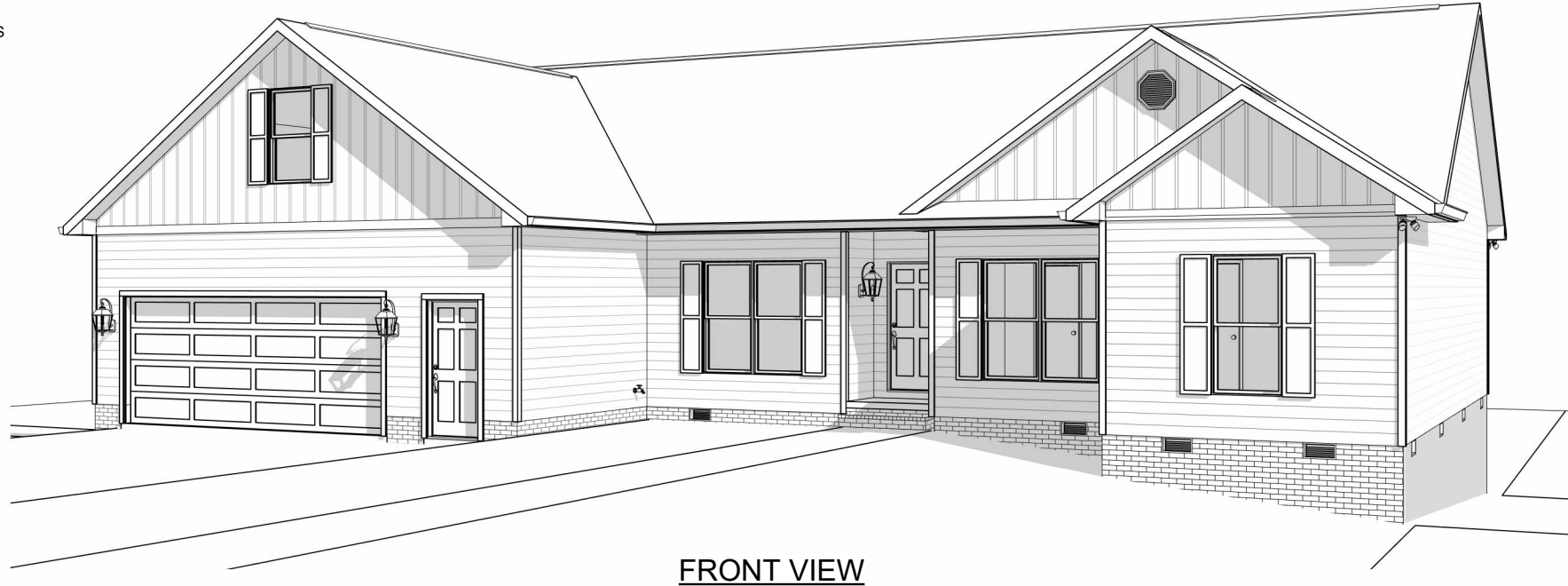


**CONSTRUCTION SHEET LIST**

SHEET NUMBER	SHEET NAME
E-0	COVER SHEET
E-1	FRONT & REAR ELEVATIONS
E-2	LEFT & RIGHT ELEVATIONS
E-3	ROOF OVERVIEW
F-1	FOUNDATION PLAN
F-2	FIRST FLOOR PLAN
F-3	BONUS ROOM FLOOR & ELECTRICAL PLANS
GD-1	GARAGE DOOR DETAILS
H-1	FIRST FLOOR ELECTRICAL PLAN
S-1	BONUS ROOM SECTION
S-2	STAIR SECTION
S-3	STANDARD DECK DETAILS
S-4	FRAMING DETAILS

**ABBREVIATION LEGEND:**

5 SH.	FIVE SHELVES
6 SH.	SIX SHELVES
A.F.F.	ABOVE FINISHED FLOOR
B.C.	BLIND CORNER (CABINET)
C.H.	COMFORT HEIGHT
C.J.	CEILING JOIST
C.M.U.	CONCRETE MASONRY UNIT
C.O.	CASED OPENING
CONC.	CONCRETE
C.R.V.	CONTINUOUS RIDGE VENT
DBL SH-RD	DOUBLE SHELF AND ROD
D.H.	DOUBLE HUNG
DR. or DRR	DRAWER
D.S.	DRAWER SPACE
EVP	ENGINEERED VINYL PLANK
EXT.	EXTERIOR
F.J.	FLOOR JOIST
F.S.	SUPPLY IN FLOOR (HVAC)
FTG.	FOOTING
GYP. BD.	GYPSUM BOARD
H.B.	HOSE BIBB
H.D.G.	HOT DIPPED GALVANIZED
HDWD	HARDWOOD
HDR.	HEADER
HT.	HEIGHT
INT.	INTERIOR
K.S.	KNEE SPACE
KDAT	KILN DRIED AFTER TREATMENT
L.B.W.	LOAD BEARING WALL
L.S.	LAUNDRY SINK or LAZY SUSAN
LVP	LUXURY VINYL PLANK
LVT	LUXURY VINYL TILE
O.C.	ON CENTER
O.H.	OVERHEAD
OPT.	OPTIONAL
O.W.H.	OVER THE WALL HEIGHT
P.T.	PRESSURE TREATED
PANT.	PANTRY
R/A	RETURN AIR (HVAC)
REINF.	REINFORCED
R.O.	ROUGH OPENING
S.C.	SUPPLY IN CEILING (HVAC)
S.D.	SMOKE DETECTOR
SH	SINGLE HUNG
SH-RD	SHELF AND ROD
S.J.	SINGLE JOIST
SM/CO	SMOKE AND CARBON MONOXIDE DETECTOR
SPEC.	SPECIFIED
SPF	SPRUCE/PINE/FIR
S.R.O.	SHEETROCK OPENING
S.Y.P.	SOUTHERN YELLOW PINE
T&G	TONGUE AND GROOVE
TEMP.	TEMPERED
T.O.P.	TOP OF PLATE
TRAP.	TRAPEZOID (WINDOW)
U.N.O.	UNLESS NOTED OTHERWISE
UTIL	UTILITY
VAN.	VANITY
W/H	WATER HEATER
W.H.H.	WINDOW HEADER HEIGHT
W.I.C.	WALK IN CLOSET



**FRONT VIEW**



**REAR VIEW**

**GENERAL NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR - 8'-1 1/8" ON SECOND FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS NOTED OTHERWISE
- HEADERS FOR WINDOWS ABOVE KITCHEN COUNTERTOPS TO BE FRAMED DOWN 1'-5" FROM T.O.P.
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. - SECOND FLOOR WINDOWS 1'-2" FROM T.O.P. UNLESS NOTED OTHERWISE
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:  
SINGLE - 68"  
DOUBLE - 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" ABOVE FINISHED GRADE

**FOUNDATION NOTES**

- TYPICAL FOUNDATION WALL: (2'-8") 4" BRICK W/ 4" BLOCK ON (2) 8" BASE BLOCK - ON TOP OF 16" x 8"d POURED CONCRETE FOOTING
- CRAWL SPACE ACCESS TO BE 42" WIDE
- ADD LIGHT AND SWITCH UNDER FLOOR NEAR ACCESS
- CRAWL SPACE VENT & ACCESS DIMENSIONS ARE APPROXIMATE, VENTS & ACCESSES SHOULD BE LOCATED WITHIN CONCRETE BLOCKS, DO NOT LOCATE UNDER BEAMS OR ANY OTHER STRUCTURAL LOCATIONS
- VENTS SHOULD BE INSTALLED PER LOCAL CODE
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- NOTCH SILL PLATE AROUND DROPPED BEAM
- FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
- POLY REQ'D IN CRAWL
- GRAVEL REQ'D UNDER GARAGE SLAB
- POLY REQ'D UNDER GARAGE SLAB

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	FIRST FLOOR HEATED		FRONT PORCH		GARAGE		UNFINISHED BONUS ROOM		TOTAL UNDER ROOF		STANDARD STOOP		TOTAL UNCOVERED	
	SF	SF	SF	SF	SF	SF	SF	SF	SF	SF	SF	SF	SF	SF
	2,099	2,099	17	17	557	557	231	231	805	805	20	20	2,903	20

<b>THE:</b>	<b>OXFORD MODERN</b>
<b>FOR:</b>	<b>FARMHOUSE-REVISED</b>
<b>FOR:</b>	<b>JAY &amp; DOMINIQUE</b>
<b>FOR:</b>	<b>MCMAGILL</b>
<b>FOR:</b>	<b>10 STEPHEN NORRIS LANE COATS NC</b>
<b>FOR:</b>	<b>27521 HARNETT - NC</b>
<b>OFFICE:</b>	<b>FAYETTEVILLE</b>
<b>SOLD BY:</b>	<b>A. VIRT</b>

<b>JOB #:</b>	<b>141-23-019</b>
<b>FOUNDATION TYPE:</b>	<b>CRAWL SPACE</b>
<b>2x4 EXTERIOR WALLS</b>	

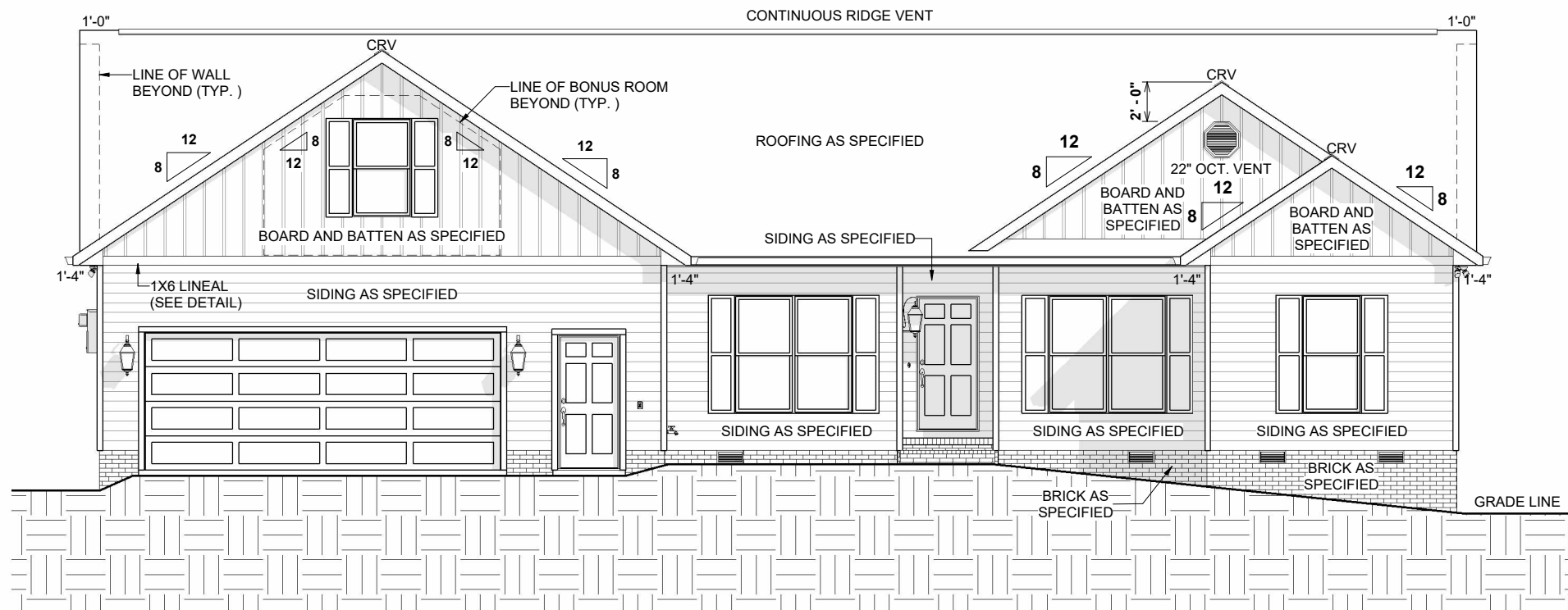
<b>DRAWN BY:</b>	<b>L.N. / DANIEL A.</b>
<b>CHECKED BY:</b>	<b>JS</b>
<b>PRINTED:</b>	<b>3/1/2024 8:24:32 AM</b>

