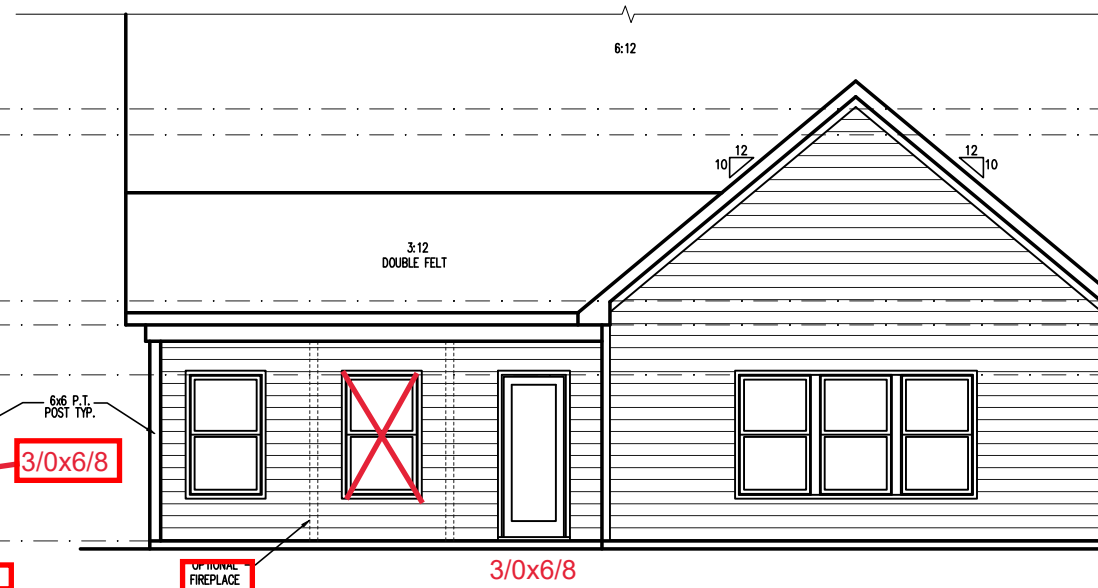
**EXT. OWNER'S SUITE W/COV. PORCH ROOF PLAN**

SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



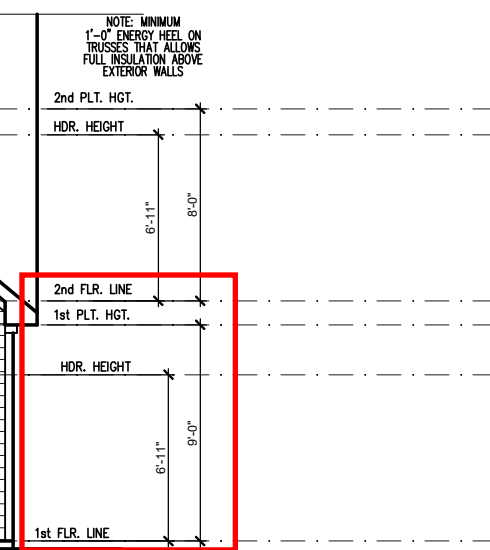
**PARTIAL RIGHT SIDE ELEVATION (SLAB)**

SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**EXT. OWNER'S SUITE W/COV. PORCH REAR ELEVATION (SLAB)**

SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



See Sheet 2.8.1d for rear of third car garage

REV.#	DESCRIPTION	DATE
1	REFER TO COVER SHEET	11/24/2021
2	REFER TO COVER SHEET	2/4/2022
3	REFER TO COVER SHEET	03/21/2022
4	REFER TO COVER SHEET	07/22/2022
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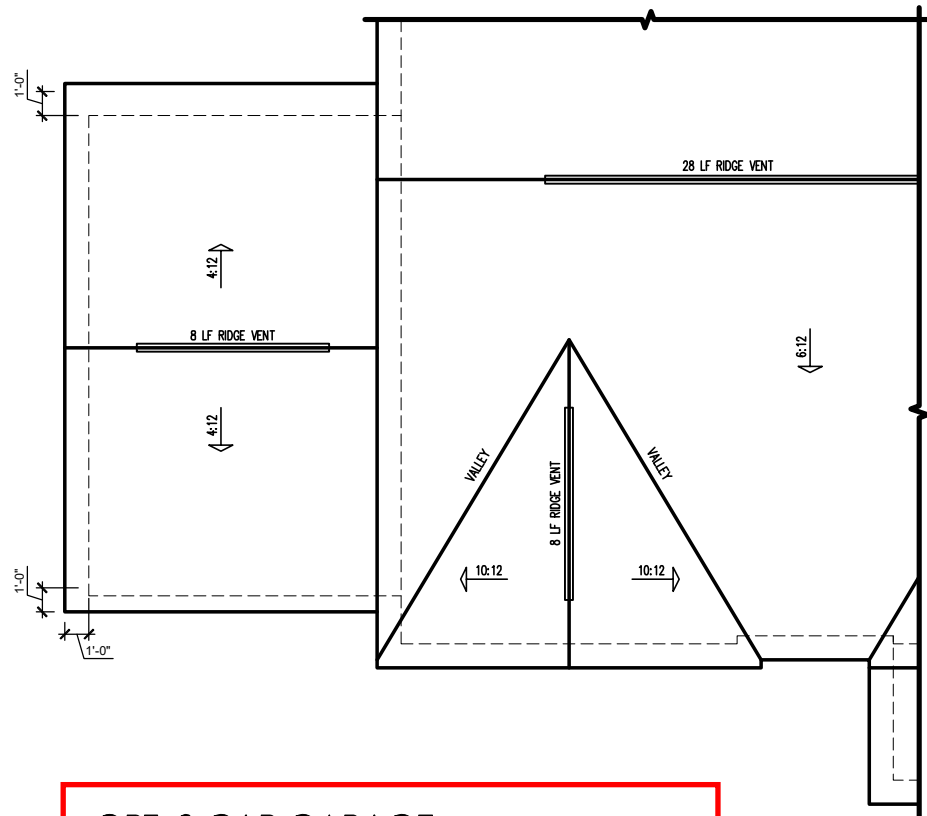
**PLAN 6 - THE RALEIGH - LH**  
**SINGLE FAMILY**

Ext O. Suite wCov Porch Plans & Elevs (Slab) Farmhouse

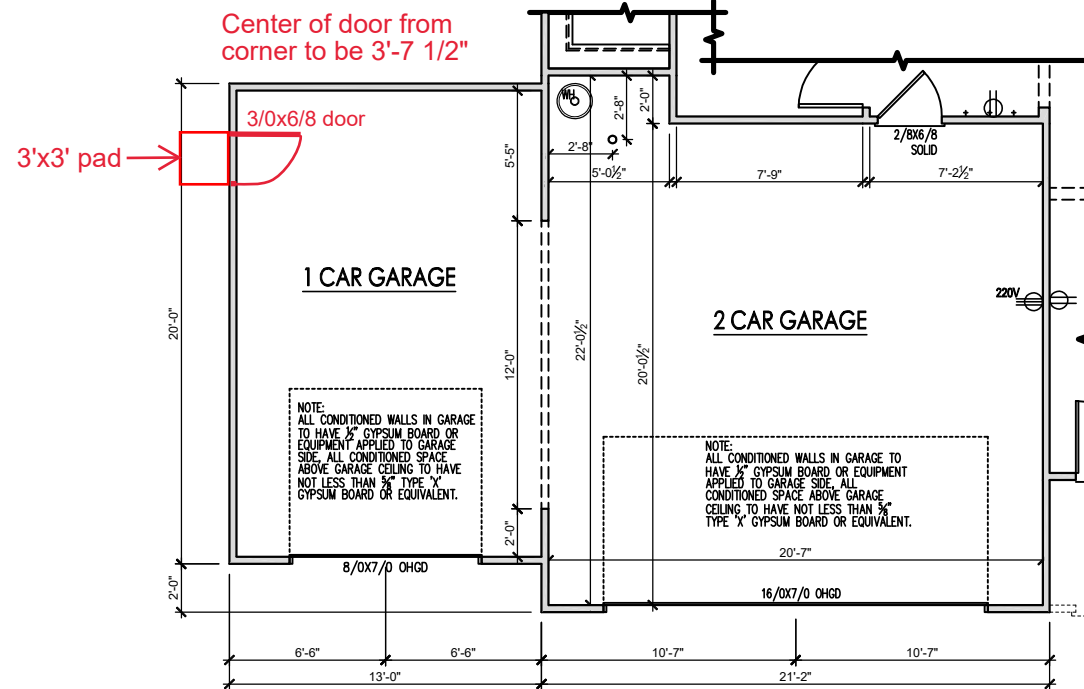
DRAWN BY:  
South Designs  
ISSUE DATE:  
7/1/2021  
CURRENT REVISION DATE:  
07/22/2022  
SCALE:  
1/8" = 1'-0"

ATTIC VENT SCHEDULE								
'LOW CEILING ROOF ELEVATION								
MAIN HOUSE		SQ. FTG.	260	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT. LARGE (SQ. FT. EACH)	POT. SMALL (SQ. FT. EACH)	RIDGE VENT (SQ. FT. PER LF)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. PER LF)
				0.4236	0.2778	0.125	0.1944	0.0625
RIDGE VENT	0.35 0.43	1.00	44.44	0	0	8.00		
SOFFIT VENTS	0.52 0.43	1.25	55.56				0	20.00
TOTAL (MIN)	0.87 0.87	2.25	100.00	POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE				

\* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION



**OPT. 3-CAR GARAGE**  
**'FARMHOUSE' ELEVATION ROOF PLAN**  
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**OPT. 3-CAR GARAGE**  
**FIRST FLOOR PLAN**  
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



REV.#	DESCRIPTION	DATE
1	REFER TO COVER SHEET	11/24/2021
2	REFER TO COVER SHEET	2/4/2022
3	REFER TO COVER SHEET	03/21/2022
4	REFER TO COVER SHEET	07/22/2022
5		
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**PLAN 6 - THE RALEIGH - LH**  
**SINGLE FAMILY**  
 3-Car Garage Plans 'Farmhouse'

DRAWN BY:  
 South Designs  
 ISSUE DATE:  
 7/1/2021  
 CURRENT REVISION DATE:  
 07/22/2022  
 SCALE:  
 1/8" = 1'-0"

SHEET  
**2.8d**



**General Elevation Notes**

General Elevation Notes shall apply unless noted otherwise on plan.

- Roof shall be finished with architectural composition shingles with slopes as noted on plan.
- Ridge Vent shall be provided and installed on all ridges greater than 6' in length per manufacturer's specifications.
- Soffit Vent shall be continuous soffit vent
- House Wrap, "tyvek" or approved equal shall be installed over entire exterior wall per manufacturer's specifications and recommendations.
- Flashing shall be provided above all door and window openings, above finish wall material changes and at wall surfaces where lower roof areas abut vertical wall surfaces.
- Porch Railings shall be provided at all porch walking surfaces greater than 30" above adjacent finished grade. It shall be 36" high with guards spaced no more than 4" apart. Consult community specifications for material.
- Finish Wall Material shall be as noted on elevation drawings.
- Brick Veneer, if included on elevation shall be tied to wall surface with galvanized corrugated metal ties at a rate of 24" oc horizontally and 16" oc vertically so that no more than 2.67sf of brick is supported by (1) tie. Space between face of wall and back face of brick shall be limited to a maximum of 1". Flashing shall be provided behind brick above all wall openings and at base of brick wall. Flashing shall be a minimum of 4-mil poly or other corrosion resistant material and shall be installed so that it laps under the house wrap material a minimum of 2". Weepholes shall be provided at a rate of 48" oc and shall not be less than 3/16" in diameter and shall be located immediately above flashing.
- Brick Veneer Support Lintels shall be provided if brick veneer is included on elevation. Lintels shall be provided as listed in the following schedule and shall have a minimum bearing length of 6". Masonry Lintels shall be provided so that deflection is limited to 1/600.

**Masonry Opening Lintel Schedule**

Opening Size	Angle
up to 4'-0"	3-1/2" x 3-1/2" x 5/16"
4'-1" to 5'-6"	4" x 3-1/2" x 5/16" LLV
5'-7" to 6'-6"	5" x 3-1/2" x 5/16" LLV
6'-7" to 8'-4"	6" x 3-1/2" x 5/16" LLV
8'-5" to 16'-4"	7" x 4" x 3/8" LLV



See Sheet 2.8.1  
for Third Car Garage

**FRONT ELEVATION 'FARMHOUSE' (SLAB)**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

REV.#	DESCRIPTION	DATE
1	REFER TO COVER SHEET	11/24/2021
2	REFER TO COVER SHEET	2/4/2022
3	REFER TO COVER SHEET	03/21/2022
4	REFER TO COVER SHEET	07/22/2022
5		
6		
7		
8		

**PLAN 6 - THE RALEIGH - LH**  
SINGLE FAMILY  
Front & Rear Elevations (Slab) 'Farmhouse'

DRAWN BY:  
South Designs  
ISSUE DATE:  
7/1/2021  
CURRENT REVISION DATE:  
07/22/2022  
SCALE:  
1/8" = 1'-0"



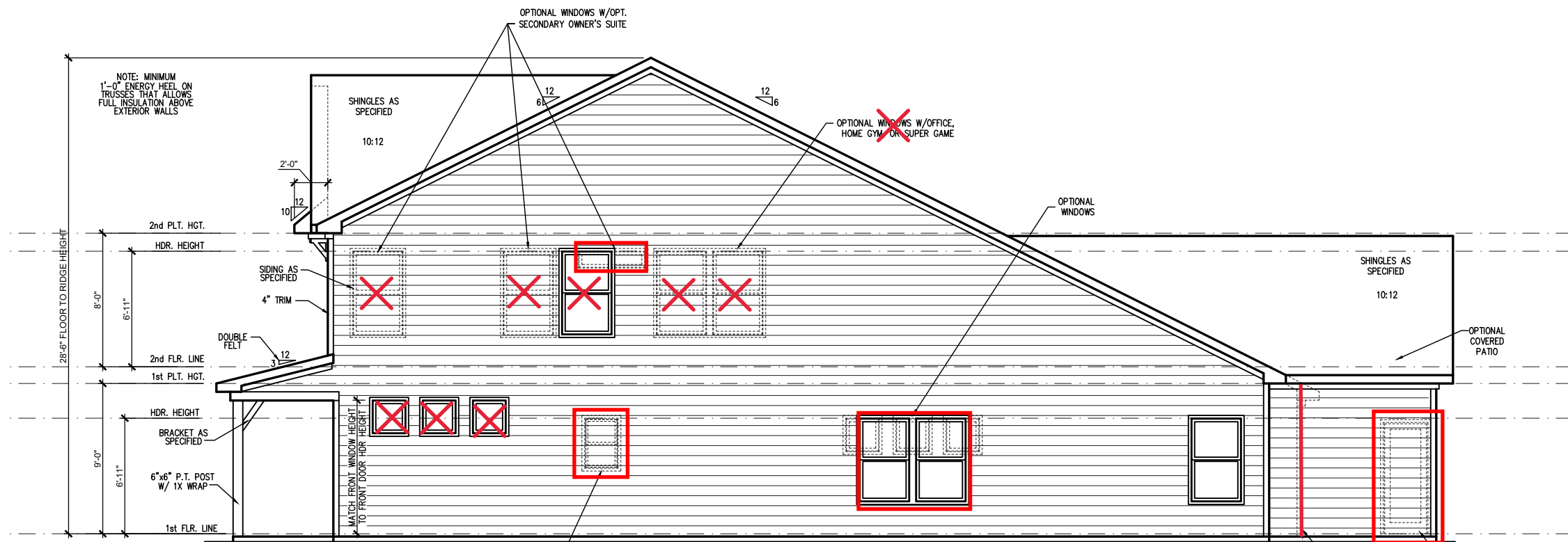
**General Elevation Notes**

General Elevation Notes shall apply unless noted otherwise on plan.

