

McGINNIS

DUNCANS CROSSING
LOT 0046



PLAN ID 070121

110 VILLAGE TRAIL SUITE 215 WOODSTOCK, GA. 30188

DRAWING INDEX	
A0.0	COVER SHEET
A1.1	FRONT ELEVATIONS
A2.1	SIDE & REAR ELEVATIONS
A3.1	SLAB FOUNDATIONS
A5.1	FIRST FLOOR PLANS
A5.2	SECOND FLOOR PLANS
A6.1	ROOF PLANS
A7.2-A7.3	ELECTRICAL PLANS

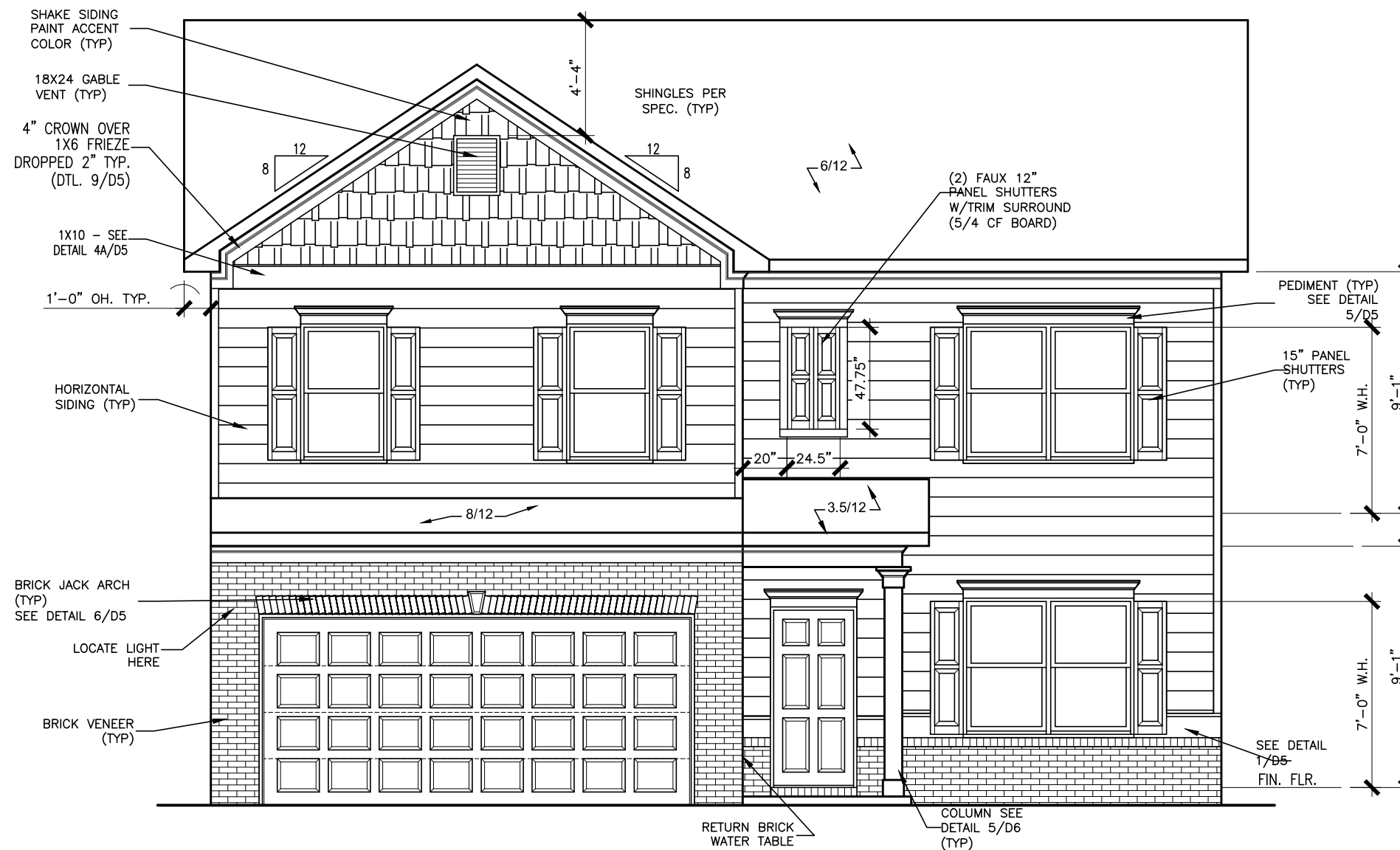
AREA TABULATION	
FIRST FLOOR	1001
SECOND FLOOR	1371
TOTAL	2372
GARAGE	410
FRONT PORCH (COVERED)	38
A MASSING	
REAR PATIO	120

PLAN REVISIONS			
DATE	BY	REVISION	PAGE #
2/23/2021	MM	PROTOTYPE WALK CHANGES - SEE REVISION SHT	ALL
4/7/2021	AW	Added elevations J & K	A1.10, A1.11
7/1/2021	AW	2ND Prototype walk changs - see revision sheet	A2.1-A2.3, A5.1-A5.3, A7.2-A7.3
9/2/2021	BB	ADDED FOURTH TURTLE BACK VENT TO C MASSING REAR ELEVATION	A2-3, A6.3
2/1/2022	AW	Added LED light in Laundry hall on same switch as Loft lights	A7.3

GOVERNMENTAL CODES & STANDARDS
HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

BUILDING CODE ANALYSIS / DESIGN CRITERIA
HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

DUNCANS CROSSING LOT 0046



FRONT ELEVATION "D"

SCALE: 3/16" = 1'-0"

ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

BY	REVISION	DATE
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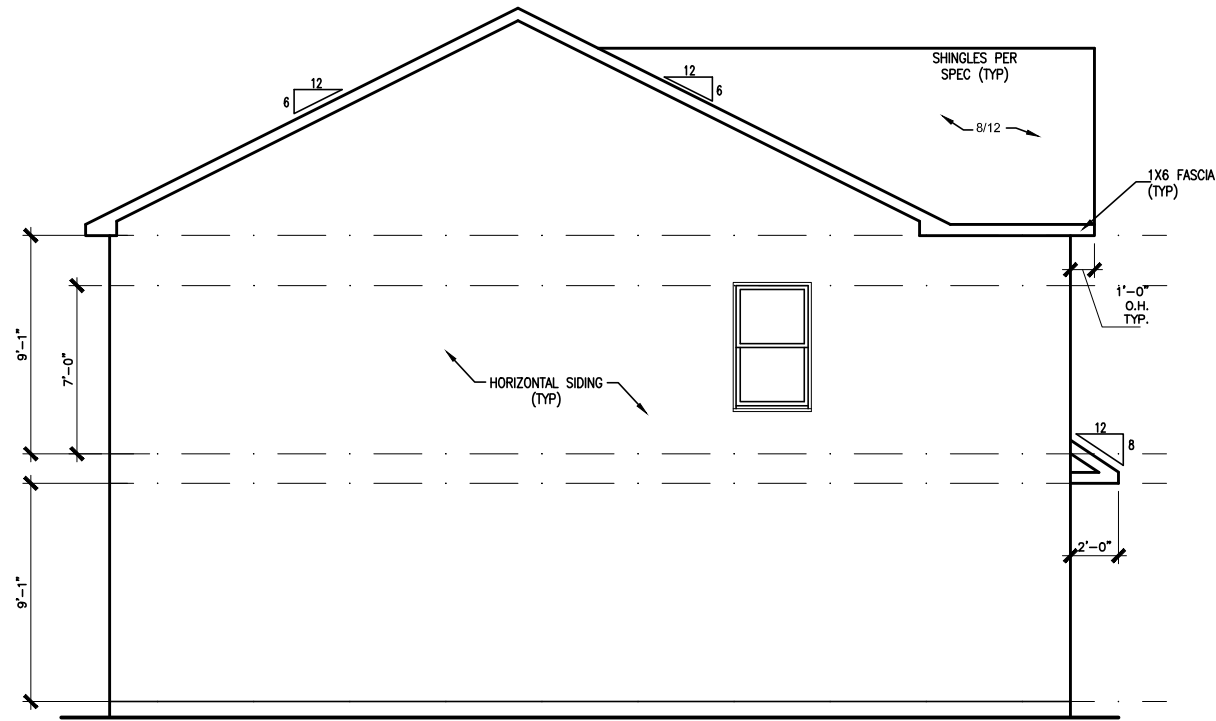
ELEVATIONS
FRONT ELEVATION
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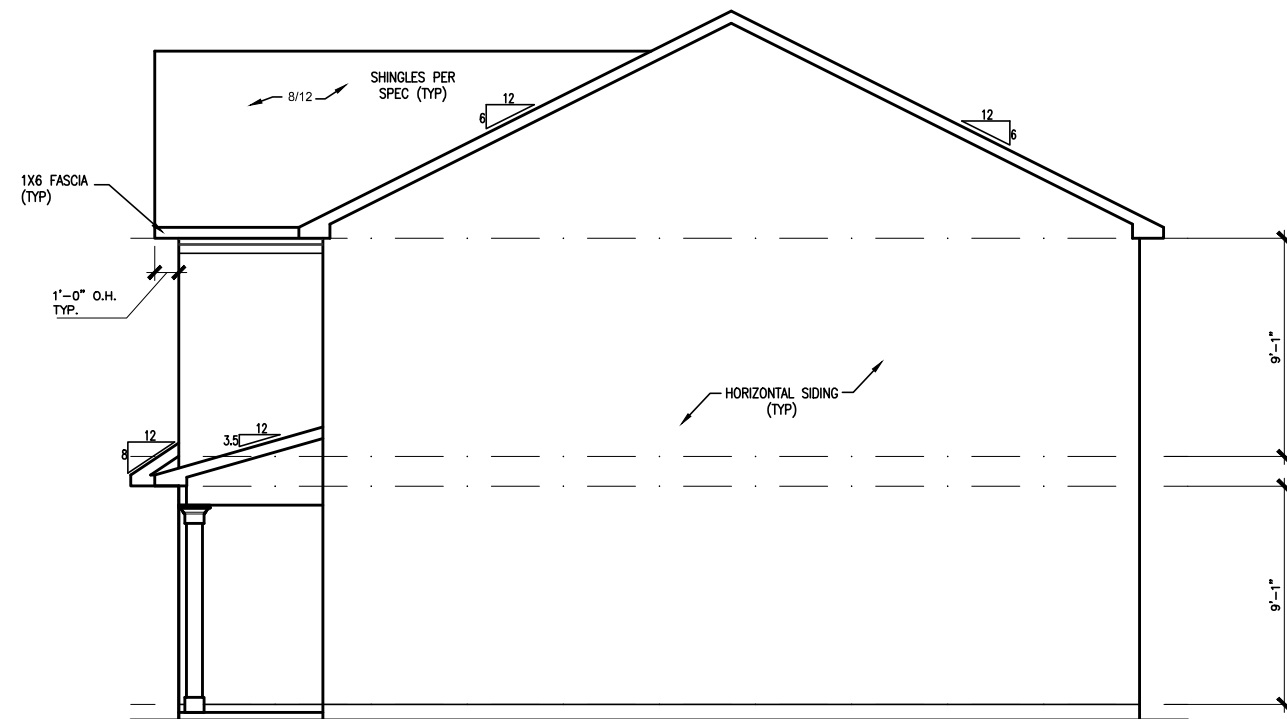
BY: TJJ	CH: AW
DATE: 02/08/2024	
FACADE OPT: A	
PLAN ID:	
FND: ALL	ELEV: D
PAGE NO: A1.1	

DUNCANS CROSSING LOT 0046



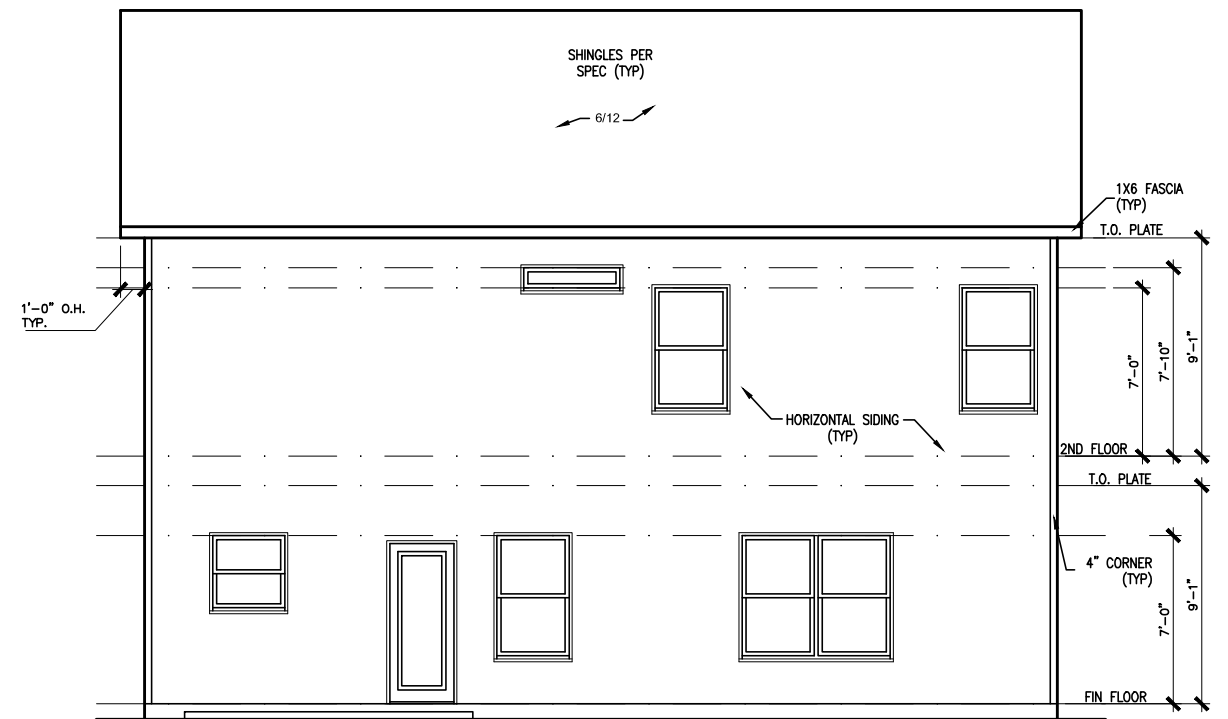
LEFT ELEVATION "D"

