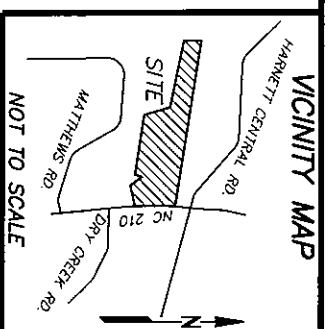
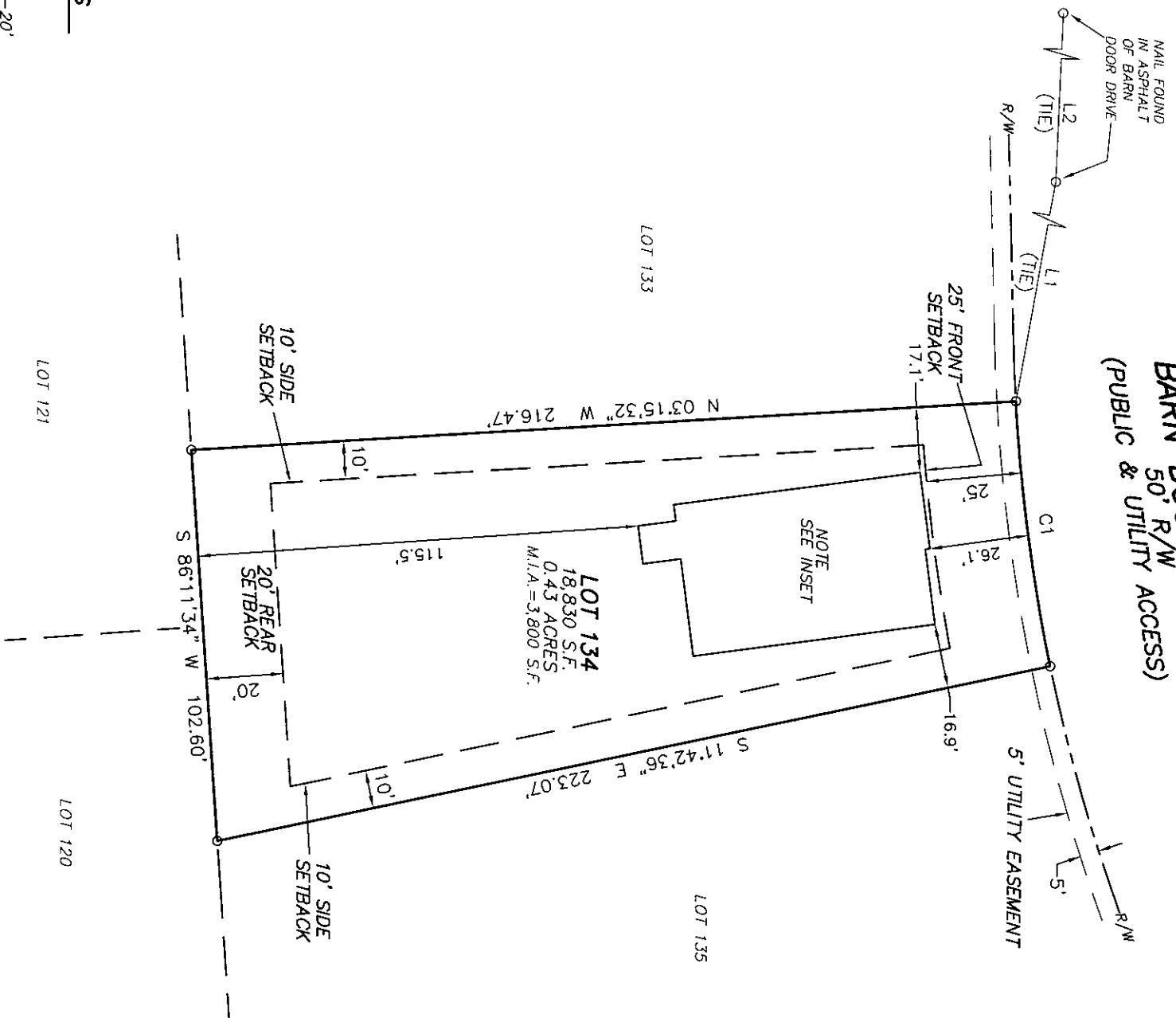