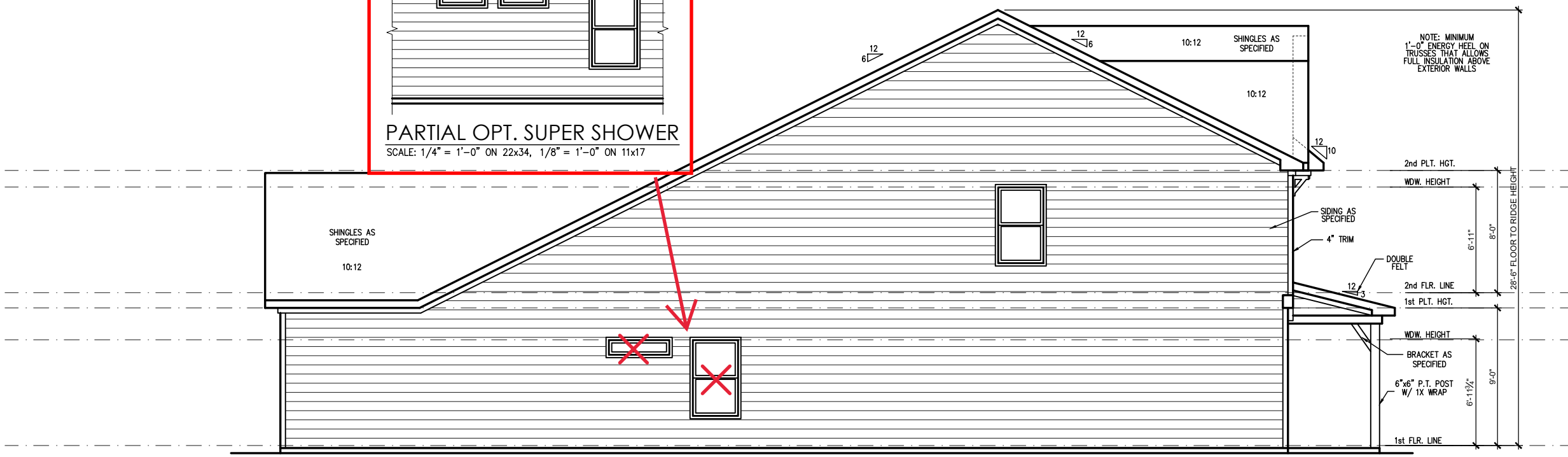
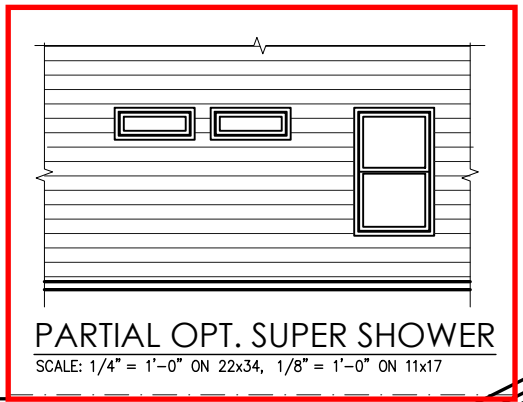
- Roof shall be finished with architectural composition shingles with slopes as noted on plan.
- Ridge Vent shall be provided and installed on all ridges greater than 6' in length per manufacturer's specifications.
- Soffit Vent shall be continuous soffit vent
- House Wrap, "Tyvek" or approved equal shall be installed over entire exterior wall per manufacturer's specifications and recommendations.
- Flashing shall be provided above all door and window openings, above finish wall material changes and at wall surfaces where lower roof areas abut vertical wall surfaces.
- Porch Railings shall be provided at all porch walking surfaces greater than 30" above adjacent finished grade. It shall be 36" high with guards spaced no more than 4" apart. Consult community specifications for material.
- Finish Wall Material shall be as noted on elevation drawings.
- Brick Veneer, if included on elevation shall be tied to wall surface with galvanized corrugated metal ties at a rate of 24" oc horizontally and 16" oc vertically so that no more than 2.67sf of brick is supported by (1) tie. Space between face of wall and back face of brick shall be limited to a maximum of 1". Flashing shall be provided behind brick above all wall openings and at base of brick wall. Flashing shall be a minimum of 6-mil poly or other corrosion resistant material and shall be installed so that it laps under the house wrap material a minimum of 2". Weepholes shall be provided at a rate of 48" oc and shall not be less than 3/16" in diameter and shall be located immediately above flashing.
- Brick Veneer Support Lintels shall be provided if brick veneer is included on elevation. Lintels shall be provided as listed in the following schedule and shall have a minimum bearing length of 6". Masonry Lintels shall be provided so that deflection is limited to 1/600.

**Masonry Opening Lintel Schedule**

Opening Size	Angle
up to 4'-0"	3-1/2" x 3-1/2" x 5/16"
4'-1" to 5'-6"	4" x 3-1/2" x 5/16" LLV
5'-7" to 6'-6"	5" x 3-1/2" x 5/16" LLV
6'-7" to 8'-4"	6" x 3-1/2" x 5/16" LLV
8'-5" to 16'-4"	7" x 4" x 3/8" LLV



**RIGHT SIDE ELEVATION 'FARMHOUSE' (SLAB)**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



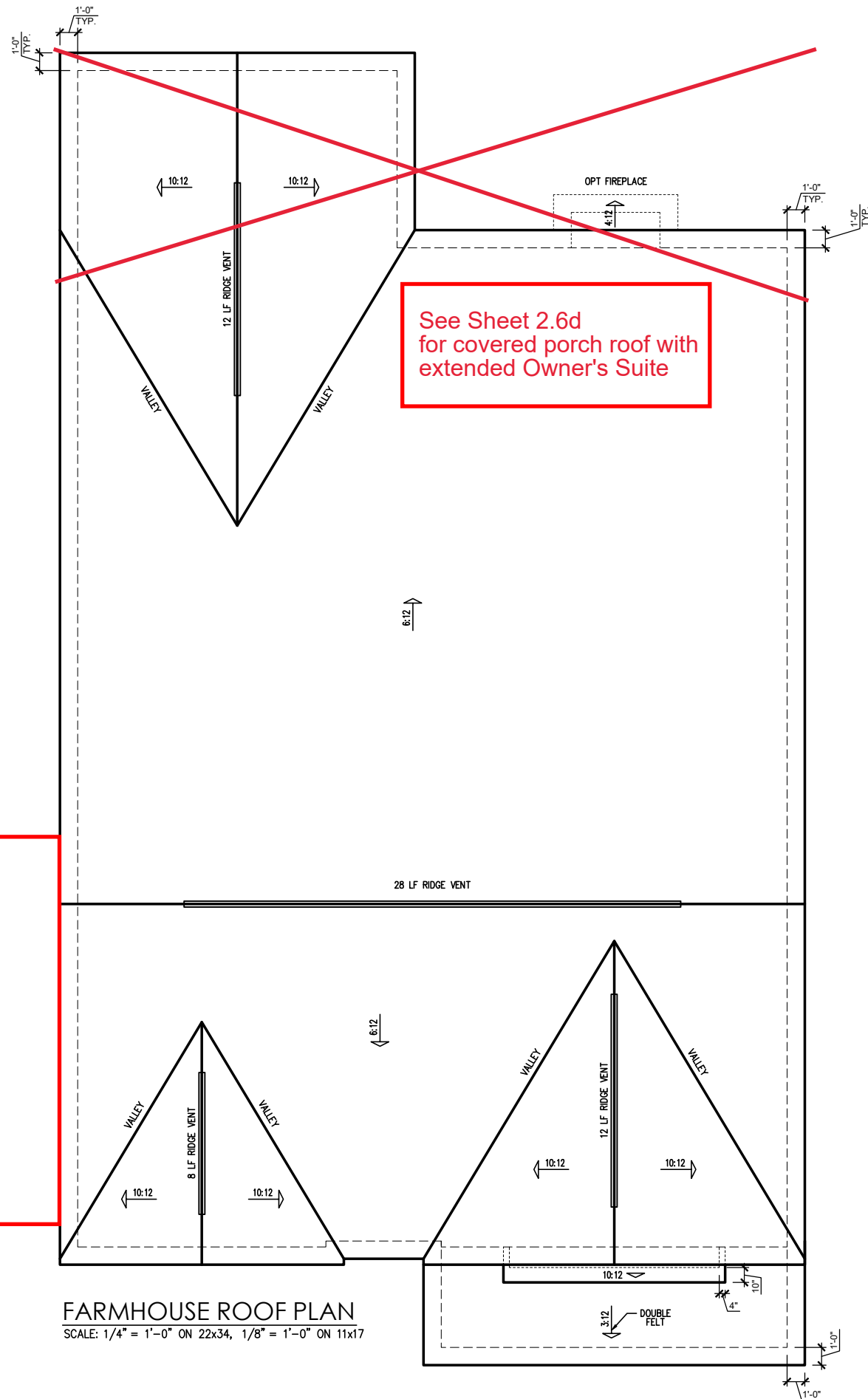
**LEFT SIDE ELEVATION 'FARMHOUSE' (SLAB)**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

REV. #	DESCRIPTION	DATE
1		
2		
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**PLAN 6 - THE RALEIGH - LH**  
SINGLE FAMILY  
Side Elevations (Slab) 'Farmhouse'

DRAWN BY:  
South Designs  
ISSUE DATE:  
7/1/2021  
CURRENT REVISION DATE:  
---

SCALE:  
1/8" = 1'-0"  
SHEET  
**3.2d**



See Sheet 2.6d  
for covered porch roof with  
extended Owner's Suite

See Sheet 2.8d for  
third car garage roof

**FARMHOUSE ROOF PLAN**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

ATTIC VENT SCHEDULE								
FARMHOUSE								
MAIN HOUSE		SQ FTG	2431	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. FT. EACH)	POT SMALL (SQ. FT. EACH)	RIDGE VENT (SQ. FT. PER LF)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. PER LF)
				0.4236	0.2778	0.125	0.1944	0.0625
<b>RIDGE VENT</b>	3.24	4.05	7.50	72.29	0	0	60.00	
<b>SOFFIT VENTS</b>	4.86	4.05	2.88	27.71			0	46.00
<b>TOTAL (MIN)</b>	8.10	8.10	10.38	100.00	POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

\* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION



REV. #	DESCRIPTION	DATE
1	REFER TO COVER SHEET	11/24/2021
2	REFER TO COVER SHEET	2/4/2022
3	REFER TO COVER SHEET	03/21/2022
4	REFER TO COVER SHEET	07/22/2022
5		
6		
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8		

**PLAN 6 - THE RALEIGH - LH**  
SINGLE FAMILY  
Roof Plan 'Farmhouse'

DRAWN BY:  
South Designs  
ISSUE DATE:  
7/1/2021  
CURRENT REVISION DATE:  
07/22/2022  
SCALE:  
1/8" = 1'-0"

SHEET  
**3.3d**

**PROJECT #**  
21-2818-LH

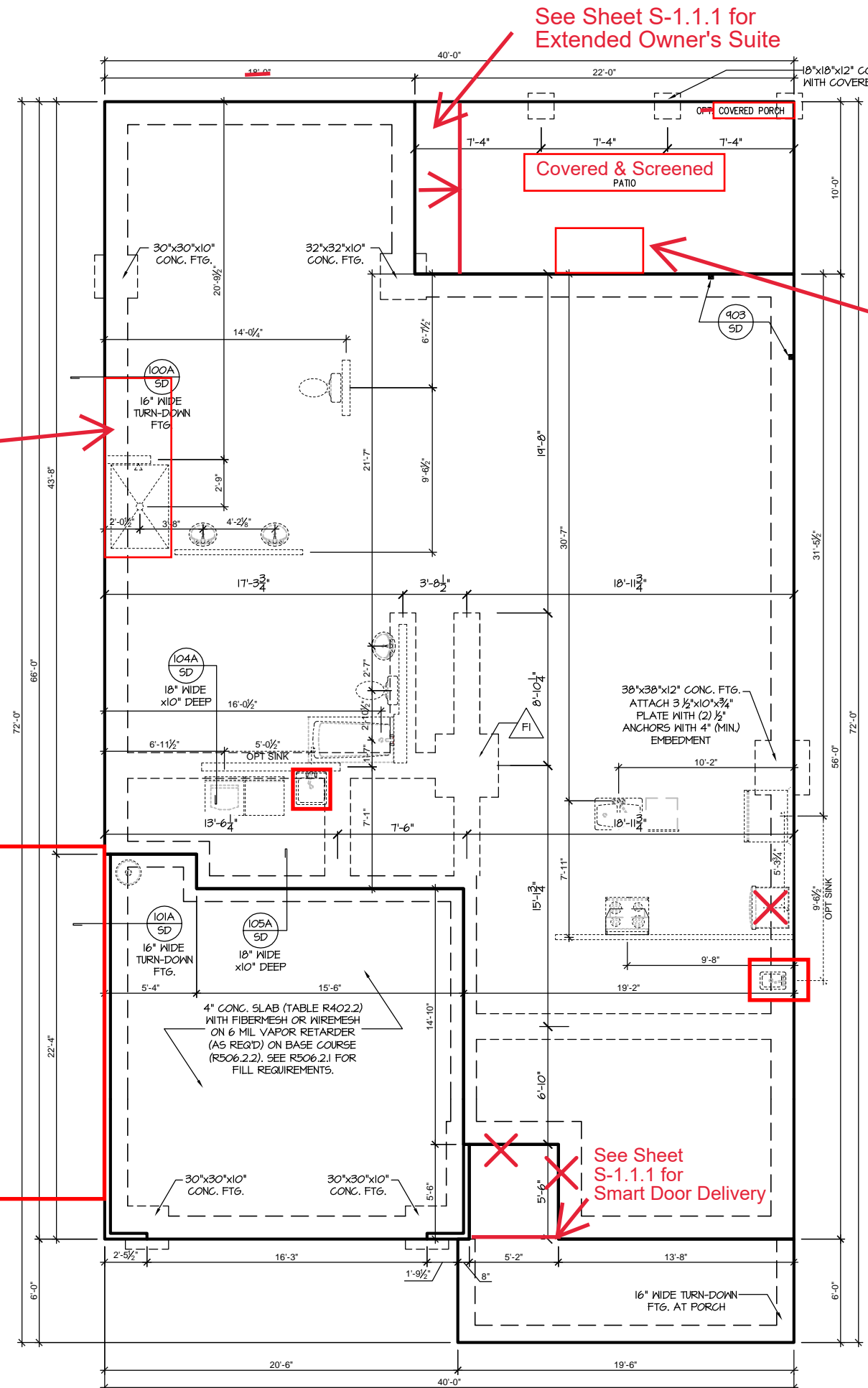
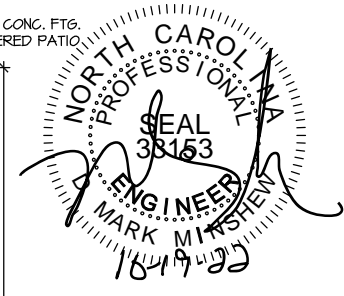
Engineers seal applies only to structural components on this document. Seal does not include construction means, methods, techniques, sequences, procedures or safety precautions. Any deviations or discrepancies on plans are to be brought to the immediate attention of Southern Engineers. Failure to do so will void Southern Engineer's liability. Seal is valid for projects permitted one year from date of seal. Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

**Southern Engineers, P.A.**  
3716 Benson Drive, Raleigh, NC 27609  
Phone: (919) 878-1617  
License: C-4772  
www.southernengineers.com

**SOUTH DESIGNS**

**Plan 06 - The Raleigh - LH**  
NEW HOME, INC.

**S-1.1**



**FI**  
44"x44"x12" CONC. FTG. REINFORCED WITH #5 BAR AT @ 12" O.C. IN EACH DIRECTION. SET BAR AT 3" FROM BOTTOM OF FTG. ATTACH 10"x10"x3/4" BASE PLATE TO SLAB FTG. WITH (4) 1/2" DIAM. ANCHORS WITH 4" EMBEDMENT. PLATE TO BE RECESSED INTO SLAB.

**SLAB FOUNDATION PLAN 'FARMHOUSE'**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.



PROJECT #  
21-2818-LH

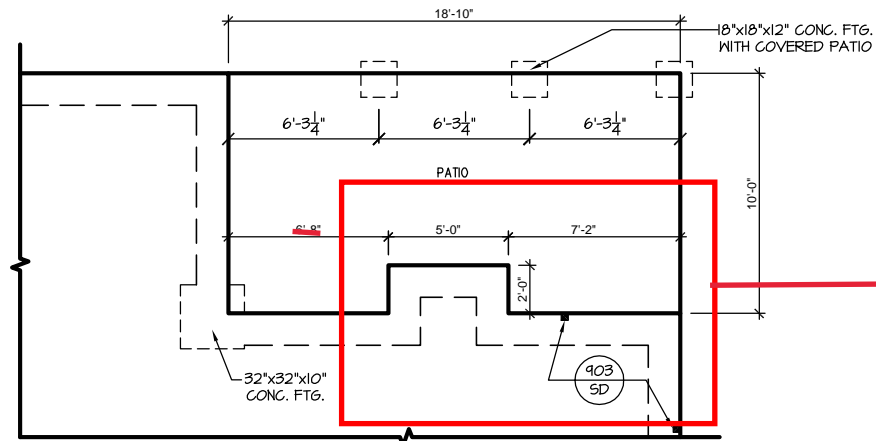
Engineers seal applies only to structural components on this document.  
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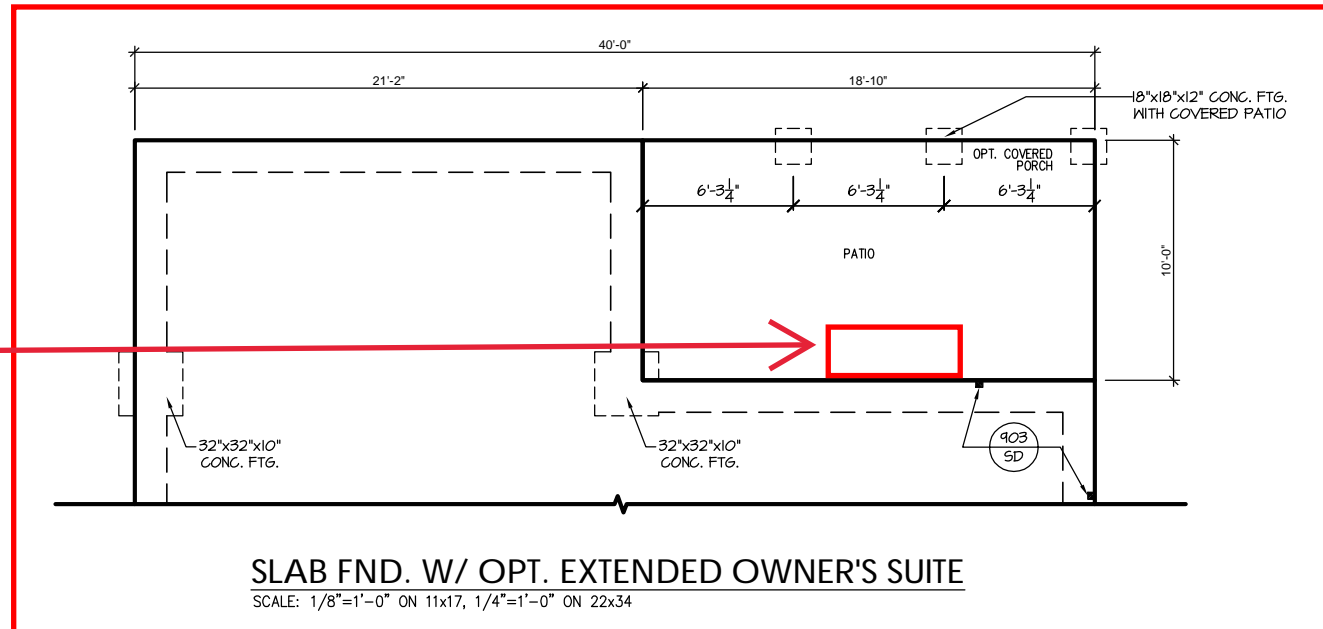
SOUTH DESIGNS

Plan 06 - The Raleigh - LH  
NEW HOME, INC.