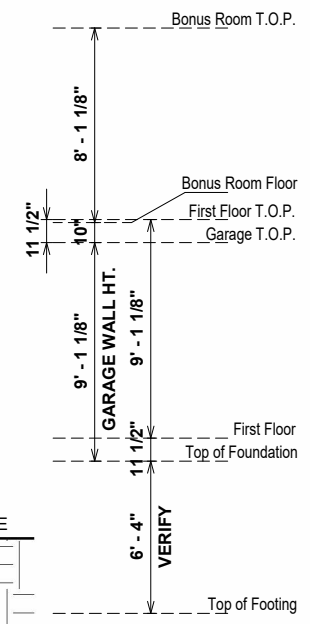
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<b>PROPERTY OF:</b>	<b>AMERICA'S HOME PLACE</b>
<b>PROPERTY OF:</b>	<b>© COPYRIGHT - 2024</b>

<b>SHEET #:</b>	<b>E-0</b>
<b>COVER SHEET</b>	

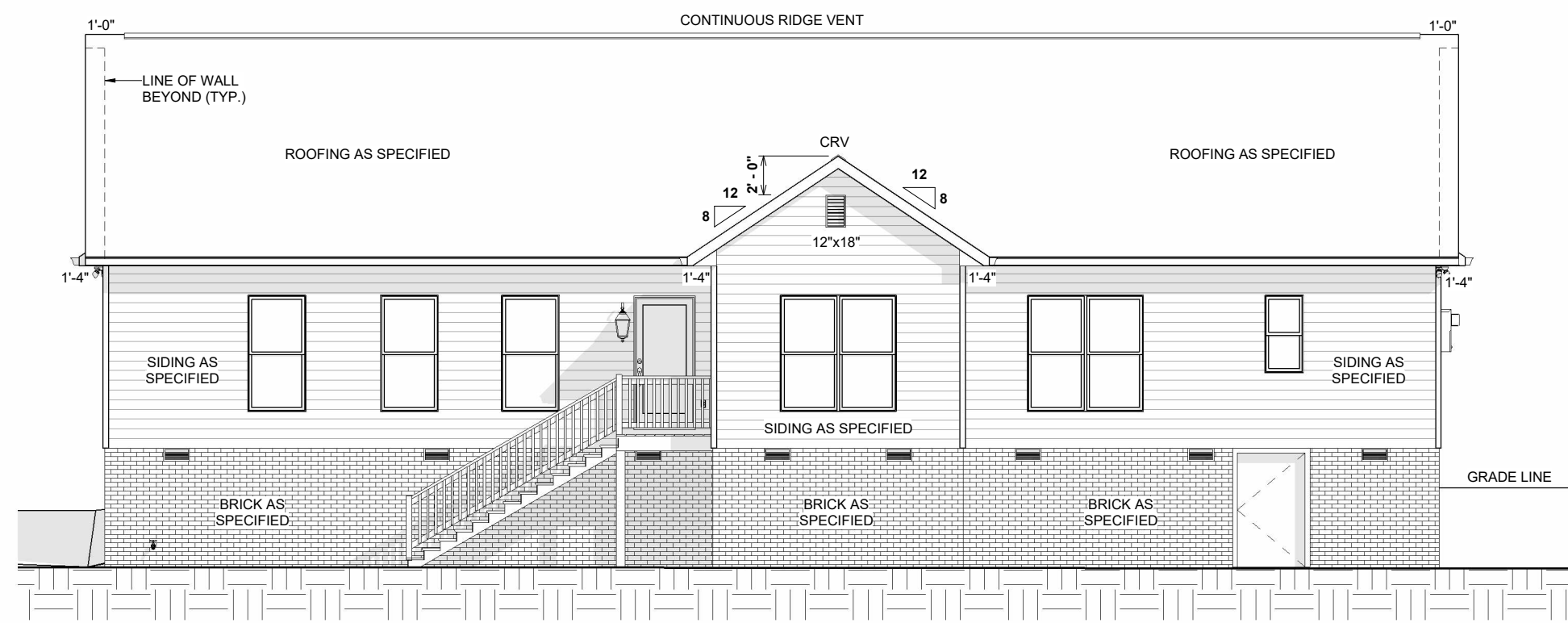


1 FRONT ELEVATION  
1/8" = 1'-0"

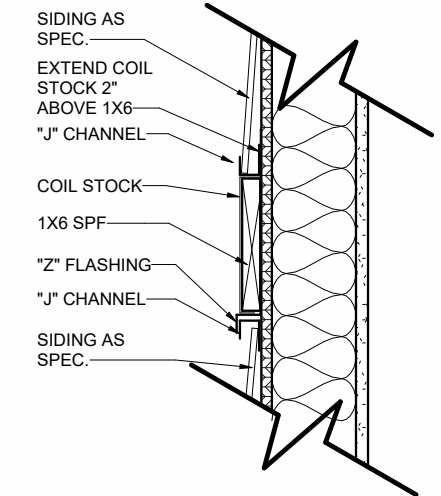
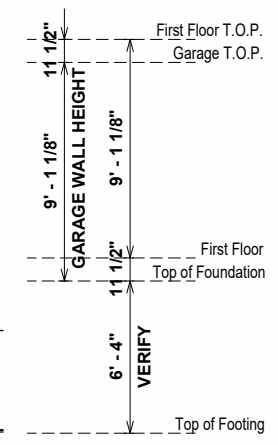


- ELEVATION NOTES:**
- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR - 8'-1 1/8" ON SECOND FLOOR
  - 7/16" O.S.B AND HOUSEWRAP REQUIRED
  - ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
  - FINAL GRADE TO BE DETERMINED ON SITE
  - FOUNDATION DRAWN AS REPRESENTATION ONLY

8:12 O.W.H. = 7 1/4"  
UNLESS OTHERWISE NOTED ON ROOF OVERVIEW



2 REAR ELEVATION  
1/8" = 1'-0"

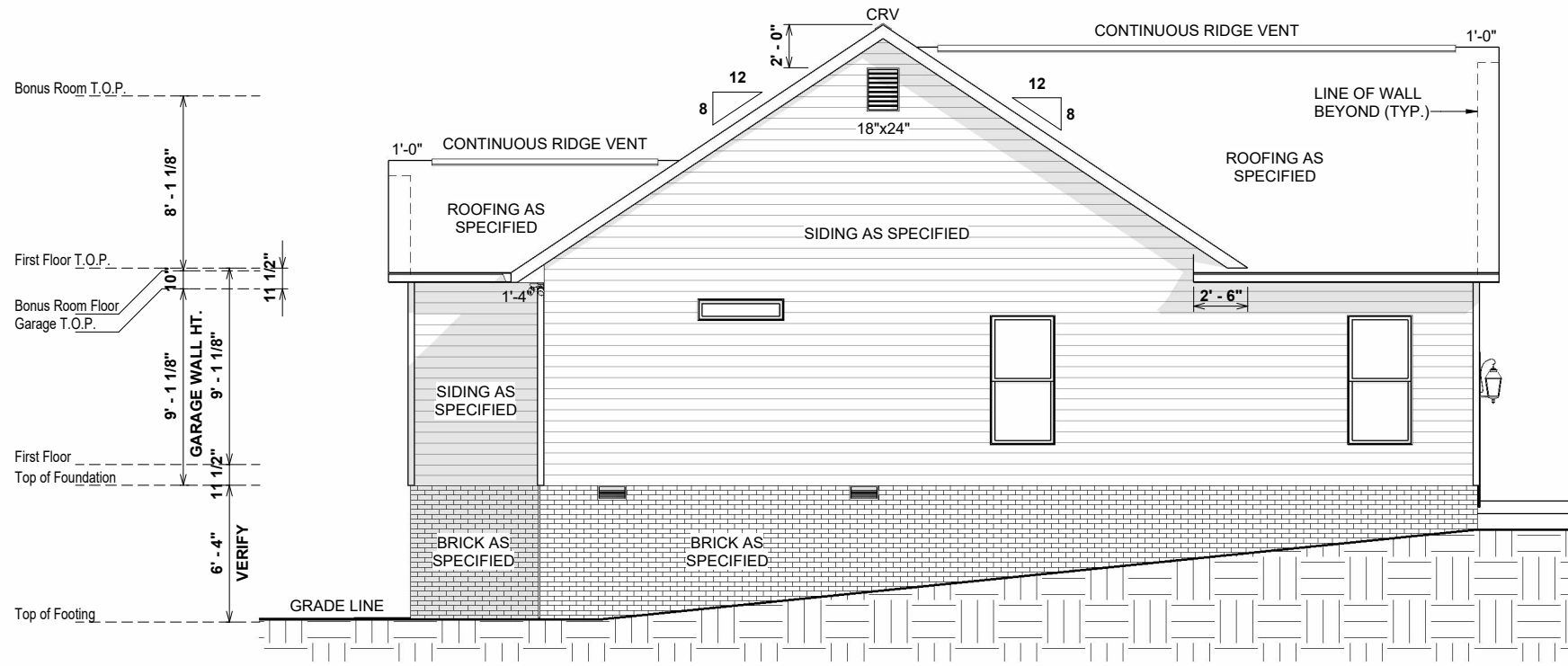


3 LINEAL BAND DETAIL  
1 1/2" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

REVISION SCHEDULE		REV #	DESCRIPTION	DATE
AREAS:		FIRST FLOOR HEATED	2,099 SF	
		FRONT PORCH	17 SF	
		GARAGE	557 SF	
		UNFINISHED BONUS ROOM	231 SF	
		TOTAL UNDER ROOF	805 SF	
		STANDARD STOOP	20 SF	
		TOTAL UNCOVERED	20 SF	
THE:	<b>OXFORD MODERN FARMHOUSE-REVISED</b>			
FOR:	<b>JAY &amp; DOMINIQUE MCMHAHL</b>			
JOB #	<b>141-23-019</b>			
FOUNDATION TYPE:	<b>CRAWL SPACE</b>			
2x4 EXTERIOR WALLS				
ADDRESS:	<b>10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC</b>			
OFFICE:	<b>FAYETTEVILLE</b>			
OFFICE:	<b>A. VIRT</b>			
PROPERTY OF:				
DATE:	<b>3/1/2024 8:24:35 AM</b>			
SHEET #	<b>E-1</b>			
SCALE:	<b>As indicated</b>			
<b>FRONT &amp; REAR ELEVATIONS</b>				

