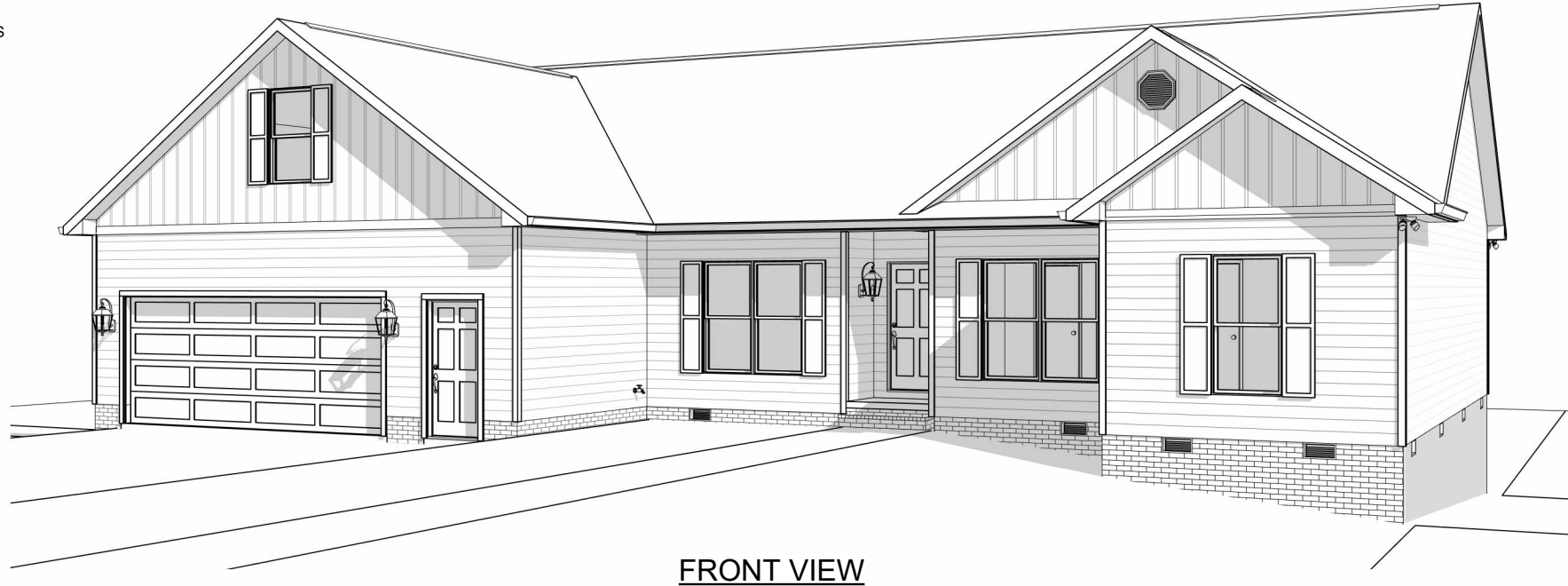


**CONSTRUCTION SHEET LIST**

SHEET NUMBER	SHEET NAME
E-0	COVER SHEET
E-1	FRONT & REAR ELEVATIONS
E-2	LEFT & RIGHT ELEVATIONS
E-3	ROOF OVERVIEW
F-1	FOUNDATION PLAN
F-2	FIRST FLOOR PLAN
F-3	BONUS ROOM FLOOR & ELECTRICAL PLANS
GD-1	GARAGE DOOR DETAILS
H-1	FIRST FLOOR ELECTRICAL PLAN
S-1	BONUS ROOM SECTION
S-2	STAIR SECTION
S-3	STANDARD DECK DETAILS
S-4	FRAMING DETAILS

**ABBREVIATION LEGEND:**

5 SH.	FIVE SHELVES
6 SH.	SIX SHELVES
A.F.F.	ABOVE FINISHED FLOOR
B.C.	BLIND CORNER (CABINET)
C.H.	COMFORT HEIGHT
C.J.	CEILING JOIST
C.M.U.	CONCRETE MASONRY UNIT
C.O.	CASED OPENING
CONC.	CONCRETE
C.R.V.	CONTINUOUS RIDGE VENT
DBL SH-RD	DOUBLE SHELF AND ROD
D.H.	DOUBLE HUNG
DR. or DRR	DRAWER
D.S.	DRAWER SPACE
EVP	ENGINEERED VINYL PLANK
EXT.	EXTERIOR
F.J.	FLOOR JOIST
F.S.	SUPPLY IN FLOOR (HVAC)
FTG.	FOOTING
GYP. BD.	GYPSUM BOARD
H.B.	HOSE BIBB
H.D.G.	HOT DIPPED GALVANIZED
HDWD	HARDWOOD
HDR.	HEADER
HT.	HEIGHT
INT.	INTERIOR
K.S.	KNEE SPACE
KDAT	KILN DRIED AFTER TREATMENT
L.B.W.	LOAD BEARING WALL
L.S.	LAUNDRY SINK or LAZY SUSAN
LVP	LUXURY VINYL PLANK
LVT	LUXURY VINYL TILE
O.C.	ON CENTER
O.H.	OVERHEAD
OPT.	OPTIONAL
O.W.H.	OVER THE WALL HEIGHT
P.T.	PRESSURE TREATED
PANT.	PANTRY
R/A	RETURN AIR (HVAC)
REINF.	REINFORCED
R.O.	ROUGH OPENING
S.C.	SUPPLY IN CEILING (HVAC)
S.D.	SMOKE DETECTOR
SH	SINGLE HUNG
SH-RD	SHELF AND ROD
S.J.	SINGLE JOIST
SM/CO	SMOKE AND CARBON MONOXIDE DETECTOR
SPEC.	SPECIFIED
SPF	SPRUCE/PINE/FIR
S.R.O.	SHEETROCK OPENING
S.Y.P.	SOUTHERN YELLOW PINE
T&G	TONGUE AND GROOVE
TEMP.	TEMPERED
T.O.P.	TOP OF PLATE
TRAP.	TRAPEZOID (WINDOW)
U.N.O.	UNLESS NOTED OTHERWISE
UTIL	UTILITY
VAN.	VANITY
W/H	WATER HEATER
W.H.H.	WINDOW HEADER HEIGHT
W.I.C.	WALK IN CLOSET



**FRONT VIEW**



**REAR VIEW**



**GENERAL NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR - 8'-1 1/8" ON SECOND FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS NOTED OTHERWISE
- HEADERS FOR WINDOWS ABOVE KITCHEN COUNTERTOPS TO BE FRAMED DOWN 1'-5" FROM T.O.P.
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. - SECOND FLOOR WINDOWS 1'-2" FROM T.O.P. UNLESS NOTED OTHERWISE
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:  
SINGLE - 68"  
DOUBLE - 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" ABOVE FINISHED GRADE

**FOUNDATION NOTES**

- TYPICAL FOUNDATION WALL: (2'-8") 4" BRICK W/ 4" BLOCK ON (2) 8" BASE BLOCK - ON TOP OF 16" x 8"d POURED CONCRETE FOOTING
- CRAWL SPACE ACCESS TO BE 42" WIDE
- ADD LIGHT AND SWITCH UNDER FLOOR NEAR ACCESS
- CRAWL SPACE VENT & ACCESS DIMENSIONS ARE APPROXIMATE, VENTS & ACCESSES SHOULD BE LOCATED WITHIN CONCRETE BLOCKS, DO NOT LOCATE UNDER BEAMS OR ANY OTHER STRUCTURAL LOCATIONS
- VENTS SHOULD BE INSTALLED PER LOCAL CODE
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- NOTCH SILL PLATE AROUND DROPPED BEAM
- FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
- POLY REQ'D IN CRAWL
- GRAVEL REQ'D UNDER GARAGE SLAB
- POLY REQ'D UNDER GARAGE SLAB

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

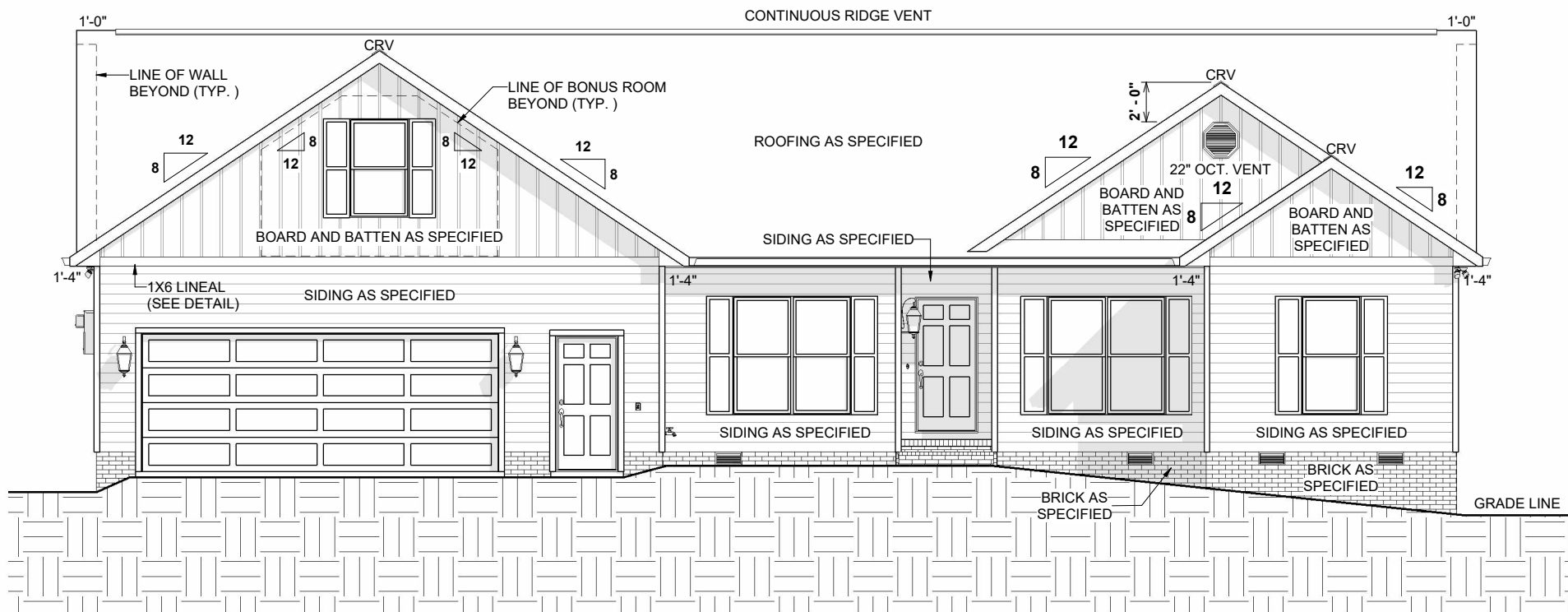
REVISION SCHEDULE	REV #	DESCRIPTION	DATE

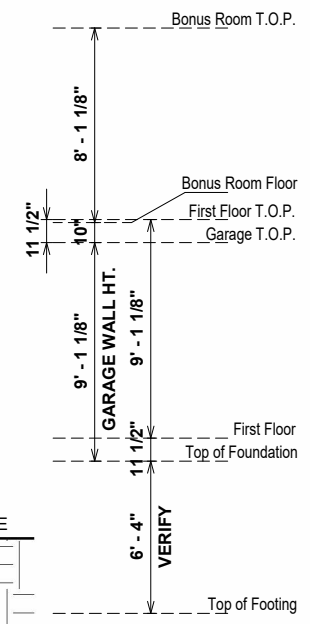
AREAS:	REV #	DESCRIPTION	DATE
	FIRST FLOOR HEATED	2,099 SF	
FRONT PORCH	17 SF		
GARAGE	557 SF		
UNFINISHED BONUS ROOM	231 SF		
TOTAL UNDER ROOF	2,903 SF		
STANDARD STOOP	20 SF		
TOTAL UNCOVERED	20 SF		

<b>THE:</b> OXFORD MODERN FARMHOUSE-REVISED	<b>JOB #:</b> 141-23-019	<b>DRAWN BY:</b> L.N. / DANIEL A.	<b>PROPERTY OF:</b> AMERICA'S HOME PLACE
<b>FOR:</b> JAY & DOMINIQUE MCMAHLL	<b>2x4 EXTERIOR WALLS</b>	<b>CHECKED BY:</b> JS	<b>AMERICA'S HOME PLACE</b>
<b>10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC</b>	<b>FOUNDATION TYPE:</b> CRAWL SPACE	<b>PRINTED:</b> 3/1/2024 8:24:32 AM	<b>© COPYRIGHT - 2024</b>
<b>OFFICE:</b> FAYETTEVILLE			<b>COVER SHEET</b>