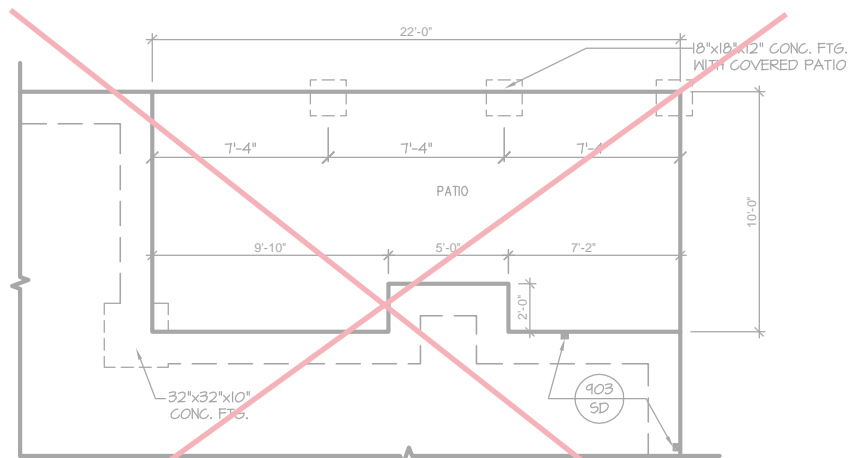
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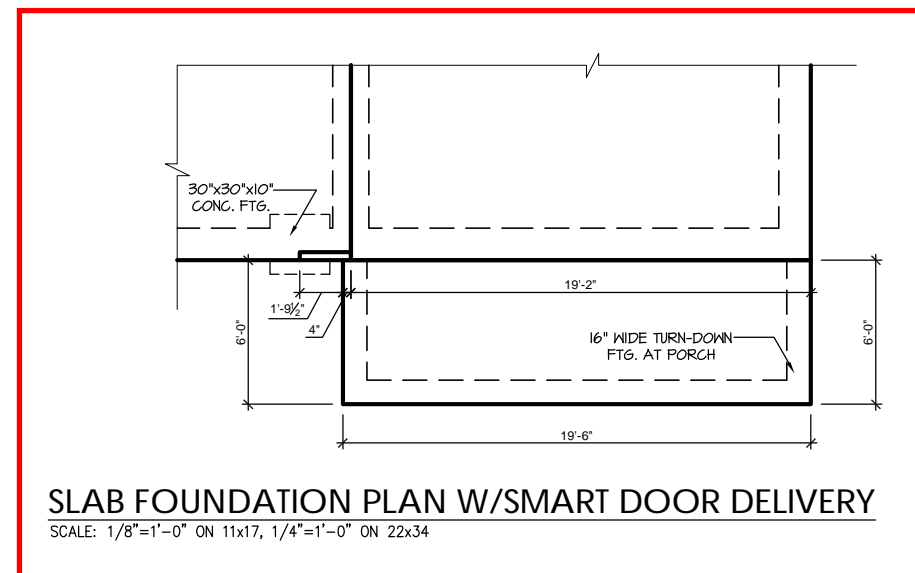
**SLAB FND. W/ OPT. FIREPLACE & EXTENDED OWNER'S SUITE**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**SLAB FND. W/ OPT. EXTENDED OWNER'S SUITE**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

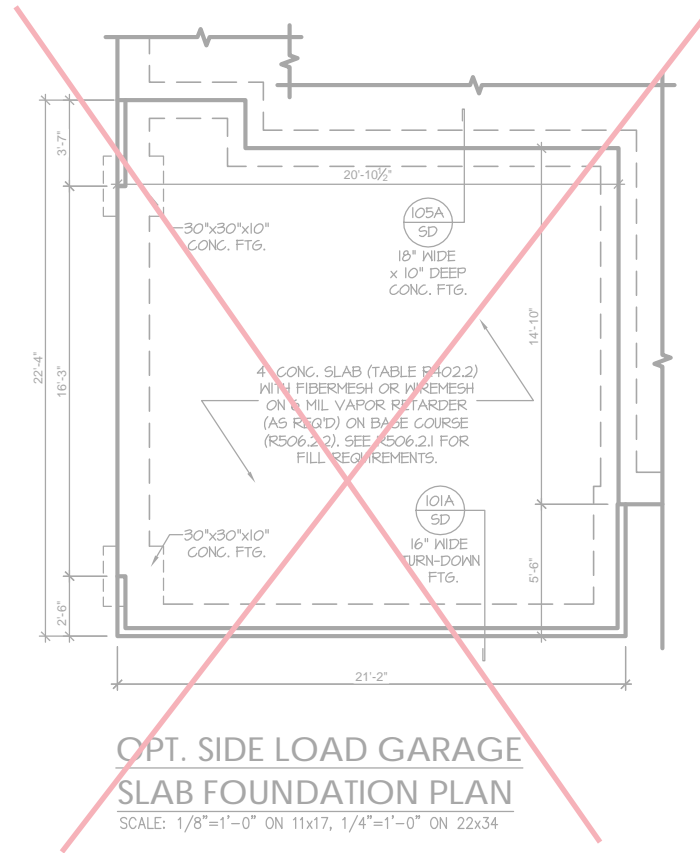


~~**SLAB FND. W/ OPT. FIREPLACE**~~  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

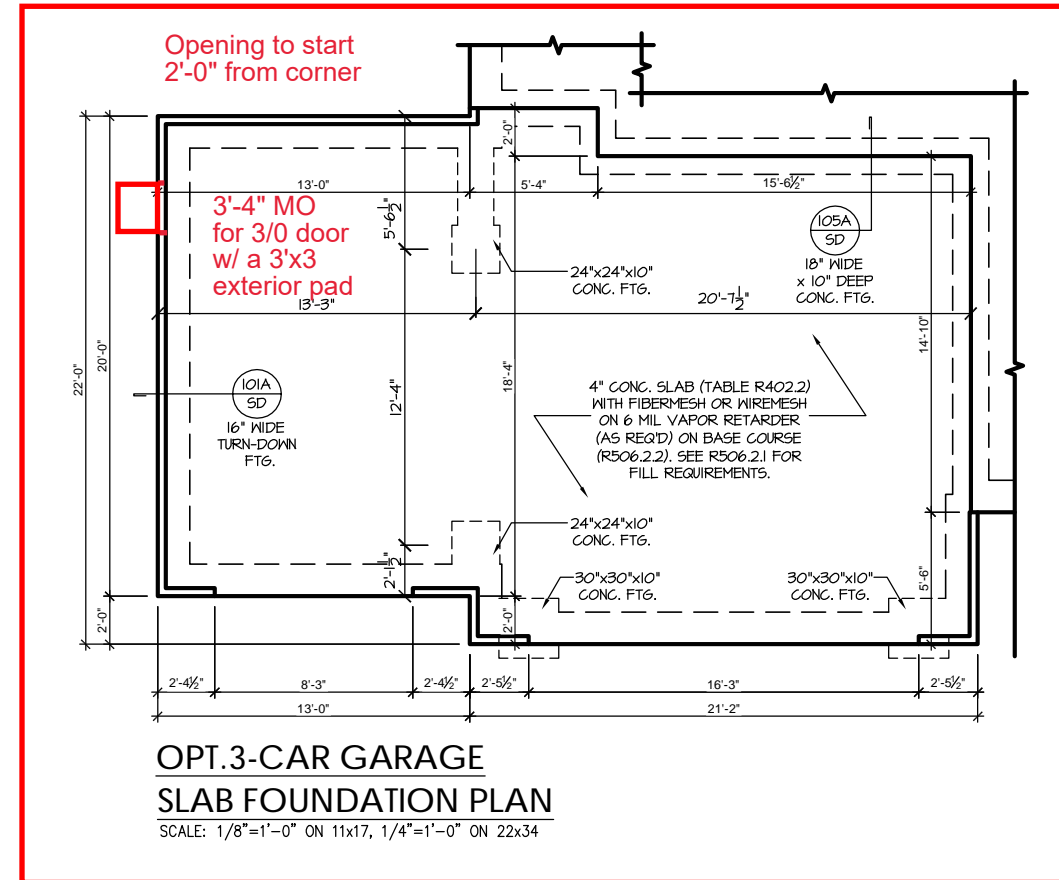


**SLAB FOUNDATION PLAN W/SMART DOOR DELIVERY**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

REFER TO "SD" SHEET(S) FOR  
STANDARD DETAILS, BRACING  
DETAILS AND STRUCTURAL NOTES.



3'x3' pad



**PROJECT #  
21-2818-LH**

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Seal does not include construction means, methods, techniques, sequences, procedures or safety precautions.  
Any deviations or discrepancies on plans are to be brought to the immediate attention of Southern Engineers. Failure to do so will void Southern Engineer's liability.  
Seal is valid for projects permitted one year from date of seal.  
Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

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Phone: (919) 878-1617  
License: C-4772  
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**SOUTH DESIGNS**

**Plan 06 - The Raleigh - LH**  
NEW HOME, INC.

**S-1.1.2**

REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.



**WOOD I-JOISTS**

(SHALL BE ONE OF THE FOLLOWING):

- TJI 210 BY TRUS JOIST
  - LPI 20 PLUS BY LP
  - ECI 5000s 1.8 BY EC
- ALL WOOD I-JOISTS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- INSTALL SQUASH BLOCKS, WEB STIFFENERS, ETC. AS REQUIRED BY AND ACCORDING TO THE I-JOIST MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
- HANGERS FOR I-JOISTS ARE THE RESPONSIBILITY OF THE I-JOIST SUPPLIER.
- FLOOR TRUSSES BY MANUFACTURER MAY BE SUBSTITUTED FOR I-JOISTS.

**TRUSS SYSTEM REQUIREMENTS**

NC (2018 NCRG); Wind: 115-120 mph

1. TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE WITH SEALED STRUCTURAL PLANS. ANY NEED TO CHANGE TRUSSES SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
2. TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
3. ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SFF #2 OR #3 PLATES OR LEDGERS (UNO).
4. ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

**FRAMING NOTES**

NC (2018 NCRG); Wind: 115-120 mph

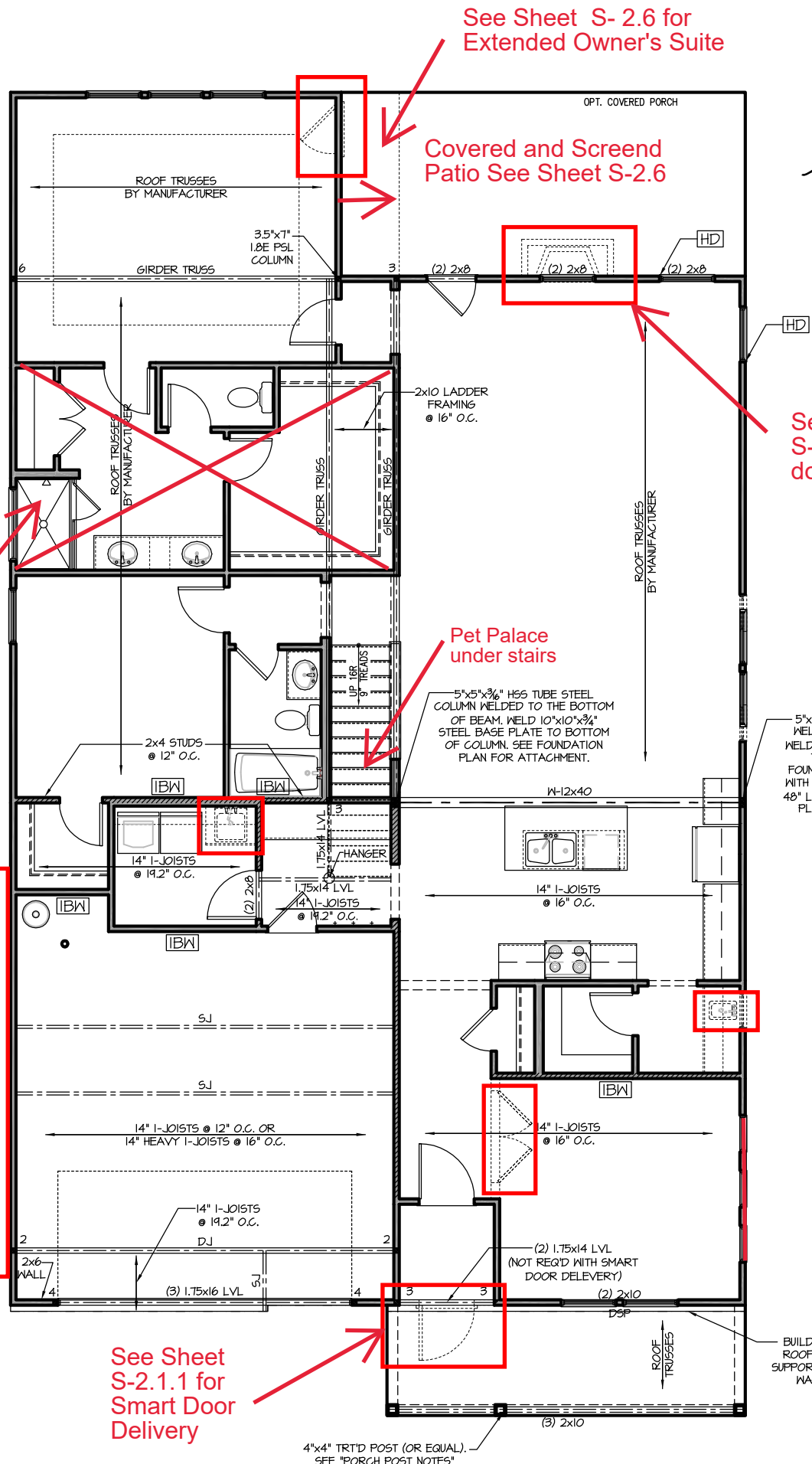
1. BRACING METHOD AND TYPE: CONTINUOUSLY SHEATHED WSP. CS-WSP. NOTE THAT THE WALL BRACING AMOUNT PROVIDED ON THE PLANS (DETAILS AND SPECIFICATIONS) IS GREATER THAN THE AMOUNT OF WALL BRACING REQUIRED BY SECTION R602.10 OF THE CODE. SEE NOTES BELOW FOR DETAILS AND SPECIFICATIONS FOR WALL BRACING AND WALL FRAMING.
2. EXTERIOR WALL SHEATHING: WALLS SHALL BE BRACED BY SHEATHING WALLS ON ALL STORIES WITH WOOD STRUCTURAL PANEL SHEATHING (WSP) (EXPOSURE B: 7/16", EXPOSURE C: 15/32"). SHEATHING SHALL BE ATTACHED WITH 8d NAILS AT A 6"X12" NAILING PATTERN (6" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES.
3. WSP SHEATHING SHALL EXTEND TO THE UPPERMOST DOUBLE BEARING PLATE. BLOCK AT ROOF PER SECTION R602.10.4.5 AND ATTACH BRACED WALLS PER CODE. WSP SHEATHING BETWEEN FLOORS SHALL BE SPLICED ALONG CONTINUOUS BAND OR THE WSP SHEATHING MAY BE SPLICED ACROSS STUDS (CONTINUOUS ACROSS FLOOR SYSTEM) WITH BLOCKING AT PANEL EDGES. (MINIMUM 12" BEYOND FLOOR BREAK) OR OTHER APPROVED METHOD.
4. "HD" = HOLD-DOWN: HOLD-DOWN DEVICE (NOTED AS "HD" ON PLANS) SHALL BE AN 800 POUND CAPACITY ASSEMBLY AS NOTED ON PLANS. SEE DETAILS FOR HD ASSEMBLY.
  - \*\*GROUND/FIRST FLOOR: USE "HD HOLD-DOWN DETAIL" ON SD SHEET (OR EQUIV.)
  - \*\*UPPER FLOORS: ATTACH BASE OF KING STUD WITH A SIMPSON CS22 STRAP DOWN ACROSS THE BAND AND DOWN TO A STUD BELOW OR HEADER BELOW. EXTEND STRAP 7" MIN ALONG EACH STUD (OR HEADER) AND ATTACH EACH END W/ (7) 8d NAILS.
5. INTERIOR BRACED WALL: (NOTED AS "IBW" ON PLANS) ATTACH 1/2" GYPSUM BOARD (GB) ON EACH SIDE OF WALL WITH A MIN. OF 5d COOLER NAILS OR #6 SCREWS @ 7" O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.
6. INTERIOR BRACED WALL-WOOD STRUCTURAL PANEL: (NOTED AS "IBW-WSP" ON PLANS) ATTACH ONE SIDE WITH 3/8" WSP SHEATHING WITH 8d NAILS AT A 6"X12" NAILING PATTERN (6" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES. ATTACH GB OVER WSP AS REQUIRED. ATTACH OPPOSITE SIDE WITH 1/2" GB WITH A MIN. OF 5d COOLER NAILS OR #6 SCREWS @ 7" OC ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.

**PORCH POST NOTES:**

- 4"x4" (6"x6") TRTD POST (OR EQUAL).
  - ATTACH TRUSSES (RAFTERS) AT PORCH WITH HURRICANE CONNECTORS.
1. POST CAP: SIMPSON AC4-MAX (AC6-MAX)
  2. POST CAP AT CORNER: (2) SIMPSON LGE4 (MITER HEADER AT CORNER). HIGH WIND; ADD (1) SIMPSON H6.
  3. POST BASE: SIMPSON ABU44 (ABU66).
    - 3.1. MONO: 3/8" ANCHOR (EMBED 7")
    - 3.2. G.M.I: 3/8" ANCHOR (EXTEND TO FOOTING - HIGH WIND ONLY)
  4. POST BASE: WOOD FOUNDATION: (2) SIMPSON CS16 STRAPS AT POSTS. EXTEND 12" ONTO EACH POST (UPPER AND LOWER) OR TO GIRDER.
- NOTE: EQUIVALENT POST CAP AND BASE ACCEPTABLE.