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION "D"

SCALE: 1/8" = 1'-0"



REAR ELEVATION "D"

SCALE: 1/8" = 1'-0"

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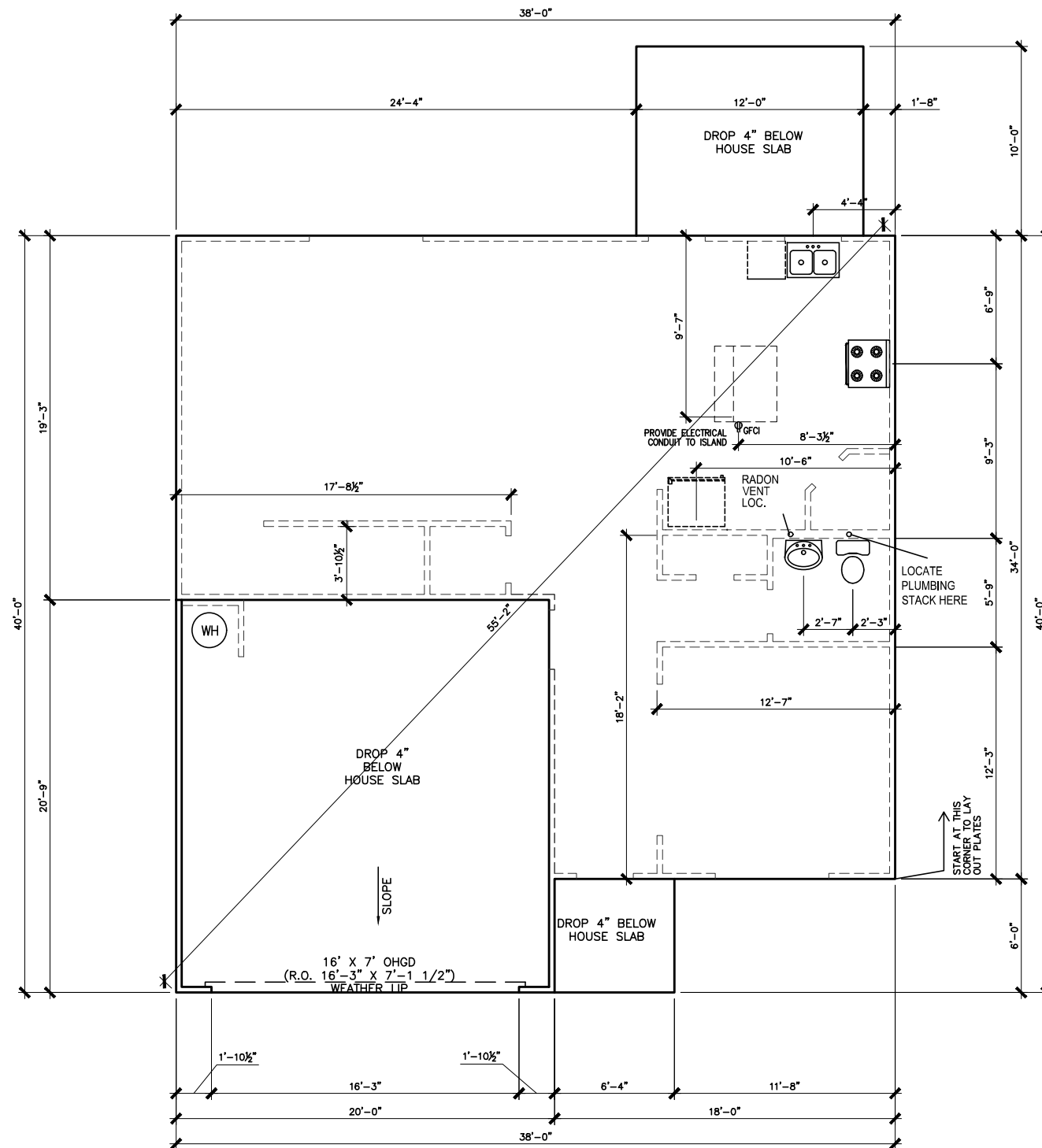
ELEVATIONS
SIDES AND REAR
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DUNCANS CROSSING LOT 0046



*RADON VENT PROVIDED
PER LOCAL CODE
REFER TO DETAIL 3/D1 FOR
BRICK LEDGE DETAIL WHEN
BRICK VENEER IS CHOSEN

SLAB PLAN

SCALE: 1/8" = 1'-0"

DATE	REVISION	BY



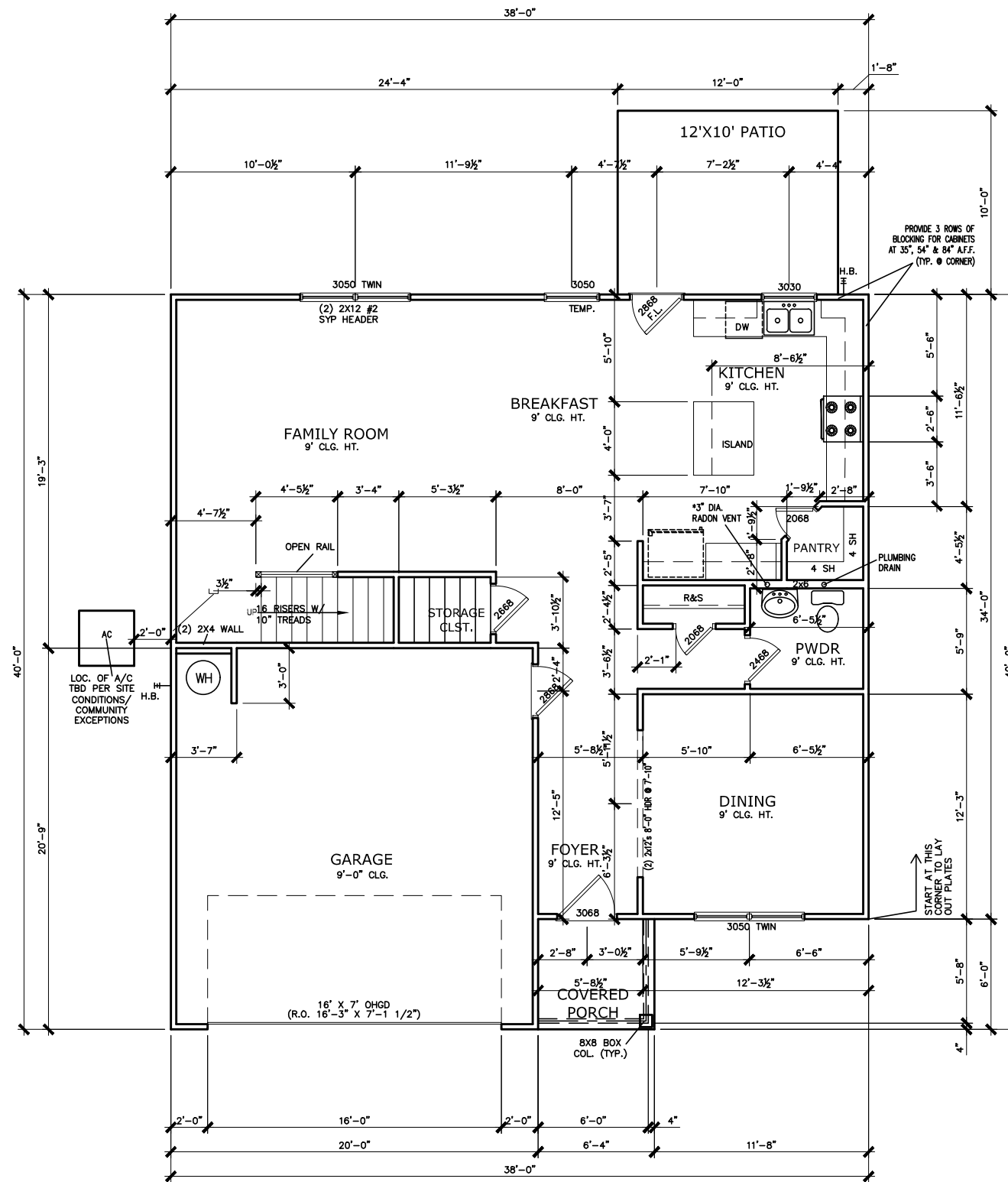
FOUNDATION PLAN
SLAB PLAN
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DUNCANS CROSSING LOT 0046



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

*RADON VENT PROVIDED
PER LOCAL CODE

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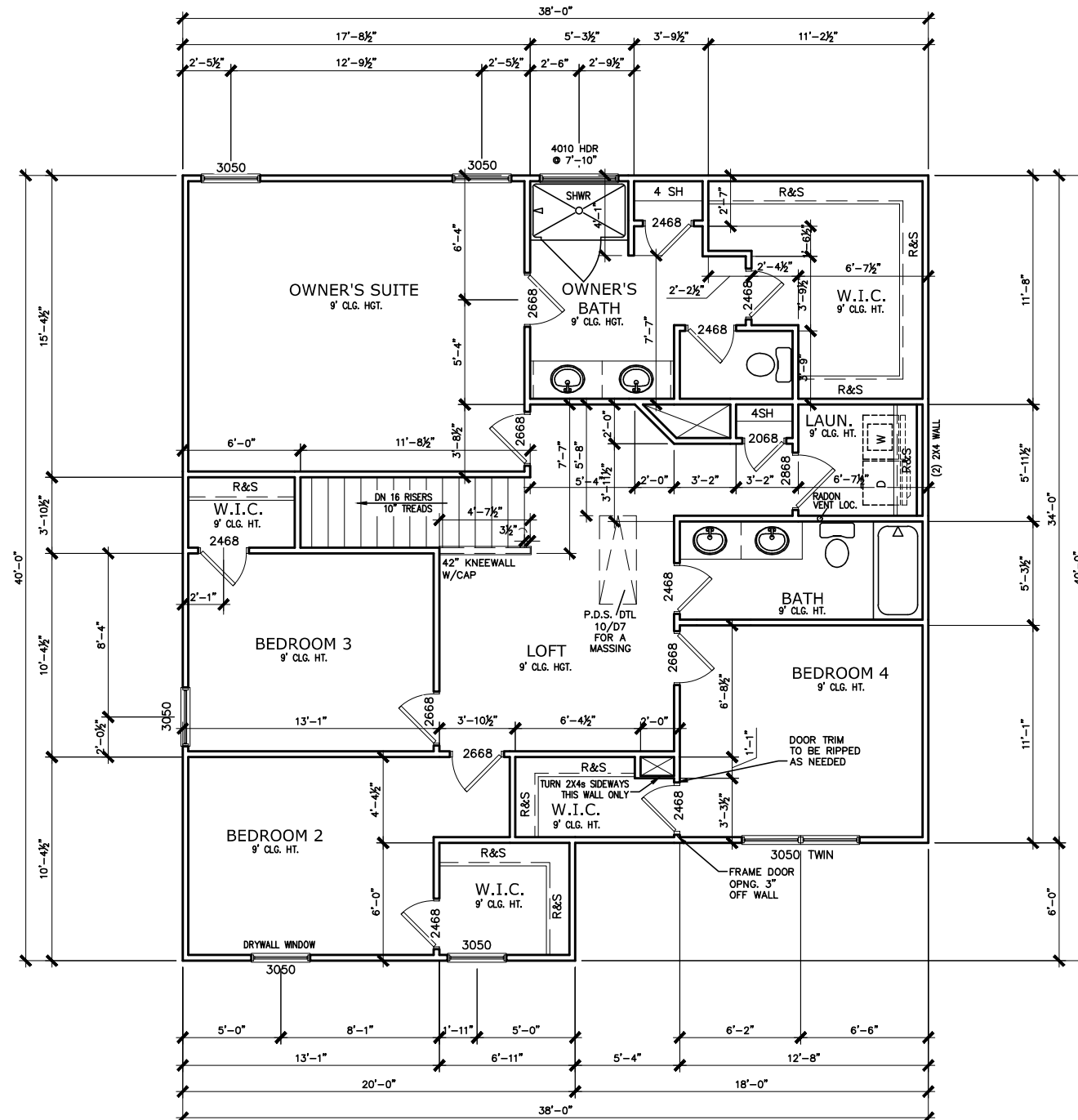
FLOOR PLAN
FIRST FLOOR
MCGINNIS

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PLAN ID:	
FND: ALL	ELEV: D
PAGE NO: A5.1	