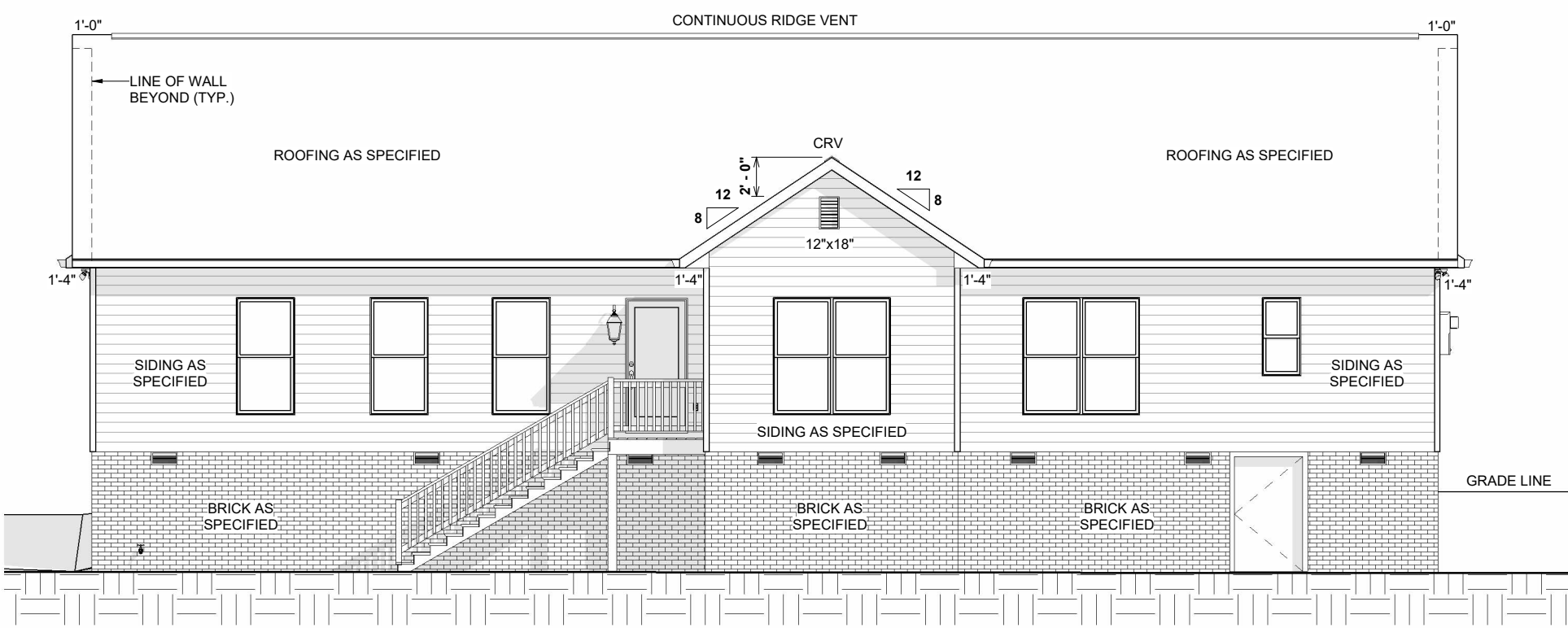


1 FRONT ELEVATION  
1/8" = 1'-0"

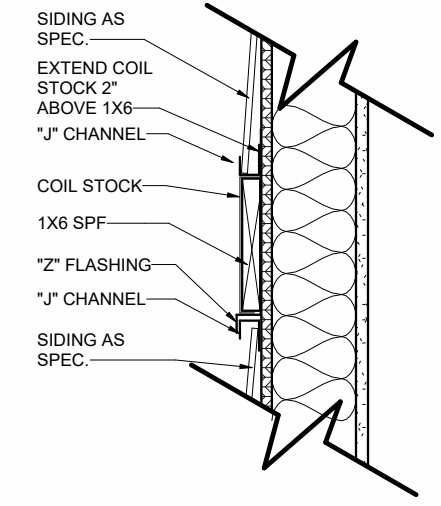
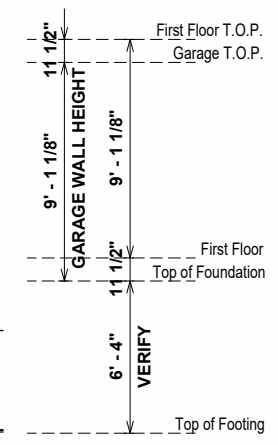


- ELEVATION NOTES:**
- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR - 8'-1 1/8" ON SECOND FLOOR
  - 7/16" O.S.B AND HOUSEWRAP REQUIRED
  - ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
  - FINAL GRADE TO BE DETERMINED ON SITE
  - FOUNDATION DRAWN AS REPRESENTATION ONLY

8:12 O.W.H. = 7 1/4"  
UNLESS OTHERWISE NOTED ON ROOF OVERVIEW



2 REAR ELEVATION  
1/8" = 1'-0"



3 LINEAL BAND DETAIL  
1 1/2" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

REVISION SCHEDULE		REV #	DESCRIPTION	DATE
AREAS:		FIRST FLOOR HEATED	2,099 SF	
		FRONT PORCH	2,099 SF	
		GARAGE	17 SF	
		UNFINISHED BONUS ROOM	557 SF	
		TOTAL UNDER ROOF	231 SF	
		STANDARD STOOP	805 SF	
		TOTAL UNCOVERED	2,903 SF	
			20 SF	
			20 SF	

THE:	<b>OXFORD MODERN</b>
FOR:	<b>FARMHOUSE-REVISED</b>
FOR:	<b>JAY &amp; DOMINIQUE</b>
FOR:	<b>MCMHAHL</b>
FOR:	10 STEPHEN NORRIS LANE COATS NC
FOR:	27521 HARNETT - NC
OFFICE:	FAYETTEVILLE
OFFICE:	A. VIRT

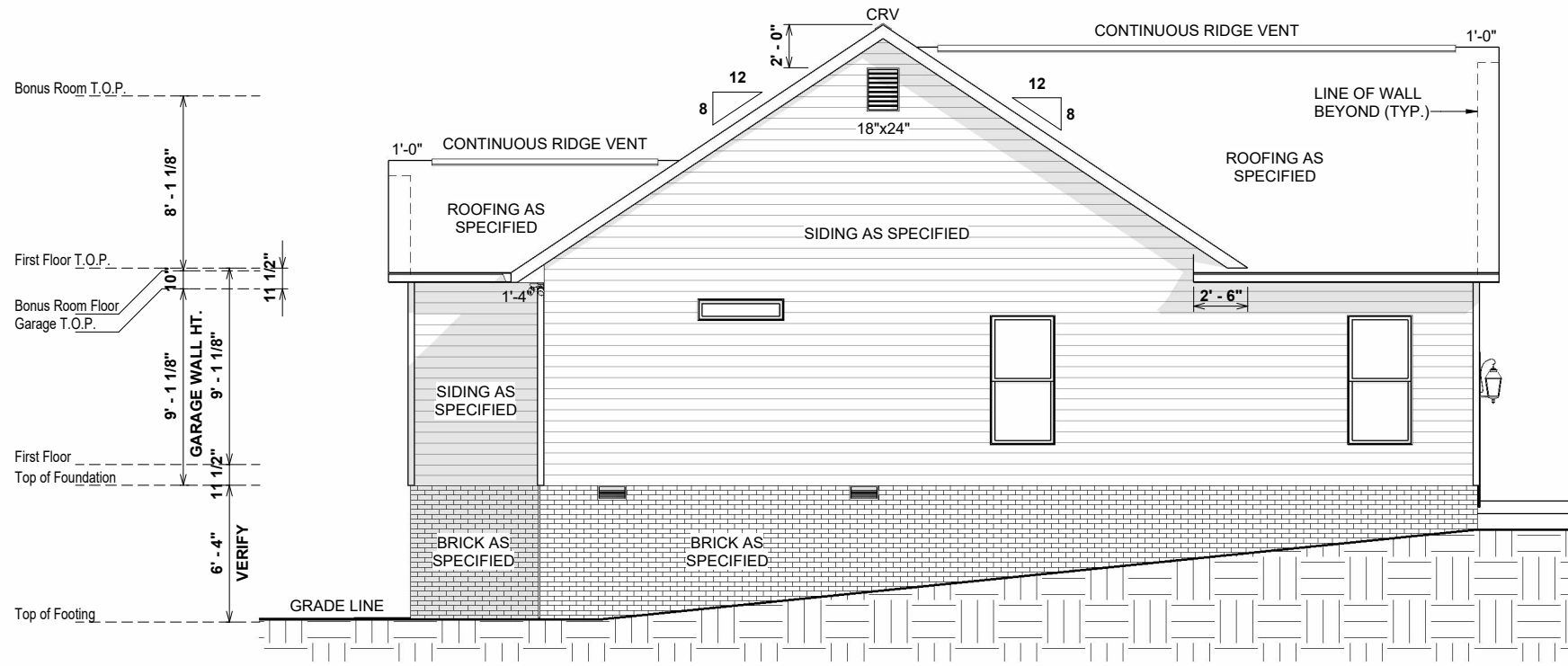
JOB #	141-23-019
FOUNDATION TYPE:	CRAWL SPACE
FOUNDATION TYPE:	CRAWL SPACE
FOUNDATION TYPE:	CRAWL SPACE

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PROPERTY OF:	AMERICA'S HOME PLACE
PROPERTY OF:	© COPYRIGHT - 2024
PROPERTY OF:	FRONT & REAR ELEVATIONS

SHEET #	E-1
SCALE:	As indicated



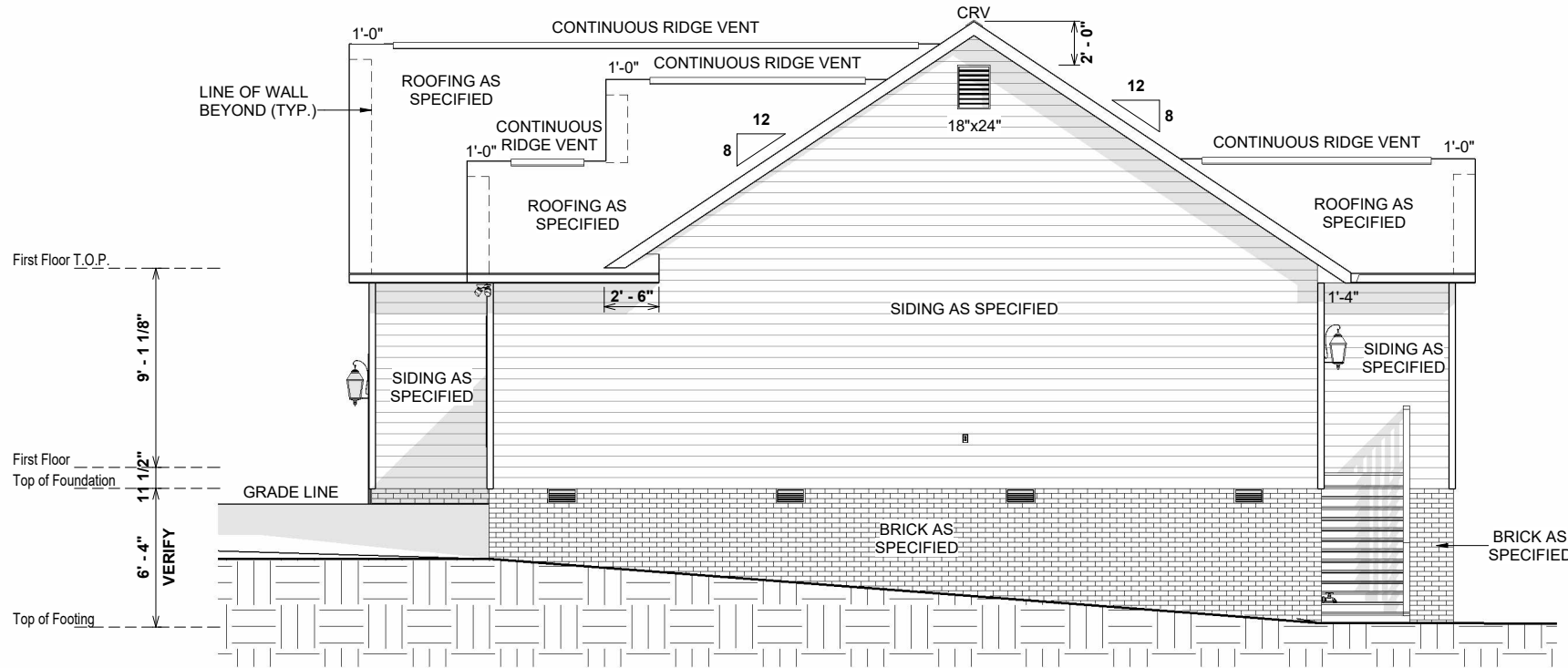
1 LEFT ELEVATION  
1/8" = 1'-0"

**ELEVATION NOTES:**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR - 8'-1 1/8" ON SECOND FLOOR
- 7/16" O.S.B AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
- FINAL GRADE TO BE DETERMINED ON SITE
- FOUNDATION DRAWN AS REPRESENTATION ONLY