**HEADER/BEAM & COLUMN NOTES**

1. ALL EXTERIOR AND LOAD BEARING HEADERS SHALL BE MIN. (2)2x6 (4" WALL) OR (3)2x6 (6" WALL) WITH (1) SUPPORT STUD, UNLESS NOTED OTHERWISE.
2. THE NUMBER SHOWN AT BEAM AND HEADER SUPPORTS INDICATES THE NUMBER OF SUPPORT STUDS REQUIRED IN STUD POCKET OR COLUMN. THE NUMBER OF KING STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS SHALL BE ACCORDING TO ITEM "d" IN TABLE R602.3(5) OR AS BELOW PER NCD01 COMMENTARY "KING STUDS AT WALL OPENINGS" REVISED 1-4-2020.
  - UP TO 3' SPAN: (1) KING STUD
  - OVER 3' UP TO 6' SPAN: (2) KING STUDS
  - OVER 6' UP TO 9' SPAN: (3) KING STUDS
  - OVER 9' UP TO 12' SPAN: (4) KING STUDS
  - OVER 12' UP TO 15' SPAN: (5) KING STUDS



See Sheet S-2.6 for Extended Owner's Suite

Covered and Screened Patio See Sheet S-2.6

See Sheet S-2.1.1. for fireplace

See Sheet S=2.1.1 for Owner's Shower

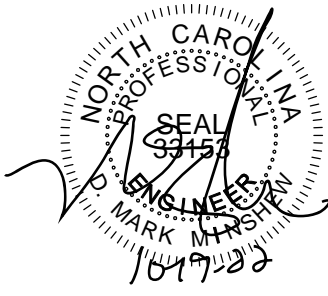
Pet Palace under stairs

See Sheet S-2.1.2 for Third Car Garage

See Sheet S-2.1.1 for Smart Door Delivery

**FIRST FLOOR FLOORING PLAN 'FARMHOUSE'**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.



**PROJECT #**  
21-2818-LH

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**SOUTH DESIGNS**

**Plan 06 - The Raleigh - LH**  
NEW HOME, INC.

**S-2.1**

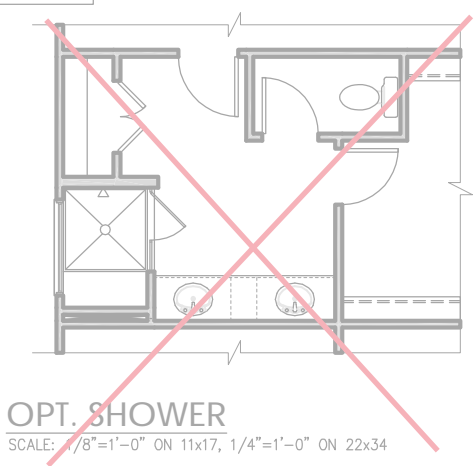
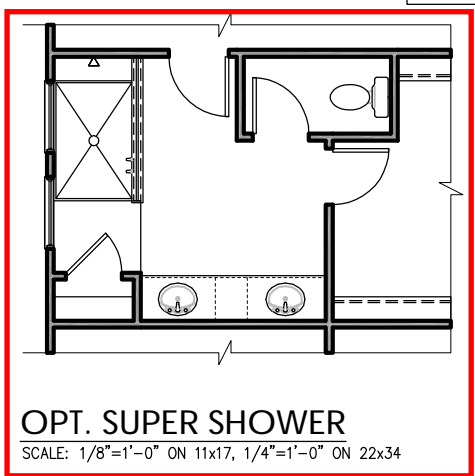
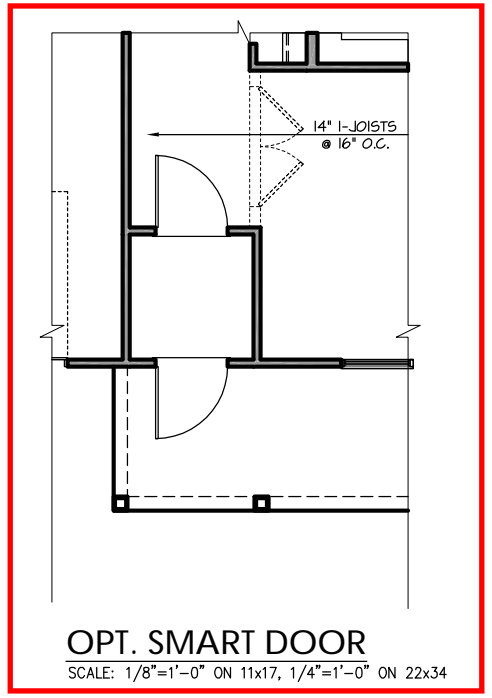
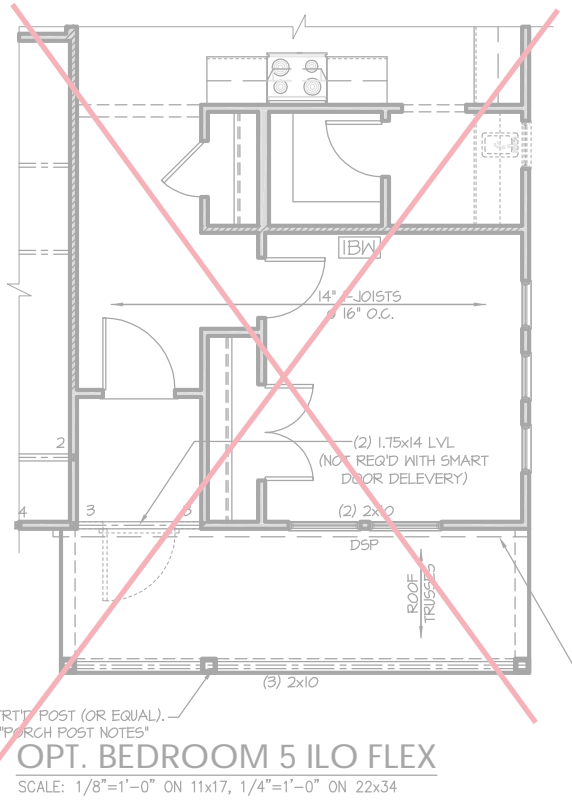
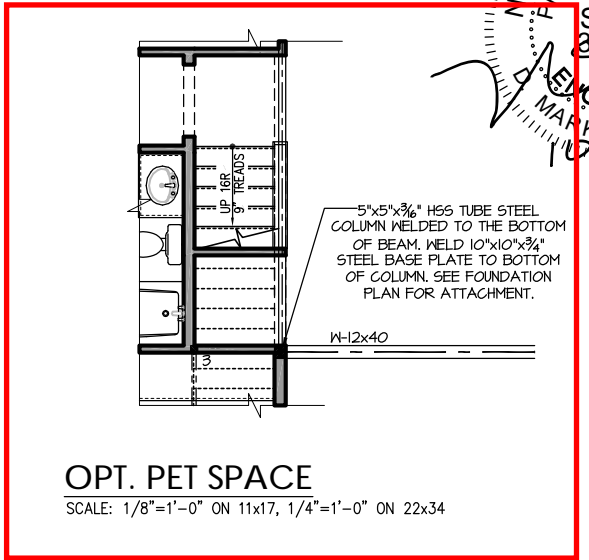
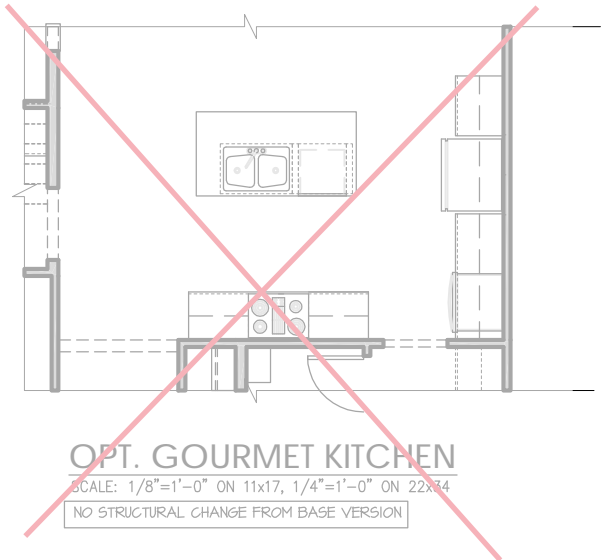
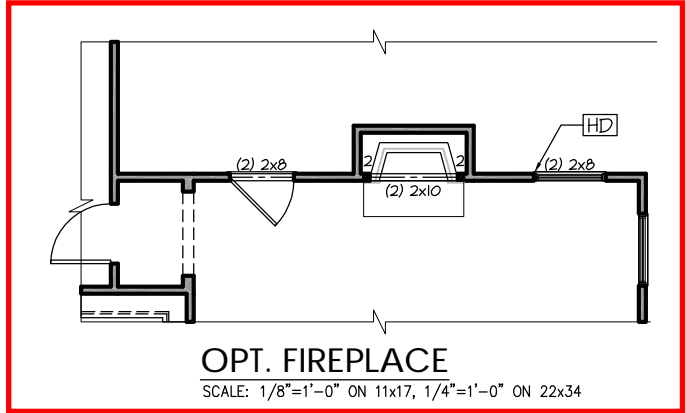
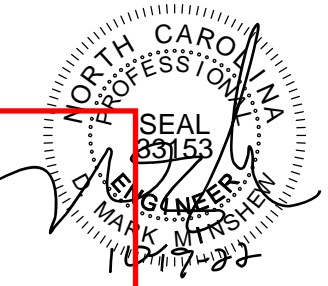


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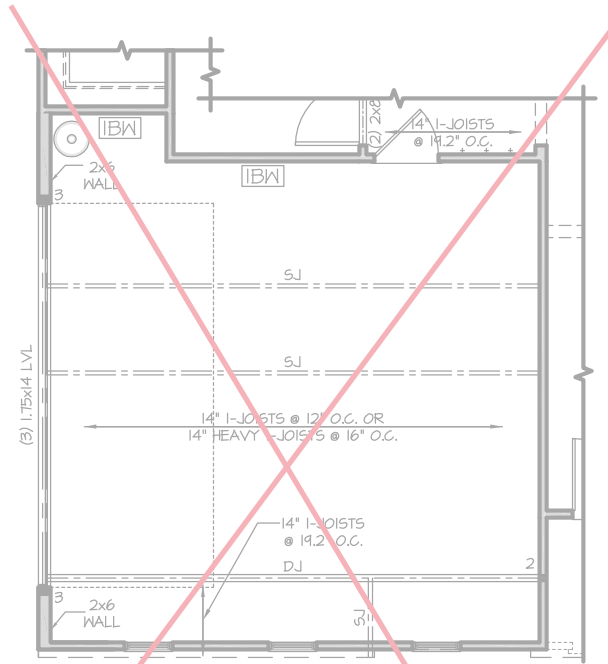
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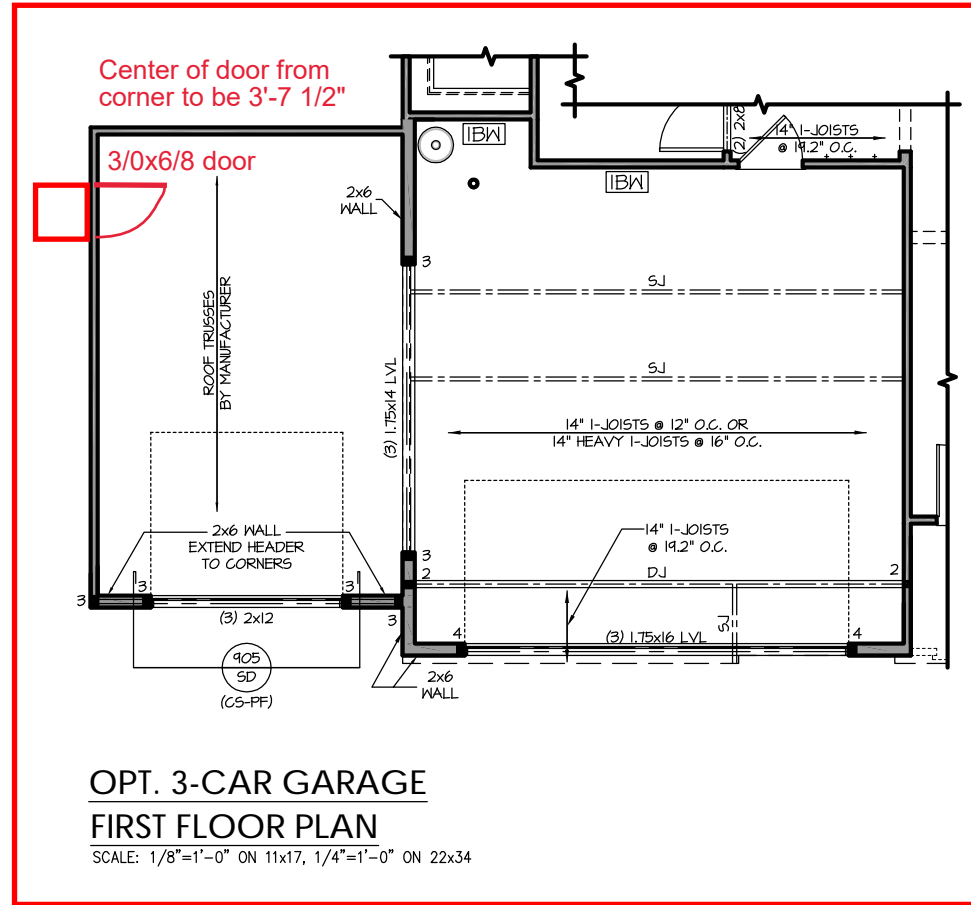


REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.



**OPT. 2-CAR SIDELOAD GARAGE  
FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

3'x3' pad



**OPT. 3-CAR GARAGE  
FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



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**S-2.1.2**

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**S-2.2**

**TRUSS SYSTEM REQUIREMENTS**

NC (2018 NCRG); Wind: 115-120 mph

- TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE WITH SEALED STRUCTURAL PLANS. ANY NEED TO CHANGE TRUSSES SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
- TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
- ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SFF #2 OR #3 PLATES OR LEDGERS (UNO).
- ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

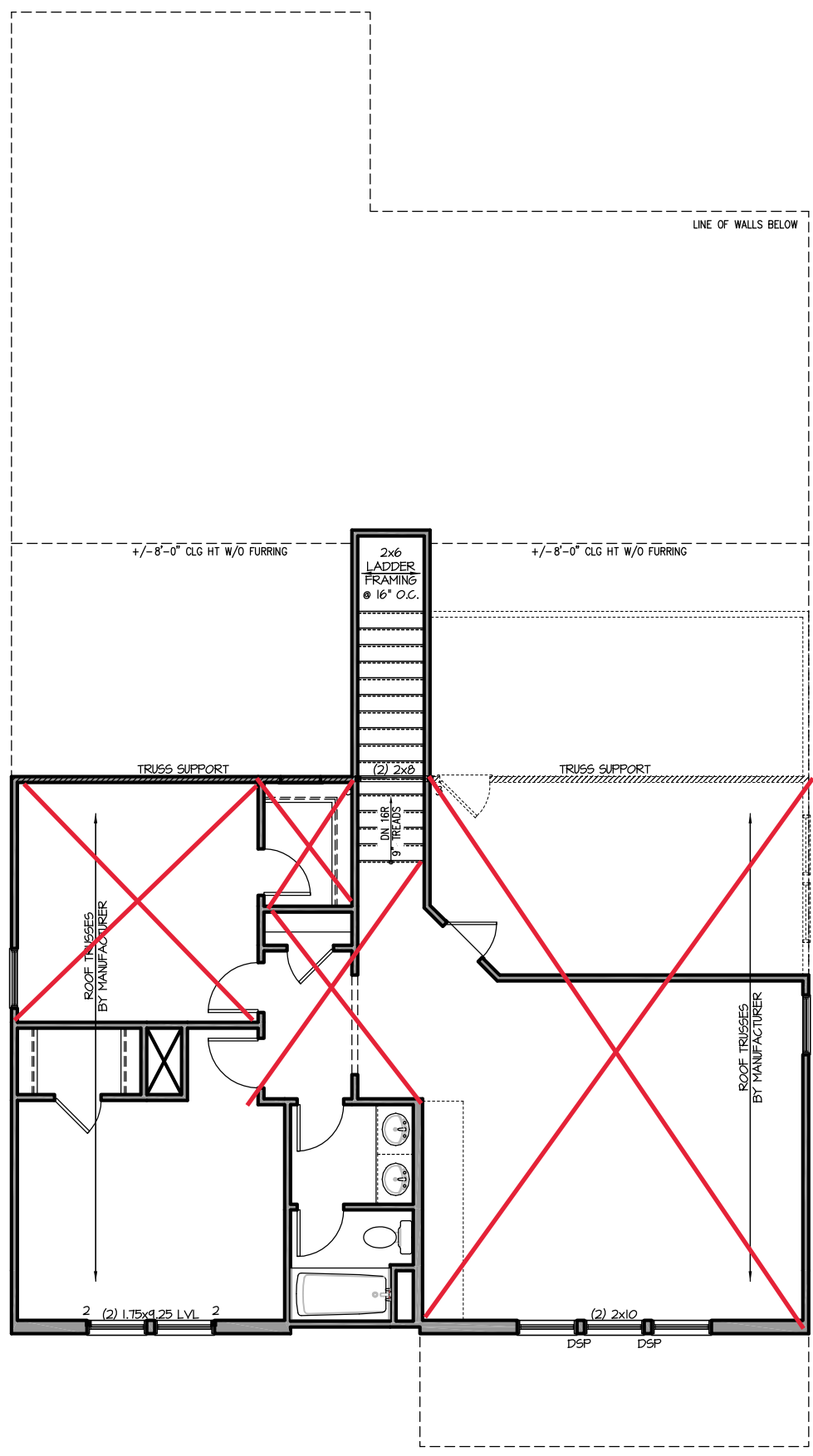
**HEADER/BEAM & COLUMN NOTES**

- ALL EXTERIOR AND LOAD BEARING HEADERS SHALL BE MIN. (2)2x6 (4" WALL) OR (3)2x6 (6" WALL) WITH (1) SUPPORT STUD, UNLESS NOTED OTHERWISE.
- THE NUMBER SHOWN AT BEAM AND HEADER SUPPORTS INDICATES THE NUMBER OF SUPPORT STUDS REQUIRED IN STUD POCKET OR COLUMN. THE NUMBER OF KING STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS SHALL BE ACCORDING TO ITEM "d" IN TABLE R602.3(5) OR AS BELOW PER NCD01 COMMENTARY "KING STUDS AT WALL OPENINGS" REVISED 1-4-2020.
  - UP TO 3' SPAN: (1) KING STUD
  - OVER 3' UP TO 6' SPAN: (2) KING STUDS
  - OVER 6' UP TO 9' SPAN: (3) KING STUDS
  - OVER 9' UP TO 12' SPAN: (4) KING STUDS
  - OVER 12' UP TO 15' SPAN: (5) KING STUDS