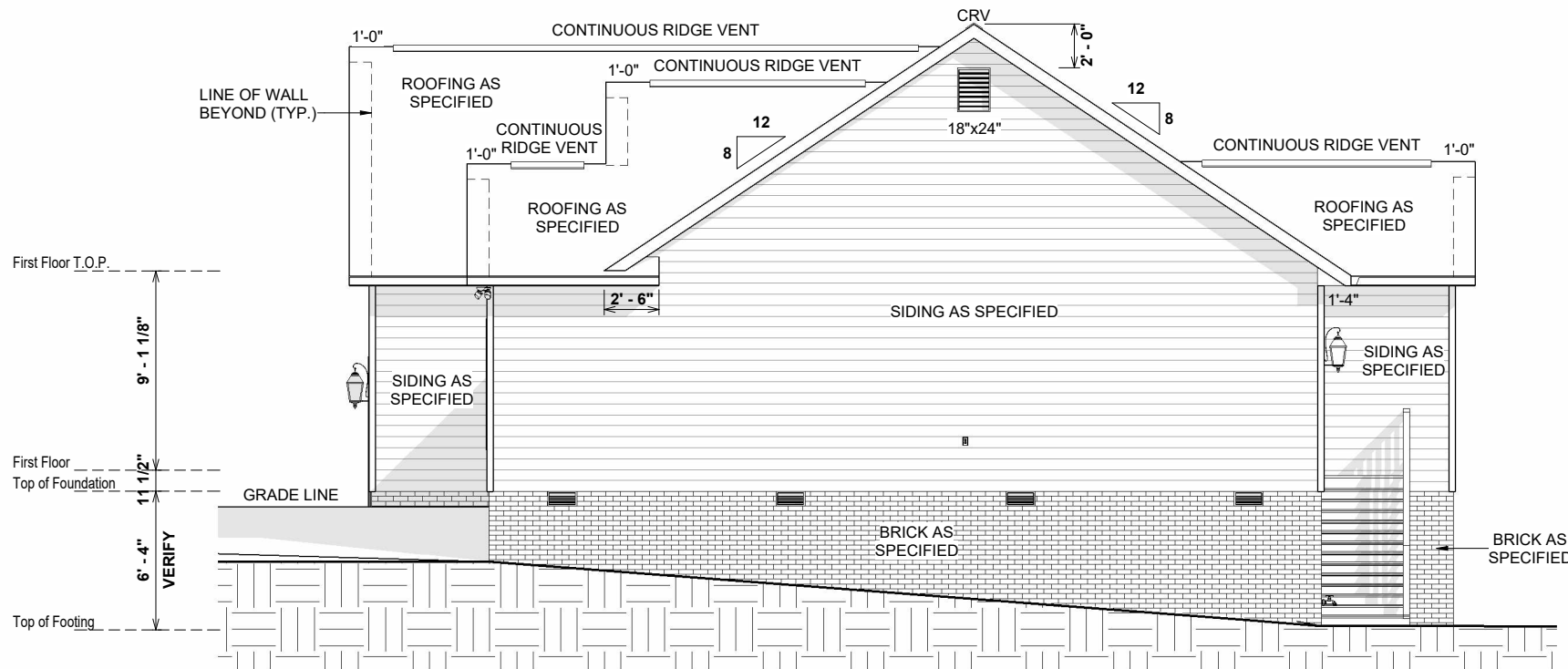


1 LEFT ELEVATION  
1/8" = 1'-0"

**ELEVATION NOTES:**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR - 8'-1 1/8" ON SECOND FLOOR
- 7/16" O.S.B AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
- FINAL GRADE TO BE DETERMINED ON SITE
- FOUNDATION DRAWN AS REPRESENTATION ONLY

8:12 O.W.H. = 7 1/4"  
UNLESS OTHERWISE NOTED ON ROOF OVERVIEW



2 RIGHT ELEVATION  
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

REVISION SCHEDULE		REV #	DESCRIPTION	DATE
AREAS:	FIRST FLOOR HEATED	2,099 SF		
	FRONT PORCH	2,099 SF		
	GARAGE	17 SF		
	UNFINISHED BONUS ROOM	557 SF		
	TOTAL UNDER ROOF	231 SF		
	STANDARD STOOP	805 SF		
	TOTAL UNCOVERED	2,903 SF		

THE:	<b>OXFORD MODERN FARMHOUSE-REVISED</b>
FOR:	<b>JAY &amp; DOMINIQUE MCMHAHL</b>
FOR:	10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #	141-23-019
FOUNDATION TYPE:	CRAWL SPACE
2x4 EXTERIOR WALLS	

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SHEET #	<b>E-2</b>
SCALE:	As indicated

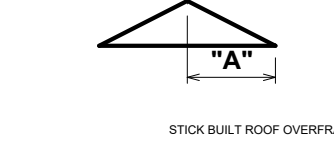
  

© COPYRIGHT - 2024	<b>LEFT &amp; RIGHT ELEVATIONS</b>
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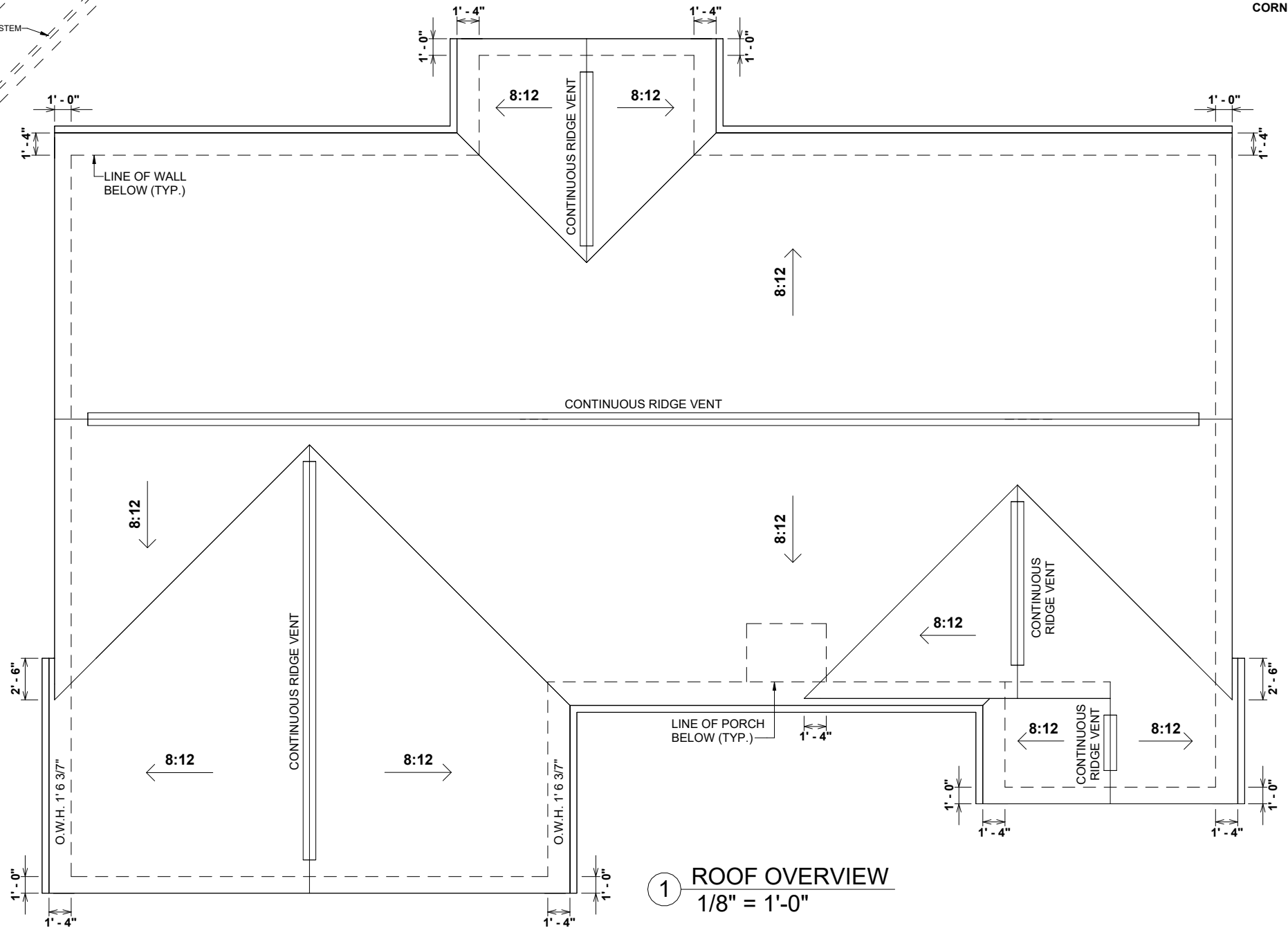
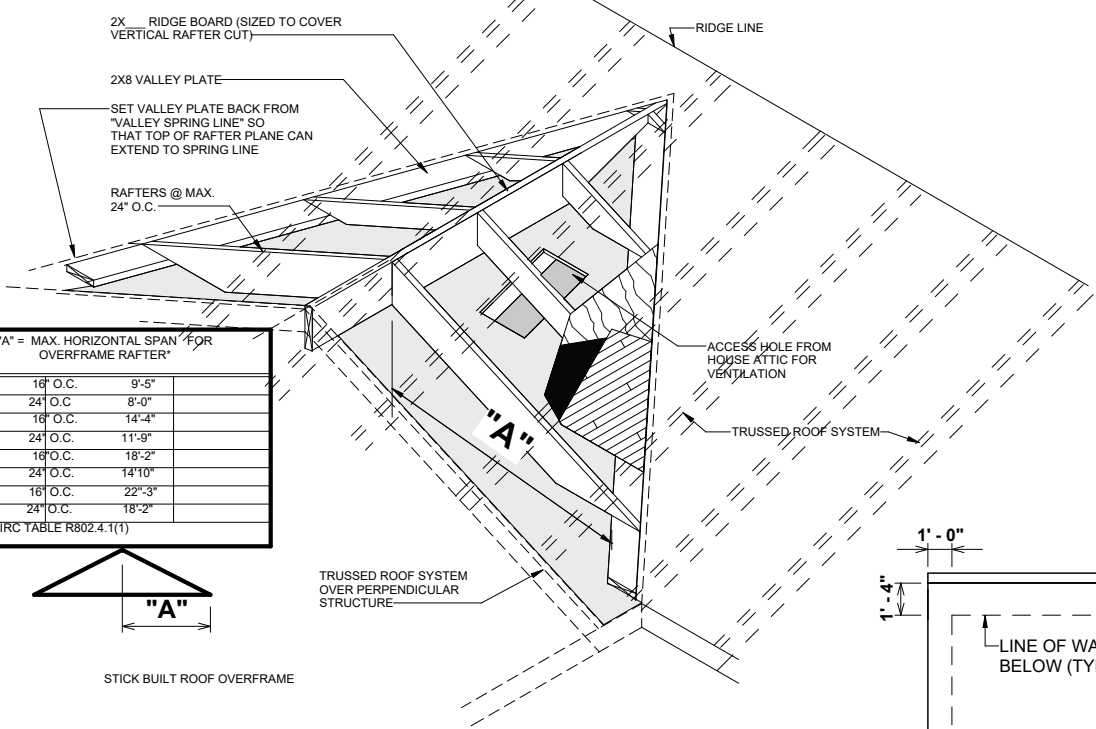
"A" = MAX. HORIZONTAL SPAN FOR OVERFRAME RAFTER\*

2X4	16" O.C.	9'-5"
	24" O.C.	8'-0"
2X6	16" O.C.	14'-4"
	24" O.C.	11'-9"
2X8	16" O.C.	18'-2"
	24" O.C.	14'-10"
2X10	16" O.C.	22'-3"
	24" O.C.	18'-2"

\* 2018 TRC TABLE R802.4.1(1)



**ROOF OVERFRAMING DETAIL**



8:12 O.W.H. = 7 1/4"  
 UNLESS OTHERWISE NOTED ON ROOF OVERVIEW

1 ROOF OVERVIEW  
 1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:		FIRST FLOOR HEATED	FRONT PORCH	GARAGE	UNFINISHED BONUS ROOM	TOTAL UNDER ROOF	STANDARD STOOP	TOTAL UNCOVERED
		2,099 SF	17 SF	557 SF	231 SF	805 SF	20 SF	2,903 SF