8:12 O.W.H. = 7 1/4"

UNLESS OTHERWISE NOTED ON ROOF OVERVIEW



2 RIGHT ELEVATION  
1/8" = 1'-0"

REVISION SCHEDULE		REV #	DESCRIPTION	DATE
AREAS:	FIRST FLOOR HEATED	2,099 SF		
	FRONT PORCH	2,099 SF		
	GARAGE	17 SF		
	UNFINISHED BONUS ROOM	557 SF		
	TOTAL UNDER ROOF	231 SF		
	STANDARD STOOP	805 SF		
	TOTAL UNCOVERED	2,903 SF		

THE:	OXFORD MODERN FARMHOUSE-REVISED
FOR:	JAY & DOMINIQUE MCMAHLL
ADDRESS:	10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #	141-23-019
FOUNDATION TYPE:	CRAWL SPACE
FOUNDATION TYPE:	CRAWL SPACE
FOUNDATION TYPE:	CRAWL SPACE

DRAWN BY:	L.N. / DANIEL A.
CHECKED BY:	JS
PRINTED:	3/11/2024 8:24:38 AM

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SHEET #	E-2
SCALE:	As indicated

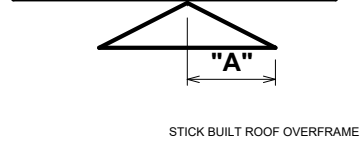
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

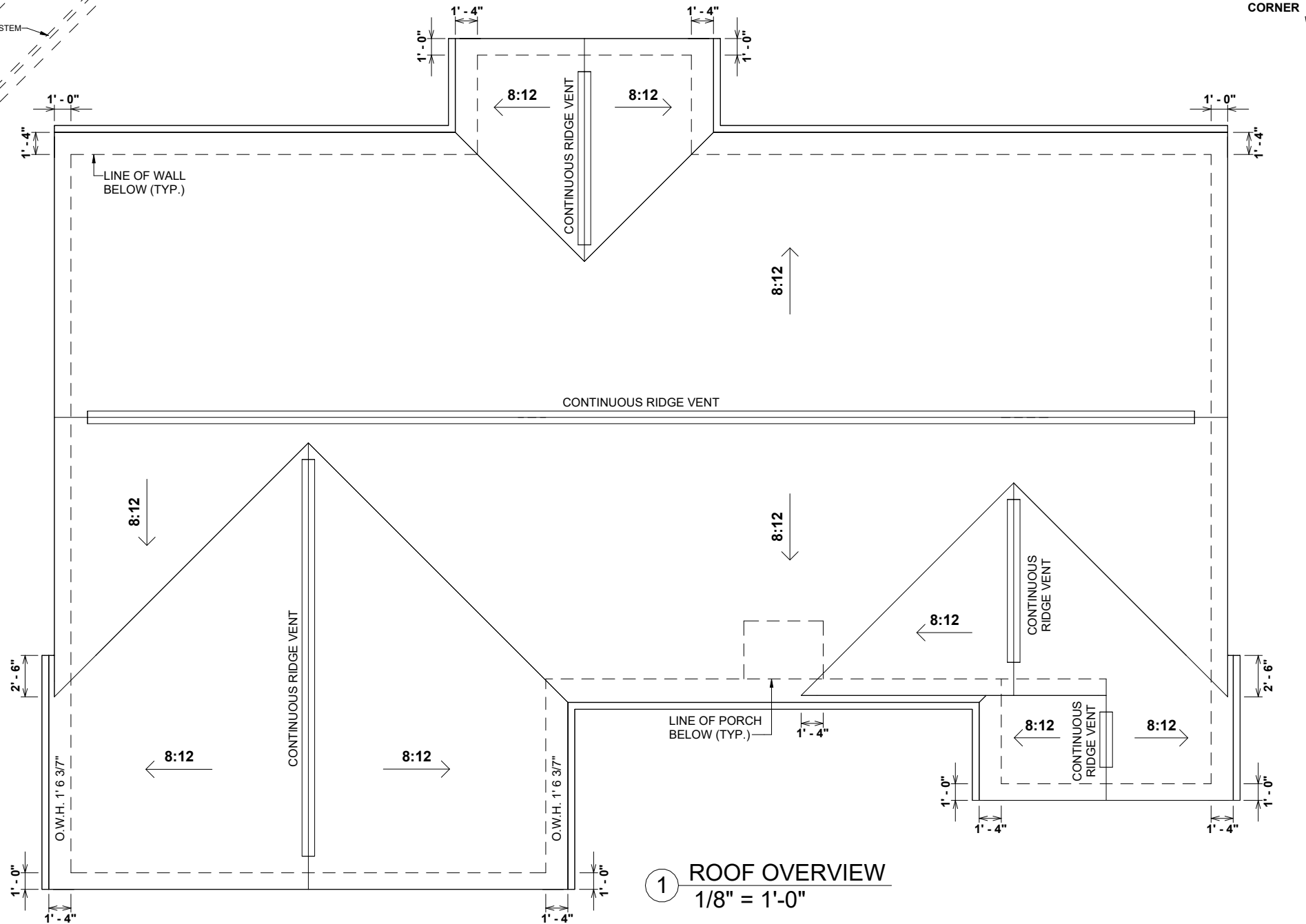
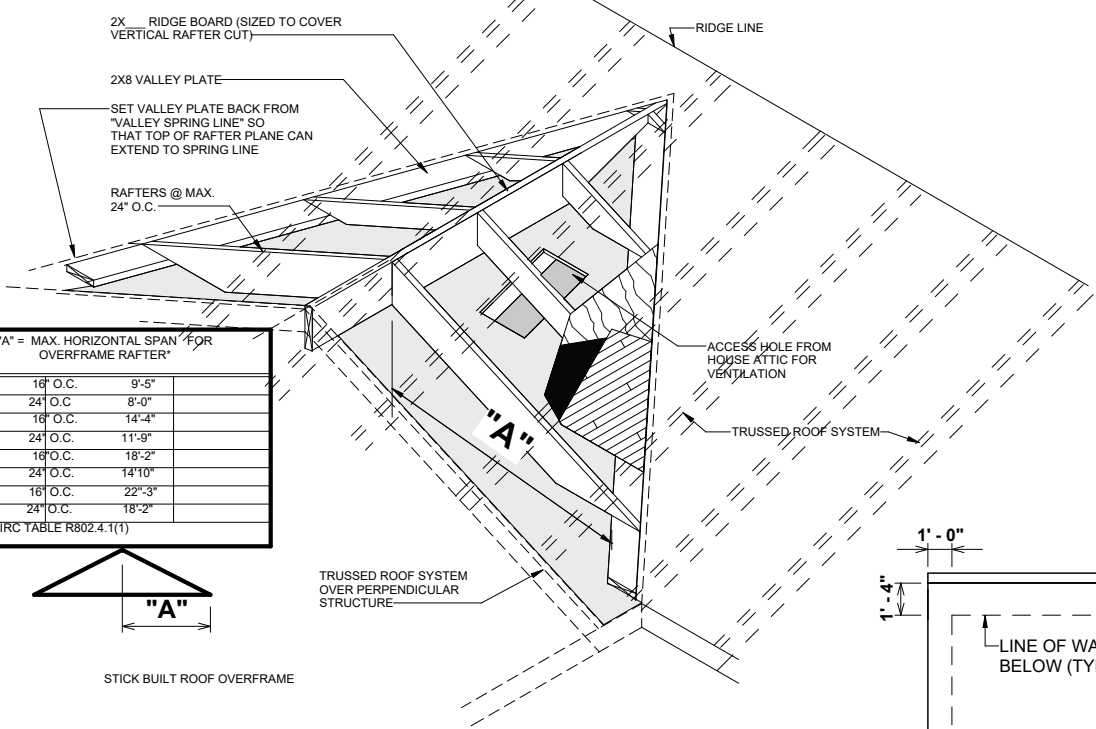
"A" = MAX. HORIZONTAL SPAN FOR OVERFRAME RAFTER\*

2X4	16" O.C.	9'-5"
	24" O.C.	8'-0"
2X6	16" O.C.	14'-4"
	24" O.C.	11'-9"
2X8	16" O.C.	18'-2"
	24" O.C.	14'-10"
2X10	16" O.C.	22'-3"
	24" O.C.	18'-2"

\* 2018 TRC TABLE R802.4.1(1)



**ROOF OVERFRAMING DETAIL**



8:12 O.W.H. = 7 1/4"  
 UNLESS OTHERWISE NOTED ON ROOF OVERVIEW

1 ROOF OVERVIEW  
 1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	
FIRST FLOOR HEATED	2,099 SF
FRONT PORCH	2,099 SF
GARAGE	17 SF
UNFINISHED BONUS ROOM	557 SF
TOTAL UNDER ROOF	231 SF
STANDARD STOOP	805 SF
TOTAL UNCOVERED	2,903 SF
	20 SF
	20 SF

THE:	<b>OXFORD MODERN</b>
FOR:	<b>FARMHOUSE-REVISED</b>
	<b>JAY &amp; DOMINIQUE</b>
	<b>MCMMAHLL</b>
	10 STEPHEN NORRIS LANE COATS NC
	27521 HARNETT - NC
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #	141-23-019
FOUNDATION TYPE:	CRAWL SPACE
2X4 EXTERIOR WALLS	

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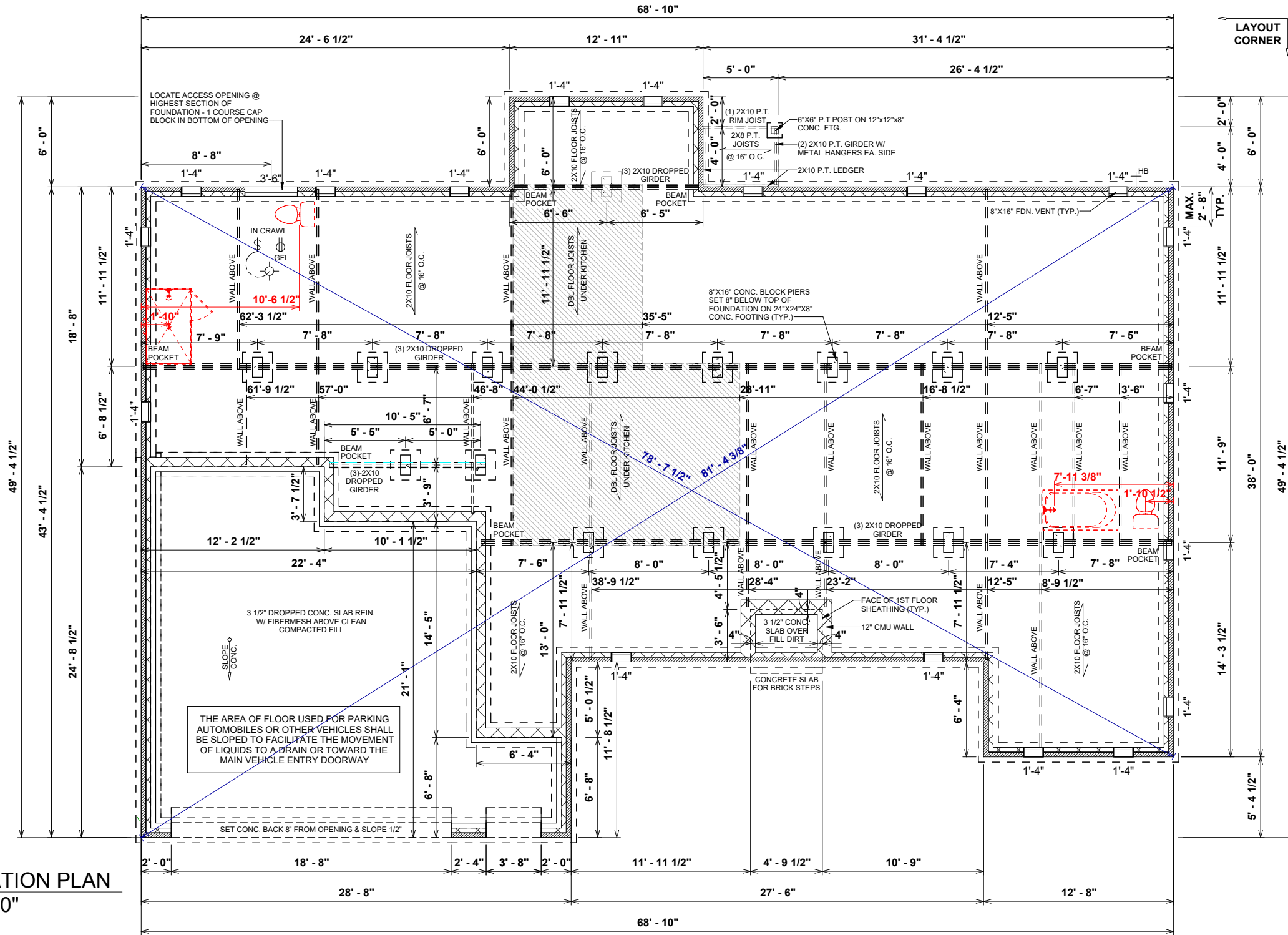
  