**FRAMING NOTES**

NC (2018 NCRG); Wind: 115-120 mph

- BRACING METHOD AND TYPE: CONTINUOUSLY SHEATHED WSP. CS-WSP. NOTE THAT THE WALL BRACING AMOUNT PROVIDED ON THE PLANS (DETAILS AND SPECIFICATIONS) IS GREATER THAN THE AMOUNT OF WALL BRACING REQUIRED BY SECTION R602.10 OF THE CODE. SEE NOTES BELOW FOR DETAILS AND SPECIFICATIONS FOR WALL BRACING AND WALL FRAMING.
- EXTERIOR WALL SHEATHING: WALLS SHALL BE BRACED BY SHEATHING WALLS ON ALL STORIES WITH WOOD STRUCTURAL PANEL SHEATHING (WSP) (EXPOSURE B: 7/16", EXPOSURE C: 15/32"). SHEATHING SHALL BE ATTACHED WITH 8d NAILS AT A 6"X12" NAILING PATTERN (6" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES.
- WSP SHEATHING SHALL EXTEND TO THE UPPERMOST DOUBLE BEARING PLATE. BLOCK AT ROOF PER SECTION R602.10.4.5 AND ATTACH BRACED WALLS PER CODE. WSP SHEATHING BETWEEN FLOORS SHALL BE SPLICED ALONG CONTINUOUS BAND OR THE WSP SHEATHING MAY BE SPLICED ACROSS STUDS (CONTINUOUS ACROSS FLOOR SYSTEM) WITH BLOCKING AT PANEL EDGES. (MINIMUM 12" BEYOND FLOOR BREAK) OR OTHER APPROVED METHOD.
- "HD" = HOLD-DOWN: HOLD-DOWN DEVICE (NOTED AS "HD" ON PLANS) SHALL BE AN 800 POUND CAPACITY ASSEMBLY AS NOTED ON PLANS. SEE DETAILS FOR HD ASSEMBLY.
  - GROUND/FIRST FLOOR: USE "HD HOLD-DOWN DETAIL" ON SD SHEET (OR EQUIV.)
  - UPPER FLOORS: ATTACH BASE OF KING STUD WITH A SIMPSON CS22 STRAP DOWN ACROSS THE BAND AND DOWN TO A STUD BELOW OR HEADER BELOW. EXTEND STRAP 7" MIN ALONG EACH STUD (OR HEADER) AND ATTACH EACH END W/ (7) 8d NAILS.
- INTERIOR BRACED WALL: (NOTED AS "IBW" ON PLANS) ATTACH 1/2" GYPSUM BOARD (GB) ON EACH SIDE OF WALL WITH A MIN. OF 5d COOLER NAILS OR #6 SCREWS @ 7" O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.
- INTERIOR BRACED WALL-WOOD STRUCTURAL PANEL: (NOTED AS "IBW-WSP" ON PLANS). ATTACH ONE SIDE WITH 7/8" WSP SHEATHING WITH 8d NAILS AT A 6"X12" NAILING PATTERN (6" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES. ATTACH GB OVER WSP AS REQUIRED. ATTACH OPPOSITE SIDE WITH 1/2" GB WITH A MIN. OF 5d COOLER NAILS OR #6 SCREWS @ 7" OC ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.

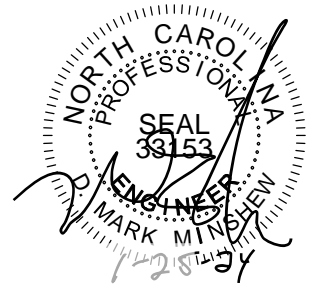


See Sheet S-2.2.2 for correct second floor layout

**SECOND FLOOR FLOORING PLAN 'FARMHOUSE'**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.

THIS SHEET IS AN ADDENDUM TO THE ORIGINAL PLAN THAT WAS SEALED ON 10-19-22



PROJECT #  
21-2818-LH

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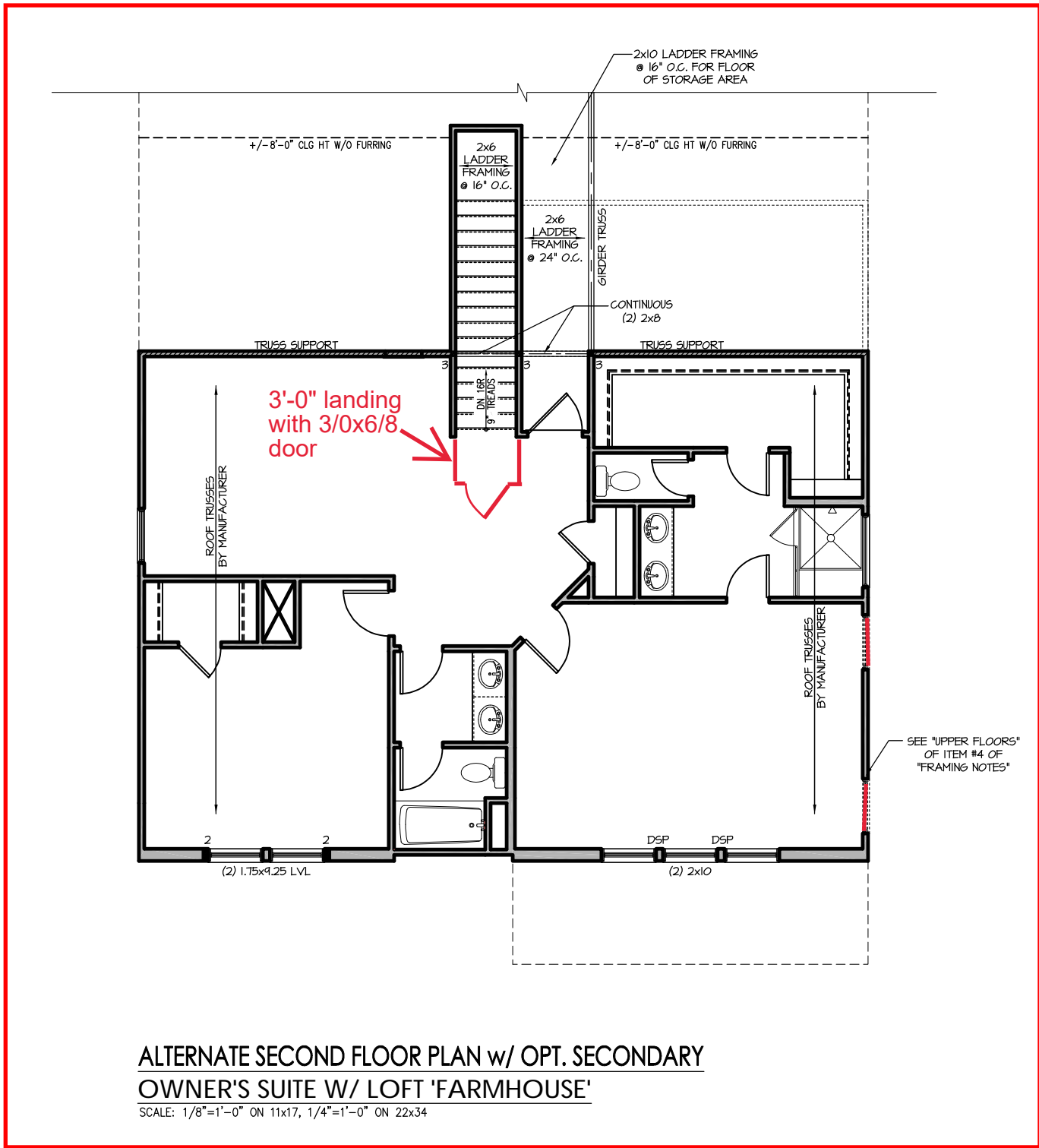
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**SOUTH DESIGNS**

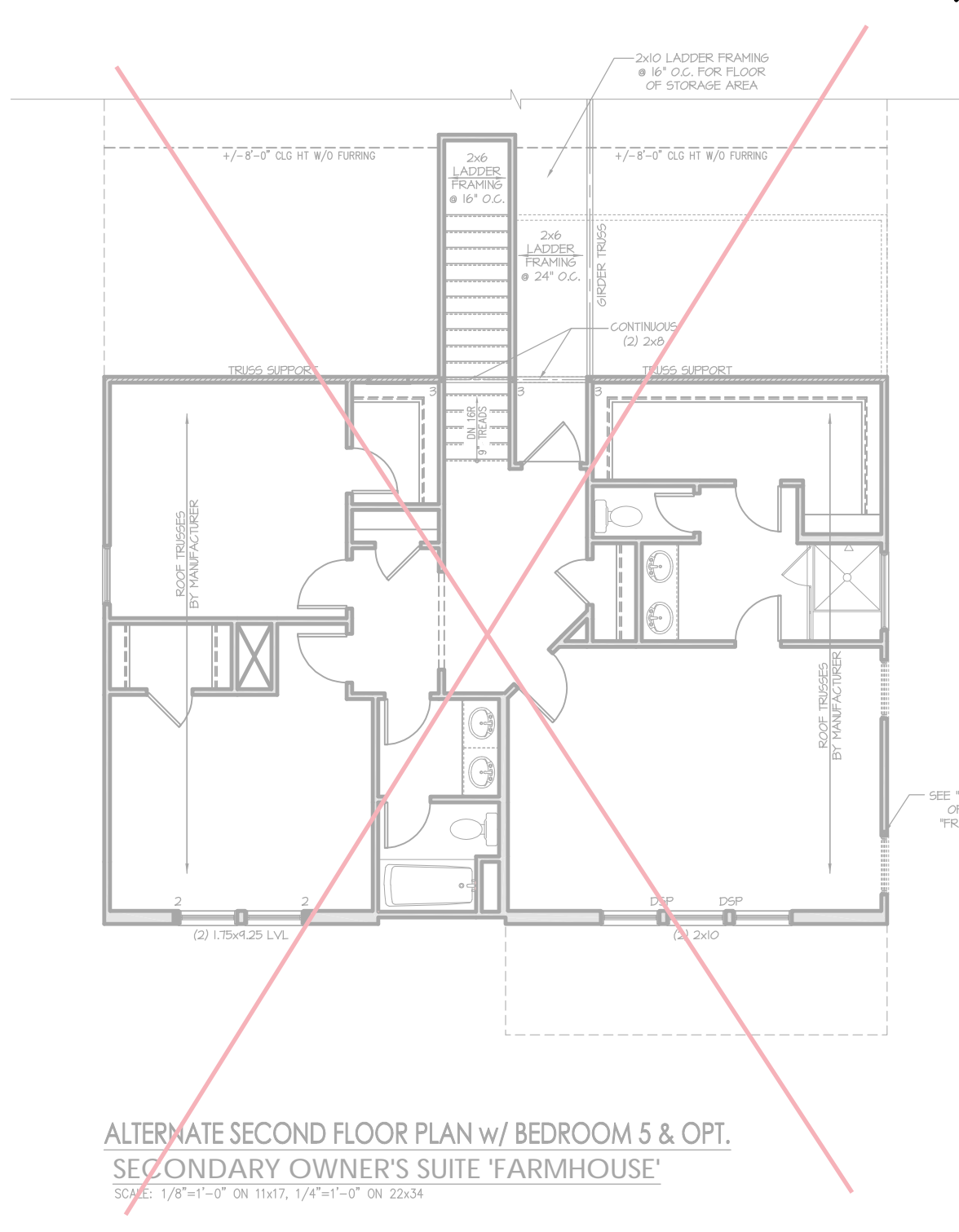
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S-2.2.2

REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.



ALTERNATE SECOND FLOOR PLAN w/ OPT. SECONDARY OWNER'S SUITE W/ LOFT 'FARMHOUSE'  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



ALTERNATE SECOND FLOOR PLAN w/ BEDROOM 5 & OPT. SECONDARY OWNER'S SUITE 'FARMHOUSE'  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

**TRUSS SYSTEM REQUIREMENTS**

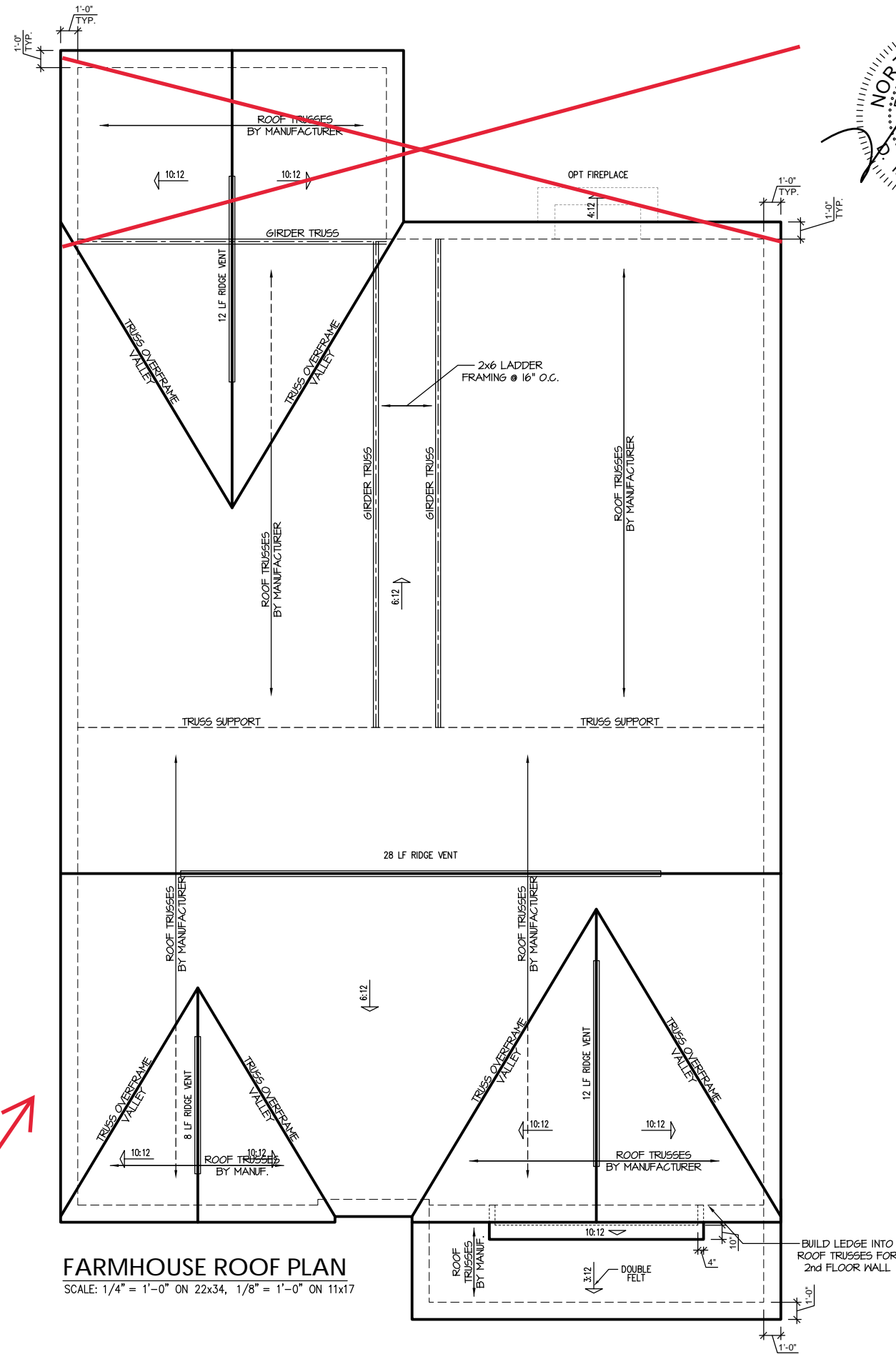
NC (2018 NCRS); Wind: 115-120 mph

1. TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE WITH SEALED STRUCTURAL PLANS. ANY NEED TO CHANGE TRUSSES SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
2. TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
3. ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SFF #2 OR #3 PLATES OR LEDGERS (UNO).
4. ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

ATTIC VENT SCHEDULE										
FARMHOUSE										
MAIN HOUSE		SQ FTG		2431	AT / NEAR RIDGE			AT / NEAR EAVE		
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. FT. EACH)	POT SMALL (SQ. FT. EACH)	RIDGE VENT (SQ. FT. PER LF)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. PER SF)		
RIDGE VENT	3.24	4.05	72.29	0	0	60.00				
SOFFIT VENTS	4.86	4.05	27.71				0	46.00		
TOTAL (MIN)	8.10	8.10	100.00	POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE						

\* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION

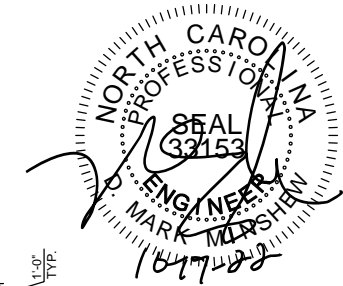
See Sheet S-3.1.2 for third Car Garage Roof



**FARMHOUSE ROOF PLAN**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.



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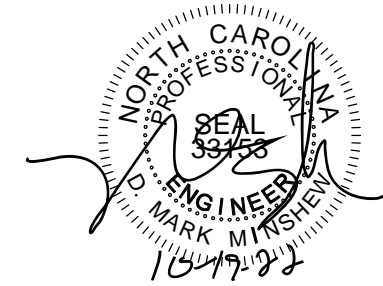
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S-3.1





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NEW HOME, INC.