DUNCANS CROSSING LOT 0046



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

*RADON VENT PROVIDED
PER LOCAL CODE

REFER TO MANUFACTURER'S SPECS.
FOR DRAIN LOCATIONS ON DETAIL
SHEETS D12, D12.1, D12.2 & D12.3

BY:	REVISION	DATE
TJJ		

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QUALITY | INTEGRITY | VALUE

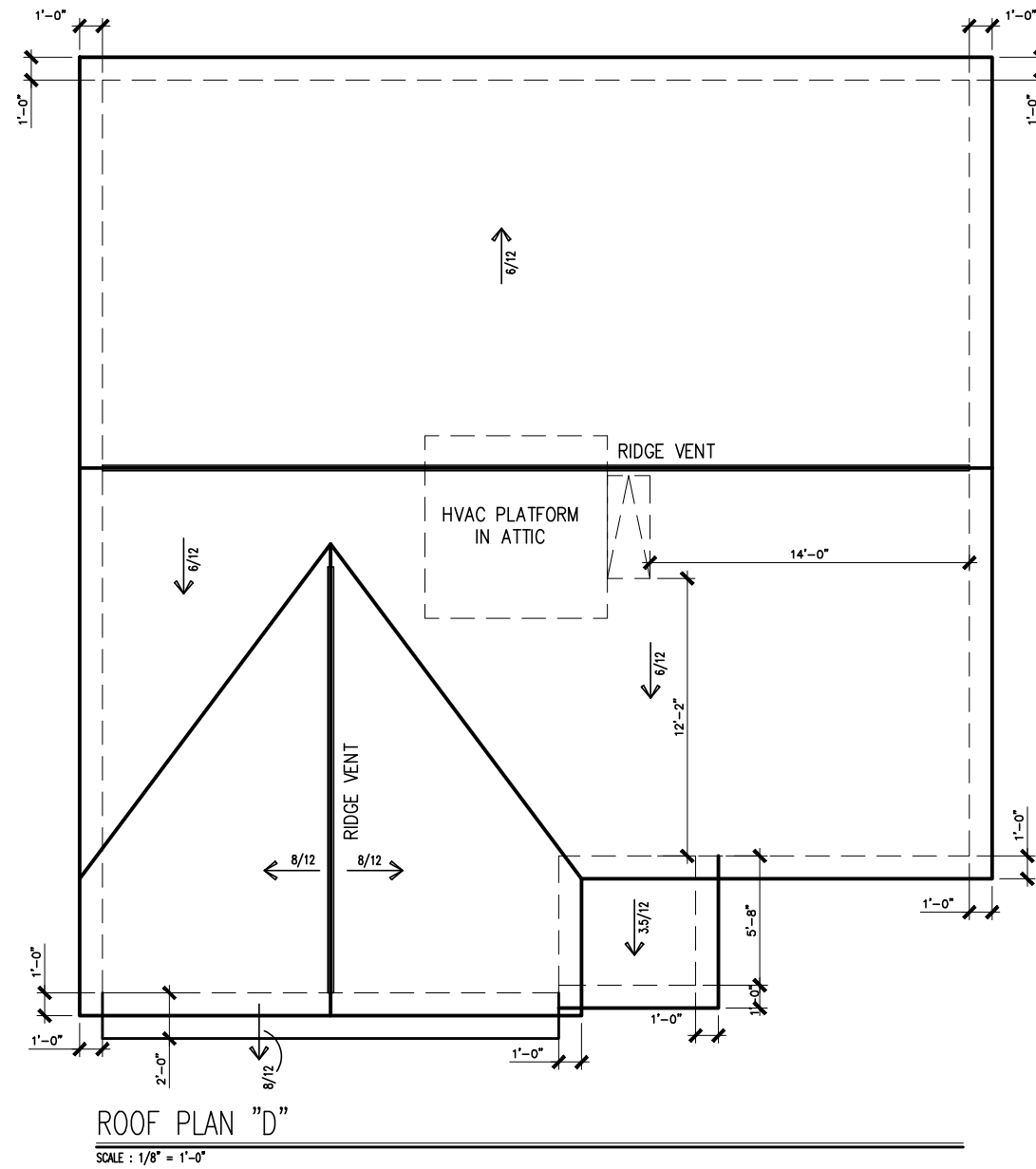
FLOOR PLANS
SECOND FLOOR
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DUNCANS CROSSING LOT 0046



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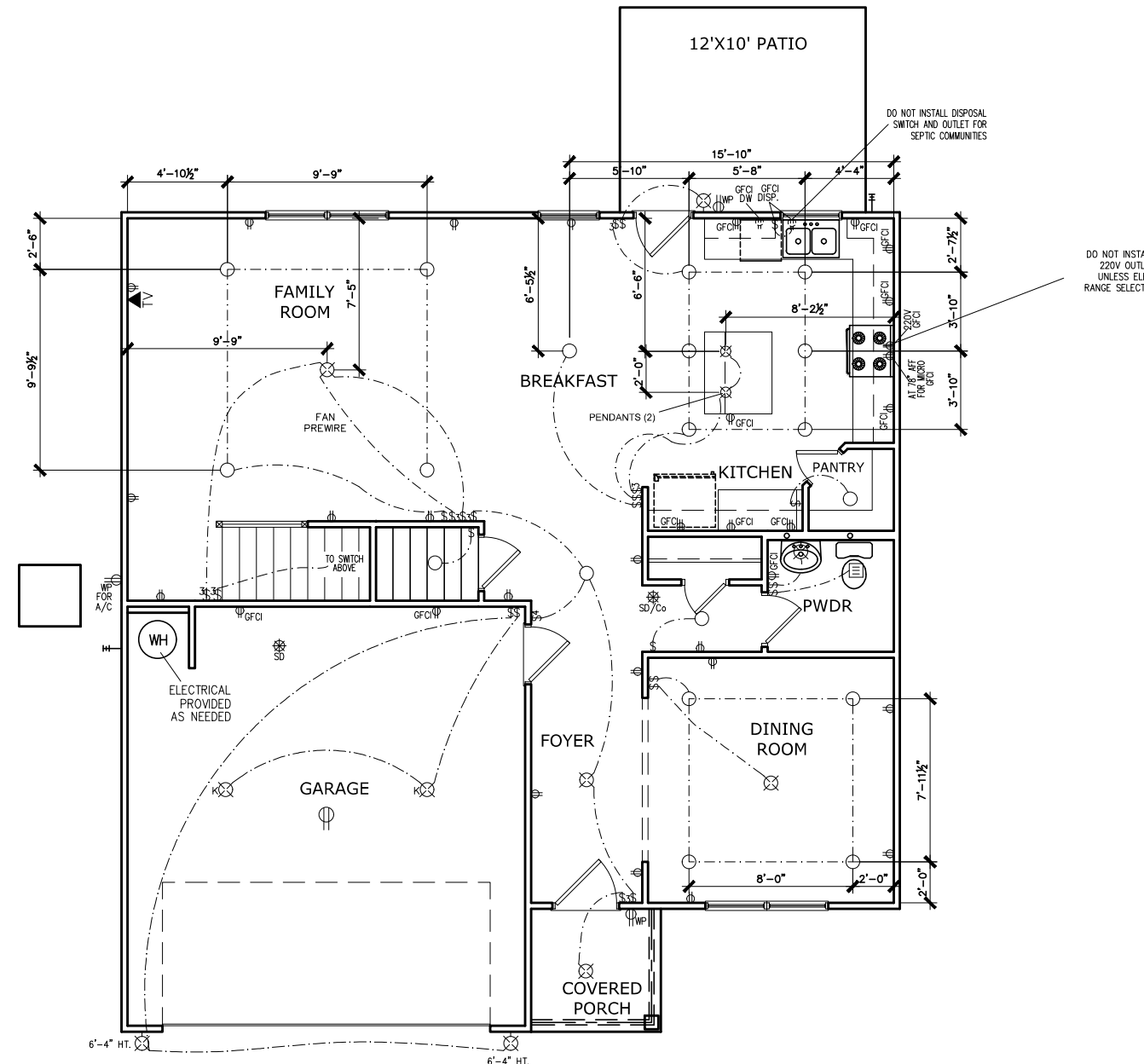
ROOF PLAN
ROOF PLAN
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PAGE NO: A6.1	

DUNCANS CROSSING LOT 0046



ELECTRICAL LEGEND			
\$	SWITCH	TV	TV
\$3	3 WAY SWITCH	⊕	120V RECEPTACLE
\$4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕	KEYLESS	⊕	GFCI OUTLET
⊕	WALL MOUNT FIXTURE	⊕	ARCH FAULT CIRCUIT INTERRUPTER
⊕	CEILING FIXTURE	†	GAS LINE
●	FLEX CONDUIT	†	WATER LINE
CH	CHIMES	↓	HOSE BIBB
PH	TELEPHONE	⊕	FLOOD LIGHT
SD/Cc	SMOKE DETECTOR & CARBON MONOXIDE	⊕	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊕	CEILING FAN
□	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
⊕	EXHAUST FAN	⊕	CEILING FIXTURE
⊕	FAN/LIGHT		

ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES

APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)

BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR
CEILING FAN	96" ABOVE FINISHED FLOOR
FLOOD LIGHT	10' MAX. ABOVE FIN. FLOOR

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

BY	REVISION	DATE
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#	#	#
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#	#	#
#	#	#



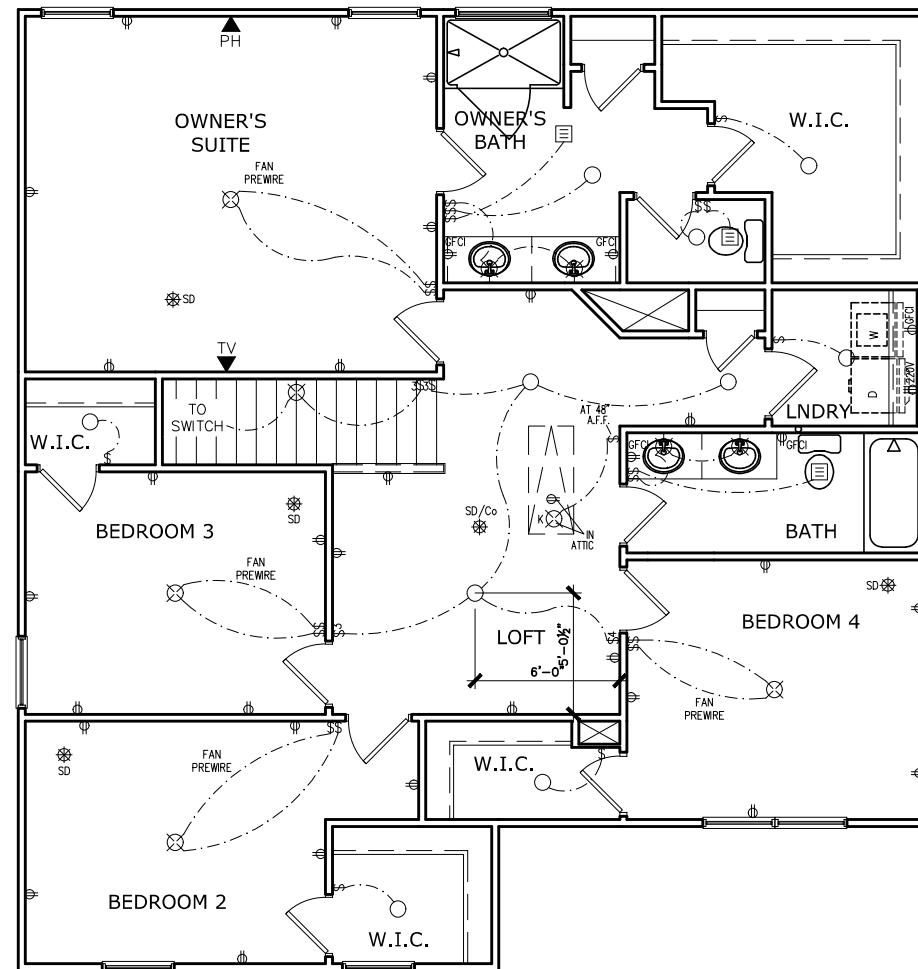
ELECTRICAL PLAN
FIRST FLOOR
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PLAN ID:	
FND: ALL	BLV: D
PAGE NO: A7.2	

DUNCANS CROSSING LOT 0046



SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL LEGEND			
\$	SWITCH	TV	TV
\$3	3 WAY SWITCH	⊕	120V RECEPTACLE
\$4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕	KEYLESS	⊕ _{GFCI}	GFCI OUTLET
⊗	WALL MOUNT FIXTURE	⊕ _{AFCI}	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	† _{GL}	GAS LINE
●	FLEX CONDUIT	† _{WL}	WATER LINE
CH	CHIMES	⊥	HOSE BIBB
PH	TELEPHONE	⊕	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	▭	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊗	CEILING FAN
□	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
⊕	EXHAUST FAN	⊕	CEILING FIXTURE
⊕	FAN/LIGHT		
ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES			
APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)			
BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR		
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP		
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR		
CEILING FAN	96" ABOVE FINISHED FLOOR		
FLOOD LIGHT	10' MAX. ABOVE FIN. FLOOR		

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

DATE	REVISION	BY
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ELECTRICAL PLAN
SECOND FLOOR
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FND: ALL	ELEV: D
PAGE NO: A7.3	