SHEET #	E-3
SCALE:	As indicated

**ROOF OVERVIEW**

1 FOUNDATION PLAN  
1/8" = 1'-0"



**FOUNDATION NOTES**

- TYPICAL FOUNDATION WALL: (2'-8") 4" BRICK W/ 4" BLOCK ON (2) 8" BASE BLOCK - ON TOP OF 16" x 8" d POURED CONCRETE FOOTING
- CRAWL SPACE ACCESS TO BE 42" WIDE
- ADD LIGHT AND SWITCH UNDER FLOOR NEAR ACCESS
- CRAWL SPACE VENT & ACCESS DIMENSIONS ARE APPROXIMATE, VENTS & ACCESSES SHOULD BE LOCATED WITHIN CONCRETE BLOCKS, DO NOT LOCATE UNDER BEAMS OR ANY OTHER STRUCTURAL LOCATIONS
- VENTS SHOULD BE INSTALLED PER LOCAL CODE
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- NOTCH SILL PLATE AROUND DROPPED BEAM
- FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
- POLY REQ'D IN CRAWL
- GRAVEL REQ'D UNDER GARAGE SLAB
- POLY REQ'D UNDER GARAGE SLAB

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

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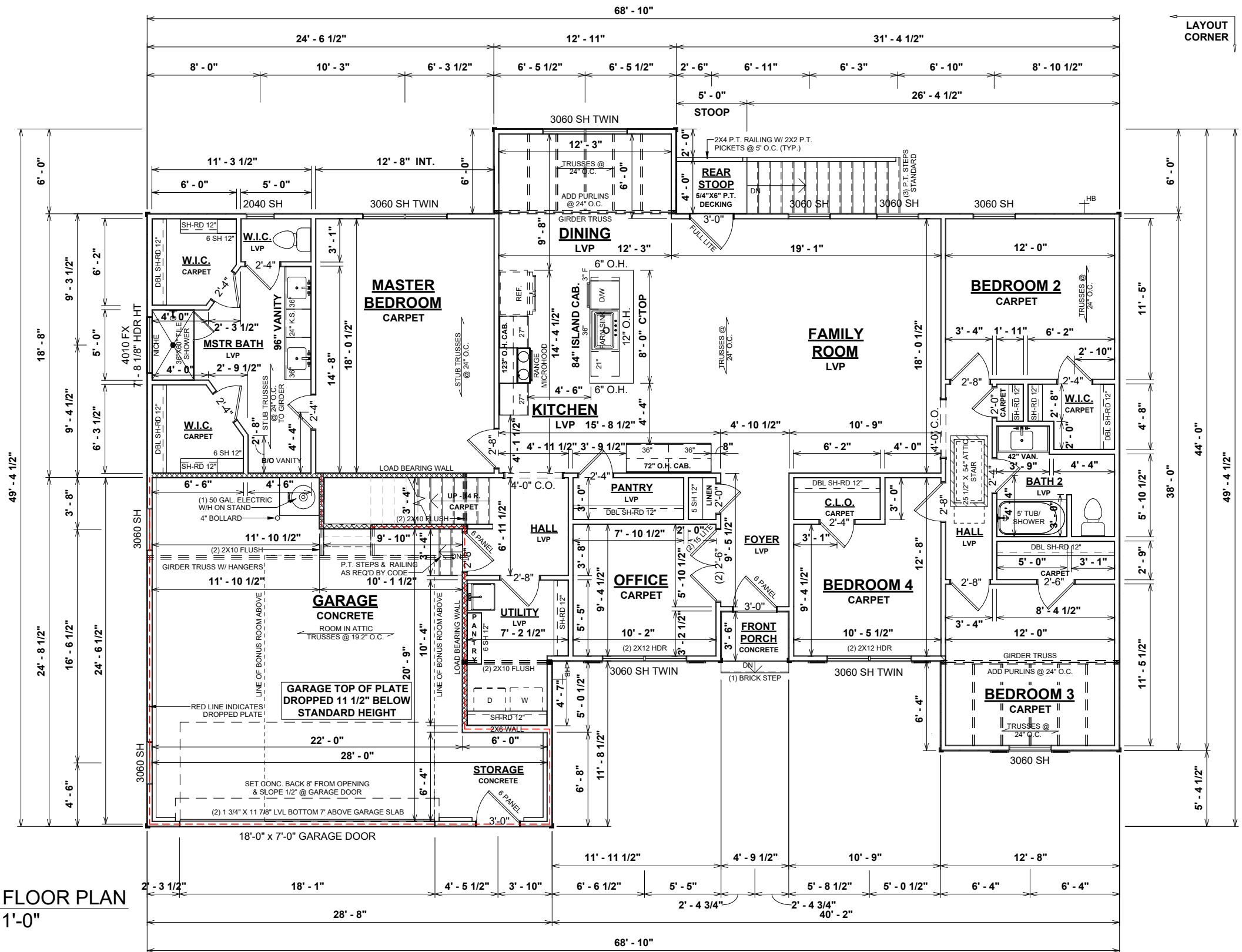
PAPER SIZE: 11" x 17"

SCALE: 1/8" = 1'-0"

SHEET #	PROPERTY OF:	DRAWN BY:	JOB #	THE:	REVISION SCHEDULE	
					REV #	DATE
F-1	AMERICA'S HOME PLACE	L.N. / DANIEL A.	141-23-019	OXFORD MODERN FARMHOUSE-REVISED	2,099 SF	
					2,099 SF	
FOUNDATION PLAN	© COPYRIGHT - 2024	CHECKED BY:	2x4 EXTERIOR WALLS	FOR: JAY & DOMINIQUE MCMHAHL	17 SF	
					JS	557 SF
FOUNDATION PLAN	© COPYRIGHT - 2024	PRINTED:	FOUNDATION TYPE: CRAWL SPACE	10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC	231 SF	
					3/1/2024 8:24:40 AM	805 SF
				OFFICE: FAYETTEVILLE	TOTAL UNDER ROOF	2,903 SF
				SOLD BY: A. VIRT	STANDARD STOOP	20 SF
					TOTAL UNCOVERED	20 SF



1 FIRST FLOOR PLAN  
1/8" = 1'-0"

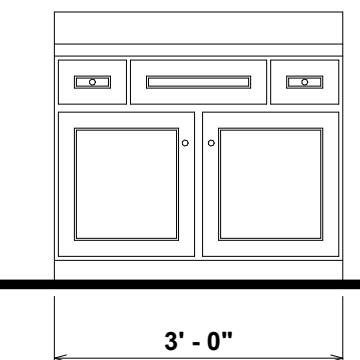


GENERAL NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR - 8'-1 1/8" ON SECOND FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS NOTED OTHERWISE
- HEADERS FOR WINDOWS ABOVE KITCHEN COUNTERTOPS TO BE FRAMED DOWN 1'-5" FROM T.O.P.
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. - SECOND FLOOR WINDOWS 1'-2" FROM T.O.P. UNLESS NOTED OTHERWISE
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:  
SINGLE - 68"  
DOUBLE - 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" ABOVE FINISHED GRADE

SPECIAL NOTES:

- 5" GLASS PIVOT DOOR IN MASTER SHOWER
- INTERIOR DOOR STYLE TO BE SANTA FE



2 891.1 36" VANITY ELEVATION  
1/2" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	FIRST FLOOR HEATED		FRONT PORCH		GARAGE		UNFINISHED BONUS ROOM		TOTAL UNDER ROOF		STANDARD STOOP		TOTAL UNCOVERED	
	2,099 SF	2,099 SF	17 SF	57 SF	231 SF	805 SF	2,903 SF	20 SF	20 SF					
THE:	OXFORD MODERN													
FOR:	FARMHOUSE-REVISED JAY & DOMINIQUE MCMMAHL													
FOUNDATION TYPE:	CRAWL SPACE													
OFFICE:	FAYETTEVILLE													
SOLD BY:	A. VIRT													

PROPERTY OF:	DRAWN BY:	CHECKED BY:	PRINTED:	JOB #	THE:	FOR:	FOUNDATION TYPE:	OFFICE:
 © COPYRIGHT - 2024 AM	L.N. / DANIEL A.	JS	3/11/2024 8:24:42 AM	141-23-019	OXFORD MODERN	FARMHOUSE-REVISED JAY & DOMINIQUE MCMMAHL	CRAWL SPACE	FAYETTEVILLE
	2X4 EXTERIOR WALLS 10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC							

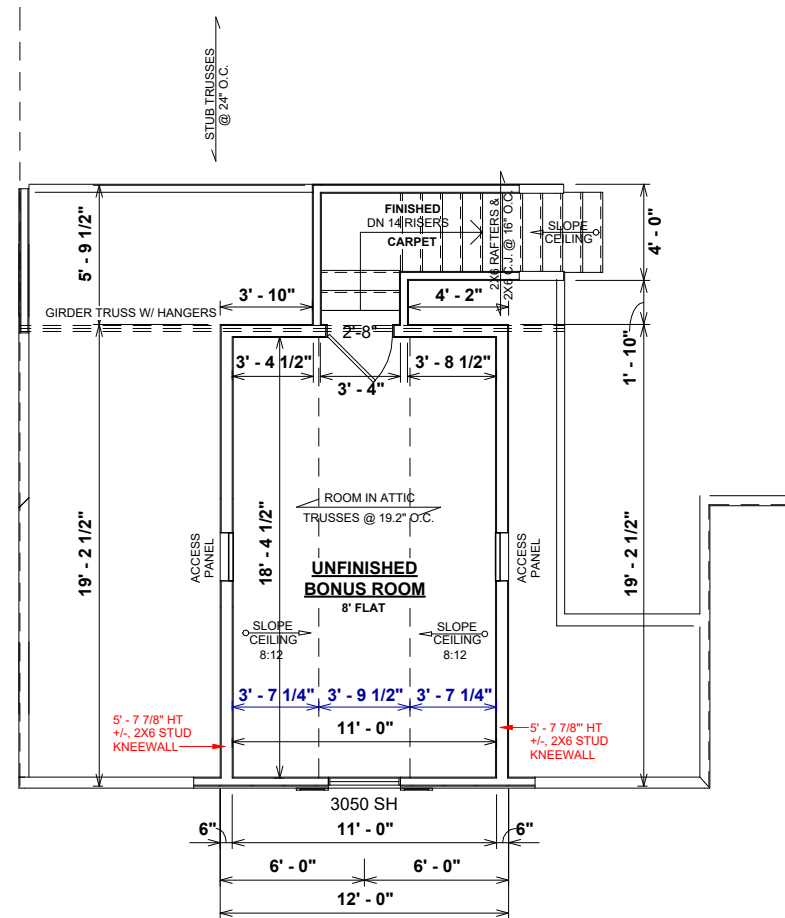
  

SHEET #	SCALE:
F-2	As indicated

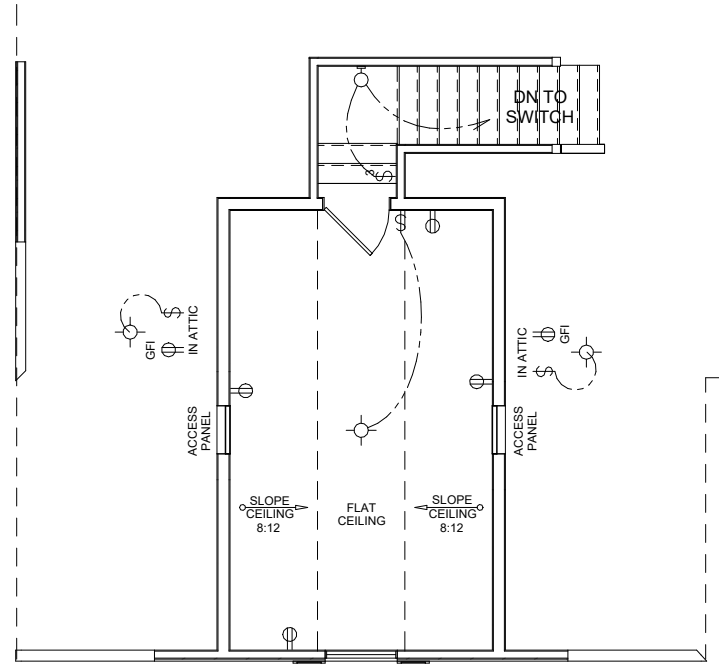
ELECTRICAL LEGEND	
<b>LIGHT FIXTURES</b>	
CEILING FAN	
CEILING MOUNT	
COACH / SCONCE	
EXHAUST FAN	
EXHAUST FAN W/ LIGHT	
EXTERIOR FLOOD	
FLUORESCENT - CEILING	
FLUORESCENT - WALL	
LED DISC	
PENDANT	
RECESSED CAN	
RECESSED EYEBALL CAN	
UNDER / OVER CABINET LIGHT	
VANITY	
<b>ELECTRICAL FIXTURES</b>	
DOOR BELL BUTTON	
DOOR BELL CHIME	
GARAGE DOOR OPENER	
MEDIA	
OUTLET	
OUTLET - CEILING	
OUTLET - FLOOR	
OUTLET - GFI	
OUTLET - 220v	
SWITCH	
SWITCH - DIMMER	
SMOKE & CARBON DETECTOR	
SMOKE DETECTOR	
THERMOSTAT	