**S-3.1.2**

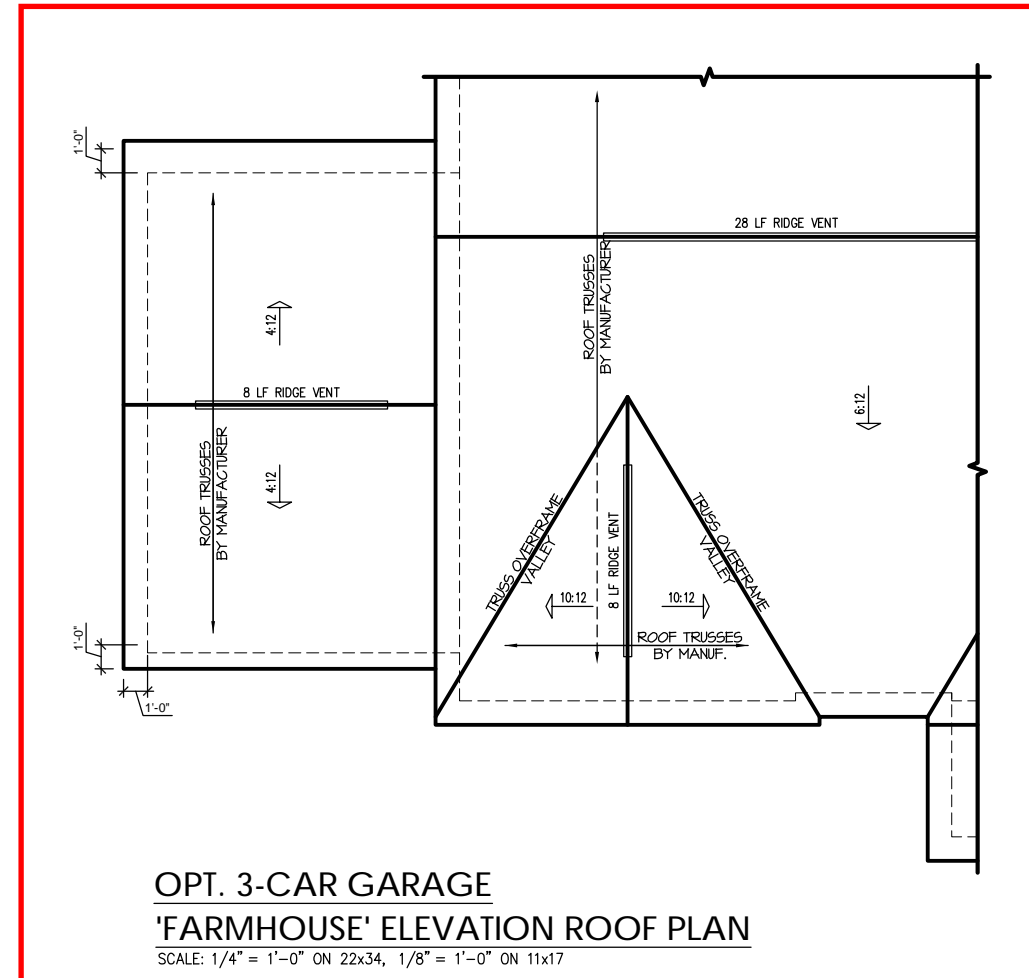
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NC (2018 NCRS); Wind: 115-120 mph

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2. TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
3. ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SPF #2 OR #3 PLATES OR LEDGERS (UNO).
4. ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

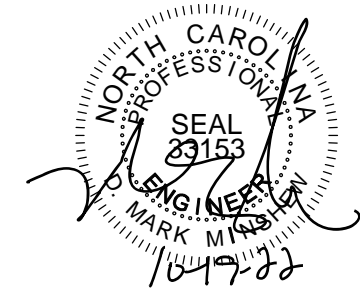
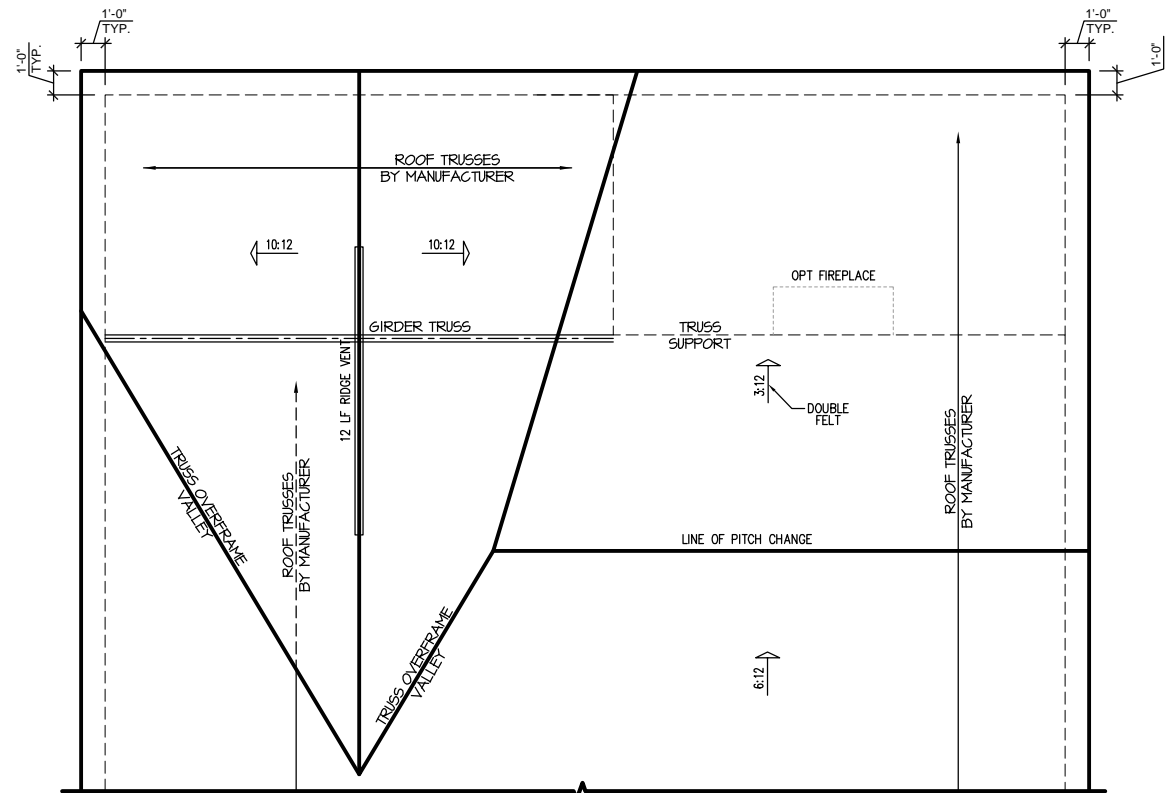
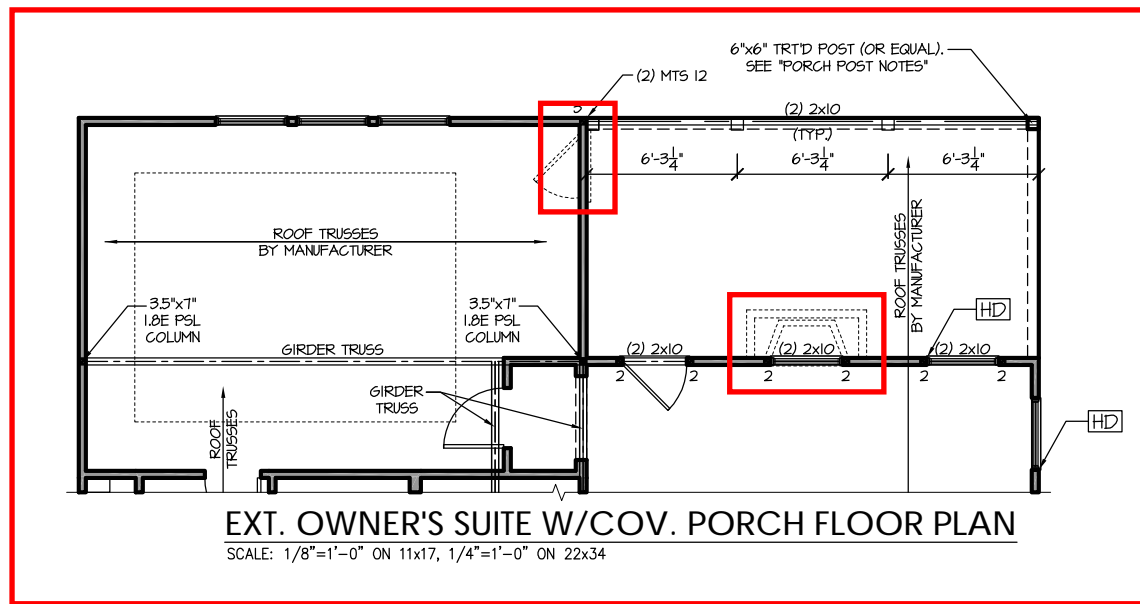
ATTIC VENT SCHEDULE								
LOW CARRYOVER ELEVATION								
MAIN HOUSE		SQ. FTG.	260	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT. LARGE (SQ. FT. EACH)	POT. SMALL (SQ. FT. EACH)	RIDGE VENT (SQ. FT. PER LF)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. PER LF)
				0.4236	0.2778	0.125	0.1944	0.0625
<b>RIDGE VENT</b>	0.35	0.43	1.00	44.44	0	0	8.00	
<b>SOFFIT VENTS</b>	0.52	0.43	1.25	55.56			0	20.00
<b>TOTAL (MIN)</b>	<b>0.87</b>	<b>0.87</b>	<b>2.25</b>	<b>100.00</b>	POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

\* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION



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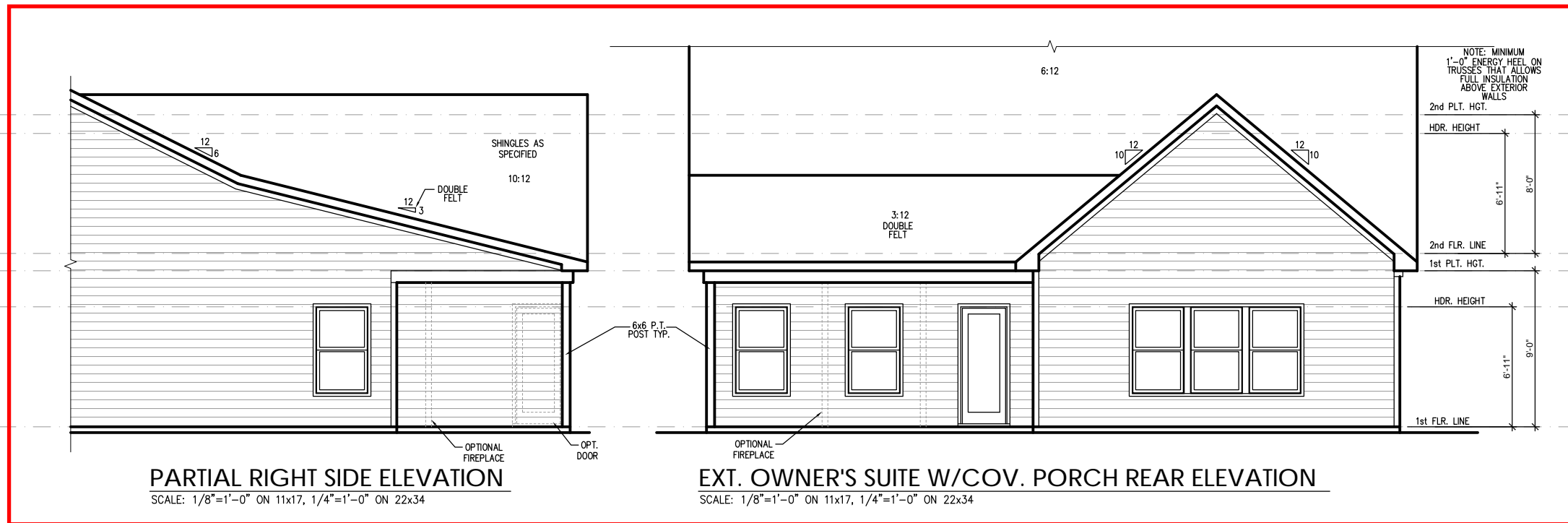




**TRUSS SYSTEM REQUIREMENTS**

NC (2018 NGRG): Wind: 115-120 mph

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3. ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SPF #2 OR #3 PLATES OR LEDGERS (INO).
4. ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.