THE:	<b>OXFORD MODERN FARMHOUSE-REVISED</b>
FOR:	<b>JAY &amp; DOMINIQUE MCMAHLL</b>
FOR:	10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #	141-23-019
FOUNDATION TYPE:	CRAWL SPACE
2X4 EXTERIOR WALLS	

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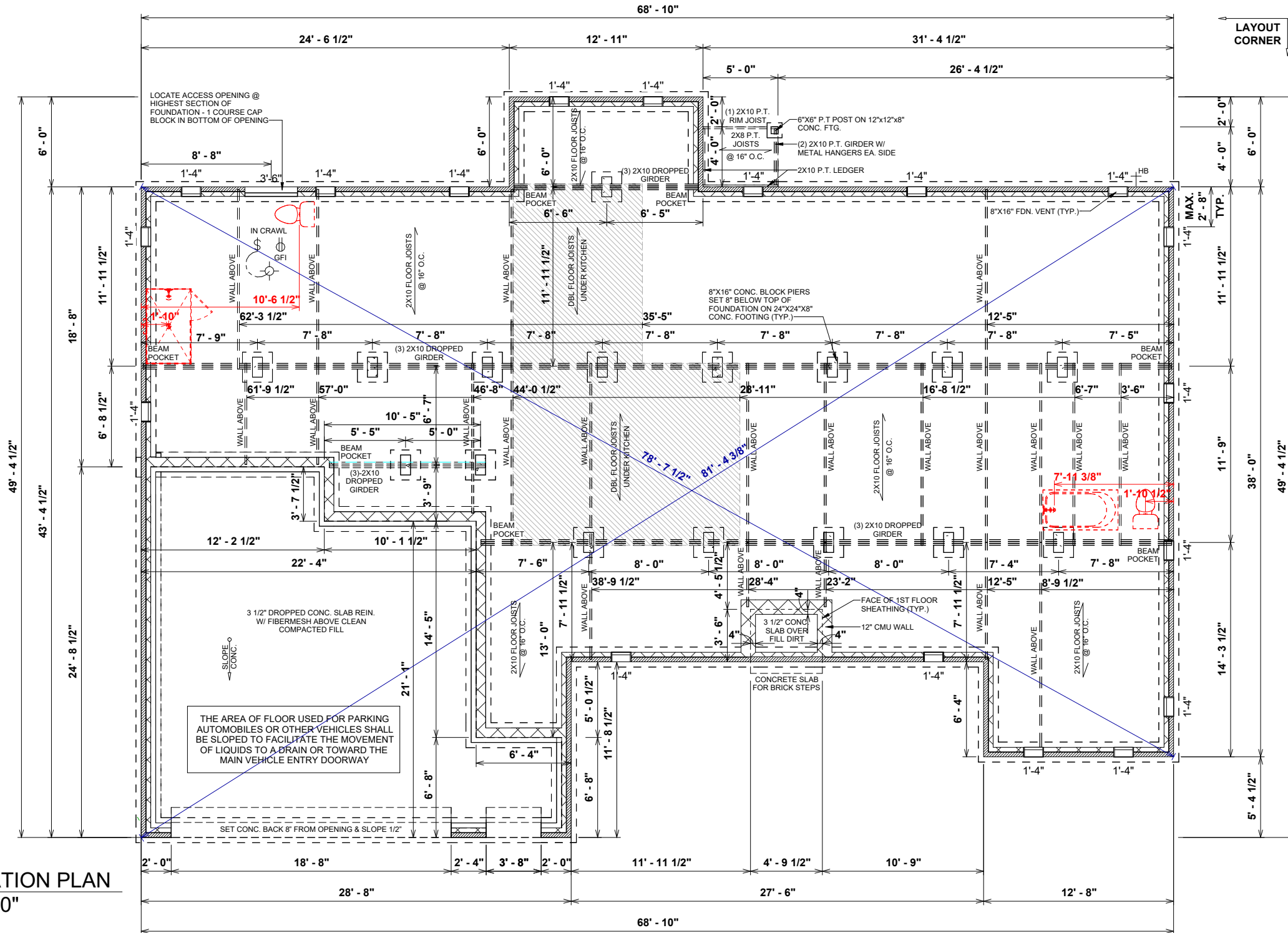
  

SHEET #	<b>E-3</b>
SCALE:	As indicated

**ROOF OVERVIEW**

1 FOUNDATION PLAN  
1/8" = 1'-0"



**FOUNDATION NOTES**

- TYPICAL FOUNDATION WALL: (2'-8") 4" BRICK W/ 4" BLOCK ON (2) 8" BASE BLOCK - ON TOP OF 16" x 8" d POURED CONCRETE FOOTING
- CRAWL SPACE ACCESS TO BE 42" WIDE
- ADD LIGHT AND SWITCH UNDER FLOOR NEAR ACCESS
- CRAWL SPACE VENT & ACCESS DIMENSIONS ARE APPROXIMATE, VENTS & ACCESSES SHOULD BE LOCATED WITHIN CONCRETE BLOCKS, DO NOT LOCATE UNDER BEAMS OR ANY OTHER STRUCTURAL LOCATIONS
- VENTS SHOULD BE INSTALLED PER LOCAL CODE
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- NOTCH SILL PLATE AROUND DROPPED BEAM
- FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
- POLY REQ'D IN CRAWL
- GRAVEL REQ'D UNDER GARAGE SLAB
- POLY REQ'D UNDER GARAGE SLAB

SHEET #	PROPERTY OF:	DRAWN BY:	JOB #	THE:	REVISION SCHEDULE		
					REV #	DATE	
F-1	 © COPYRIGHT - 2024 FOUNDATION PLAN	L.N. / DANIEL A.	141-23-019	OXFORD MODERN	2,099 SF		
		JS	2x4 EXTERIOR WALLS	FARMHOUSE-REVISED	2,099 SF		
		PRINTED: 3/11/2024 8:24:40 AM	FOUNDATION TYPE: CRAWL SPACE	JAY & DOMINIQUE	FRONT PORCH	17 SF	
				MCMMAHL	GARAGE	557 SF	
				10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC	UNFINISHED BONUS ROOM	231 SF	
				OFFICE: FAYETTEVILLE	TOTAL UNDER ROOF	805 SF	
		SOLD BY: A. VIRT	STANDARD STOOP	20 SF			
			TOTAL UNCOVERED	20 SF			

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

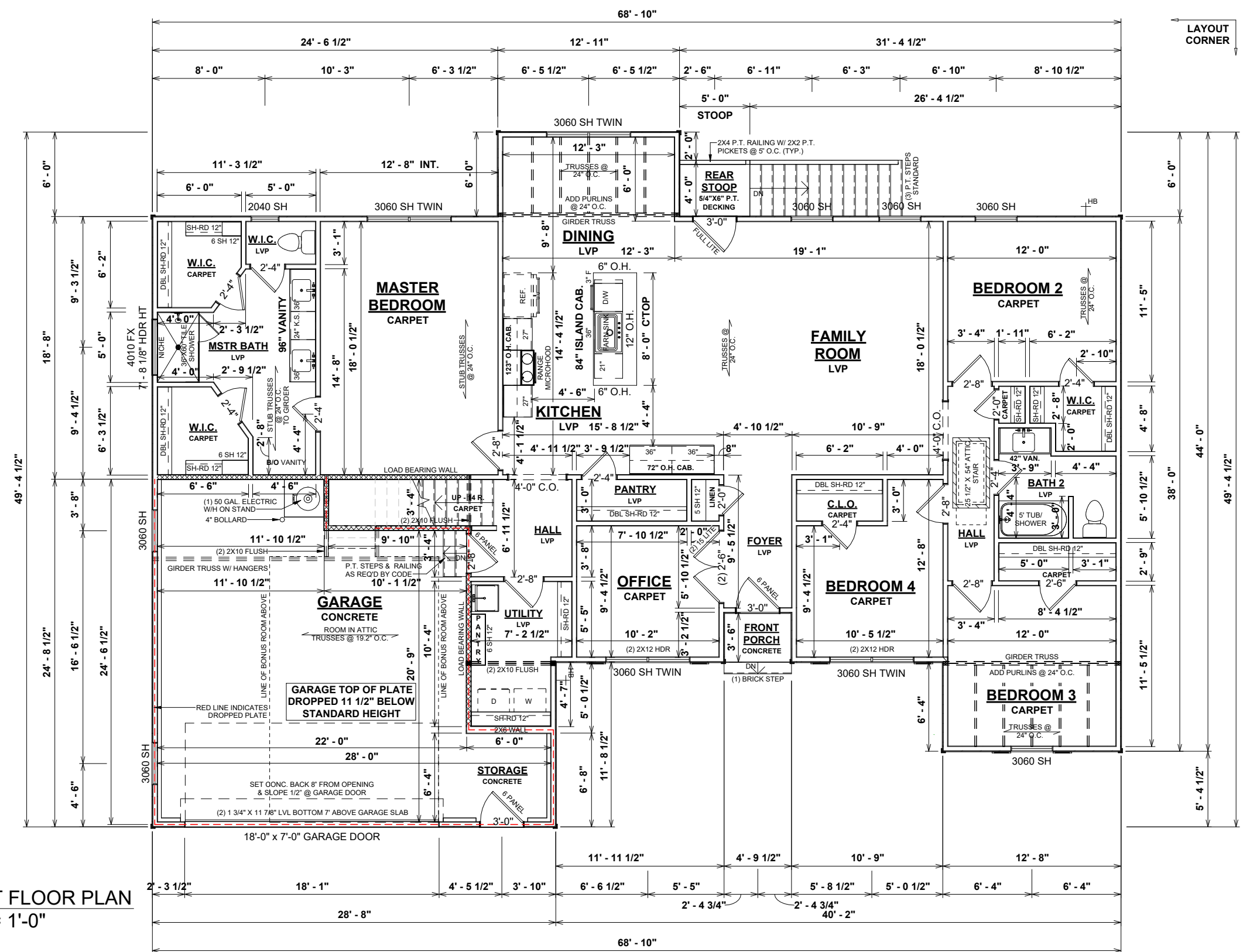
**FINAL CONSTRUCTION PLANS**

PAPER SIZE: 11" x 17"

SCALE: 1/8" = 1'-0"



1 FIRST FLOOR PLAN  
1/8" = 1'-0"

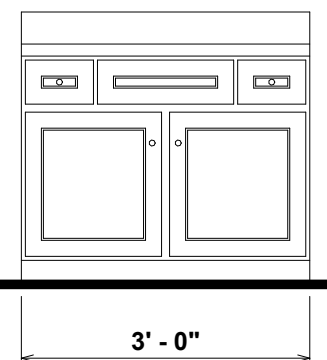


**GENERAL NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR - 8'-1 1/8" ON SECOND FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS NOTED OTHERWISE
- HEADERS FOR WINDOWS ABOVE KITCHEN COUNTERTOPS TO BE FRAMED DOWN 1'-5" FROM T.O.P.
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. - SECOND FLOOR WINDOWS 1'-2" FROM T.O.P. UNLESS NOTED OTHERWISE
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:  
SINGLE - 68"  
DOUBLE - 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" ABOVE FINISHED GRADE

**SPECIAL NOTES:**

- 5" GLASS PIVOT DOOR IN MASTER SHOWER
- INTERIOR DOOR STYLE TO BE SANTA FE



2 891.1 36" VANITY ELEVATION  
1/2" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

REVISION SCHEDULE		REV #	DESCRIPTION	DATE
		2,099 SF		
		2,099 SF		
		17 SF		
		557 SF		
		231 SF		
		805 SF		
		2,903 SF		
		20 SF		
		20 SF		