**ELECTRICAL NOTES:**

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE AND WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED



1 FINISHED BONUS ROOM PLAN  
1/8" = 1'-0"



2 FINISHED BONUS ROOM PLAN  
1/8" = 1'-0"

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	
FIRST FLOOR HEATED	2,099 SF
FRONT PORCH	2,099 SF
GARAGE	17 SF
UNFINISHED BONUS ROOM	557 SF
TOTAL UNDER ROOF	231 SF
STANDARD STOOP	805 SF
TOTAL UNCOVERED	2,903 SF

THE:	OXFORD MODERN
FOR:	FARMHOUSE-REVISED
	JAY & DOMINIQUE
	MCMMAHL
OFFICE:	10 STEPHEN NORRIS LANE COATS NC
	27521 HARNETT - NC
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #	141-23-019
FOUNDATION TYPE:	CRAWL SPACE
2x4 EXTERIOR WALLS	

DRAWN BY:	L.N. / DANIEL A.
CHECKED BY:	JS
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SHEET #	F-3
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OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%
<b>FINAL CONSTRUCTION PLANS</b>

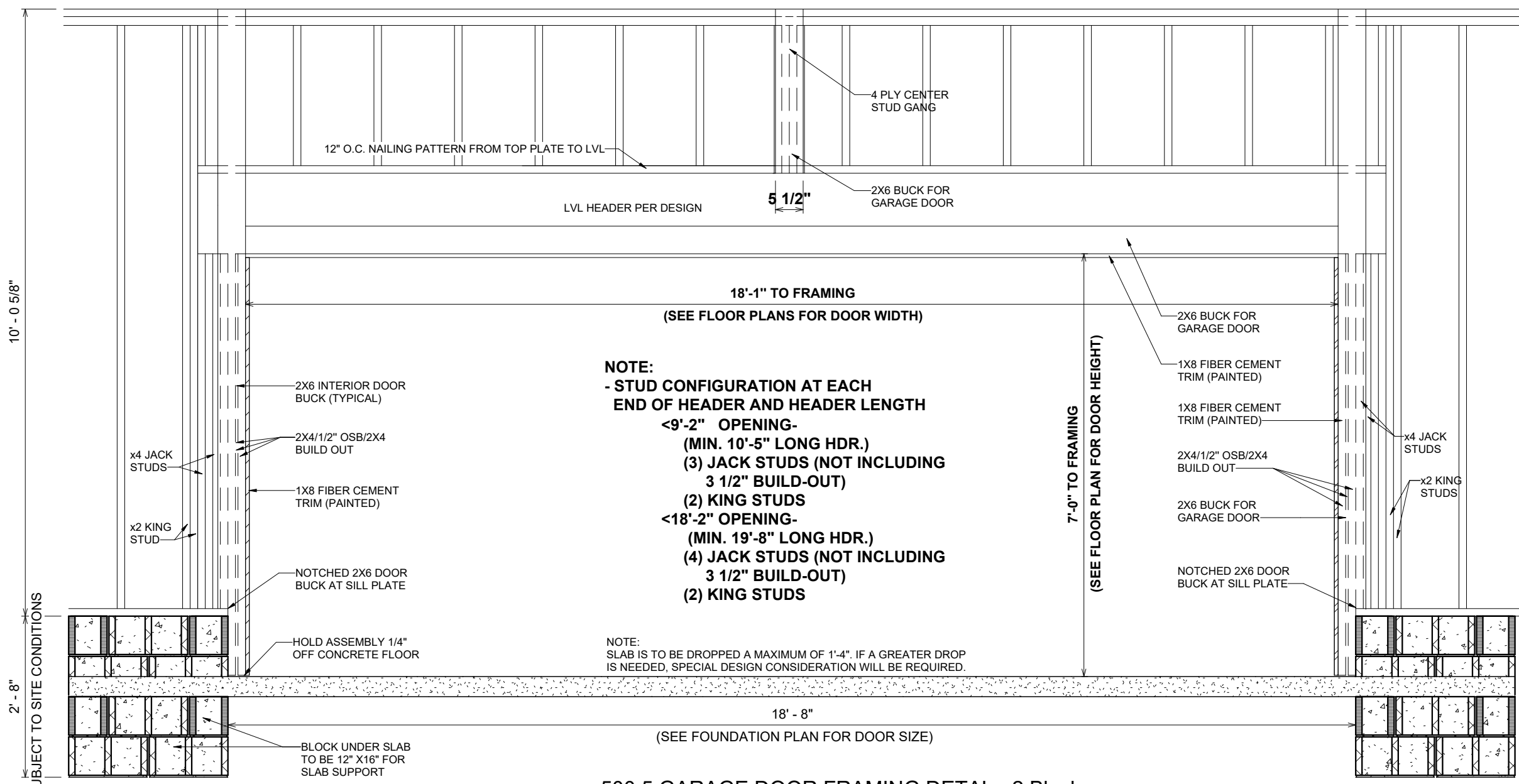
  

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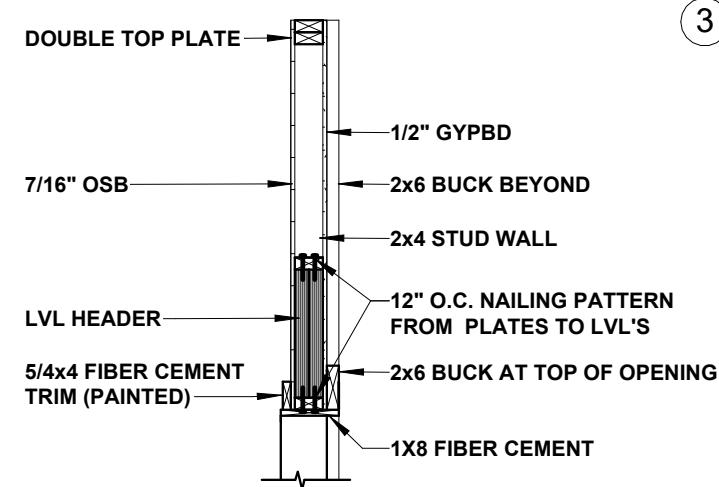
  

PAPER SIZE: 11" x 17"
SCALE: 1/8" = 1'-0"

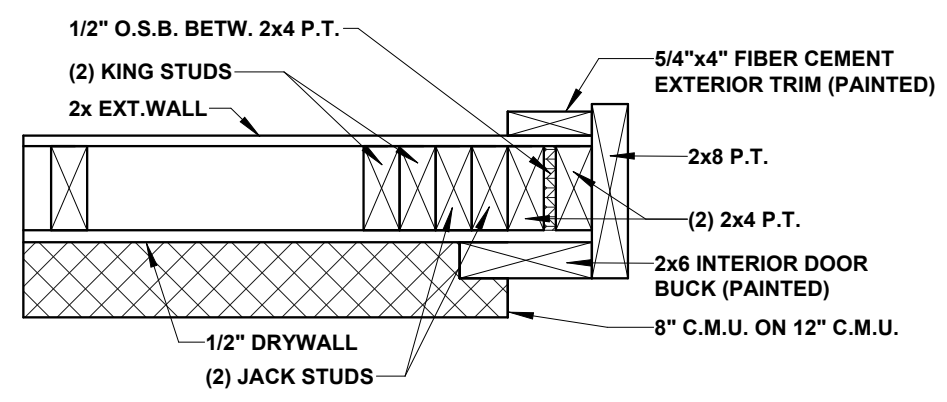




500.5 GARAGE DOOR FRAMING DETAL - 2 Block - DROPPED HEADER  
 1/2" = 1'-0"



1 GARAGE DOOR WALL SECTION AT HEADER  
 1/2" = 1'-0"



2 GARAGE DOOR JAMB FRAMING  
 1 1/2" = 1'-0"

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	
FIRST FLOOR HEATED	2,099 SF
FRONT PORCH GARAGE	2,099 SF
UNFINISHED BONUS ROOM	17 SF
TOTAL UNDER ROOF	557 SF
STANDARD STOOP	231 SF
TOTAL UNCOVERED	805 SF
	2,903 SF
	20 SF
	20 SF

THE:	<b>OXFORD MODERN</b>
FOR:	<b>FARMHOUSE-REVISED</b>
	<b>JAY &amp; DOMINIQUE</b>
	<b>MCMHAHL</b>
	10 STEPHEN NORRIS LANE COATS NC
	27521 HARNETT - NC
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #	141-23-019
FOUNDATION TYPE:	CRAWL SPACE
2x4 EXTERIOR WALLS	

DRAWN BY:	L.N. / DANIEL A.
CHECKED BY:	JS
PRINTED:	3/11/2024 8:24:43 AM

PROPERTY OF:	
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SHEET #	<b>GD-1</b>
	<b>GARAGE DOOR DETAILS</b>

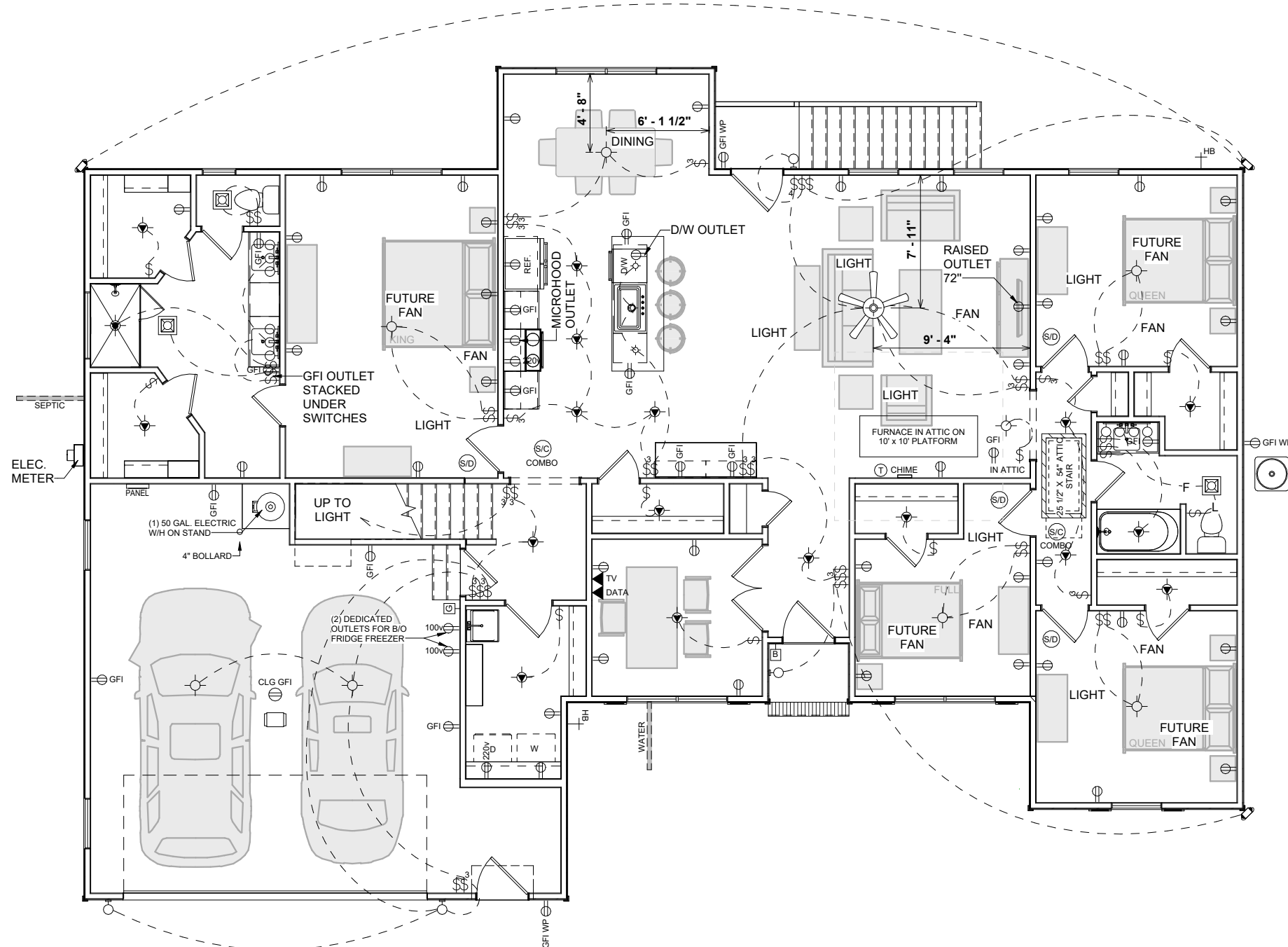
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%  
**FINAL CONSTRUCTION PLANS**