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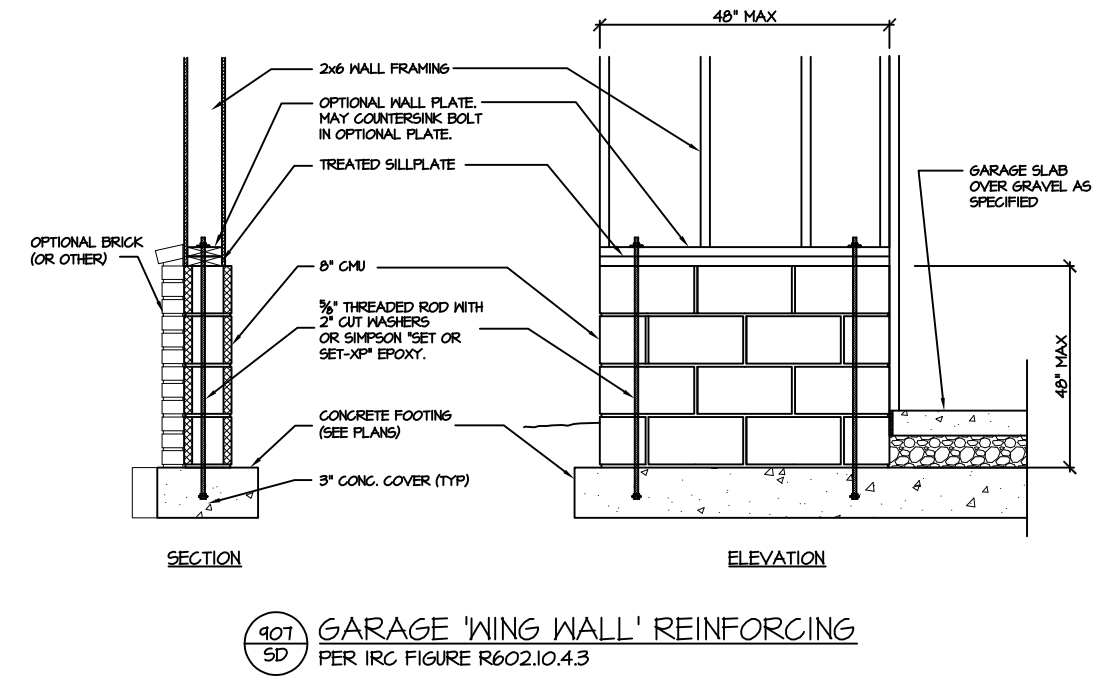
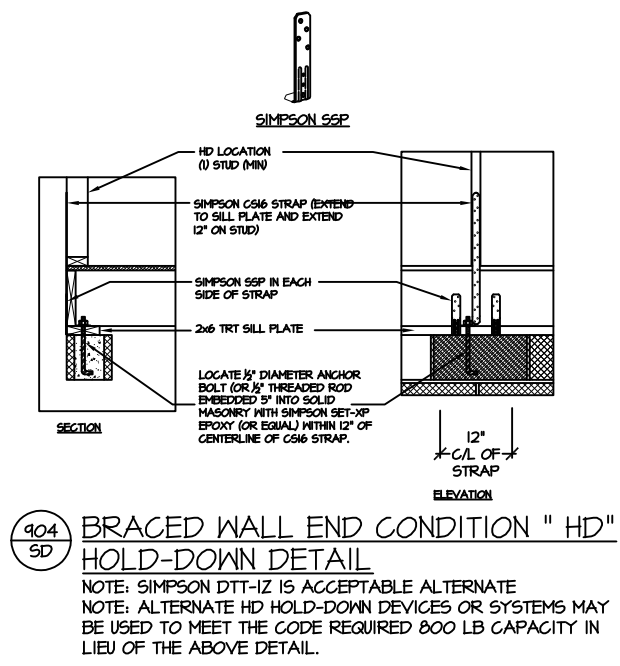
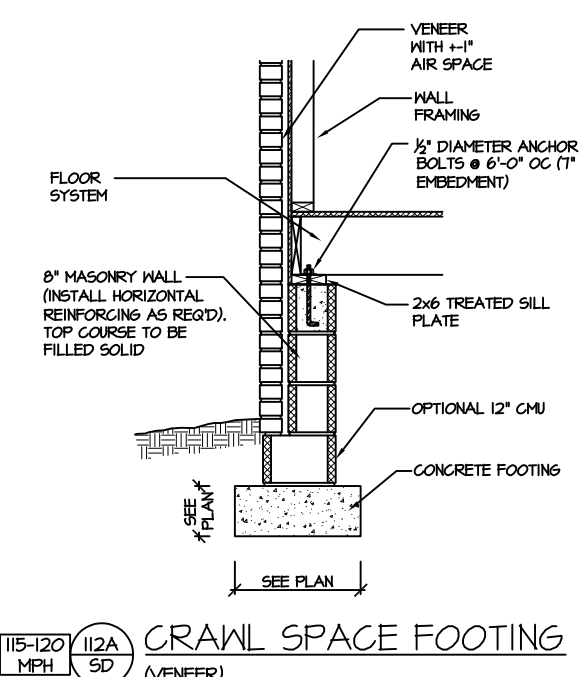
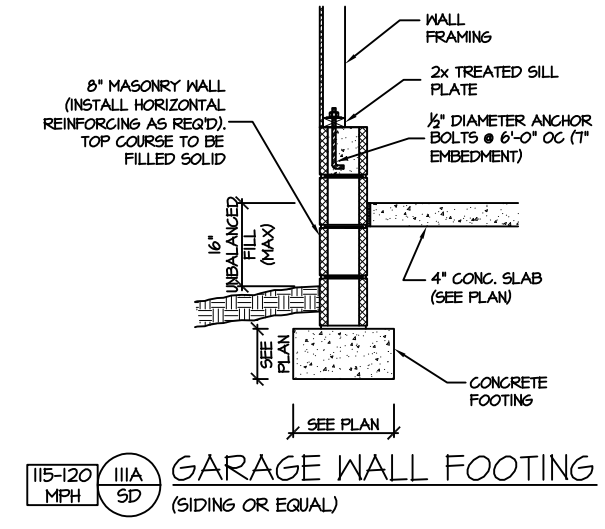
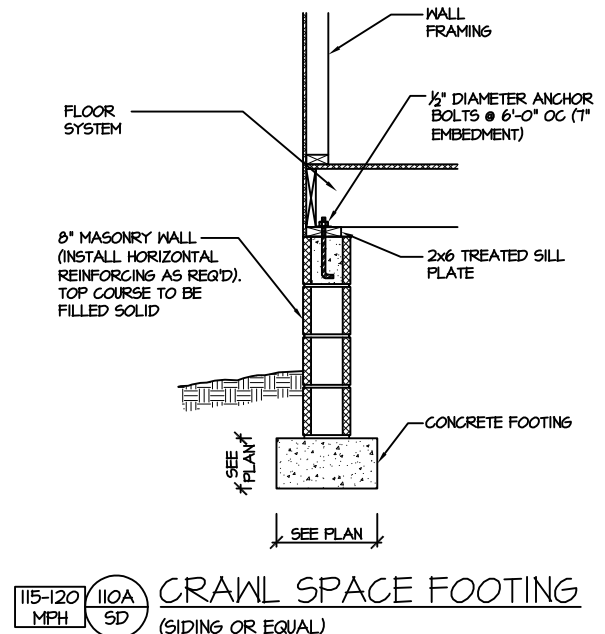
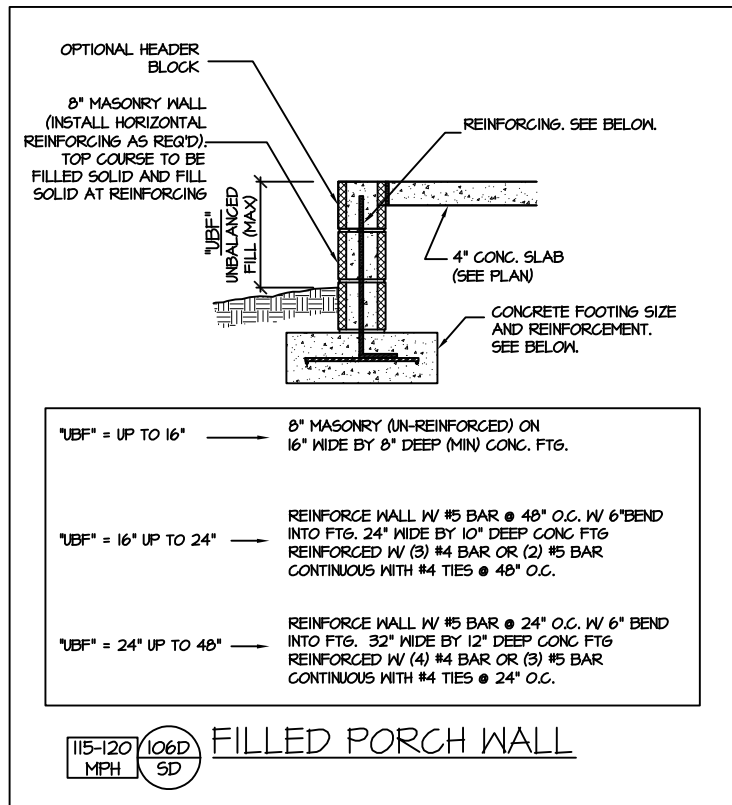
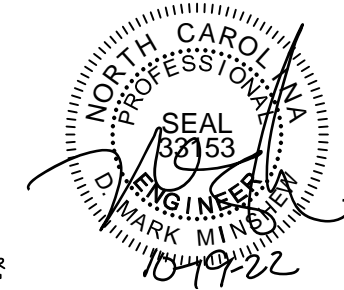
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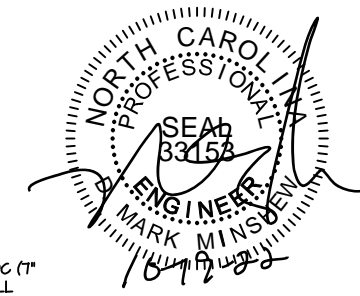
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PLAN 06 - THE RALEIGH

SD



STRUCTURAL DETAILS:  
CRAWL SPACE FOUNDATION



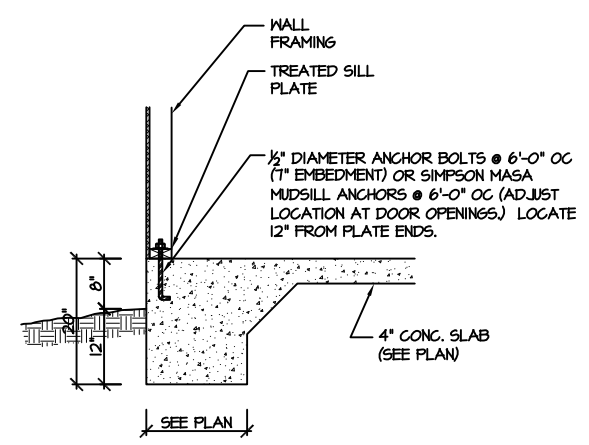
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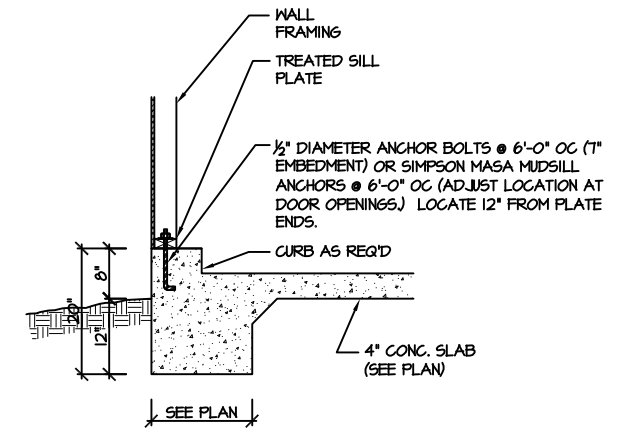
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**PLAN 06 - THE RALEIGH**

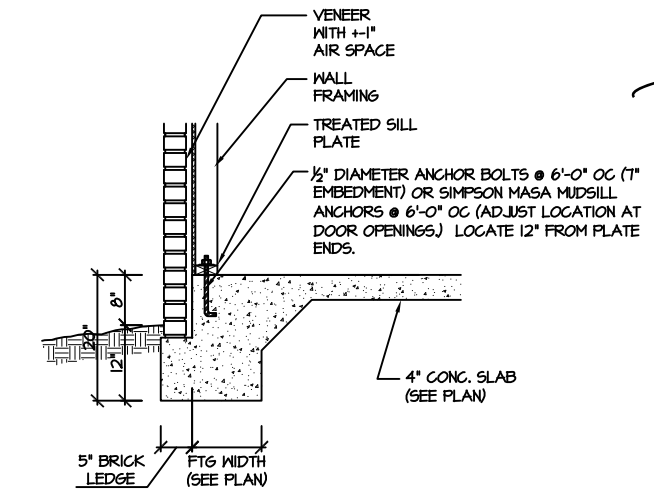
**SD**



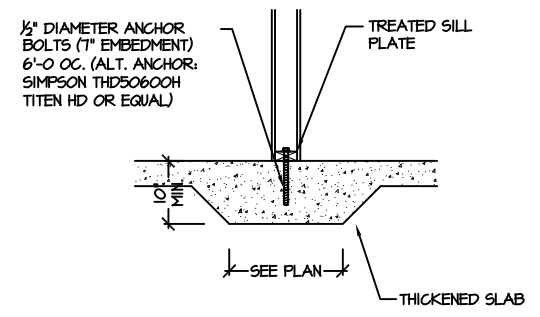
115-120 MPH 100A SD **MONOLITHIC SLAB FOOTING**  
(SIDING OR EQUAL)



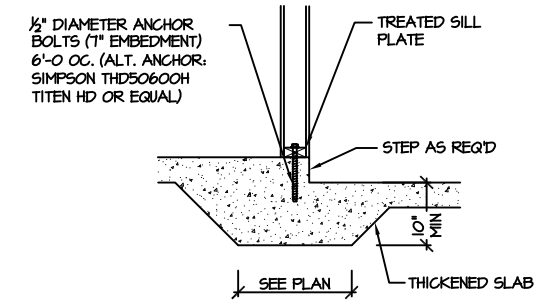
115-120 MPH 101A SD **MONOLITHIC SLAB @ GARAGE**  
(SIDING OR EQUAL)



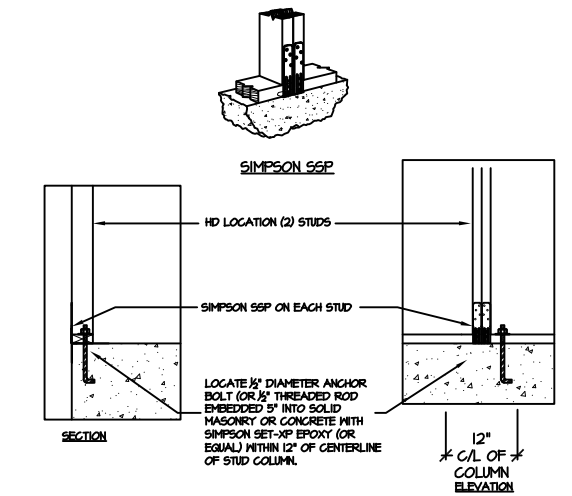
115-120 MPH 102A SD **MONOLITHIC SLAB FOOTING**  
(VENEER)



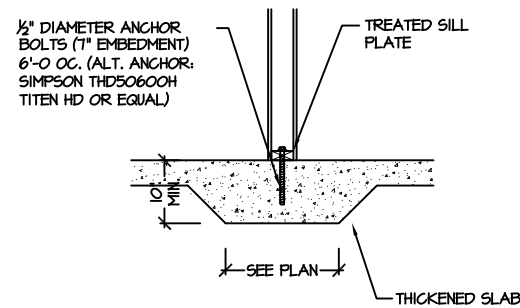
115-120 MPH 104A SD **THICKENED SLAB**  
(INTERIOR BEARING WALL)



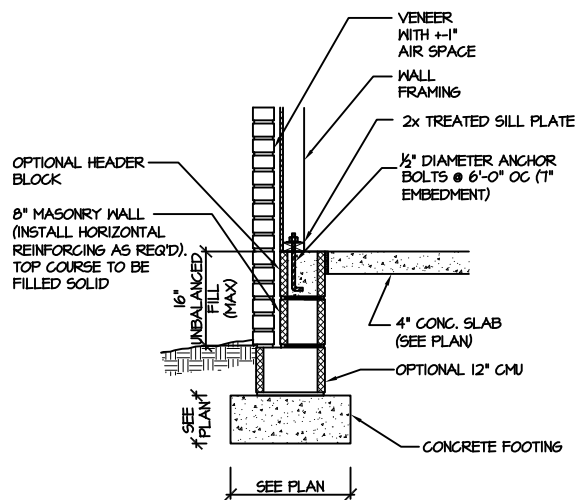
115-120 MPH 105A SD **THICKENED SLAB @ GARAGE**  
(INTERIOR GARAGE WALL)



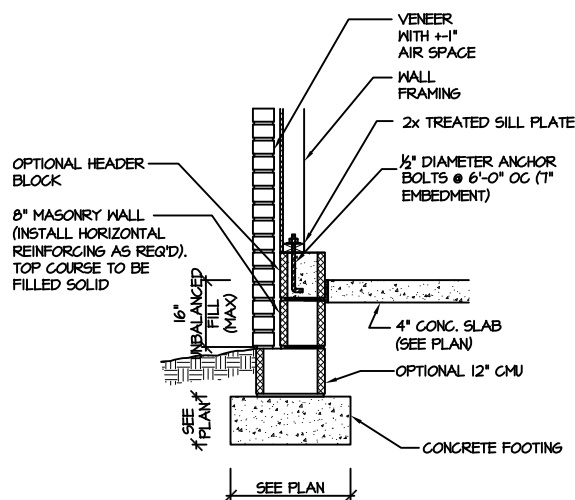
903 SD **BRACED WALL END CONDITION "HD" HOLD-DOWN DETAIL**  
NOTE: SIMPSON DTT-1Z IS ACCEPTABLE ALTERNATE  
NOTE: ALTERNATE HD HOLD-DOWN DEVICES OR SYSTEMS MAY BE USED TO MEET THE CODE REQUIRED 800 LB CAPACITY IN LIEU OF THE ABOVE DETAIL.



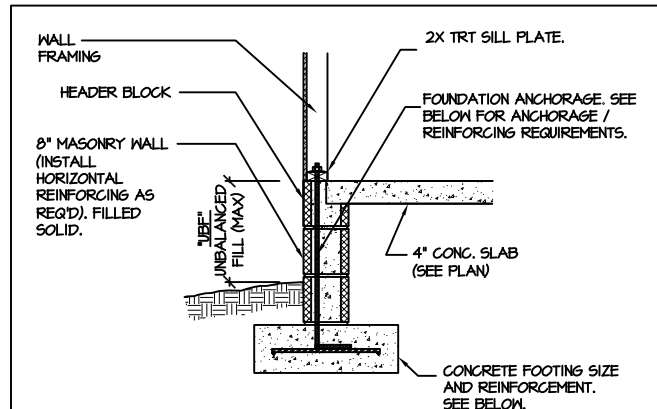
115-120 MPH 104A SD THICKENED SLAB (INTERIOR BEARING WALL)



115-120 MPH 108A SD STEM WALL SLAB FOOTING (VENEER) (FOR UNBALANCED FILL EXCEEDING 16" O.C. SEE DETAIL "106F/SD")

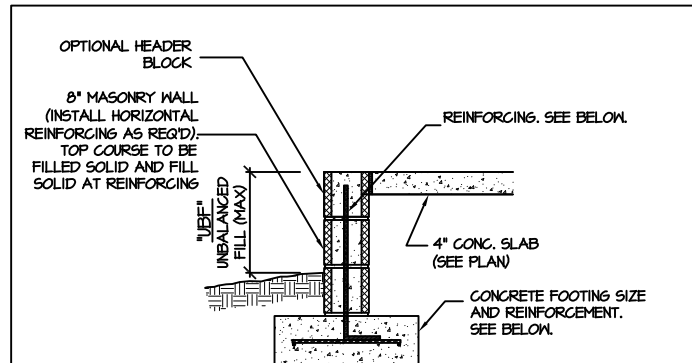


115-120 MPH 109A SD STEM WALL SLAB @ GARAGE (VENEER) (FOR UNBALANCED FILL EXCEEDING 16" O.C. SEE DETAIL "106E/SD")



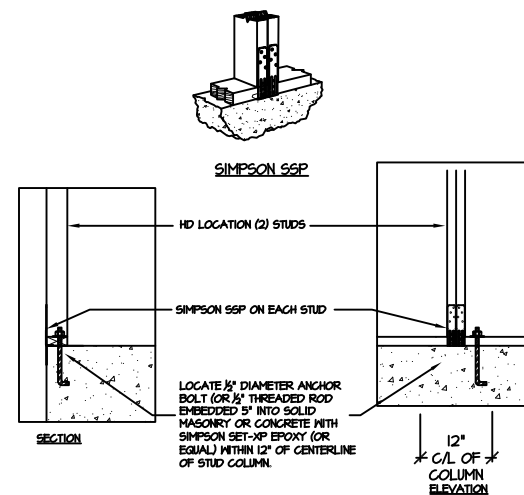
- \*UBF\* = UP TO 16" — 1/2" DIAM ANCHOR BOLT (EMBED 7") @ 6'-0" O.C. 16" WIDE BY 8" DEEP (MIN) CONG. FTG. (UNREINFORCED)
- \*UBF\* = 16" UP TO 24" — 1/2" DIAM ANCHOR BOLT (EMBED 7") @ 6'-0" O.C. REINFORCE WALL W/ #5 BAR @ 48" O.C. W/ 15" LEG @ 48" O.C. WITH WASHERS 24" WIDE BY 10" DEEP CONG FTG REINFORCED W/ (3) #4 BAR OR (2) #5 BAR CONTINUOUS WITH #4 TIES @ 48" O.C.
- \*UBF\* = 24" UP TO 48" — 1/2" DIAM ANCHOR BOLT (EMBED 7") @ 6'-0" O.C. REINFORCE WALL W/ #5 BAR @ 24" O.C. W/ 15" LEG @ 24" O.C. WITH WASHERS 24" WIDE BY 10" DEEP CONG FTG REINFORCED W/ (3) #4 BAR OR (2) #5 BAR CONTINUOUS WITH #4 TIES @ 24" O.C.