AREAS:	FIRST FLOOR HEATED	FRONT PORCH	GARAGE	UNFINISHED BONUS ROOM	TOTAL UNDER ROOF	STANDARD STOOP	TOTAL UNCOVERED
	2,099 SF	17 SF	557 SF	231 SF	805 SF	20 SF	20 SF

THE:	<b>OXFORD MODERN FARMHOUSE-REVISED</b>
FOR:	<b>JAY &amp; DOMINIQUE MCMAHLL</b>
FOUNDATION TYPE:	CRAWL SPACE
JOB #	141-23-019
2X4 EXTERIOR WALLS	
FOUNDATION TYPE:	CRAWL SPACE
10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC	
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

PROPERTY OF:	
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CHECKED BY:	JS
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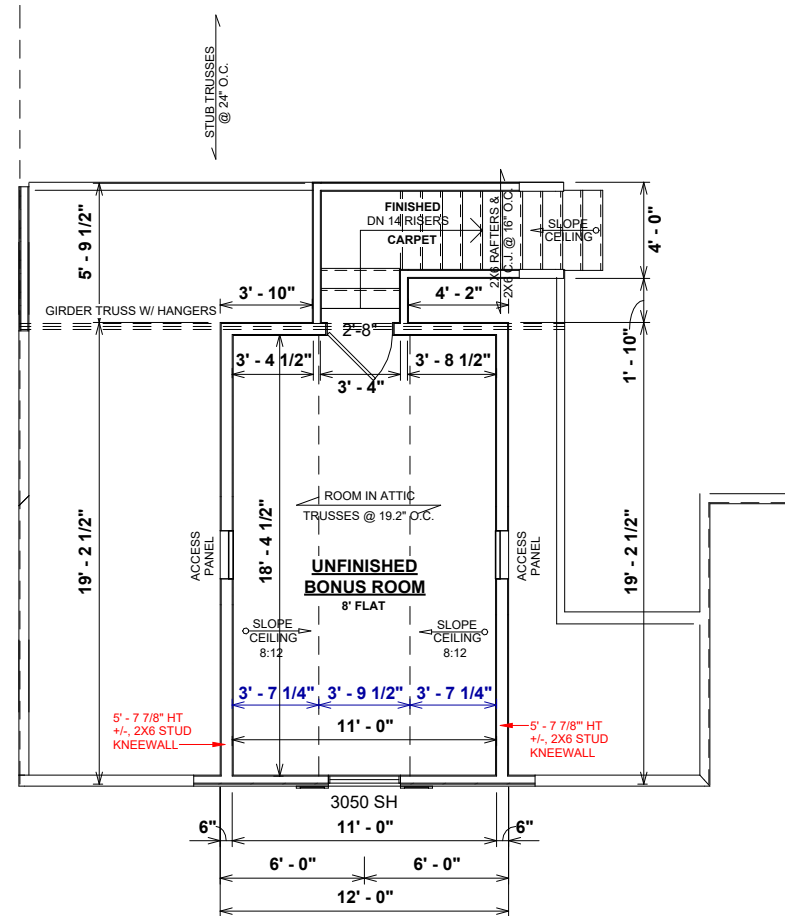
  

SHEET #	<b>F-2</b>
SCALE:	As indicated
<b>FIRST FLOOR PLAN</b>	

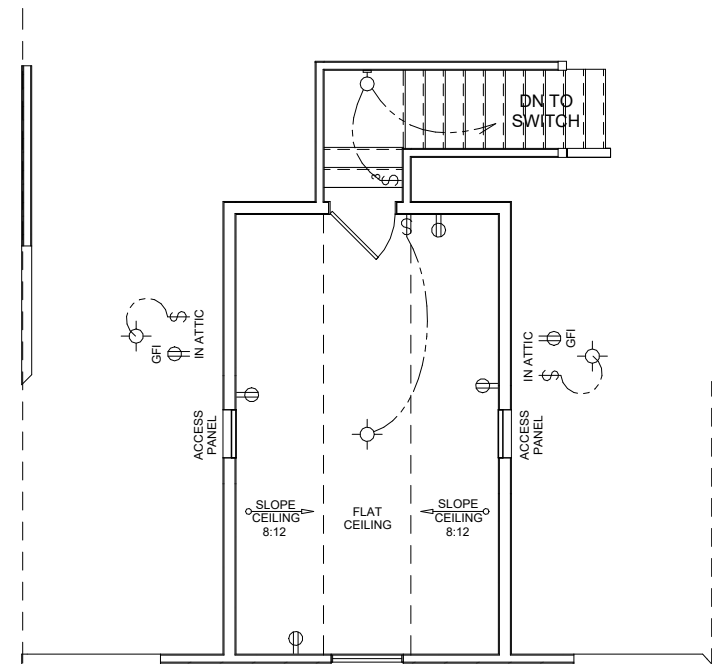
ELECTRICAL LEGEND	
<b>LIGHT FIXTURES</b>	
CEILING FAN	
CEILING MOUNT	
COACH / SCONCE	
EXHAUST FAN	
EXHAUST FAN W/ LIGHT	
EXTERIOR FLOOD	
FLUORESCENT - CEILING	
FLUORESCENT - WALL	
LED DISC	
PENDANT	
RECESSED CAN	
RECESSED EYEBALL CAN	
UNDER / OVER CABINET LIGHT	
VANITY	
<b>ELECTRICAL FIXTURES</b>	
DOOR BELL BUTTON	
DOOR BELL CHIME	
GARAGE DOOR OPENER	
MEDIA	
OUTLET	
OUTLET - CEILING	
OUTLET - FLOOR	
OUTLET - GFI	
OUTLET - 220v	
SWITCH	
SWITCH - DIMMER	
SMOKE & CARBON DETECTOR	
SMOKE DETECTOR	
THERMOSTAT	

**ELECTRICAL NOTES:**

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE AND WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED



1 FINISHED BONUS ROOM PLAN  
1/8" = 1'-0"



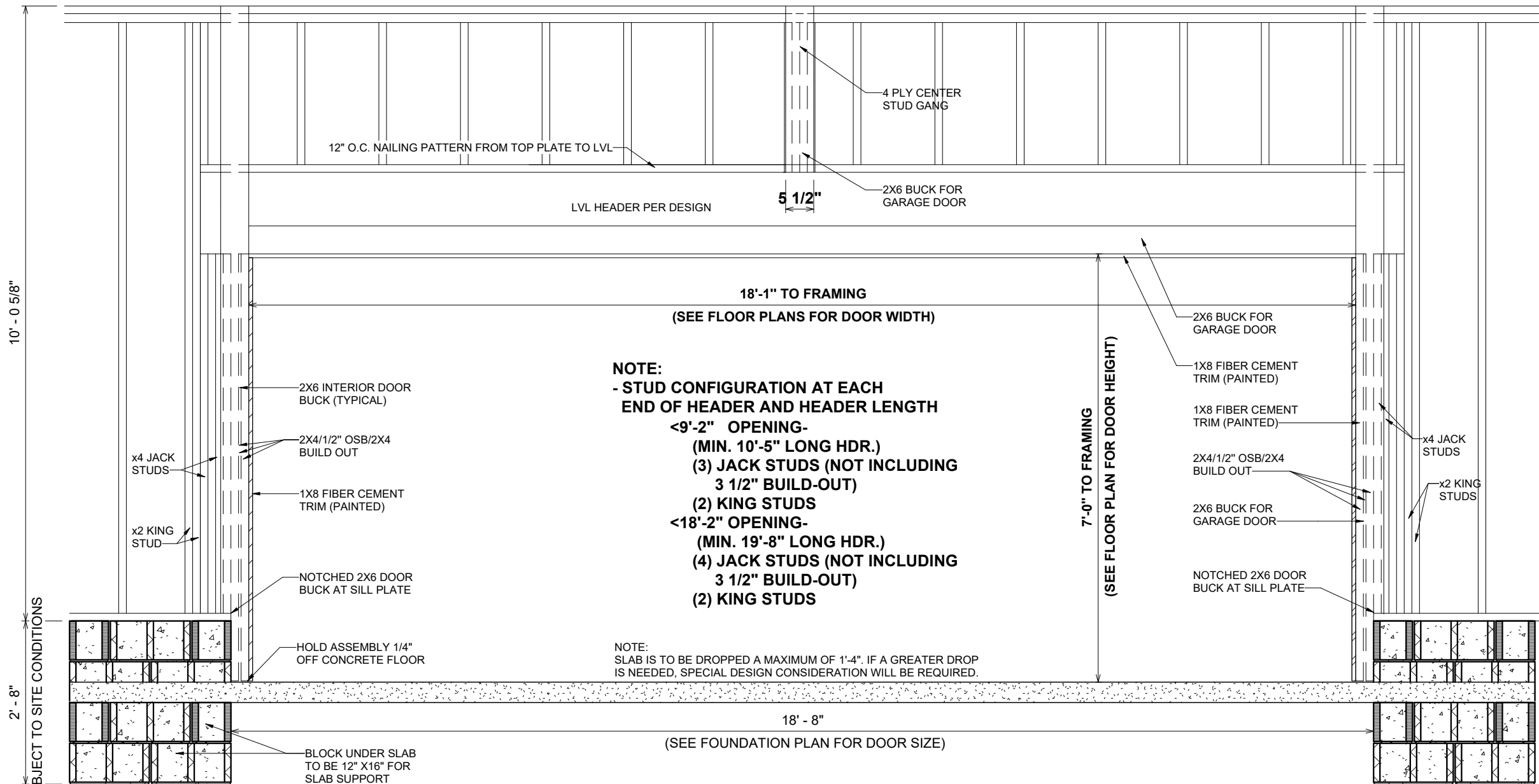
2 FINISHED BONUS ROOM PLAN  
1/8" = 1'-0"

SHEET #	PROPERTY OF:	DRAWN BY:	JOB #	THE:	REVISION SCHEDULE	
					REV #	DESCRIPTION
F-3	 © COPYRIGHT - 2024	L.N. / DANIEL A.	141-23-019	OXFORD MODERN FARMHOUSE-REVISED	2,099 SF	DATE
					2,099 SF	
		CHECKED BY: JS	2x4 EXTERIOR WALLS	JAY & DOMINIQUE MCMHAHL	FRONT PORCH	DESCRIPTION
		PRINTED: 3/11/2024 8:24:43 AM	FOUNDATION TYPE: CRAWL SPACE	10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC	17 SF	DATE
					UNFINISHED BONUS ROOM	
					805 SF	
					TOTAL UNDER ROOF	
					2,903 SF	
					STANDARD STOOP	
					20 SF	
					TOTAL UNCOVERED	
					20 SF	