**ELECTRICAL LEGEND**

LIGHT FIXTURES	
CEILING FAN	
CEILING MOUNT	
COACH / SCNCE	
EXHAUST FAN	
EXHAUST FAN W/ LIGHT	
EXTERIOR FLOOD	
FLUORESCENT - CEILING	
FLUORESCENT - WALL	
LED DISC	
PENDANT	
RECESSED CAN	
RECESSED EYEBALL CAN	
UNDER / OVER CABINET LIGHT	
VANITY	
ELECTRICAL FIXTURES	
DOOR BELL BUTTON	
DOOR BELL CHIME	
GARAGE DOOR OPENER	
MEDIA	
OUTLET	
OUTLET - CEILING	
OUTLET - FLOOR	
OUTLET - GFI	
OUTLET - 220v	
SWITCH	
SWITCH - DIMMER	
SMOKE & CARBON DETECTOR	
SMOKE DETECTOR	
THERMOSTAT	

**ELECTRICAL NOTES:**

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE AND WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED



1 FIRST FLOOR ELEC & HVAC PLAN  
1/8" = 1'-0"

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

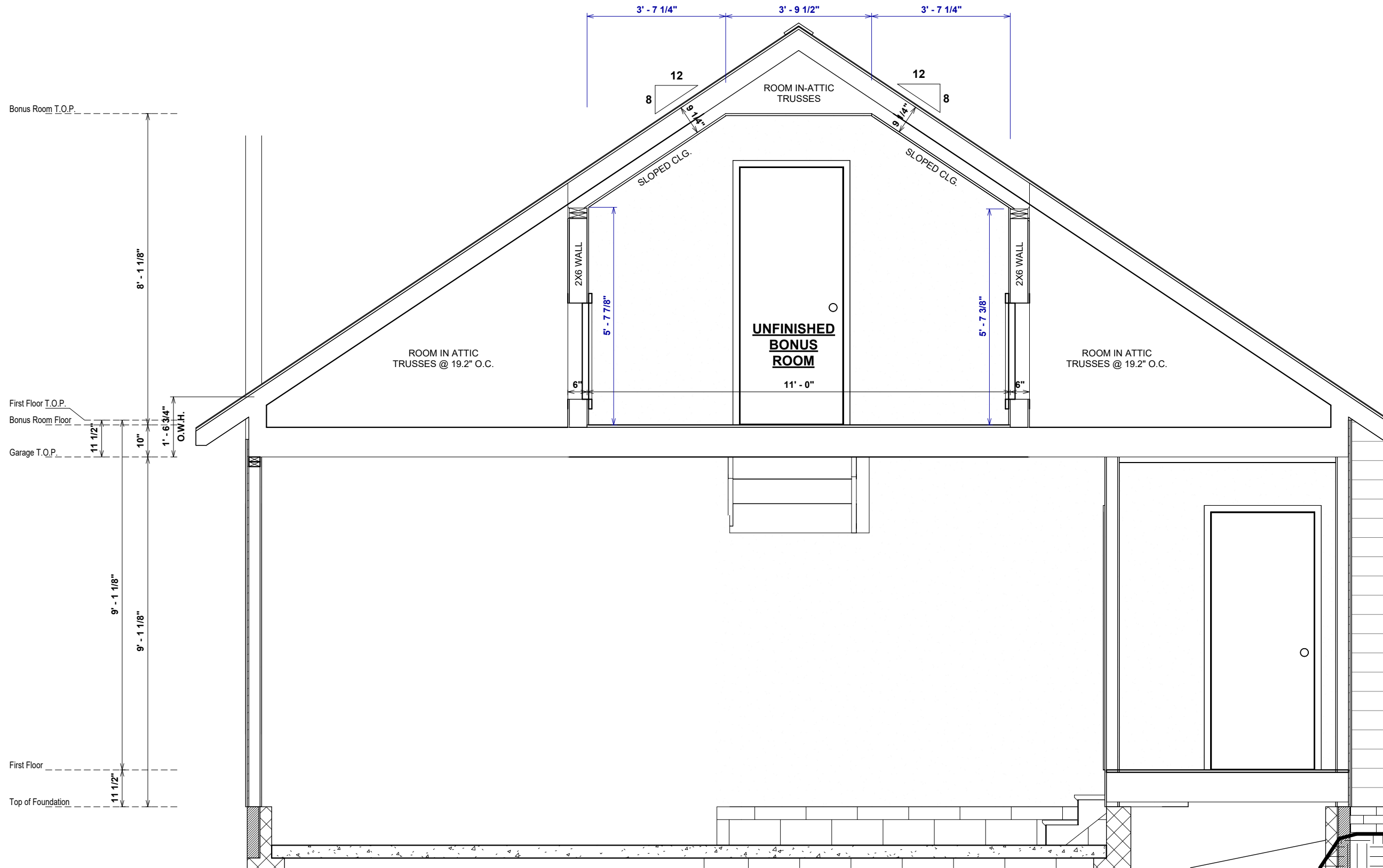
AREAS:	FIRST FLOOR HEATED	FRONT PORCH	GARAGE	UNFINISHED BONUS ROOM	TOTAL UNDER ROOF	STANDARD STOOP	TOTAL UNCOVERED
	2,099 SF	2,099 SF	17 SF	557 SF	231 SF	805 SF	20 SF
					2,903 SF		20 SF

THE: **OXFORD MODERN FARMHOUSE-REVISED**  
 FOR: **JAY & DOMINIQUE MCMAHLL**  
 10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC  
 OFFICE: FAYETTEVILLE  
 SOLD BY: A. VIRT

JOB # **141-23-019**  
 FOUNDATION TYPE: **CRAWL SPACE**  
 DRAWN BY: L.N. / DANIEL A.  
 CHECKED BY: JS  
 PRINTED: 3/11/2024 8:24:45 AM

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 SHEET # **H-1**  
**FIRST FLOOR ELECTRICAL PLAN**

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%  
**FINAL CONSTRUCTION PLANS**

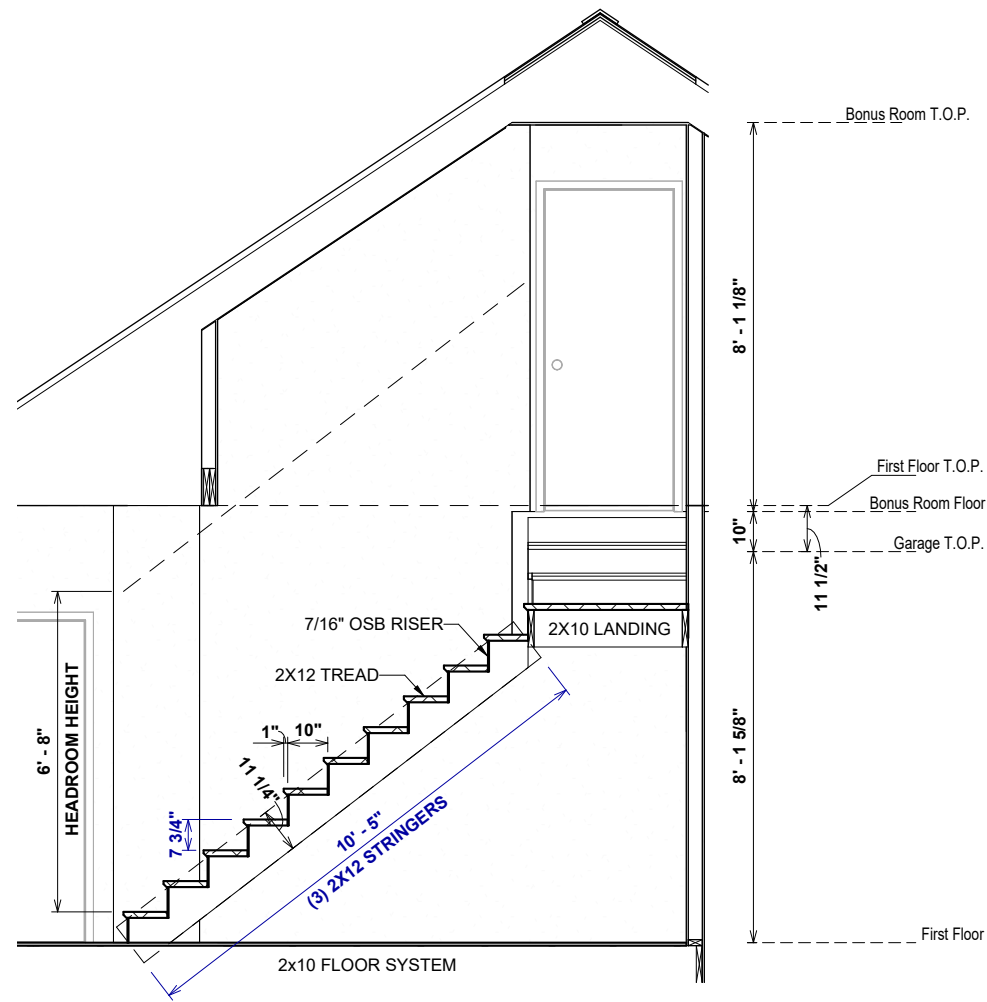


1 BONUS ROOM SECTION  
 3/8" = 1'-0"

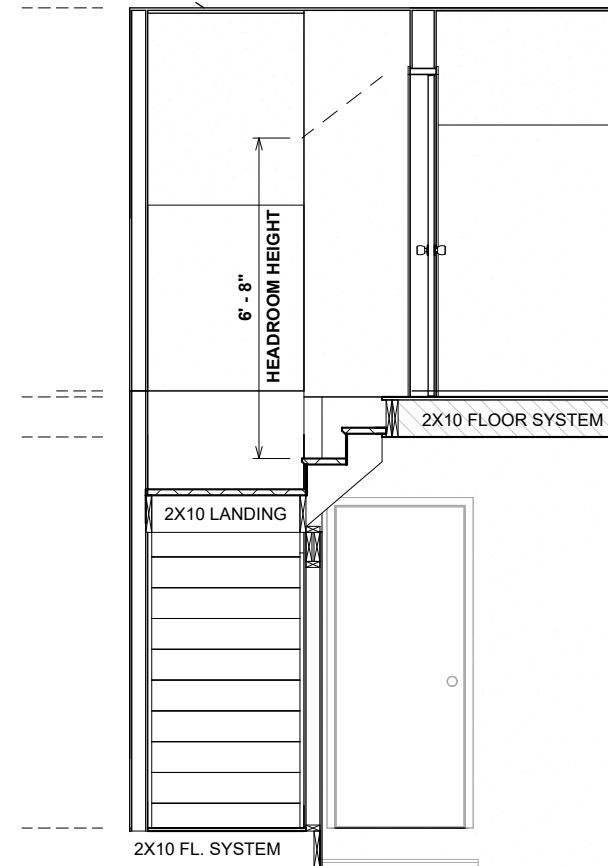
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

PROPERTY OF:		JOB #		THE:		AREAS:		REVISION SCHEDULE	
		141-23-019		<b>OXFORD MODERN</b> <b>FARMHOUSE-REVISED</b>		FIRST FLOOR HEATED 2,099 SF FRONT PORCH 2,099 SF GARAGE 17 SF UNFINISHED BONUS ROOM 557 SF TOTAL UNDER ROOF 805 SF STANDARD STOOP 2,903 SF TOTAL UNCOVERED 20 SF		REV # DESCRIPTION DATE	
CHECKED BY: JS PRINTED: 3/11/2024 8:24:45 AM		2x4 EXTERIOR WALLS FOUNDATION TYPE: CRAWL SPACE		<b>FOR: JAY &amp; DOMINIQUE MCMANILL</b> 10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC					
SHEET # S-1		OFFICE: FAYETTEVILLE		SOLD BY: A. VIRT					
© COPYRIGHT - 2024		<b>BONUS ROOM SECTION</b>							