115-120 MPH 106F SD STEM WALL SLAB FOOTING (SIDING OR EQUAL)



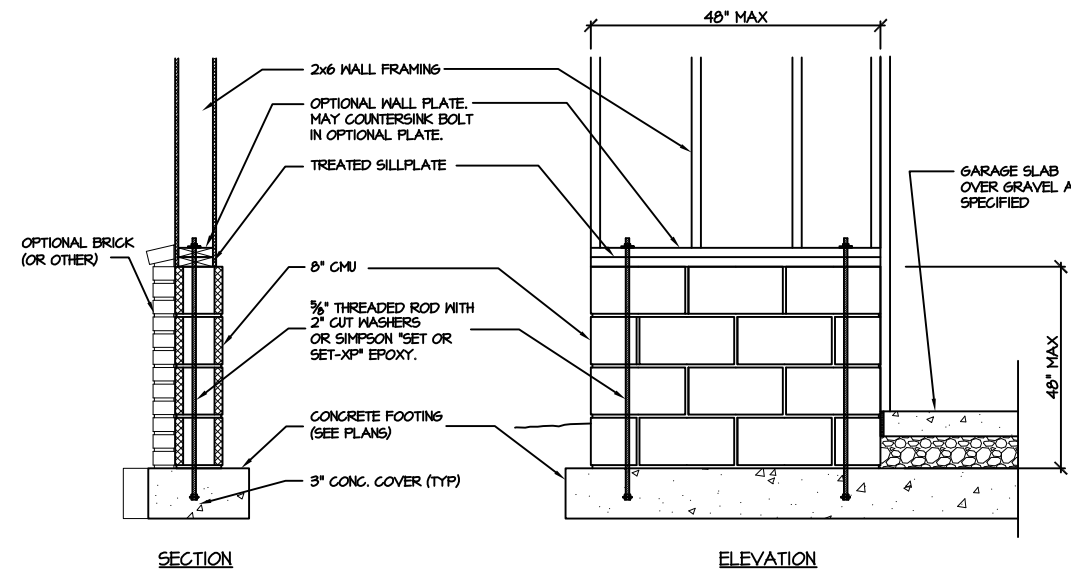
- \*UBF\* = UP TO 16" — 8" MASONRY (UN-REINFORCED) ON 16" WIDE BY 8" DEEP (MIN) CONG. FTG.
- \*UBF\* = 16" UP TO 24" — REINFORCE WALL W/ #5 BAR @ 48" O.C. W/ 6" BEND INTO FTG. 24" WIDE BY 10" DEEP CONG FTG REINFORCED W/ (3) #4 BAR OR (2) #5 BAR CONTINUOUS WITH #4 TIES @ 48" O.C.
- \*UBF\* = 24" UP TO 48" — REINFORCE WALL W/ #5 BAR @ 24" O.C. W/ 6" BEND INTO FTG. 32" WIDE BY 12" DEEP CONG FTG REINFORCED W/ (4) #4 BAR OR (3) #5 BAR CONTINUOUS WITH #4 TIES @ 24" O.C.

115-120 MPH 106D SD FILLED PORCH WALL

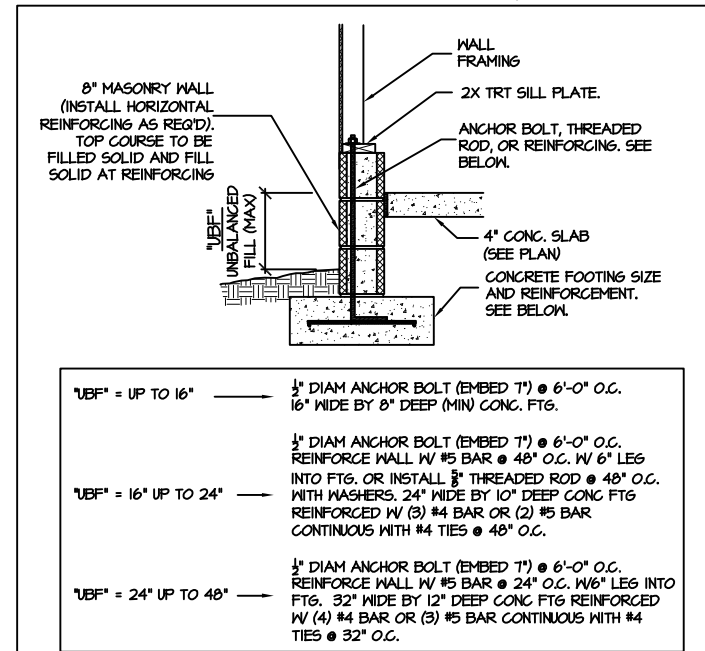
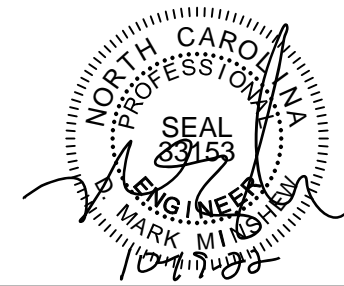


103 SD BRACED WALL END CONDITION "HD" HOLD-DOWN DETAIL

NOTE: SIMPSON DTT-1Z IS ACCEPTABLE ALTERNATE  
NOTE: ALTERNATE HD HOLD-DOWN DEVICES OR SYSTEMS MAY BE USED TO MEET THE CODE REQUIRED 800 LB CAPACITY IN LIEU OF THE ABOVE DETAIL.



107 SD GARAGE 'WING WALL' REINFORCING PER IRC FIGURE R602.10.4.3



- \*UBF\* = UP TO 16" — 1/2" DIAM ANCHOR BOLT (EMBED 7") @ 6'-0" O.C. 16" WIDE BY 8" DEEP (MIN) CONG. FTG.
- \*UBF\* = 16" UP TO 24" — 1/2" DIAM ANCHOR BOLT (EMBED 7") @ 6'-0" O.C. REINFORCE WALL W/ #5 BAR @ 48" O.C. W/ 6" LEG INTO FTG. OR INSTALL 3/8" THREADED ROD @ 48" O.C. WITH WASHERS 24" WIDE BY 10" DEEP CONG FTG REINFORCED W/ (3) #4 BAR OR (2) #5 BAR CONTINUOUS WITH #4 TIES @ 48" O.C.
- \*UBF\* = 24" UP TO 48" — 1/2" DIAM ANCHOR BOLT (EMBED 7") @ 6'-0" O.C. REINFORCE WALL W/ #5 BAR @ 24" O.C. W/ 6" LEG INTO FTG. 32" WIDE BY 12" DEEP CONG FTG REINFORCED W/ (4) #4 BAR OR (3) #5 BAR CONTINUOUS WITH #4 TIES @ 32" O.C.

115-120 MPH 107E SD STEM WALL SLAB @ GARAGE (SIDING OR EQUAL)

PROJECT # 21-2818

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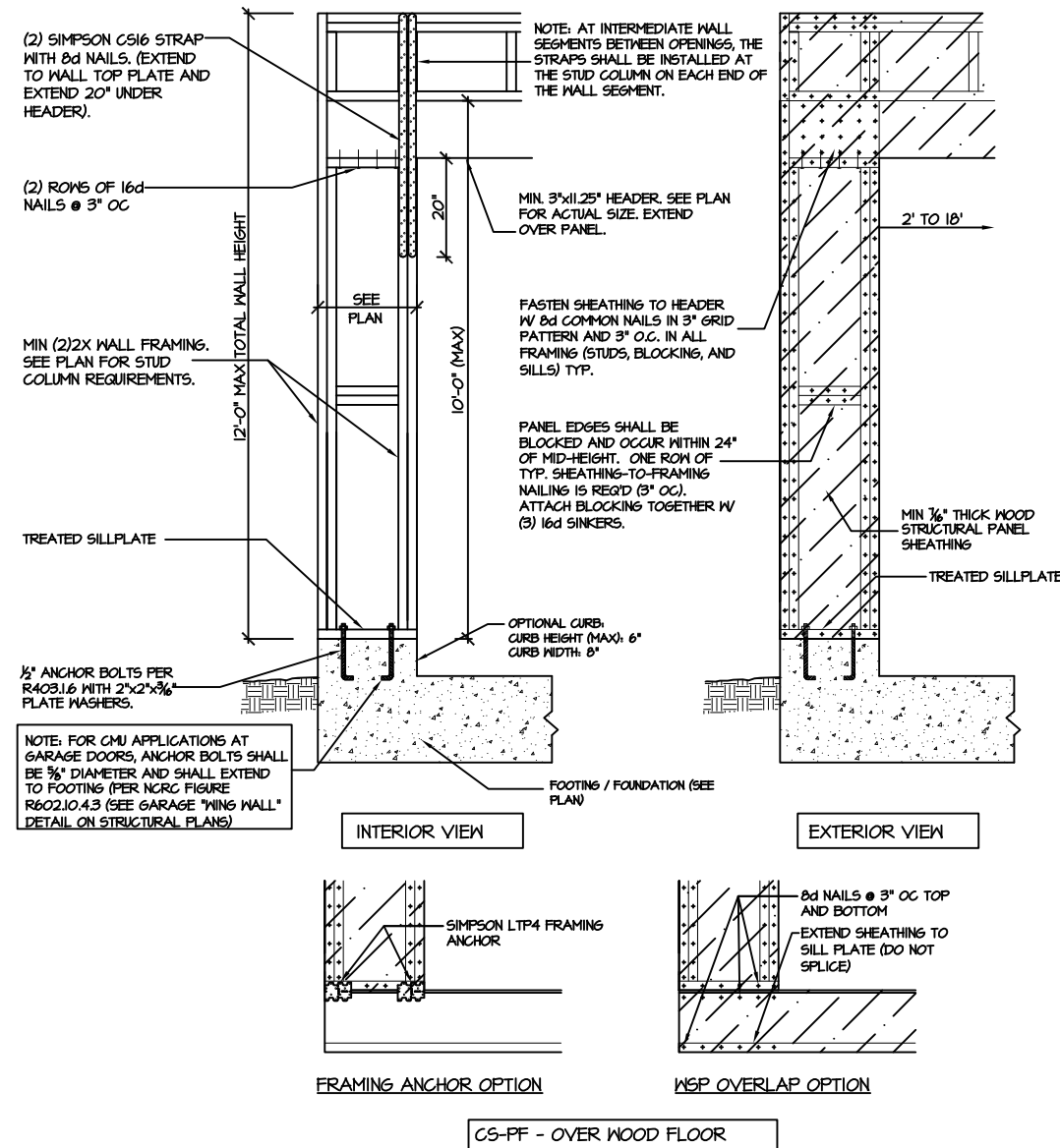
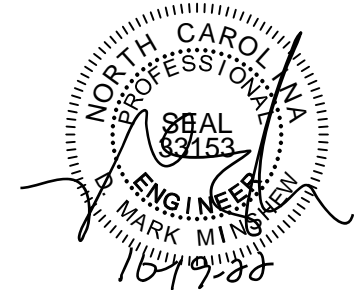
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**PLAN 06 - THE RALEIGH**

**SD**

STRUCTURAL DETAILS:  
STEMWALL SLAB FOUNDATION



405  
SD  
CS-PF: CONTINUOUS PORTAL FRAME CONSTRUCTION  
DETAIL AND APPLICATION BASED ON NCRC FIGURE  
R602.10.1 - PORTAL FRAME CONSTRUCTION

STRUCTURAL NOTES

NC (2018 NCRC): Wind: 115-120 mph

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPPS, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS AND HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIER & GIRDER SYSTEM, FOOTING, AND PILING SYSTEM. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM. ALL REQUIREMENTS FOR PROFESSIONAL CERTIFICATION SHALL BE PROVIDED BY THE APPROPRIATE PROFESSIONAL. SOUTHERN ENGINEERS, P.A. CERTIFIES ONLY THE STRUCTURAL COMPONENTS AS SPECIFICALLY STATED.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE 2018 NC RESIDENTIAL CODE, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK, NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. "CONSTRUCTION REVIEW" SERVICES ARE NOT PART OF OUR CONTRACT. ALL MEMBERS SHALL BE FRAMED ANCHORED, TIED AND BRACED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE AND THE BUILDING CODE.
- DESIGN LOADS (LISTED AS: LIVE LOAD, DEAD LOAD, DEFLECTION)
  - ROOMS OTHER THAN SLEEPING ROOMS: (40 PSF, 10 PSF, L/360)
  - SLEEPING ROOMS: (30 PSF, 10 PSF, L/360)
  - ATTIC WITH PERMANENT STAIR: (40 PSF, 10 PSF, L/360)
  - ATTIC WITHOUT PERMANENT STAIR: (20 PSF, 10 PSF, L/360)
  - ATTIC WITHOUT STORAGE: (10 PSF, 10 PSF, L/240)
  - STAIRS: (40 PSF, 10 PSF, L/360)
  - EXTERIOR BALCONIES: (60 PSF, 10 PSF, L/360)
  - DECKS: (40 PSF, 10 PSF, L/360)
  - GUARDRAILS AND HANDRAILS: (200 LBS)
  - PASSENGER VEHICLE GARAGES: (50 PSF, 10 PSF, L/360)
  - FIRE ESCAPES: (40 PSF, 10 PSF, L/360)
  - SNOW: (20 PSF)
- WALLS SHALL BE BRACED BY SHEATHING WALLS ON ALL STORIES WITH WOOD STRUCTURAL PANELS. SEE FRAMING NOTES FOR THICKNESS AND NAILING REQUIREMENTS.
- SEE APPENDIX M (DCA6) FOR EXTERIOR DECK REQUIREMENTS INCLUDING ATTACHMENTS FOR LATERAL LOADS.
- CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF 5 INCHES UNLESS NOTED OTHERWISE (UNO). AIR ENTRAINED PER TABLE 402.2. ALL CONCRETE SHALL BE PROPORTIONED, MIXED, HANDLED, SAMPLED, TESTED, AND PLACED IN ACCORDANCE WITH ACI STANDARDS. ALL SAMPLES FOR PUMPING SHALL BE TAKEN FROM THE EXIT END OF THE PUMP. CONTROL JOINTS IN SLABS SHALL BE SPACED ON A GRID OF +30 TIMES THE DEPTH (D). CONTROL JOINTS SHALL BE SAWCUT TO A DEPTH OF 1/D. (I.E. 4" CONCRETE SLABS SHALL HAVE 1/4" DEEP CONTROL JOINTS SAWCUT IN SLAB ON A +10'-0" x +10'-0" GRID).
- ALLOWABLE SOIL BEARING PRESSURE ASSUMED TO BE 2000 PSF. THE CONTRACTOR MUST CONTACT A GEOTECHNICAL ENGINEER AND THE STRUCTURAL ENGINEER IF UNSATISFACTORY SUBSURFACE CONDITIONS ARE ENCOUNTERED. THE SURFACE AREA ADJACENT TO THE FOUNDATION WALL SHALL BE PROVIDED WITH ADEQUATE DRAINAGE, AND SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS.
- ALL FRAMING LUMBER SHALL BE SPF #2 (Fb = 875 PSI) UNLESS NOTED OTHERWISE (UNO). ALL TREATED LUMBER SHALL BE SYP #2. PLATE MATERIAL MAY BE SPF #3 OR SYP #3 (Fc(perp) = 425 PSI - MIN).
  - L.V.L. SHALL BE LAMINATED VENEER LUMBER: Fb=2600 PSI, Fv=285 PSI, E=1.9x10<sup>6</sup> PSI.
  - P.S.L. SHALL BE PARALLEL STRAND LUMBER: Fb=2400 PSI, Fv=240 PSI, E=2.0x10<sup>6</sup> PSI.
  - L.S.L. SHALL BE LAMINATED STRAND LUMBER: Fb=2250 PSI, Fv=400 PSI, E=1.55x10<sup>6</sup> PSI.
 INSTALL ALL CONNECTIONS PER MANUFACTURERS INSTRUCTIONS.
- ALL ROOF TRUSS AND I-JOIST LAYOUTS SHALL BE PREPARED IN ACCORDANCE WITH THE SEALED STRUCTURAL DRAWINGS. TRUSSES AND I-JOISTS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURE'S SPECIFICATIONS. ANY CHANGE IN TRUSS OR I-JOIST LAYOUT SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
- ALL STRUCTURAL STEEL SHALL BE ASTM A-36. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" INCHES AND FULL FLANGE WIDTH. PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED TO EACH SUPPORT WITH TWO LAG SCREWS (1/2" DIAMETER x 4" LONG). LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOIST ARE TOE NAILED TO THE SOLE PLATE, AND SOLE PLATE IS NAILED OR BOLTED TO THE BEAM FLANGE @ 48" O.C. ALL STEEL TUBING SHALL BE ASTM A500.
- REBAR SHALL BE DEFORMED STEEL, ASTM#615, GRADE 60. LAP ALL REBAR SPLICES 30 BAR DIAMETERS.
- FLITCH BEAMS SHALL BE BOLTED TOGETHER USING (2) ROWS OF 1/2" DIAMETER BOLTS (ASTM A325) WITH WASHERS PLACED UNDER THE THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" O.C. (MAX), AND STAGGERED AT THE TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH 2 BOLTS LOCATED AT 6" FROM EACH END.
- BRICK LINTELS (WHEN REQUIRED) SHALL BE 3 1/2"x3 1/2"x1/4" STEEL ANGLE FOR UP TO 6'-0" SPAN AND 6"x4"x5/16" STEEL ANGLE WITH 6" LEG VERTICAL FOR SPANS UP TO 4'-0". SEE PLANS FOR SPANS OVER 4'-0". SEE ALSO SECTION RT03.B.3 LINTELS.

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**PLAN 06 - THE RALEIGH**

**SD**

STRUCTURAL DETAILS:  
ALL FOUNDATION TYPES