DUNCANS CROSSING LOT 0046

Smith Douglas Communities
Home Definition Guide
Duncans Crossing
Lot: 000/0046

Community: Duncans Crossing Lot: 000/0046	Purchaser: Contract #:
Address: 10 Decoy Spread Place Lillington, NC 27549	Current Status:
Plan: McGinnis D CAD Version: CAD Version Does Not Exist	Lot Premium:
Bedrooms: 4 Bathrooms: 2.5 Sq. Footage: 2,372	Plan Price: Options: Adjustments: Total Price:

Option Name	Option Description	Qty		
Brick 11 or CRCPkg(1)		1		
Nickel Interior Finish Color Package	NOTE: If Laminate Kitchen top, Upgrade Kit Faucet or it remains Chrome. Includes SS kitchen faucet, brushed nickel bath faucets & fixtures & door hardware (hinges, bumps, knobs/levers, deadbolts), light fixtures per Sales Sheets, & painter oval mirror & appliances. Separate options also affected: shower door, shower grab bar, cabinet hardware	1		
1A Uncovered Patio-Regular Ilo Stoop	Expand 3x3 rear stoop to 10x12 concrete patio (size may vary. *** dimensions are per plan drawing). *** selecting a covered patio, do not select this option***	1		
Window(s) in Breakfast Nook	Add window(s) to Breakfast Nook per plan option. See specific plan for details. Does not include blind.	1		
Level 2 - Package Electric (from E1)	NOTE: Please See Appliance Sales PDF for Package Details	1		
3pr Cabinet 1st Uppr	Note: Bath cabinets to match	1		
Cabinet above the Refrigerator per Plan	This includes a horizontal bump over the refrigerator. Also, per plan, includes the refrigerator and panel and 12" to 24" cabinet depth upgrade	1		
Cabinet Bump above Microwave (Cab Only)	Cabinet Bump above Microwave	1		
Cabinet Knob/Pull Combo	Cabinet Knob/Pull Hybrid-Element 1092 series pulls on all drawers, knobs on all doors. Note: Bath cabinets to match	1		
Crown Molding on Kitchen Cabinets		1		
Granite-Kitchen Countertops - Lvl 1 (1)	Kitchen Granite Countertops - Level 1- where Laminate is Std.	1		
Granite-Kitchen Sink Level 1	Level 1 Undermount rectangular stainless steel sink upgrade for kitchen granite.	1		

Buyer's Signature _____ Seller's Signature _____
Date _____ Date _____

Smith Douglas Communities 2/6/2024 Page 1 of 4

Smith Douglas Communities
Home Definition Guide
Duncans Crossing
Lot: 000/0046

Option Name	Option Description	Qty		
Kitchen Faucet-Lvl2(Br GRANITE Top)	Upgrade to Level 2 Pulldown Kitchen Sink Faucet from Level 1 Faucet on Granite	1		
Opt Island 1st Uppr w/Gm1 Top	Optional Island in 1st Upgrade Styles/Colors Includes Granite 1 Top. NOTE: Island Granite Level must match kitchen. NOTE: Pendant Lights are a separate option per plan.	1		
Owner Bath Marble 1 Double Ilo LamSgl	**Includes Vanity Double Bowl Option Do Not Select Both** Includes raising vanity height from 32.5" to 35"	1		
Prefab Lg Shwr Only Large FD OBATHA	Large prefab shower with framed clear glass door I/O of standard bath. (obath)	1		
Hall Bath Marble 1 Double Ilo LamSgl	**Includes Vanity Double Bowl Option Do Not Select Both** Includes raising vanity height from 32.5" to 35"	1		
FIPkg SAA-VinylPKL1, StdCpt (FPkg1)	Flooring Package 5AA - Vinyl Plank Level 1, Standard Carpet (from Package 1), SPC (solid polymer core) 0.5 mm vinyl top layer planks	1		
FIPkg W2-ABS2BathLaundry Vinyl PK L1	Flooring Package - All Standard Baths and Laundry - Vinyl Plank L1. Does not include powder room or bathrooms which are parts of globally optional space. See Flooring Package Layouts for details. Includes Owners Bath.	1		
Open Rail 1st Floor - Iron Comfort Height Yokes-All Bathrooms	Comfort Height Yokes- All Bathrooms, Standard and Optional. Floor to below 17" high	1		
Blind for Rear/Back Door	Blinds - Additional blind to cover rear/back door	1		
Blind per Optional 3050 Single Window	One 3050 blind. For use when you've added a 3050 optional window. See Optional Windows Sales Guide on the Program Model for assistance.	1		
Blinds for Base House	Includes blinds for all standard windows on front, sides, and rear that are operational and accessible. Does not include blinds for any optional windows, including windows for optional second floors.	1		
Screen Per Optional 3050 Window	Note: If the optional window is a 3050 twin, it needs two screens.	1		
Screens Base House Single Family	ADD window screens to all operable standard windows on single family home. NOTE: Does not include screens for windows for optional 2nd floors, side entry garage, or windows added or changed from structural options, optional windows, or basement windows. See additional options to complete screens.	1		

Buyer's Signature _____ Seller's Signature _____
Date _____ Date _____

Smith Douglas Communities 2/6/2024 Page 2 of 4

Smith Douglas Communities
Home Definition Guide
Duncans Crossing
Lot: 000/0046

Option Name	Option Description	Qty		
PreWire for Ceiling Fan	Pre-wire a light location for a future ceiling fan.	3		
Dining Room Ceiling Fixture Lights	Dining Room Lights - Low Profile Flush Mount LED Lights.	1		
Family/Great Room Ceiling Fixture Lights	Family/Great Room Lights - Low Profile Flush Mount LED Lights per plan.	1		
Pendant Lights per Plan	Pendant Lights above Island/Bar Top per plan electrical diagram. To match lighting package selected. NOTE: Choose this option only once.	1		
Automatic Garage Door Opener	Garage Door Opener - Per door. Includes one remote	1		

Buyer's Signature _____ Seller's Signature _____
Date _____ Date _____

Smith Douglas Communities 2/6/2024 Page 3 of 4

Smith Douglas Communities
Home Definition Guide
Duncans Crossing
Lot: 000/0046

Activity	Item	Selection	Accepted
De/Install AppliancePkg	Appliance Package Select - All	Appliance Package Selected	02/06/2024
Deliver & Install Blinds	Blind Color	White	02/06/2024
Install Cabinets Complet	Cabinet Finish - Standard Aria	White	02/06/2024
Install Cabinets Complet	Cabinet Finish - Upgrade 1Aria	1st-Uppr Elkins White	02/06/2024
Install Carpet	Carpet - Standard ALL	Smith Grove III Whisper 112	02/06/2024
Install Granite Tops	RDU Granite CounterKitchenLvl1	Darlie-Ashen White	02/06/2024
Install Granite Tops	RDU Rectangular SS sink Lvl. 1	Single Bowl Sink-Chemore Radial ZS-300	02/06/2024
Install Laminate Tops	Kitchen Counter Tops - All		
Install Laminate Tops	Master Bath Vanity Tops - All		
Install Laminate Tops	Secondary Bath Vanity Tops-All	Selection not Needed	02/06/2024
Install Marble Tops	RDU Marble Vanity Top Lvl 1	1.5 CM Quartz - Frost White	02/06/2024
Install Vinyl Plank Lvl1	Vinyl Plank Level 1	Simonton Plus - 705 Modeled Oak	02/06/2024
Paint Interior Complete	Interior Paint (Trim)	SW 7006 Extra White	02/06/2024
Paint Interior Complete	Interior Paint (Walls) - Base	SW 7014 Eider White	02/06/2024
PM install Vinyl Floor	VinylPkg-Common Area		
PM install Vinyl Floor	VinylPkg-Option Baths		
PM install Vinyl Floor	VinylPkg-Owner Bath	Selection Not Needed	02/06/2024
PM install Vinyl Floor	VinylPkg-Std and BathsLaundry		
Stain Handrails	Hand Rail Stain - All	MW-Toasted Barrel (LVP-709 Mcclell Oak)	02/06/2024

Buyer's Signature _____ Seller's Signature _____
Date _____ Date _____

Smith Douglas Communities 2/6/2024 Page 4 of 4

DATE	BY:	TJJ	CH:	AW
	REVISION	#	#	#
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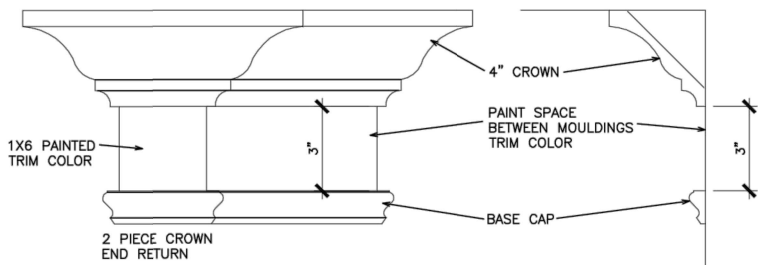
DETAILS
LOT DEFINITION
MCGINNIS

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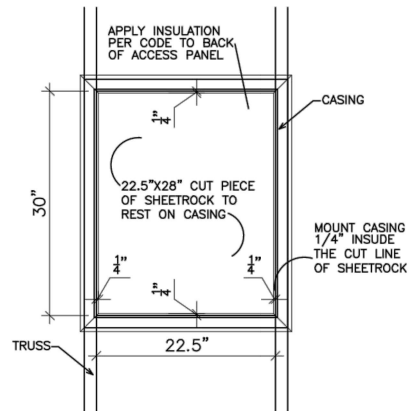
BY:	TJJ	CH:	AW
DATE:	02/08/2024		
FACADE OPT:	A		
PLAN ID:			
FND:	ALL	ELEV:	D
PAGE NO:	A9.1		

REFER TO LOT SPECIFIC PLAN TO DETERMINE WHICH DETAILS APPLY



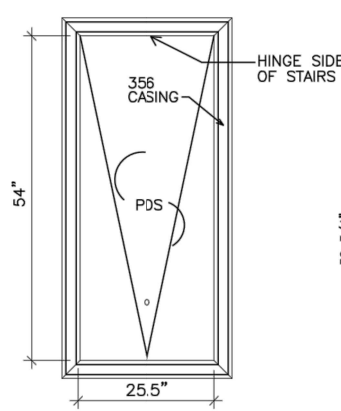
TYPICAL TWO PIECE CROWN

N.T.S.



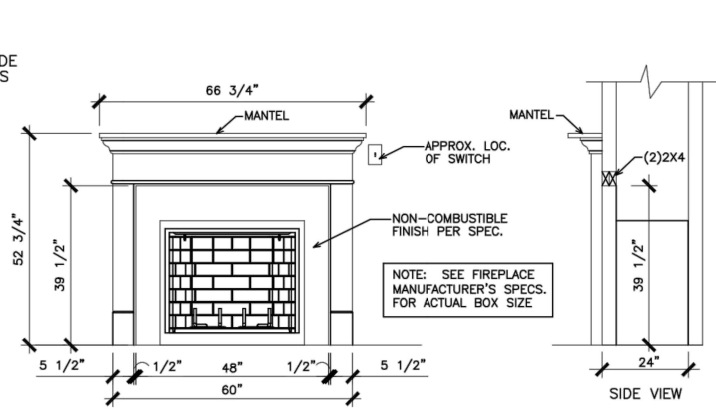
SCUTTLE HOLE DETAIL

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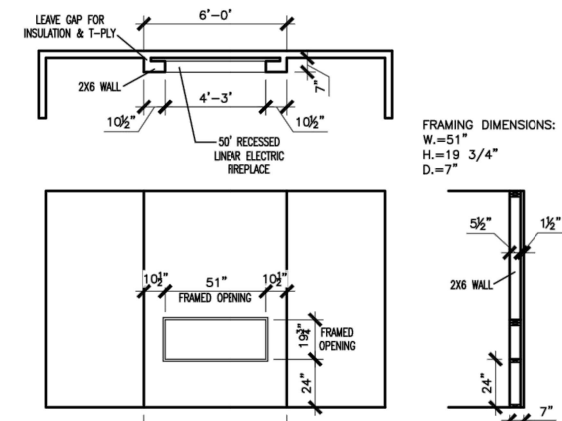
PDS TRIM DETAIL

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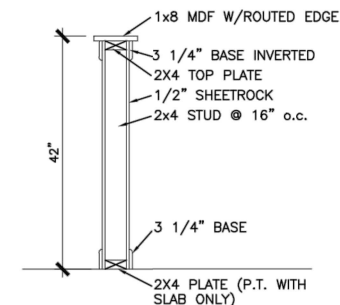
GAS/ELECTRIC FIREPLACE DETAIL WITH WESCOTT WOOD MANTEL

N.T.S.



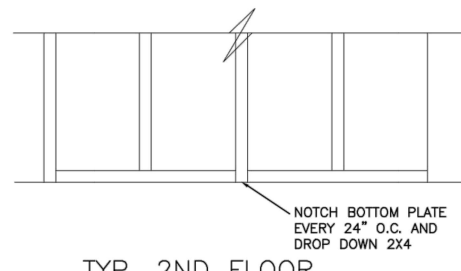
LINEAR ELECTRIC FIREPLACE DETAIL

N.T.S.