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

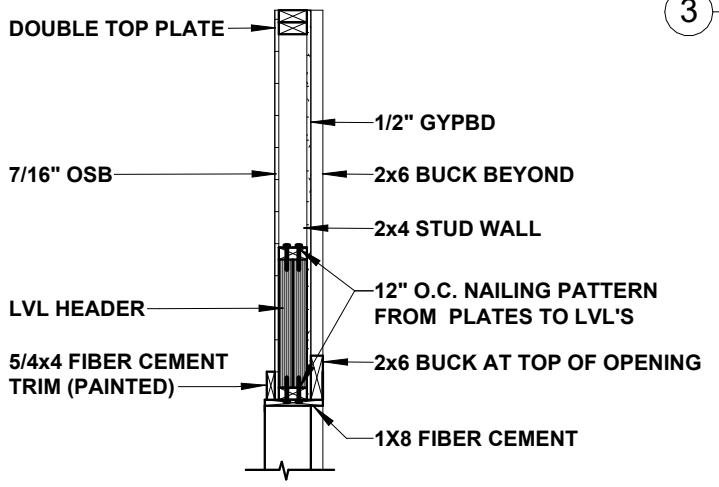
**FINAL CONSTRUCTION PLANS**



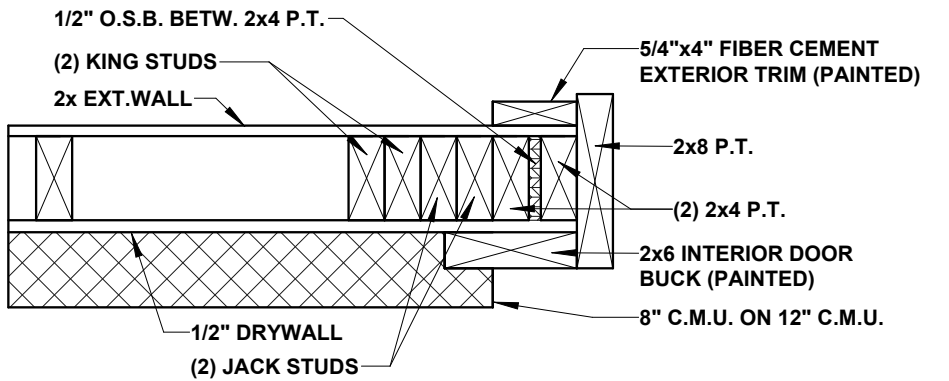


**NOTE:**  
**- STUD CONFIGURATION AT EACH END OF HEADER AND HEADER LENGTH**  
**<9'-2" OPENING-**  
 (MIN. 10'-5" LONG HDR.)  
 (3) JACK STUDS (NOT INCLUDING 3 1/2" BUILD-OUT)  
 (2) KING STUDS  
**<18'-2" OPENING-**  
 (MIN. 19'-8" LONG HDR.)  
 (4) JACK STUDS (NOT INCLUDING 3 1/2" BUILD-OUT)  
 (2) KING STUDS

**NOTE:**  
 SLAB IS TO BE DROPPED A MAXIMUM OF 1'-4". IF A GREATER DROP IS NEEDED, SPECIAL DESIGN CONSIDERATION WILL BE REQUIRED.



**1** GARAGE DOOR WALL SECTION AT HEADER  
 1/2" = 1'-0"



**2** GARAGE DOOR JAMB FRAMING  
 1 1/2" = 1'-0"

**3** 500.5 GARAGE DOOR FRAMING DETAL - 2 Block - DROPPED HEADER  
 1/2" = 1'-0"

REVISION SCHEDULE		REV #	DESCRIPTION	DATE
AREAS:		FIRST FLOOR HEATED	2,099 SF	
		FRONT PORCH GARAGE	2,099 SF	
		UNFINISHED BONUS ROOM	17 SF	
		TOTAL UNDER ROOF	557 SF	
		STANDARD STOOP	231 SF	
		TOTAL UNCOVERED	805 SF	
			2,903 SF	
			20 SF	
			20 SF	

THE:	OXFORD MODERN
FOR:	FARMHOUSE-REVISED
	JAY & DOMINIQUE
	MCMHAHL
FOR:	10 STEPHEN NORRIS LANE COATS NC
	27521 HARNETT - NC
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #	141-23-019
FOUNDATION TYPE:	CRAWL SPACE
FOUNDATION TYPE:	CRAWL SPACE
FOUNDATION TYPE:	CRAWL SPACE

DRAWN BY:	L.N. / DANIEL A.
CHECKED BY:	JS
PRINTED:	3/11/2024 8:24:43 AM

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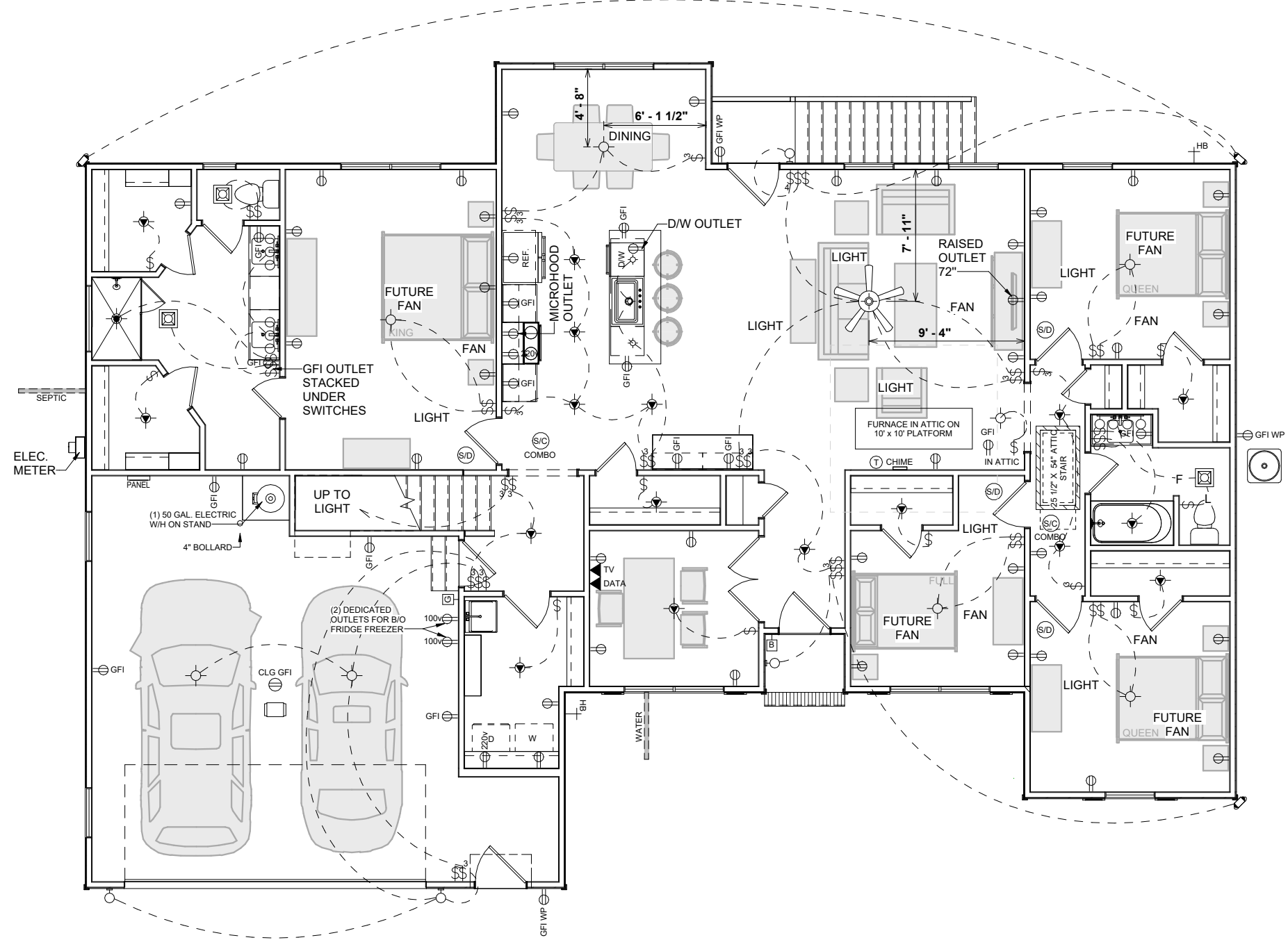
SHEET #	GD-1
	GARAGE DOOR DETAILS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%  
**FINAL CONSTRUCTION PLANS**

ELECTRICAL LEGEND	
<b>LIGHT FIXTURES</b>	
CEILING FAN	
CEILING MOUNT	
COACH / SCNCE	
EXHAUST FAN	
EXHAUST FAN W/ LIGHT	
EXTERIOR FLOOD	
FLUORESCENT - CEILING	
FLUORESCENT - WALL	
LED DISC	
PENDANT	
RECESSED CAN	
RECESSED EYEBALL CAN	
UNDER / OVER CABINET LIGHT	
VANITY	
<b>ELECTRICAL FIXTURES</b>	
DOOR BELL BUTTON	
DOOR BELL CHIME	
GARAGE DOOR OPENER	
MEDIA	
OUTLET	
OUTLET - CEILING	
OUTLET - FLOOR	
OUTLET - GFI	
OUTLET - 220v	
SWITCH	
SWITCH - DIMMER	
SMOKE & CARBON DETECTOR	
SMOKE DETECTOR	
THERMOSTAT	

**ELECTRICAL NOTES:**

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE AND WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED



1 FIRST FLOOR ELEC & HVAC PLAN  
1/8" = 1'-0"

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	
FIRST FLOOR HEATED	2,099 SF
FRONT PORCH	2,099 SF
GARAGE	17 SF
UNFINISHED BONUS ROOM	557 SF
TOTAL UNDER ROOF	231 SF
STANDARD STOOP	805 SF
TOTAL UNCOVERED	2,903 SF

THE:	OXFORD MODERN FARMHOUSE-REVISED
FOR:	JAY & DOMINIQUE MCMAHLL
ADDRESS:	10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC
OFFICE:	FAYETTEVILLE
OFFICE BY:	A. VIRT

JOB #	141-23-019
FOUNDATION TYPE:	CRAWL SPACE
2X4 EXTERIOR WALLS	

DRAWN BY:	L.N. / DANIEL A.
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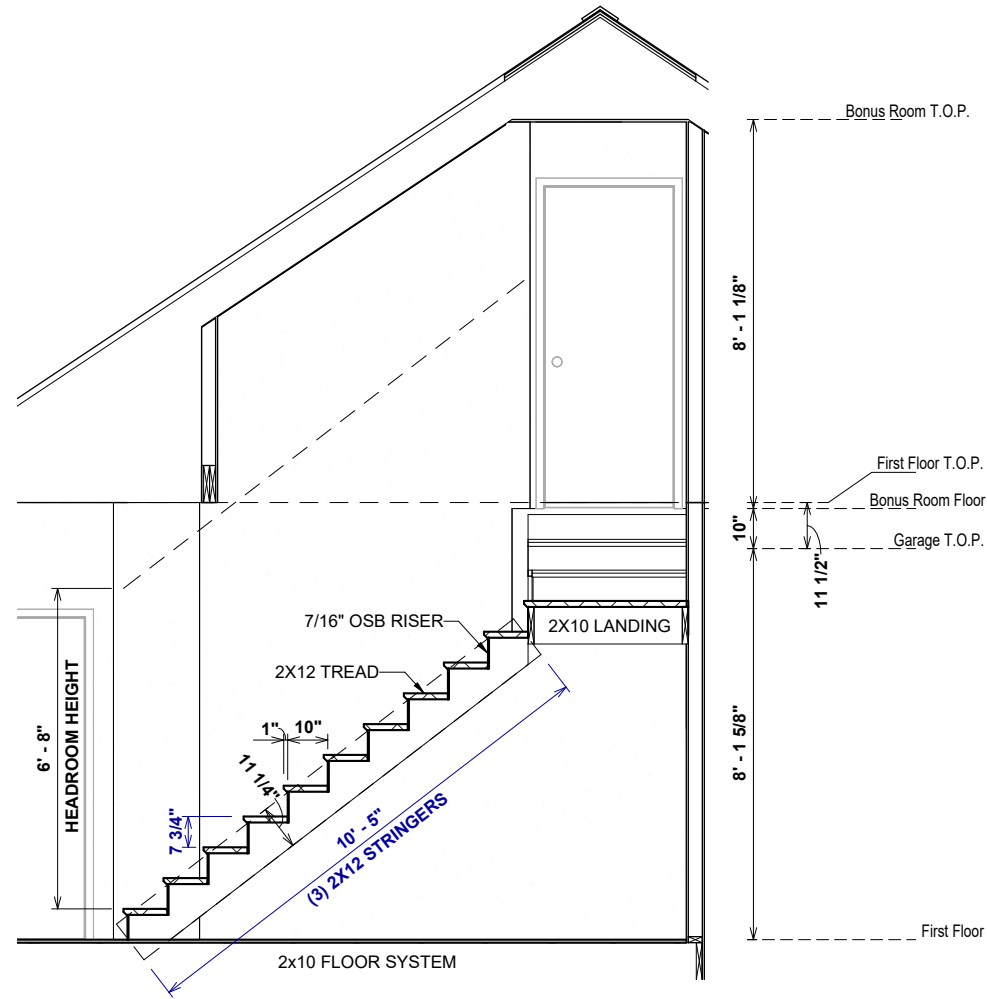
  