2 STAIR SECTION DETAIL 1  
1/4" = 1'-0"

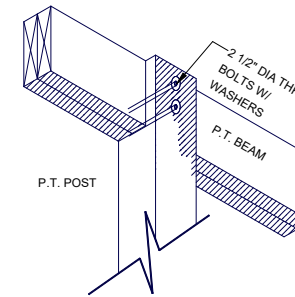
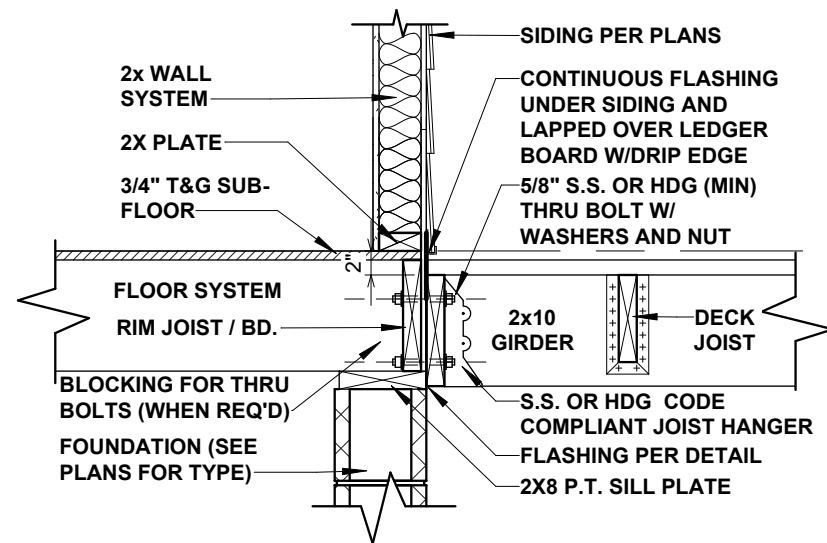


3 STAIR SECTION DETAIL 2  
1/4" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

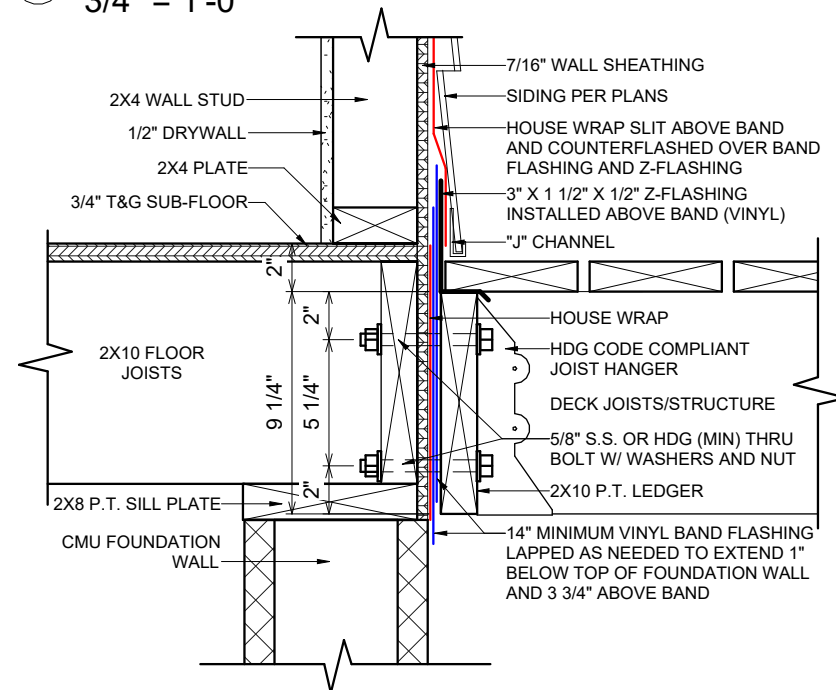
FINAL CONSTRUCTION PLANS

SHEET # <b>S-2</b>	PROPERTY OF:  © COPYRIGHT - 2024	DRAWN BY: L.N. / DANIEL A.	JOB # <b>141-23-019</b>	THE: <b>OXFORD MODERN</b>	AREAS:		REVISION SCHEDULE		
		CHECKED BY: JS	2x4 EXTERIOR WALLS	FOR: <b>JAY &amp; DOMINIQUE</b>	FIRST FLOOR HEATED 2,099 SF	FRONT PORCH 17 SF	REV #	DESCRIPTION	DATE
		PRINTED: 3/11/2024 8:24:46 AM	FOUNDATION TYPE: CRAWL SPACE	FOR: <b>MCMMAHL</b>	GARAGE 557 SF				
				10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC	UNFINISHED BONUS ROOM 231 SF				
				OFFICE: FAYETTEVILLE	TOTAL UNDER ROOF 2,903 SF				
				SOLD BY: A. VIRT	STANDARD STOOP 20 SF				
					TOTAL UNCOVERED 20 SF				



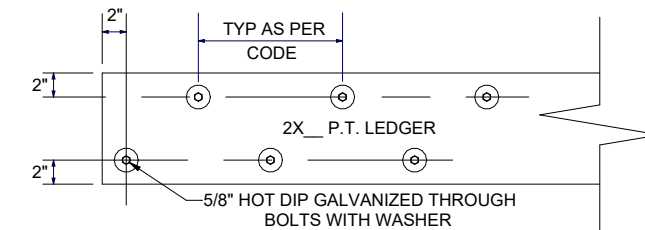
**POST TO BEAM CONNECTION1**

**1 87-0.6-DECK LEDGER CONNECTION**  
3/4" = 1'-0"



FASTENERS	8' MAX. JOIST SPAN	16' MAX. JOIST SPAN
5/8" HOT DIPPED GALV. BOLTS WITH NUT AND WASHER	1 @ 3'-6" O.C.	1 @ 1'-8" O.C.
AND	AND	AND
12 D COMMON HOT DIPPED GALV. NAILS	2 @ 8" O.C.	3 @ 6" O.C.

AM104.1.1 ALL STRUCTURES EXCEPT BRICK VENEER STRUCTURES



**LEDGER BOARD AND FASTENER DETAIL1**

**2 87-480.2 PORCH LEDGER FLASHING**  
1 1/2" = 1'-0"

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	
FIRST FLOOR HEATED	2,099 SF
FRONT PORCH GARAGE	2,099 SF / 17 SF
UNFINISHED BONUS ROOM	557 SF
TOTAL UNDER ROOF	231 SF
STANDARD STOOP	805 SF
TOTAL UNCOVERED	2,903 SF

THE: <b>OXFORD MODERN</b>	FOR: <b>JAY &amp; DOMINIQUE MCMHAHL</b>
JOB #: <b>141-23-019</b>	FOUNDATION TYPE: <b>CRAWL SPACE</b>
DRAWN BY: <b>L.N. / DANIEL A.</b>	OFFICE: <b>FAYETTEVILLE</b>
CHECKED BY: <b>JS</b>	SOLD BY: <b>A. VIRT</b>
PRINTED: <b>3/11/2024 8:24:47 AM</b>	FOR: <b>10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC</b>

PROPERTY OF: **AMERICA'S HOME PLACE**

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SHEET # **S-3**

STANDARD DECK DETAILS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

ROUGH OPENINGS FOR PLY-GEM VINYL S/H WINDOWS

**SINGLE WINDOW UNITS**

CALL SIZE	ACTUAL SIZE	ROUGH OPENING SIZE
2-0 X 3-0	23 1/2" X 35 1/2"	24" X 36"
2-0 X 4-0	23 1/2" X 47 1/2"	24" X 48"
2-8 X 4-0	31 1/2" X 47 1/2"	32" X 48"
2-8 X 5-0	31 1/2" X 59 1/2"	32" X 60"
2-8 X 6-0	31 1/2" X 71 1/2"	32" X 72"
3-0 X 3-0	35 1/2" X 35 1/2"	36" X 36"
3-0 X 4-0	35 1/2" X 47 1/2"	36" X 48"
3-0 X 5-0	35 1/2" X 59 1/2"	36" X 60"
3-0 X 5-2	35 1/2" X 61 1/2"	36" X 62"
3-0 X 6-0	35 1/2" X 71 1/2"	36" X 72"
3-0 X 6-2	35 1/2" X 73 1/2"	36" X 74"
3-4 X 4-0	39 1/2" X 47 1/2"	40" X 48"
4-0 X 4-0	47 1/2" X 47 1/2"	48" X 48"

**TWIN/TRIPLE WINDOW UNITS**

2-8 X 5-0 TWIN	63 1/2" X 59 1/2"	64" X 60"
2-8 X 6-0 TWIN	63 1/2" X 71 1/2"	64" X 72"
3-0 X 5-0 TWIN	71 1/2" X 59 1/2"	72" X 60"
3-0 X 6-0 TWIN	71 1/2" X 71 1/2"	72" X 72"
3-0 X 5-0 TRIPLE	107 1/2" X 59 1/2"	108" X 60"
3-0 X 6-0 TRIPLE	107 1/2" X 71 1/2"	108" X 72"
1-8 / 3-0 / 1-8 X 6-0	75 1/2" X 71 1/2"	76" X 72"
2-0 / 3-0 / 2-0 X 6-0	83 1/2" X 71 1/2"	84" X 72"

**TRANSOM WINDOW UNITS**

3-0 HALF-ROUND (18" TALL)	CALL SIZE + 18" TO HGT. OF WINDOW
12" TRANSOM	CALL SIZE + 12" TO HGT. OF WINDOW
2-8 ARCH TRAN. (14" TALL)	CALL SIZE + 14" TO HGT. OF WINDOW
3-0 ARCH TRAN. (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 HALF-ROUND (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW

**SPECIALTY WINDOWS**

4-0 X 5-0 EYEBROW	48" X 60"
3-0 X 4-0 PALLADIAN	36" X 48"
3-0 X 5-0 PALLADIAN	60" X 72"

1. TRANSOM SAMPLE. 3-0 X 6-0 W/ HALF-ROUND TRANSOM. CALL SIZE 3060 + 18" TALL TRANSOM EQUALS A ROUGH OPENING SIZE OF 36" X 90"
2. CALL SUPERINTENDENT FOR ANY WINDOW SIZE THAT IS NOT SHOWN HERE PRIOR TO FRAMING THE OPENING

ROUGH OPENINGS FOR MASONITE ENTRY DOORS

**INSWING UNITS**

2-8 X 6-8	34 1/2" X 82 1/2"
3-0 X 6-8	38 1/2" X 82 1/2"
3-0 X 6-8 W/ (2) 12" S.L.	65 1/4" X 82 1/2"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 96"
3-0 X 6-8 W/ (2) 12" S.L. & 12" TRAN.	65 1/4" X 96"

**OUTSWING UNITS**

2-8 X 6-8	34 1/2" X 81"
3-0 X 6-8	38 1/2" X 81"
3-0 X 6-8 W (2) 12" S.L.	65 1/4" X 81"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 94 1/2"
3-0 X 6-8 W (2) 12" S.L. & 12" TRAN.	65 1/4" X 94 1/2"