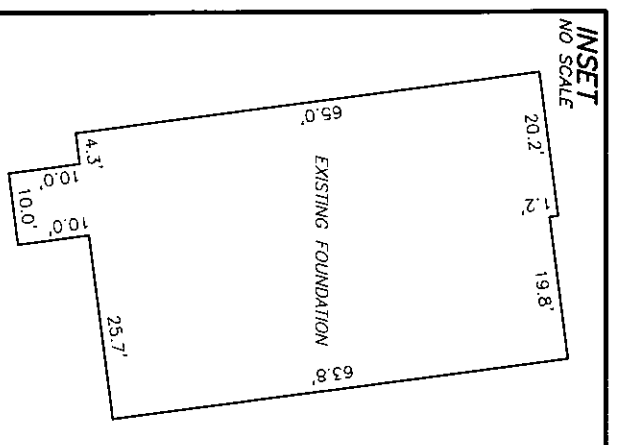
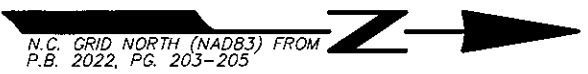
CURVE TABLE						
CURVE	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BRG
C1	8°27'04"	475.00'	70.06'	70.00'	35.10'	N 82°30'56" E

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 79°43'39" W	194.21'
L2	N 87°33'23" W	239.18'

**BARN DOOR DRIVE**  
50' R/W  
(PUBLIC & UTILITY ACCESS)



REFERENCES:  
1. D.B. 4188, PG. 96  
PIN 0662-00-3337.000  
PID 110662 0027 63  
RESTRICTIVE COVENANTS:  
2. D.B. 4072, PG. 220



- NOTES:
1. ALL EASEMENTS, RIGHTS OF WAY AND BOUNDARY INFORMATION TAKEN FROM P.B. 2022, PG. 203-205 UNLESS OTHERWISE NOTED.
  2. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN DONE BY ROBINSON & PLANTE, P.C.
  3. THE PROJECT IS WITHIN THE WS IV WATERSHED. THE MAXIMUM IMPERVIOUS AREA PER LOT IS 3,800 SF.
- NOTE:  
RATIO OF PRECISION IS 1:10,000+. MISCLOSEURE WAS DISTRIBUTED BY THE COMPASS METHOD. THE DISTANCES ON THIS MAP ARE ADJUSTED HORIZONTAL GROUND UNLESS NOTED OTHERWISE. ALL AREAS ARE CALCULATED BY COORDINATE COMPUTATION.

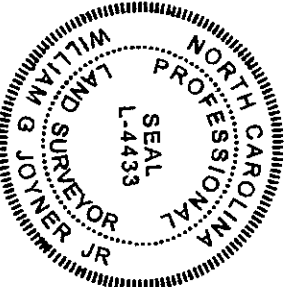
**LOT 134 THE FARM AT NELLIS CREEK**  
**PHASE 1**  
**81 BARN DOOR DR**  
**HARNETT COUNTY**  
**LILLINGTON, N.C. 27546**



REFERENCE: PLAT BOOK 2022 PAGE 203-205.

FILE: FNGL07134FD

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION. DESCRIPTION RECORDED IN REFERENCES AS SHOWN. THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN THAT THE RATIO OF PRECISION IS 1:10,000. AND THAT THIS MAP MEET THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.16000). THIS 16th DAY OF APRIL 2024.



**ROBINSON & PLANTE PC**  
LAND SURVEYING  
C-2687  
970 TRINITY ROAD  
RALEIGH NC, 27607  
PHONE (919) 859-6030  
FAX (919) 859-6032

DATE: 4-15-24 SCALE: 1"=40'