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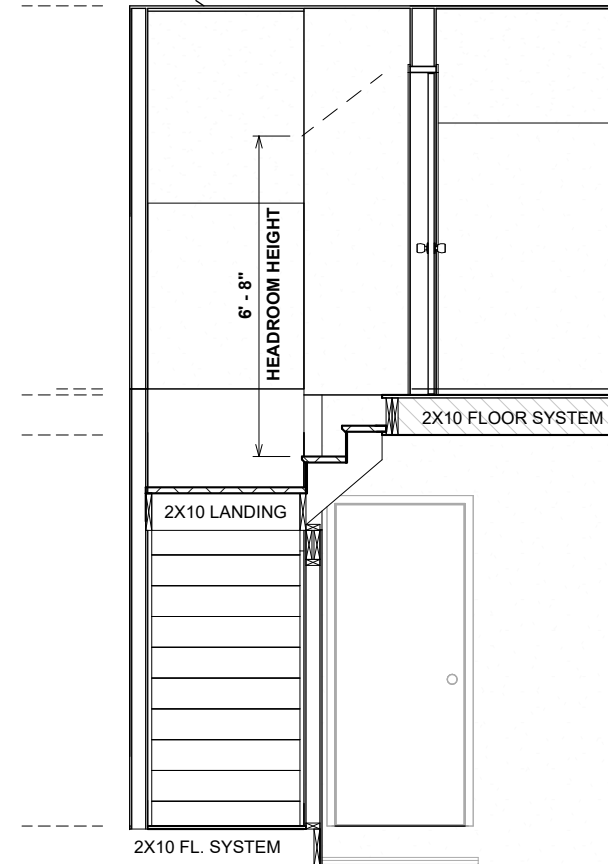
  

SHEET #	H-1
FINAL CONSTRUCTION PLANS	





2 STAIR SECTION DETAIL 1  
1/4" = 1'-0"

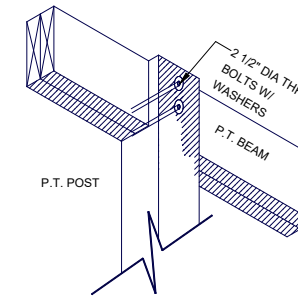
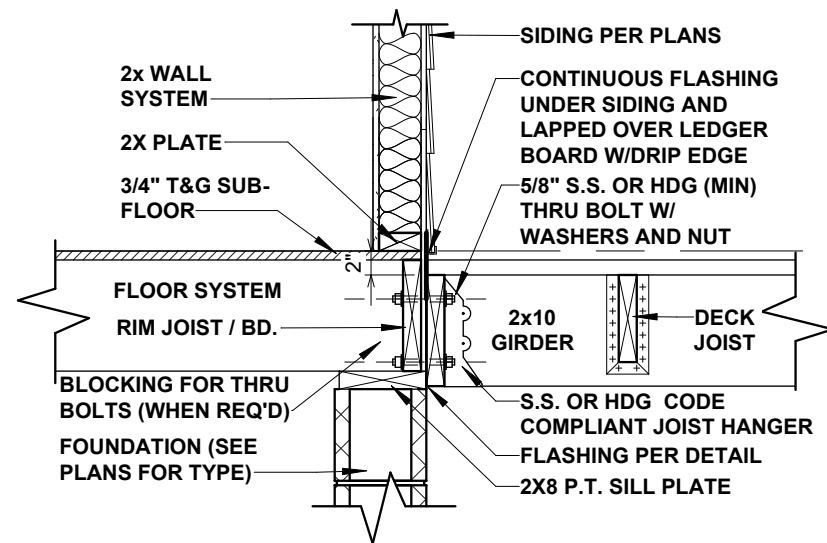


3 STAIR SECTION DETAIL 2  
1/4" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

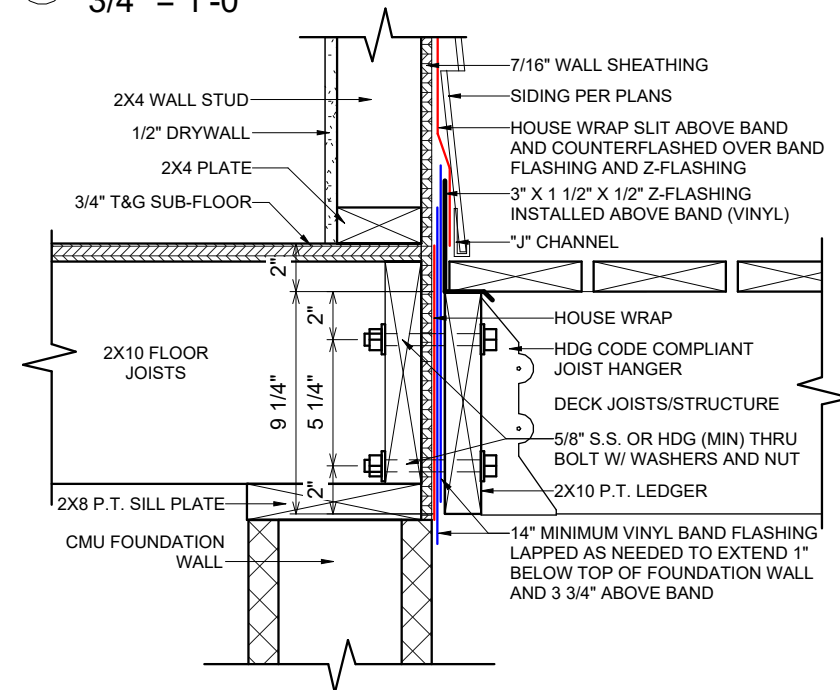
FINAL CONSTRUCTION PLANS

SHEET #		PROPERTY OF:		DRAWN BY:		JOB #		THE:		AREAS:		REVISION SCHEDULE	
S-2		 © COPYRIGHT - 2024		L.N. / DANIEL A.		141-23-019		<b>OXFORD MODERN FARMHOUSE-REVISED</b> <b>JAY &amp; DOMINIQUE</b> <b>MCMMAHL</b>		FIRST FLOOR HEATED 2,099 SF FRONT PORCH 2,099 SF GARAGE 17 SF UNFINISHED BONUS ROOM 557 SF UNFINISHED BONUS ROOM 231 SF TOTAL UNDER ROOF 805 SF STANDARD STOOP 2,903 SF TOTAL UNCOVERED 20 SF		REV # DESCRIPTION DATE	
				CHECKED BY: JS		2x4 EXTERIOR WALLS		FOR: 10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC					
				PRINTED: 3/11/2024 8:24:46 AM		FOUNDATION TYPE: CRAWL SPACE		OFFICE: FAYETTEVILLE					
								SOLD BY: A. VIRT					



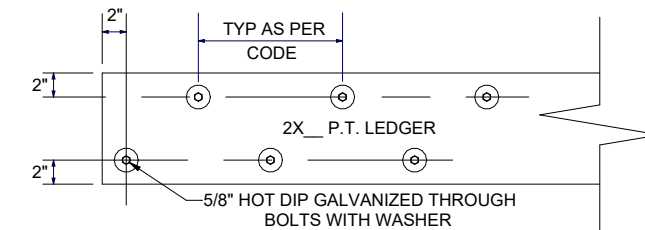
**POST TO BEAM CONNECTION1**

**1 87-0.6-DECK LEDGER CONNECTION**  
3/4" = 1'-0"



FASTNERS	8' MAX. JOIST SPAN	16' MAX. JOIST SPAN
5/8" HOT DIPPED GALV. BOLTS WITH NUT AND WASHER	1 @ 3'-6" O.C.	1 @ 1'-8" O.C.
AND	AND	AND
12 D COMMON HOT DIPPED GALV. NAILS	2 @ 8" O.C.	3 @ 6" O.C.

AM104.1.1 ALL STRUCTURES EXCEPT BRICK VENEER STRUCTURES



**LEDGER BOARD AND FASTENER DETAIL1**

**2 87-480.2 PORCH LEDGER FLASHING**  
1 1/2" = 1'-0"

REVISION SCHEDULE	REV #	DESCRIPTION	DATE
AREAS:			
FIRST FLOOR HEATED	2,099 SF		
FRONT PORCH	2,099 SF		
GARAGE	17 SF		
UNFINISHED BONUS ROOM	557 SF		
TOTAL UNDER ROOF	231 SF		
STANDARD STOOP	805 SF		
TOTAL UNCOVERED	2,903 SF		

THE: **OXFORD MODERN**  
**FARMHOUSE-REVISED**  
 FOR: **JAY & DOMINIQUE**  
**MCMMAHL**  
 10 STEPHEN NORRIS LANE COATS NC  
 27521 HARNETT - NC  
 OFFICE: **FAYETTEVILLE**  
 SOLD BY: **A. VIRT**

JOB # **141-23-019**  
**2X4 EXTERIOR WALLS**  
 FOUNDATION TYPE: **CRAWL SPACE**  
 DRAWN BY: **L.N. / DANIEL A.**  
 CHECKED BY: **JS**  
 PRINTED: **3/11/2024 8:24:47 AM**



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 SHEET # **S-3**  
**STANDARD DECK DETAILS**

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

ROUGH OPENINGS FOR PLY-GEM VINYL S/H WINDOWS

SINGLE WINDOW UNITS		
CALL SIZE	ACTUAL SIZE	ROUGH OPENING SIZE
2-0 X 3-0	23 1/2" X 35 1/2"	24" X 36"
2-0 X 4-0	23 1/2" X 47 1/2"	24" X 48"
2-8 X 4-0	31 1/2" X 47 1/2"	32" X 48"
2-8 X 5-0	31 1/2" X 59 1/2"	32" X 60"
2-8 X 6-0	31 1/2" X 71 1/2"	32" X 72"
3-0 X 3-0	35 1/2" X 35 1/2"	36" X 36"
3-0 X 4-0	35 1/2" X 47 1/2"	36" X 48"
3-0 X 5-0	35 1/2" X 59 1/2"	36" X 60"
3-0 X 5-2	35 1/2" X 61 1/2"	36" X 62"
3-0 X 6-0	35 1/2" X 71 1/2"	36" X 72"
3-0 X 6-2	35 1/2" X 73 1/2"	36" X 74"
3-4 X 4-0	39 1/2" X 47 1/2"	40" X 48"
4-0 X 4-0	47 1/2" X 47 1/2"	48" X 48"

TWIN/TRIPLE WINDOW UNITS		
2-8 X 5-0 TWIN	63 1/2" X 59 1/2"	64" X 60"
2-8 X 6-0 TWIN	63 1/2" X 71 1/2"	64" X 72"
3-0 X 5-0 TWIN	71 1/2" X 59 1/2"	72" X 60"
3-0 X 6-0 TWIN	71 1/2" X 71 1/2"	72" X 72"
3-0 X 5-0 TRIPLE	107 1/2" X 59 1/2"	108" X 60"
3-0 X 6-0 TRIPLE	107 1/2" X 71 1/2"	108" X 72"
1-8 / 3-0 / 1-8 X 6-0	75 1/2" X 71 1/2"	76" X 72"
2-0 / 3-0 / 2-0 X 6-0	83 1/2" X 71 1/2"	84" X 72"