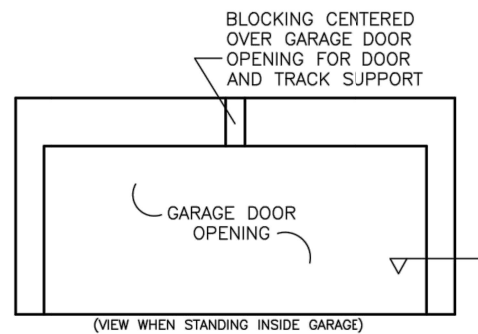
TYP. KNEEWALL SECTION

N.T.S.



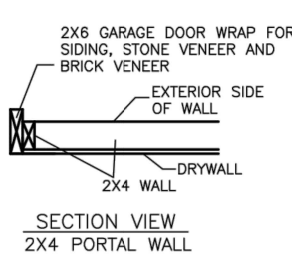
TYP. 2ND FLOOR KNEEWALL STABILITY

N.T.S.



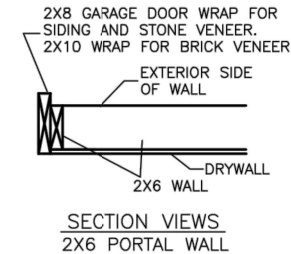
TYP. GARAGE WRAP & BLOCKING

N.T.S.



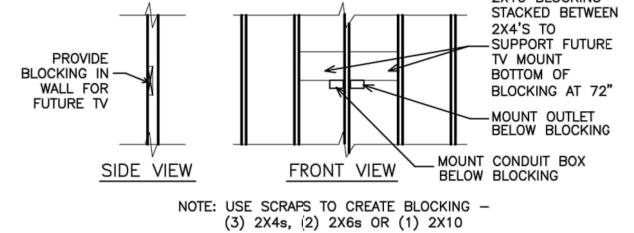
SECTION VIEW 2X4 PORTAL WALL

N.T.S.



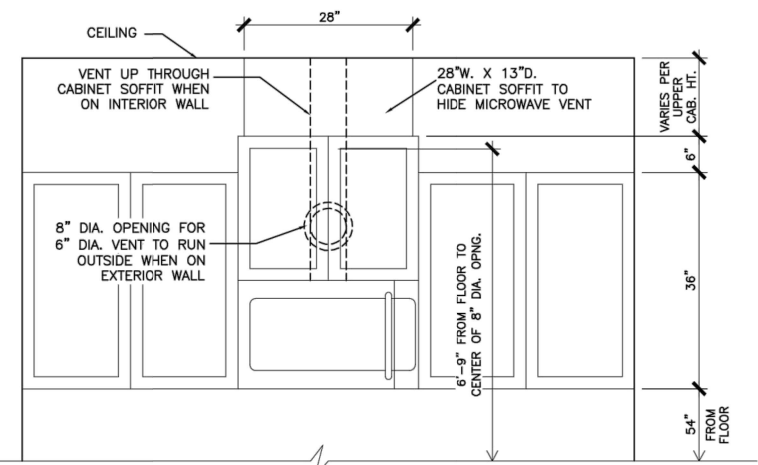
SECTION VIEWS 2X6 PORTAL WALL

N.T.S.



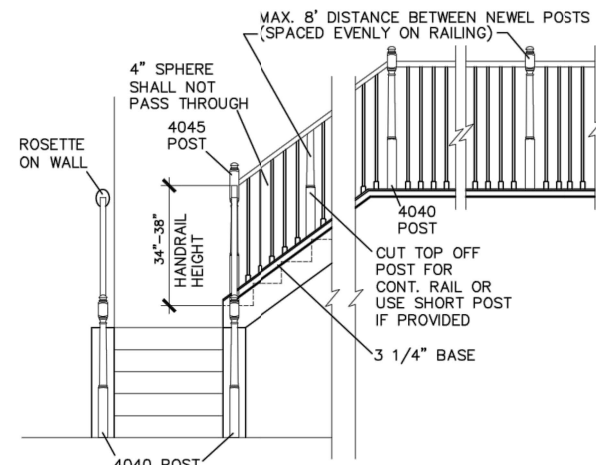
TYP. TV WALL PREP

N.T.S.



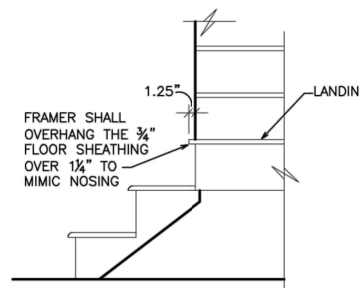
CABINET SOFFIT DETAIL ABOVE VENTED MICROWAVE W/CABINET ABOVE RANGE BUMPED UP & OUT

N.T.S.



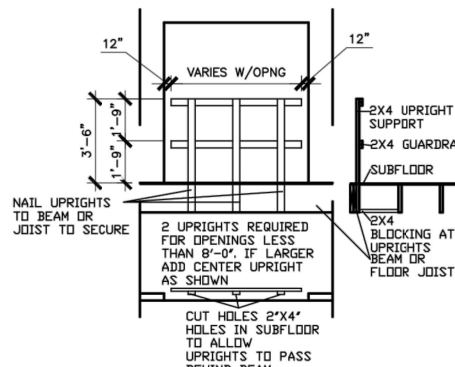
HANDRAIL/POST DETAIL @ STAIRS

N.T.S.



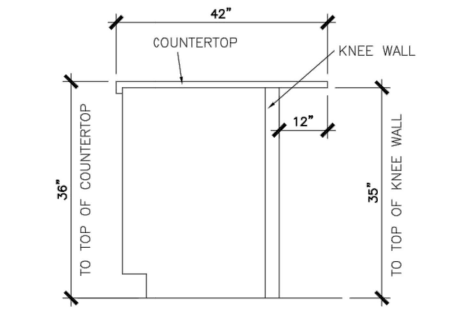
BOX STEP OVERHANG

N.T.S.



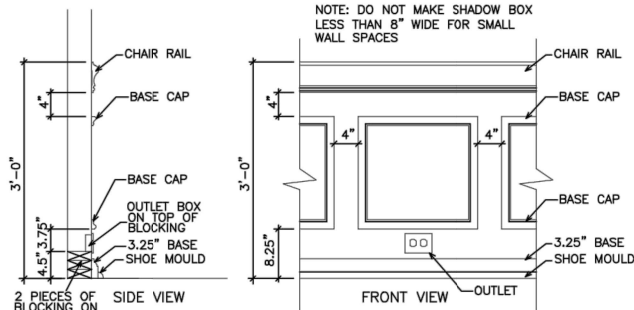
GUARD RAIL DTL. AS REQ'D

N.T.S.



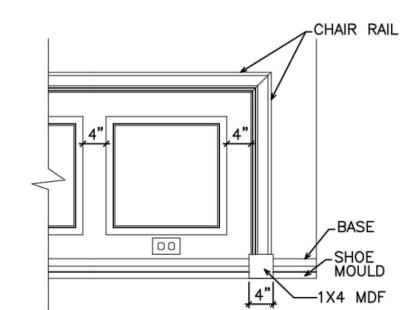
SECTION @ ISLAND KNEEWALL

N.T.S.



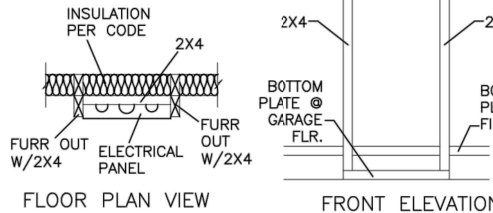
TYPICAL CHAIR RAIL & SHADOW BOX DETAIL

N.T.S.



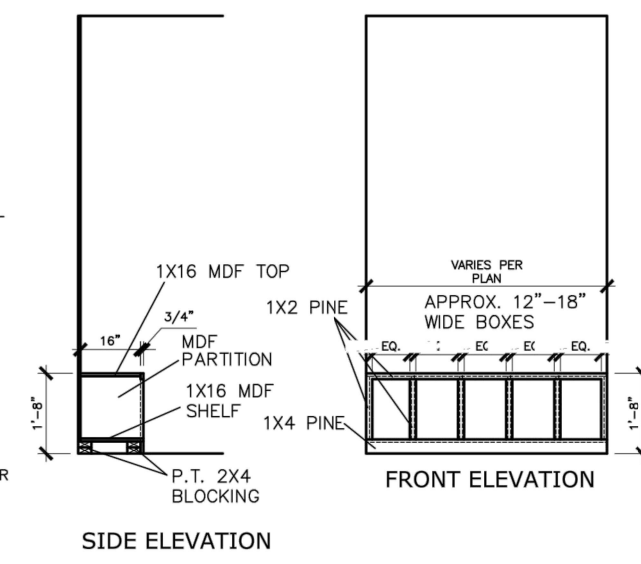
CHAIR RAIL END TRIM DETAIL

N.T.S.



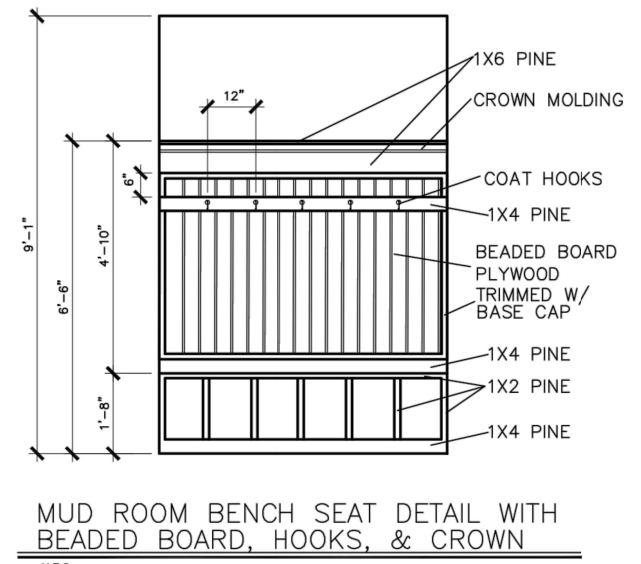
ELECTRICAL PANEL DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL WITH BEADED BOARD, HOOKS, & CROWN

N.T.S.

(IF TRIM CHOSEN WITHOUT BENCH CONTINUE TO FLOOR)

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BY	DATE	REVISION

SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

INTERIOR TRIM
DETAILS

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 215
WOODSTOCK, GA 30188
www.smithdouglas.com

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DATE:	6/13/23
PLAN ID:	
END:	
ELEV:	
PAGE NO.:	D1.1

Mulhern+Kulp project number:
256-21009

project mgr: **SMK**
 drawn by: **MJF**
 issue date: **10-26-2021**

REVISIONS:

date:	initial:
11/22/21	JPP
08/18/23	MMD
STRAP, PORTAL FRAME, GARAGE EXT. WALLS	

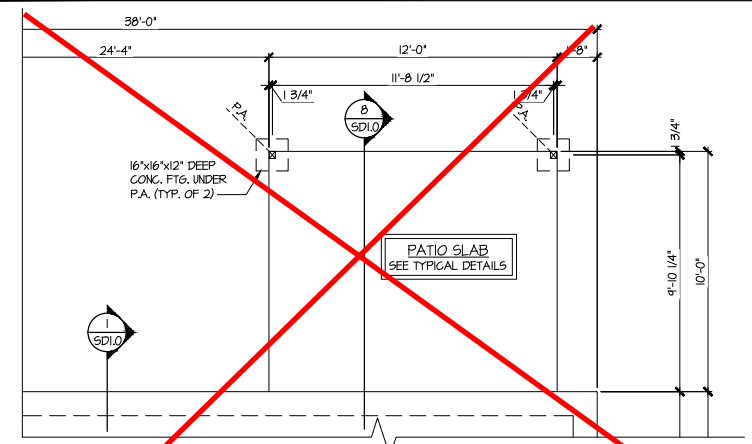
SMITH DOUGLAS
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**Duncans
 Lot 46**

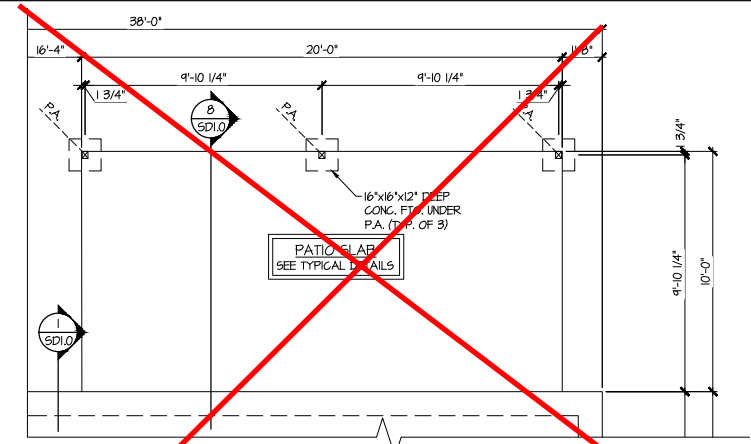
REFER TO S.O. FOR TYPICAL
 STRUCTURAL NOTES & SCHEDULES

MONO-SLAB FOUNDATION
 MCGINNIS MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