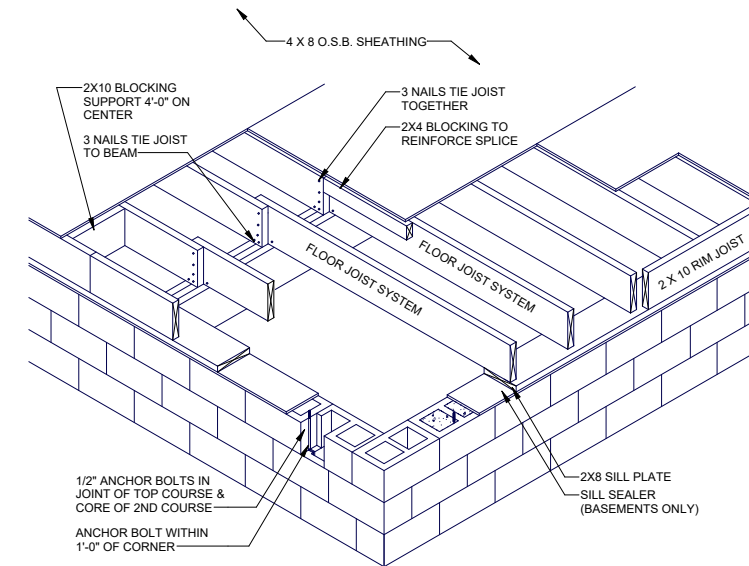
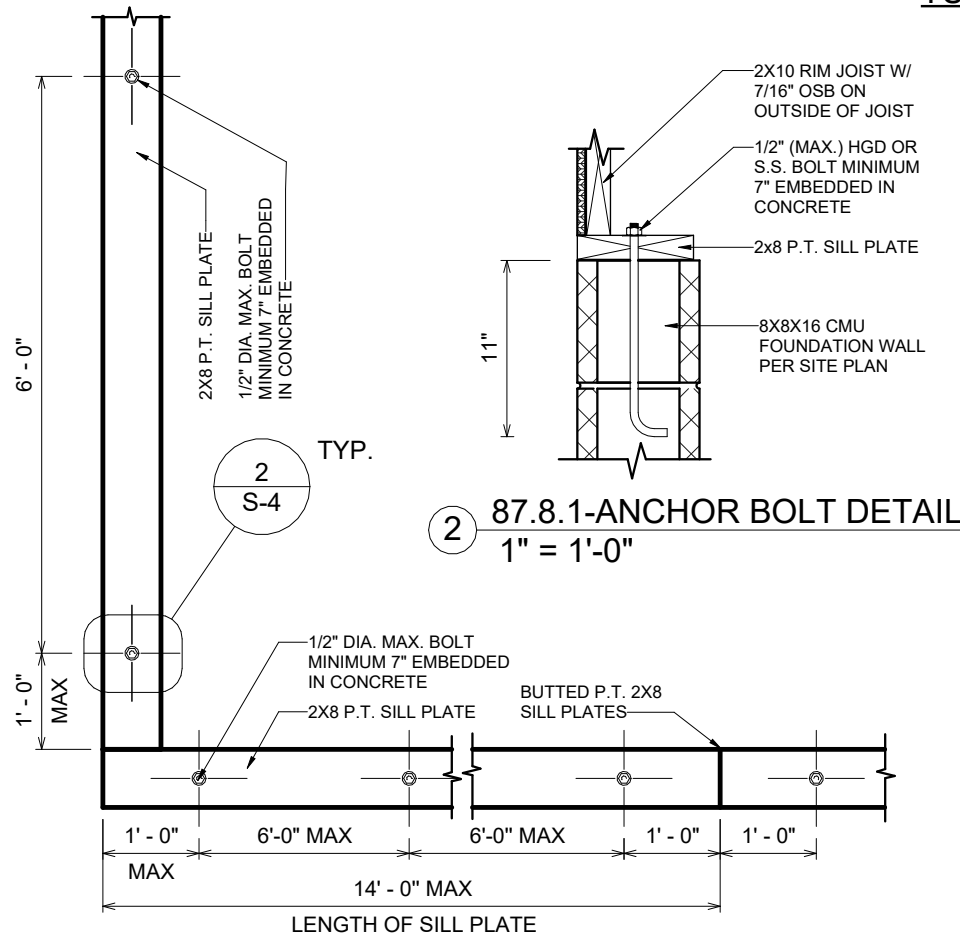
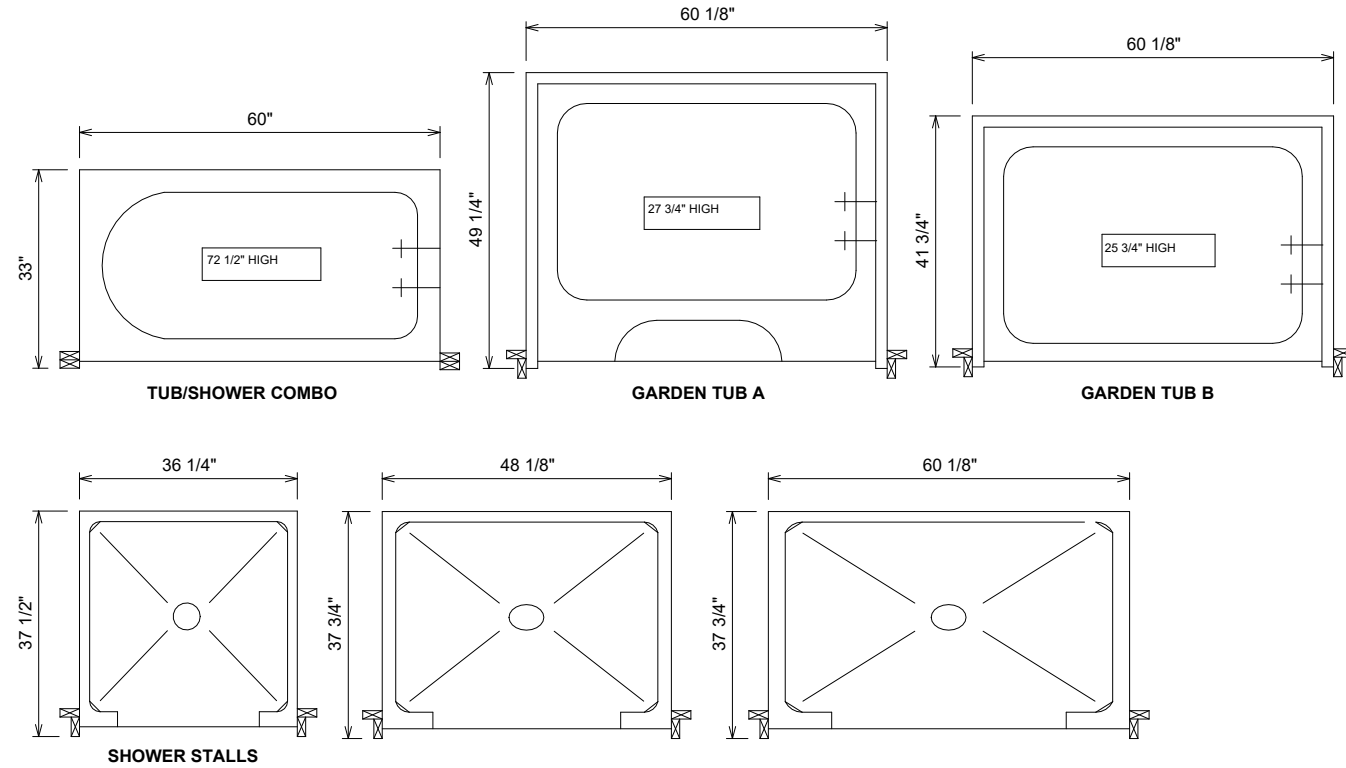
**CENTER HINGED/ FRENCH DOOR...**

6-0 X 6-8 CENTER HINGED (INSWING)	75 5/8" X 82 1/2"
6-0 X 6-8 FRENCH (INSWING)	75 1/4" X 82 1/2"
6-0 X 6-8 INSWING W/ 12" TRAN.	75 5/8" X 96"
6-0 X 6-8 FRENCH W/ 12" TRAN.	75 1/4" X 96"

**SLIDING GLASS DOORS**

5-0 X 6-8 SLIDER	60 1/4" X 80 1/2"
6-0 X 6-8 SLIDER	72 1/4" X 80 1/2"

\*\*\* FOR OUTSWING DOORS, DEDUCT 1" FROM HEIGHT OF UNIT\*\*\*



- GENERAL NOTES:**
- 1.) MINIMUM ALLOWABLE BEARING FOR FLOOR JOIST IS 1 1/2".
  - 2.) ALL REQUIRED NAILING PATTERNS ARE PER PRINT AND/OR SPECS.

**FLOOR FRAMING DETAIL**

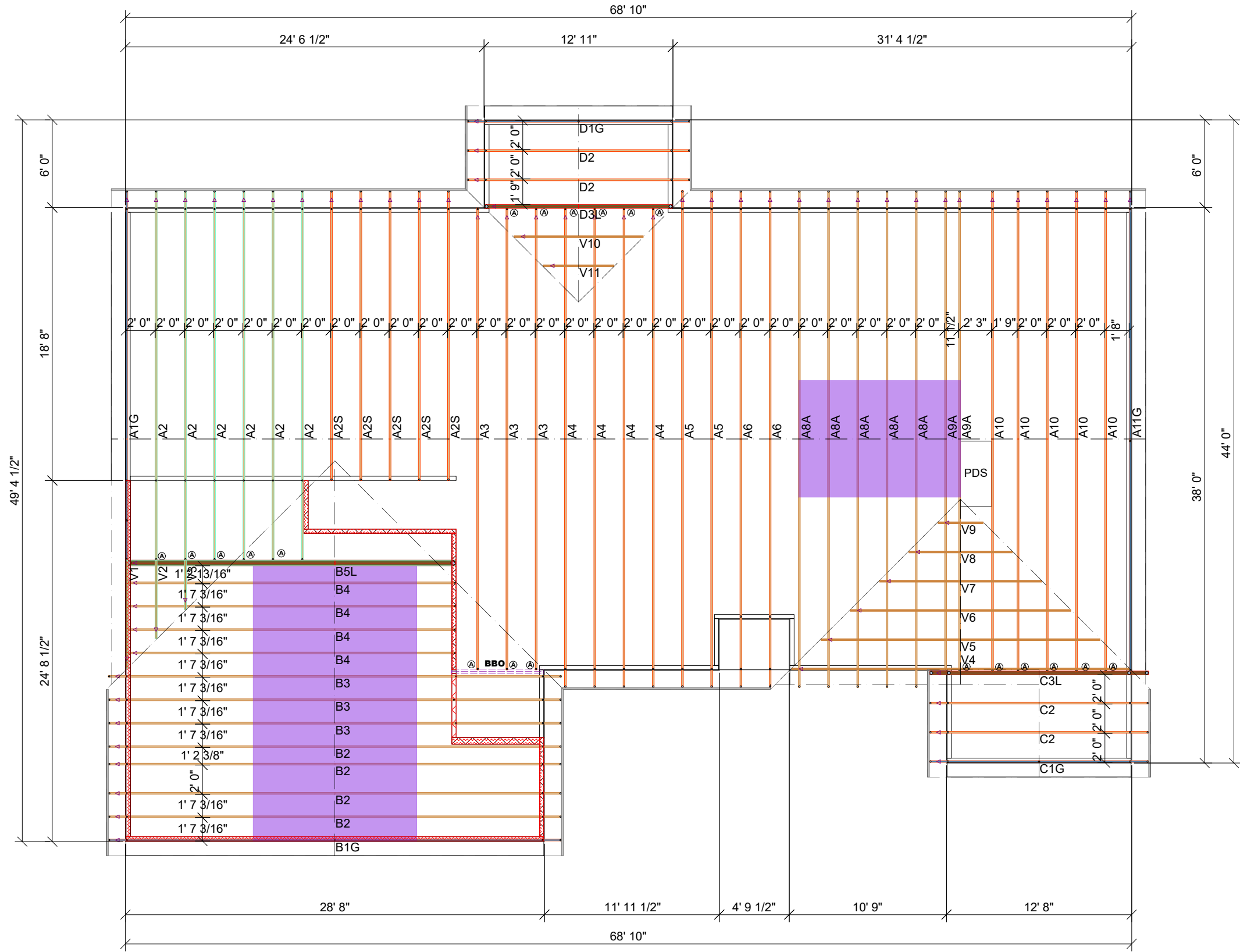
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

SHEET #	PROPERTY OF:	DRAWN BY:	JOB #	THE:	REVISION SCHEDULE	
					REV #	DATE
S-4	AMERICA'S HOME PLACE	L.N. / DANIEL A.	141-23-019	OXFORD MODERN FARMHOUSE-REVISED JAY & DOMINIQUE MCMMAHL	2,099 SF	
					2,099 SF	
FRAMING DETAILS	AMERICA'S HOME PLACE	JS	2x4 EXTERIOR WALLS	10 STEPHEN NORRIS LANE COATS NC 27521 HARNETT - NC	17 SF	
					557 SF	
SCALE: As indicated	AMERICA'S HOME PLACE	3/11/2024 8:24:48 AM	FOUNDATION TYPE: CRAWL SPACE	OFFICE: FAYETTEVILLE	231 SF	
					805 SF	
PAPER SIZE: 11" x 17"	AMERICA'S HOME PLACE			SOLD BY: A. VIRT	2,903 SF	
					20 SF	
© COPYRIGHT - 2024	AMERICA'S HOME PLACE				TOTAL UNDER ROOF	20 SF
					TOTAL UNCOVERED	20 SF

THIS IS A TRUSS PLACEMENT DIAGRAM (TPD) ONLY; NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDD's) for each truss design identified on the TPD. The Contractor is responsible for the temporary bracing of the roof and floor system, and requirements for the permanent restraint/bracing of truss systems may be met by following the methods outlined in ANSI-TPI 1-2014 - 2.3.3. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbcassociation.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.

**PLACEMENT PLAN**



Roof Hanger List		
MARK	TYPE	QTY
(A)	HUS26	20
GARAGE WALLS DROPPED 11-1/2" BELOW STANDARD HEIGHT WHERE HATCHED		

△ INDICATES LEFT END OF TRUSS SCALE: N.T.S

<b>ROOF AREA:</b> 3560.14 sqft	<b>RIDGE LINE:</b> 131.17 ft	<b>VALLEY LINES:</b> 113.22 ft	<b>HIP LINES:</b> 0 ft	<b>AMERICA'S HOME PLACE (FAYETTEVILLE)</b>
				<b>MCMAHILL RESIDENCE</b>
				<b>10 STEPHEN NORRIS LANE COATS, NC 27521</b>
				<b>UFP SITE BUILT</b> A UFP INDUSTRIES COMPANY
				 Burlington, NC    Locust, NC Chesapeake, VA    Liberty, NC Clinton, NC    Ooltewah, TN Conway, SC    Pearisburg, VA Jefferson, GA    Stanfield, NC
				Customer Service (800) 476-9356

TRUSS TRAX UFP CONSTRUCTION

TrussTraxUFP.com

REVISIONS		DSN
DATE	DESCRIPTION	

DESIGNER ETG  
 LAYOUT DATE 2/26/2024  
 ARCH DATE -  
 STRUC DATE -

JOB #: 24022171

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