TRANSOM WINDOW UNITS	
3-0 HALF-ROUND (18" TALL)	CALL SIZE + 18" TO HGT. OF WINDOW
12" TRANSOM	CALL SIZE + 12" TO HGT. OF WINDOW
2-8 ARCH TRAN. (14" TALL)	CALL SIZE + 14" TO HGT. OF WINDOW
3-0 ARCH TRAN. (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 HALF-ROUND (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW

SPECIALTY WINDOWS	
4-0 X 5-0 EYEBROW	48" X 60"
3-0 X 4-0 PALLADIAN	36" X 48"
3-0 X 5-0 PALLADIAN	60" X 72"

1. TRANSOM SAMPLE: 3-0 X 6-0 W/ HALF-ROUND TRANSOM. CALL SIZE 3060 + 18" TALL TRANSOM EQUALS A ROUGH OPENING SIZE OF 36" X 90"
2. CALL SUPERINTENDENT FOR ANY WINDOW SIZE THAT IS NOT SHOWN HERE PRIOR TO FRAMING THE OPENING

ROUGH OPENINGS FOR MASONITE ENTRY DOORS

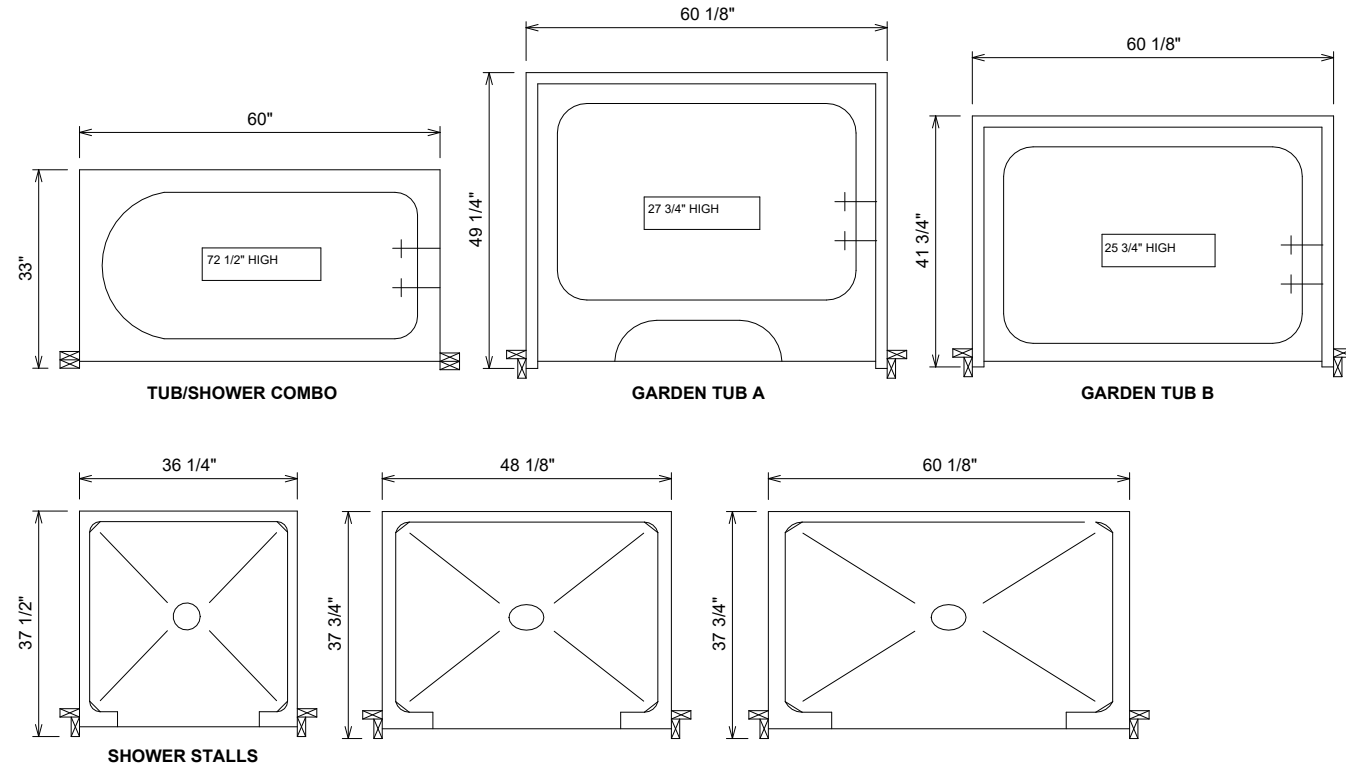
INSWING UNITS	
2-8 X 6-8	34 1/2" X 82 1/2"
3-0 X 6-8	38 1/2" X 82 1/2"
3-0 X 6-8 W/ (2) 12" S.L.	65 1/4" X 82 1/2"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 96"
3-0 X 6-8 W/ (2) 12" S.L. & 12" TRAN.	65 1/4" X 96"

OUTSWING UNITS	
2-8 X 6-8	34 1/2" X 81"
3-0 X 6-8	38 1/2" X 81"
3-0 X 6-8 W (2) 12" S.L.	65 1/4" X 81"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 94 1/2"
3-0 X 6-8 W (2) 12" S.L. & 12" TRAN.	65 1/4" X 94 1/2"

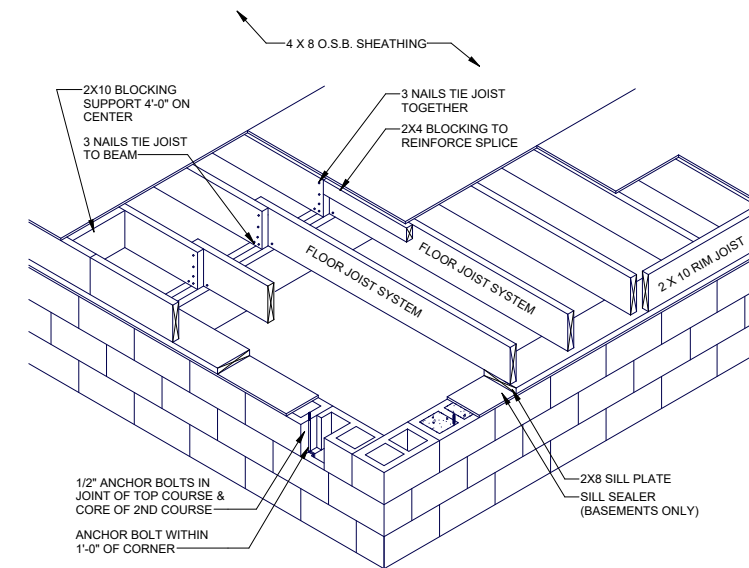
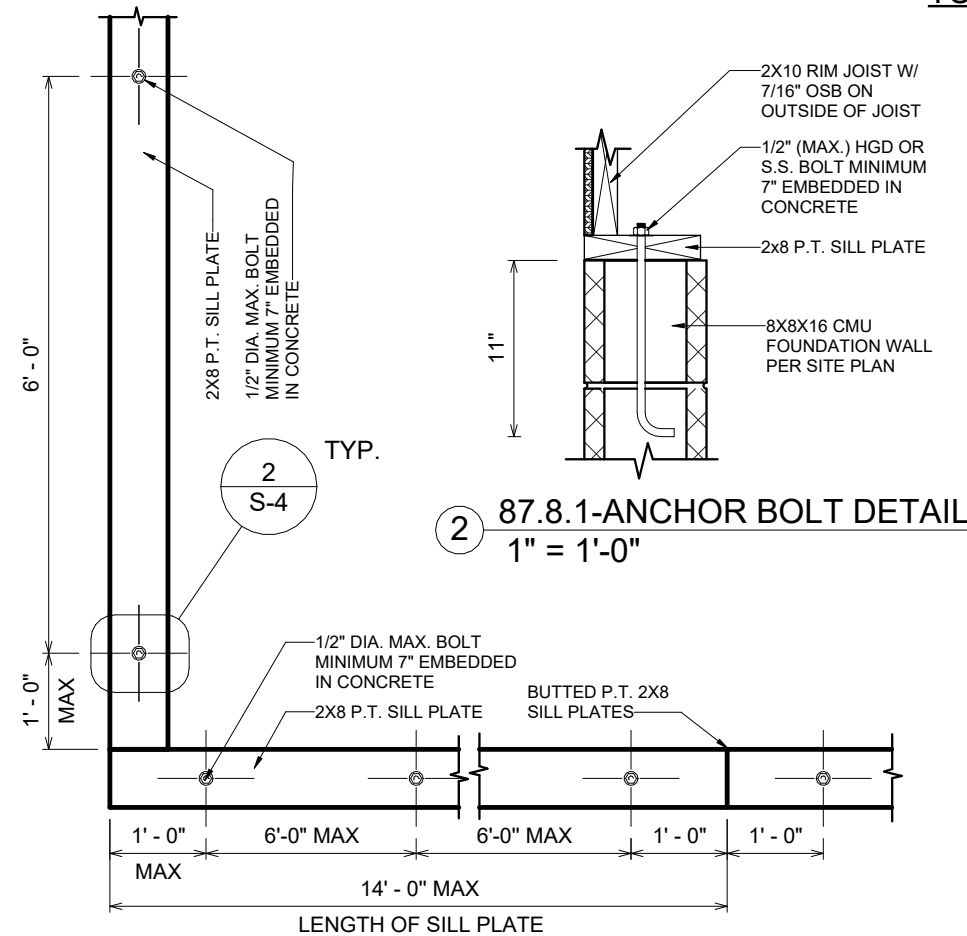
CENTER HINGED/ FRENCH DOOR...	
6-0 X 6-8 CENTER HINGED (INSWING)	75 5/8" X 82 1/2"
6-0 X 6-8 FRENCH (INSWING)	75 1/4" X 82 1/2"
6-0 X 6-8 INSWING W/ 12" TRAN.	75 5/8" X 96"
6-0 X 6-8 FRENCH W/ 12" TRAN.	75 1/4" X 96"

SLIDING GLASS DOORS	
5-0 X 6-8 SLIDER	60 1/4" X 80 1/2"
6-0 X 6-8 SLIDER	72 1/4" X 80 1/2"

\*\*\* FOR OUTSWING DOORS, DEDUCT 1" FROM HEIGHT OF UNIT\*\*\*



TUB DETAILS



- GENERAL NOTES:
- 1.) MINIMUM ALLOWABLE BEARING FOR FLOOR JOIST IS 1 1/2".
  - 2.) ALL REQUIRED NAILING PATTERNS ARE PER PRINT AND/OR SPECS.

FLOOR FRAMING DETAIL

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

PROPERTY OF:		SHEET #	S-4	SCALE: As indicated	FRAMING DETAILS	REVISION SCHEDULE	DATE
						REV #	DESCRIPTION
DRAWN BY:	L.N. / DANIEL A.	CHECKED BY:	JS	PRINTED:	3/11/2024 8:24:48 AM	FIRST FLOOR HEATED	2,099 SF
JOB #	141-23-019	THE:	OXFORD MODERN FARMHOUSE-REVISED	FOR:	JAY & DOMINIQUE MCMHAHL	FRONT PORCH	17 SF
						GARAGE	557 SF
						UNFINISHED BONUS ROOM	231 SF
						TOTAL UNDER ROOF	805 SF
						STANDARD STOOP	20 SF
						TOTAL UNCOVERED	20 SF

10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC  
OFFICE: FAYETTEVILLE  
SOLD BY: A. VIRT