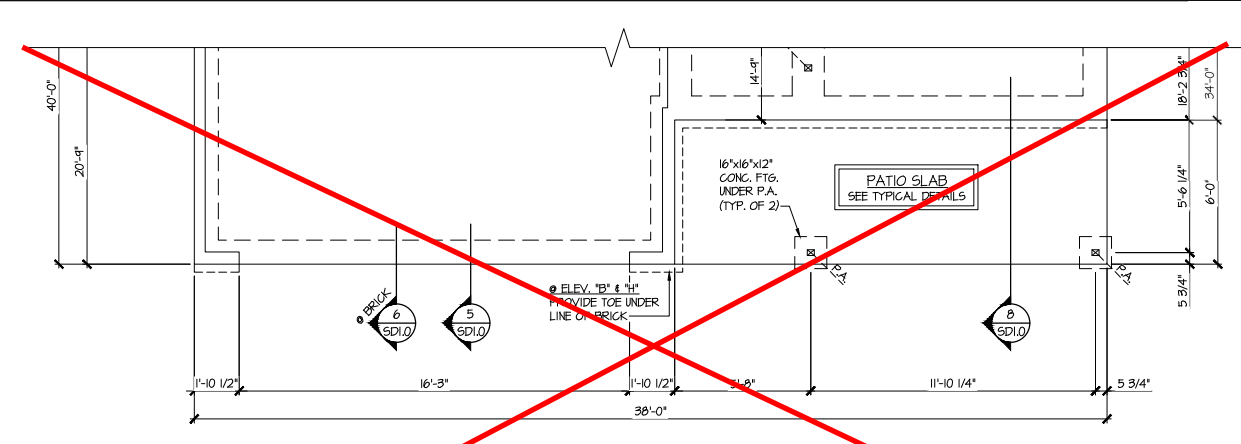
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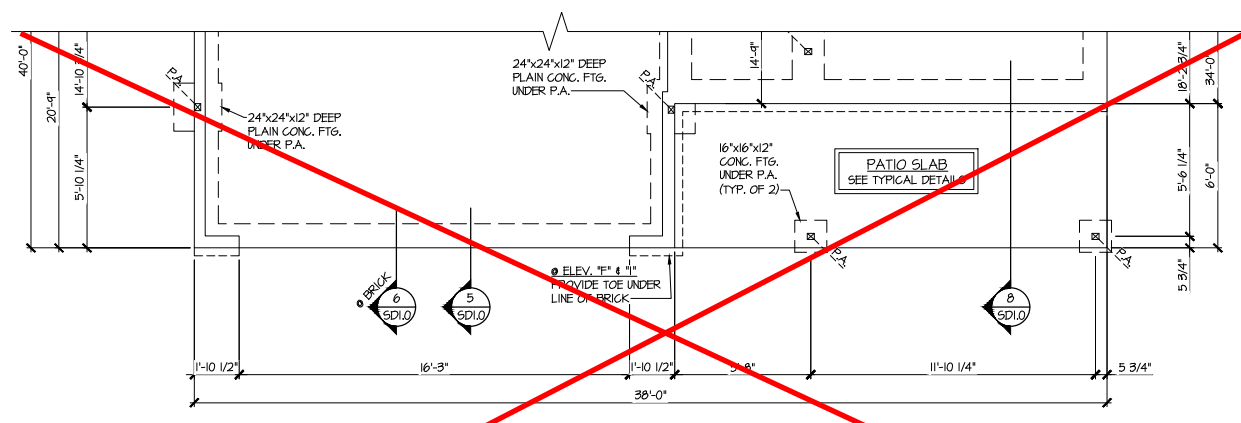
4 PARTIAL MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. COVERED PORCH



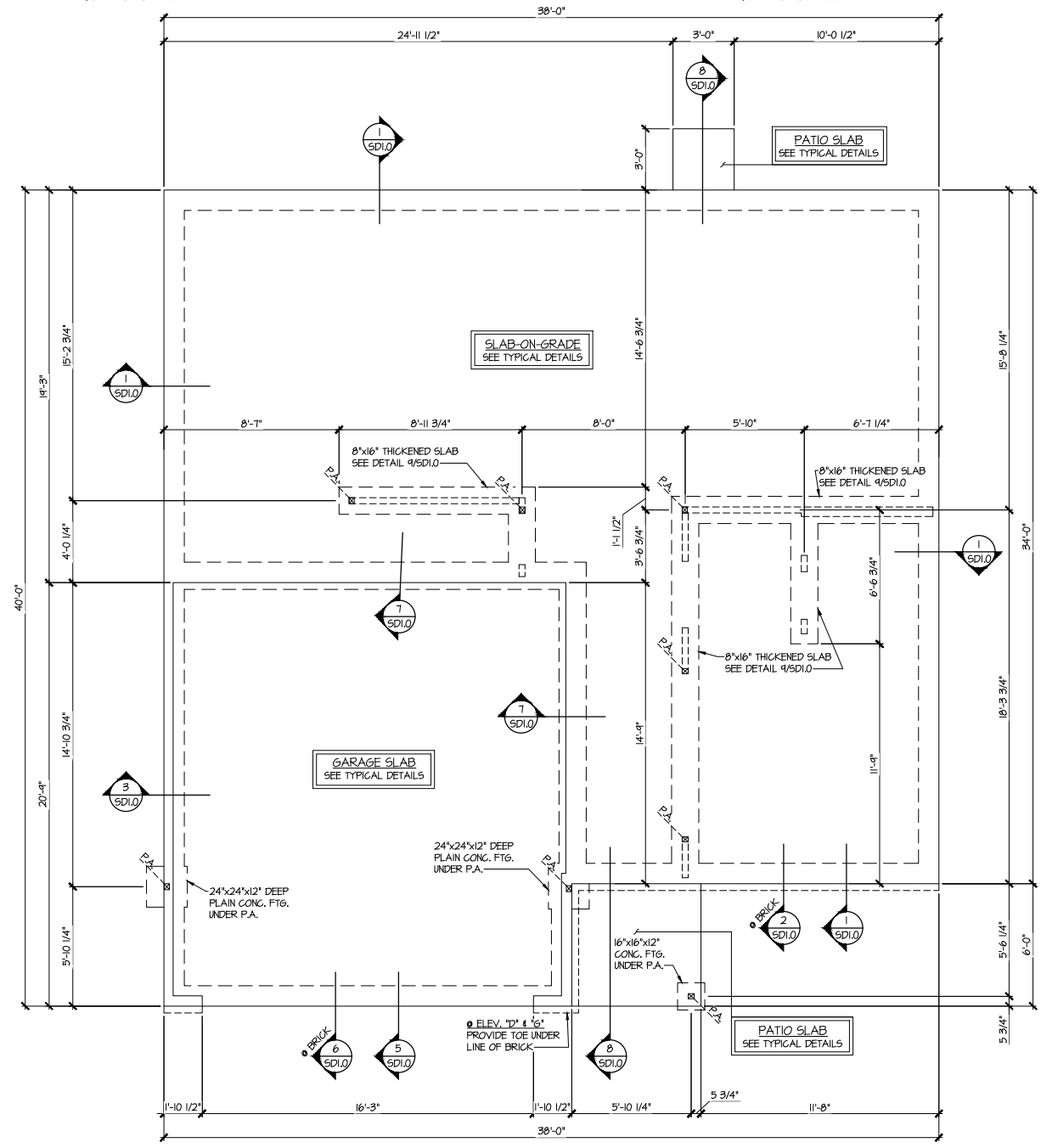
5 PARTIAL MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. LARGE COVERED PORCH



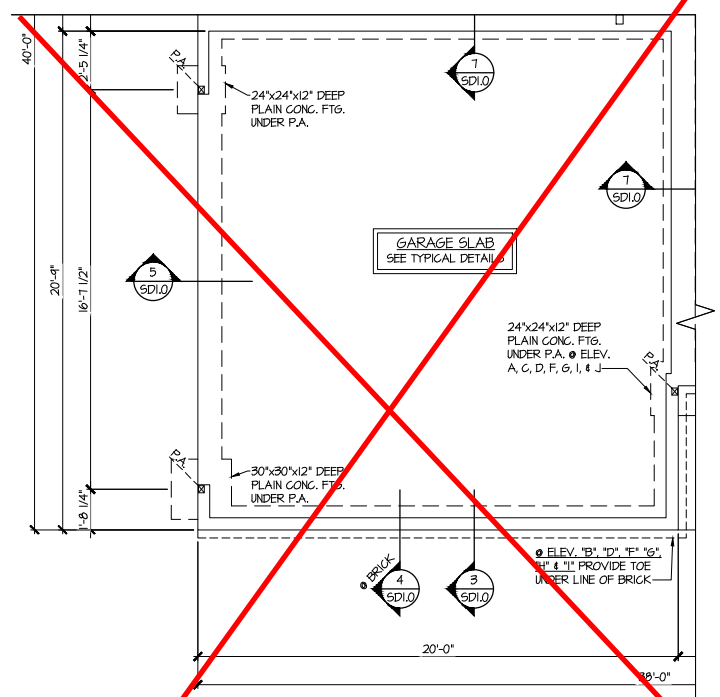
2 PARTIAL MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. B, E, H, & J



3 PARTIAL MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. C, F, & I



1 MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. A, D, G, & J



6 PARTIAL MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. SIDE ENTRY GARAGE

LEGEND

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
- [Symbol] INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- [Symbol] INTERIOR BEARING WALL
- [Symbol] BEARING WALL ABOVE (B.W.A.)
- [Symbol] BEAM/HEADER
- [Symbol] METAL HANGER
- * INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

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 RESIDENTIAL STRUCTURAL ENGINEERING
 3825 Matthews Parkway, Suite 105 - Alpharetta, GA 30022
 770-777-8974 - mulhern+kulp.com
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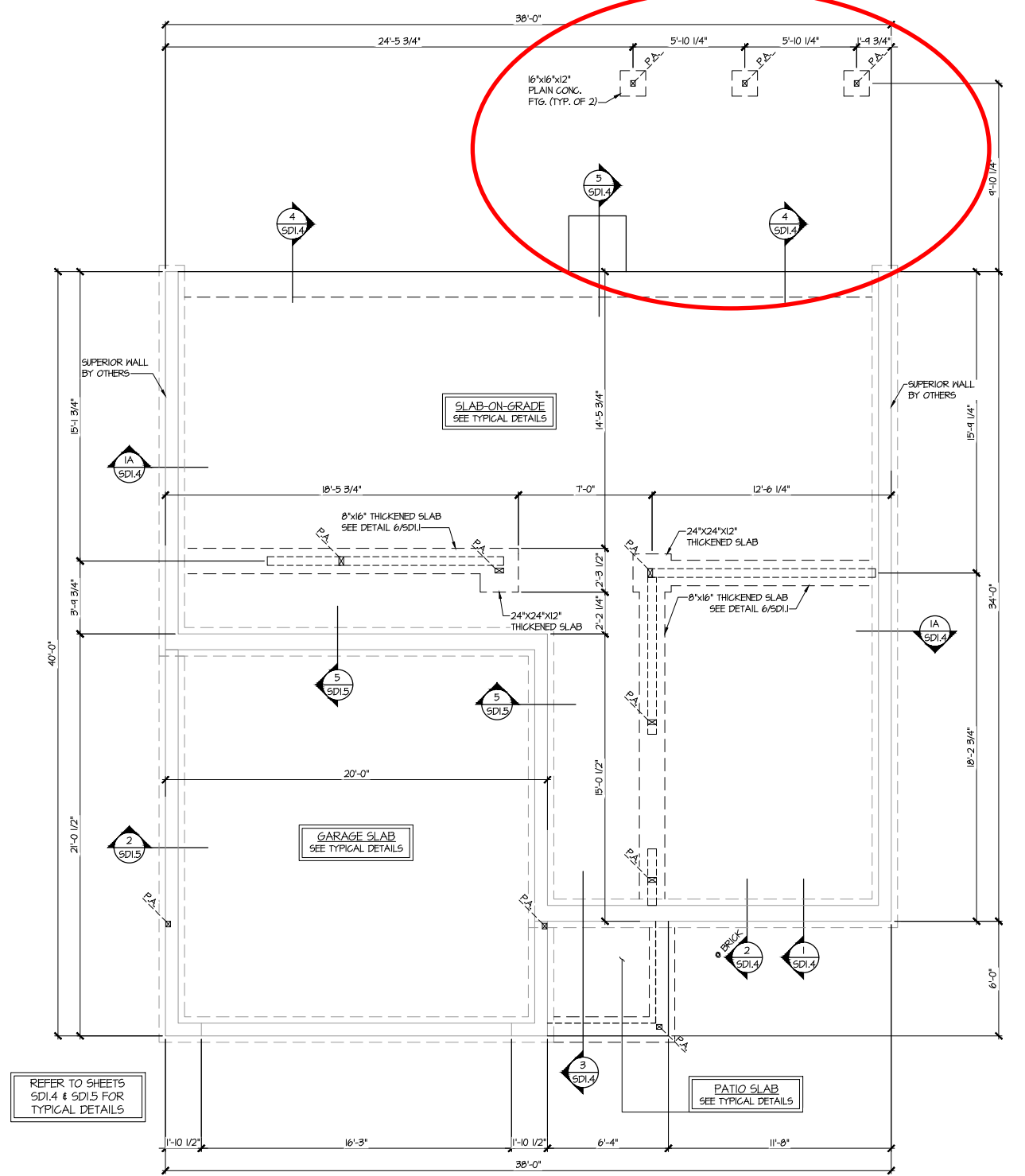
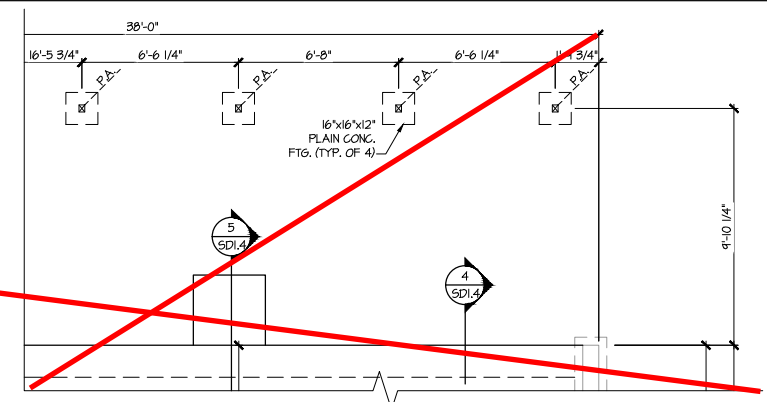
Mulhern+Kulp project number:
 256-21009
 project mgr: SMK
 drawn by: MJF
 issue date: 10-26-2021
 REVISIONS:
 date: initial:
 11/22/21 JPP
 MISSED PLANS ADDED
 08/18/23 MMD
 STRAP, PORTAL FRAME, GARAGE EXT. WALLS

SMITH DOUGLAS
 HOMES

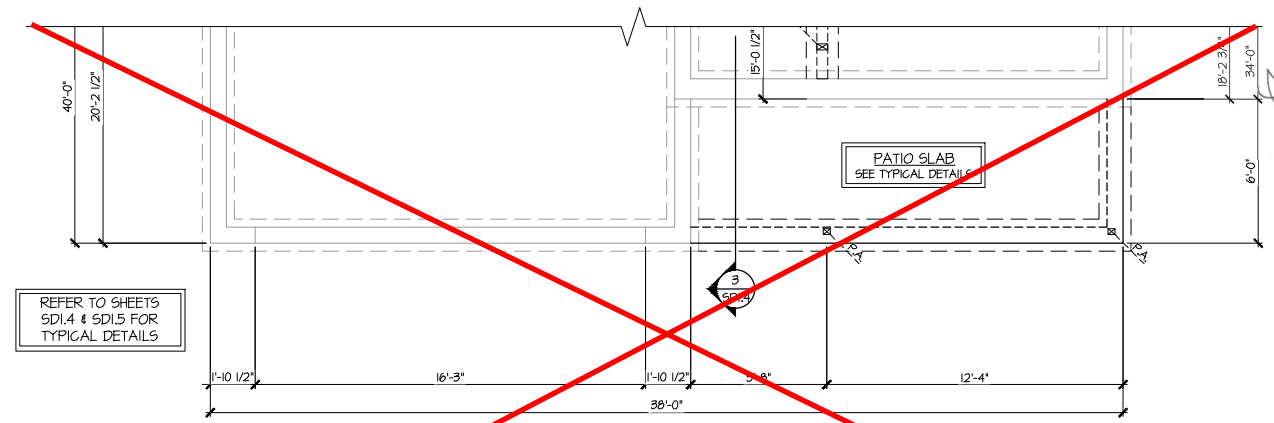
BASEMENT FOUNDATION PLAN
 MCGINNIS MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

sheet:
S1.2M

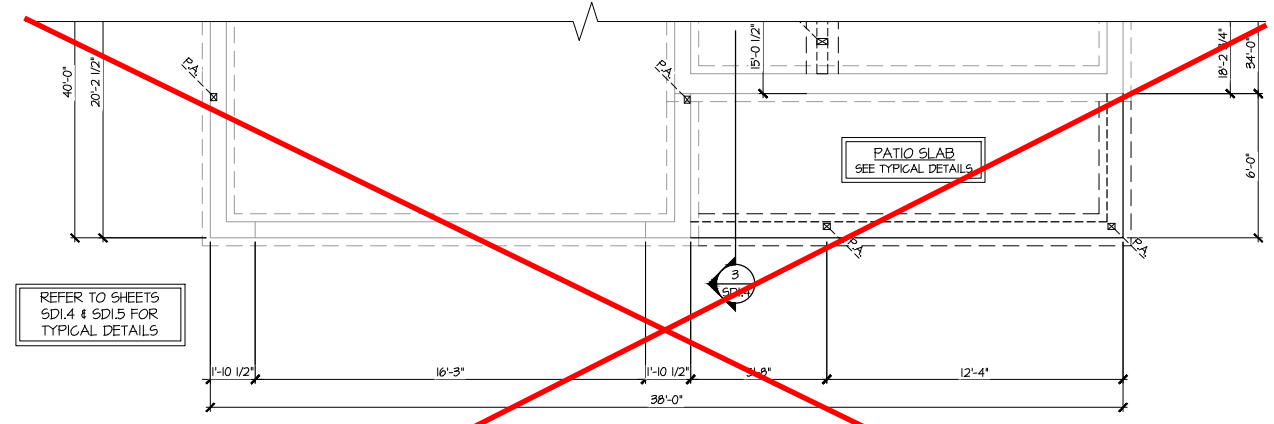
4 PARTIAL BASEMENT FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. EXT. DECK
 (LARGE COVERED
 PORCH SIM.)



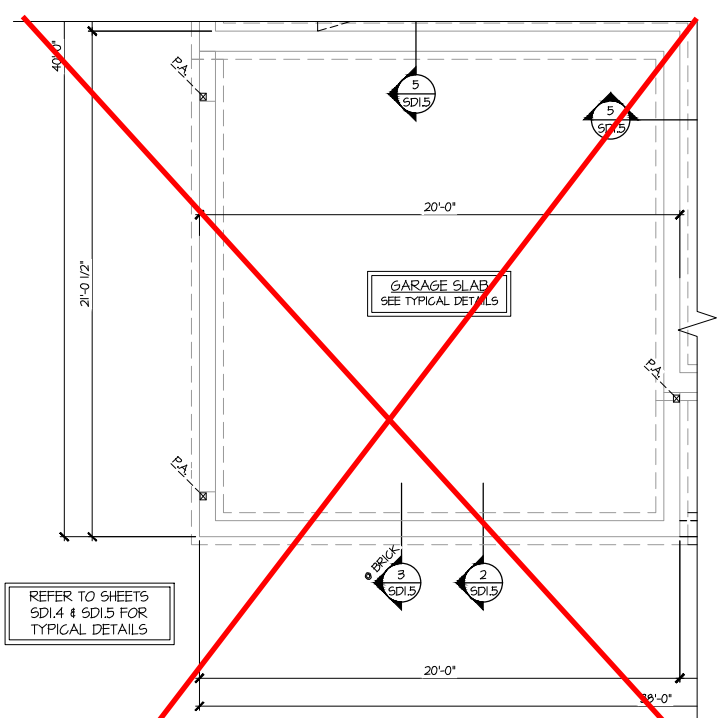
1 BASEMENT FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 SUPERIOR WALLS
 ELEV. A, D, G, J



2 PARTIAL BASEMENT FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 SUPERIOR WALLS
 ELEV. B, E, H, I



3 PARTIAL BASEMENT FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 SUPERIOR WALLS
 ELEV. C, F, K



5 PARTIAL BASEMENT FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. SIDE ENTRY GARAGE

**Duncans
 Lot 46**

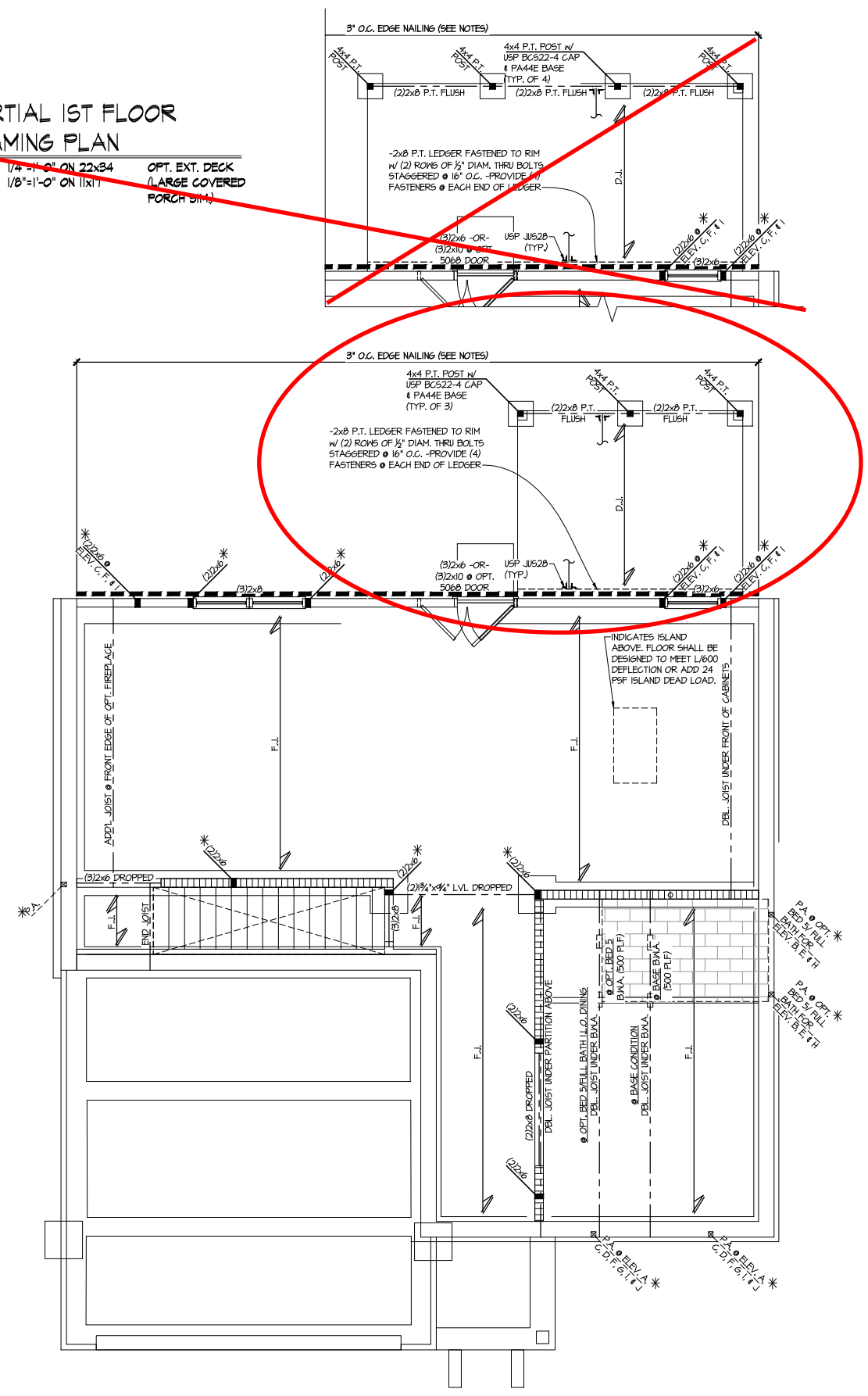
REFER TO S0.0 FOR TYPICAL
 STRUCTURAL NOTES & SCHEDULES

LEGEND

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
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- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
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- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- J.L. METAL HANGER
- * INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

**PARTIAL 1ST FLOOR
 FRAMING PLAN**

SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. EXT. DECK
 (LARGE COVERED
 PORCH SHOWN)



**Duncans
 Lot 46**

THIS LEVEL HAS BEEN DESIGNED
 FOR 9'-1\"/>

REFER TO S0.0 FOR TYPICAL
 STRUCTURAL NOTES & SCHEDULES

LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
	INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
	INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

1ST FLOOR FRAMING PLAN

~~UNFINISHED BASEMENT CONDITION~~

SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ALL ELEV. SIM.
 FINISHED BASEMENT SIM.

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:
120MPH WIND IN 2018 NCSBG:RC & 120MPH WIND IN 2018 IRC
 (120 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC SECTION 1604) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2018 NCSBG:RC & 2018 IRC. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBG:RC & 2018 IRC SECTION R802.11.1.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 & R802.11.

MHC STD. - MAR 2016

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:
 FASTEN SHEATHING w/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

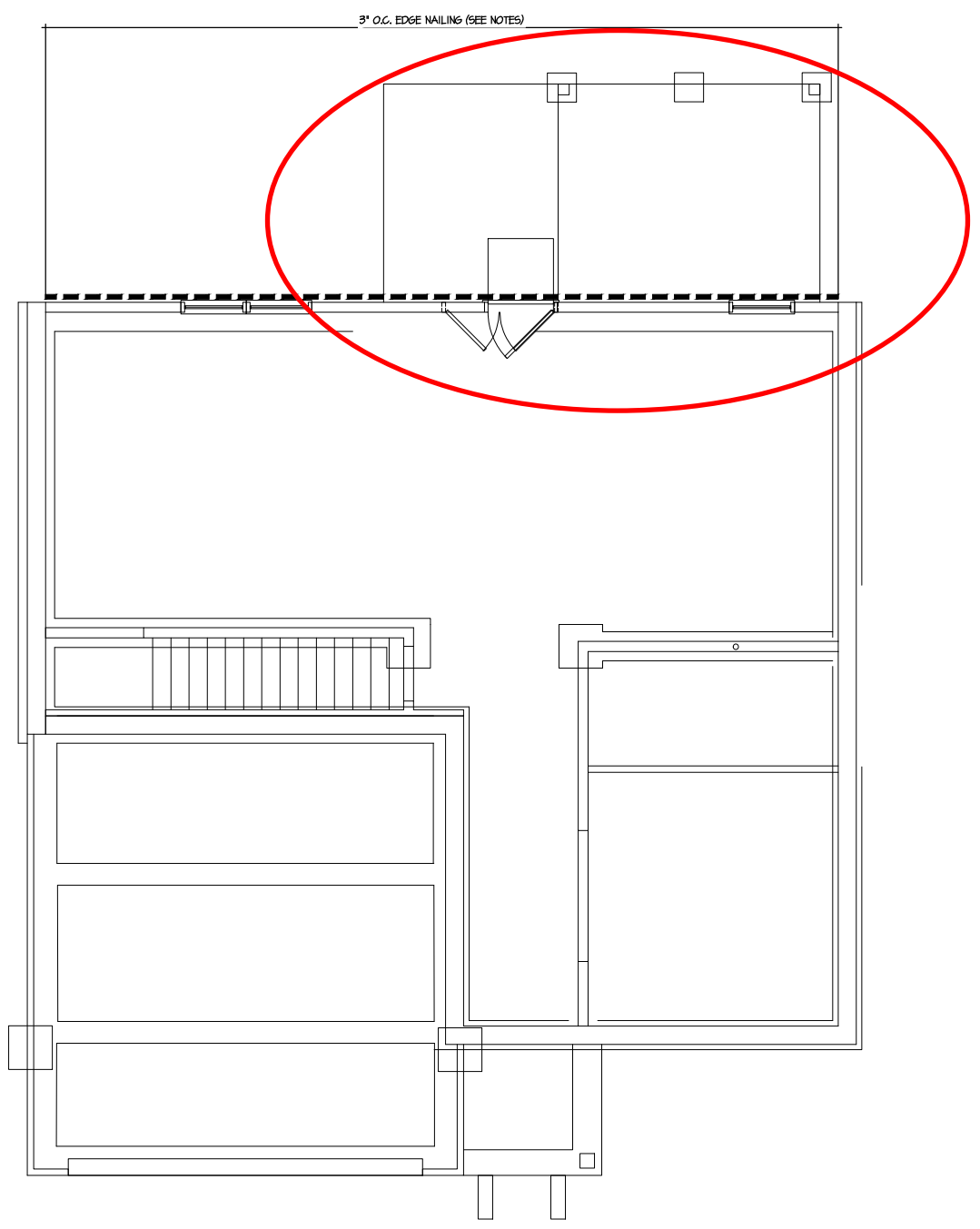
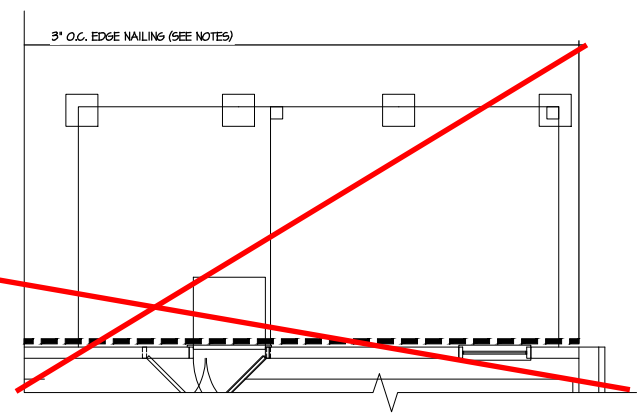
NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACINGS, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

--- INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING
 ► INDICATES HOLDOWN

MHC STD. - MAR 2016

PARTIAL BASEMENT WALL BRACING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. EXT. DECK (LARGE COVERED PORCH SIM.)



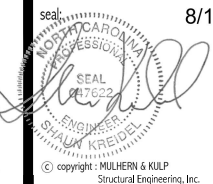
~~**BASEMENT WALL BRACING PLAN UNFINISHED BASEMENT CONDITION**~~
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ALL ELEV. SIM.
 FINISHED BASEMENT SIM.

LEGEND

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- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- JL METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

Duncans Lot 46

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT
 REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES



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770-777-8874 - mulhern@mulhernkulp.com

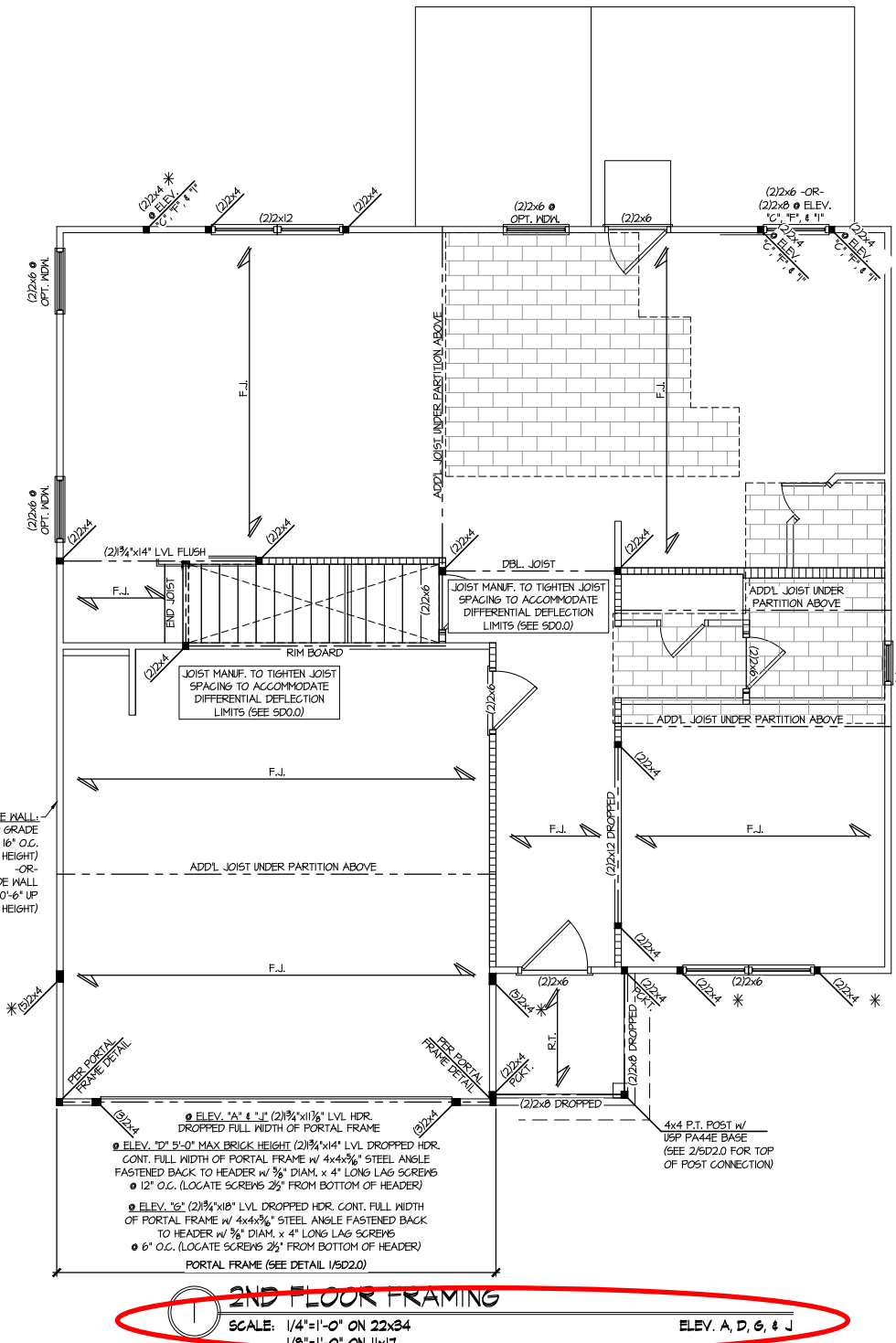
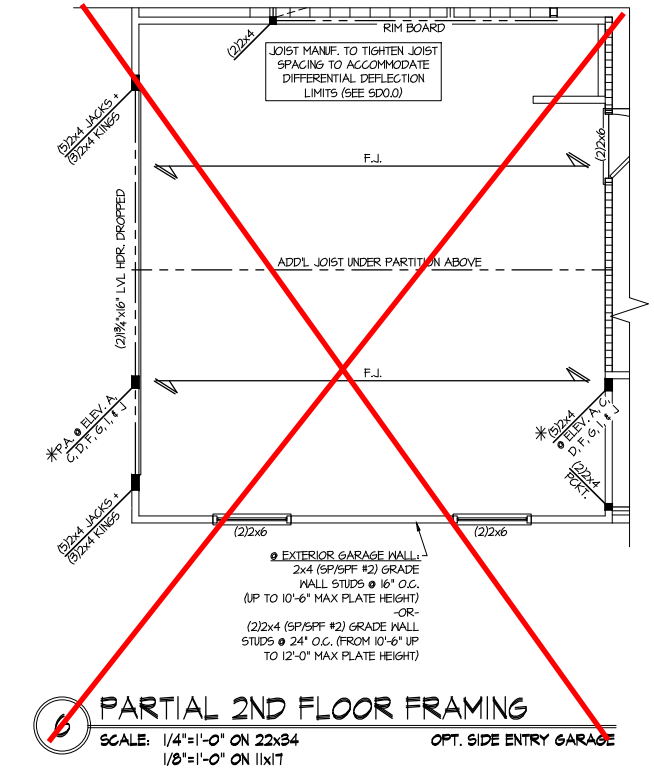
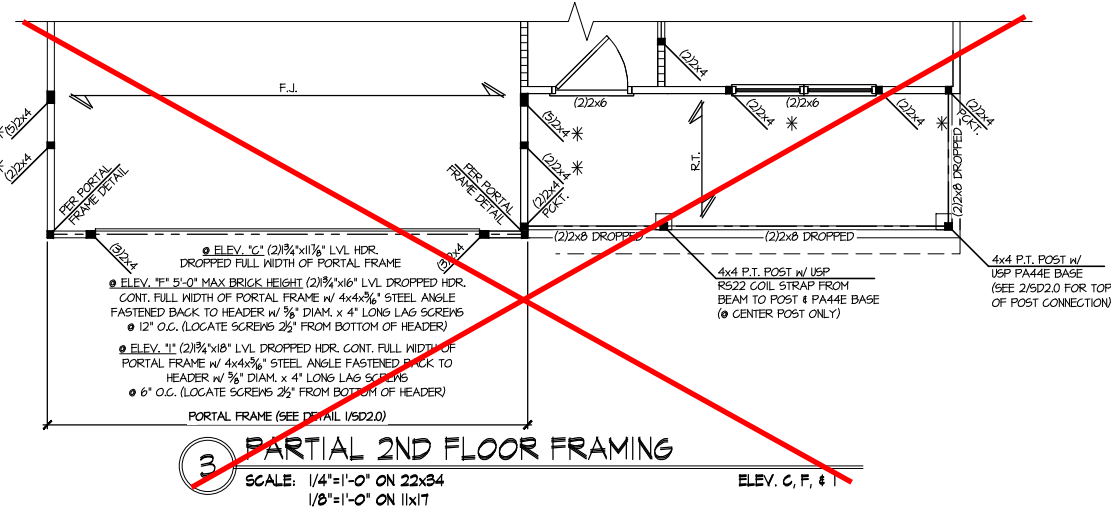
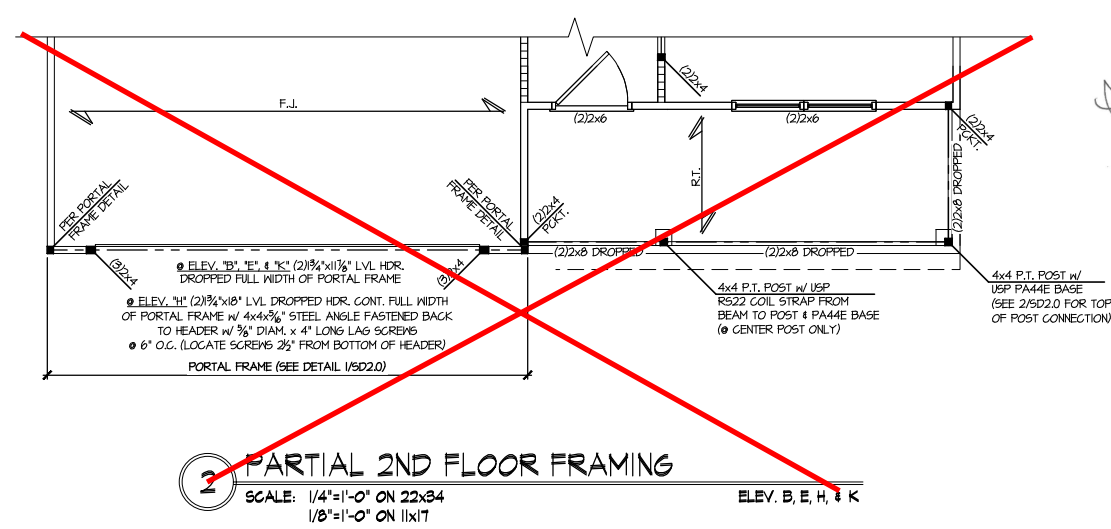
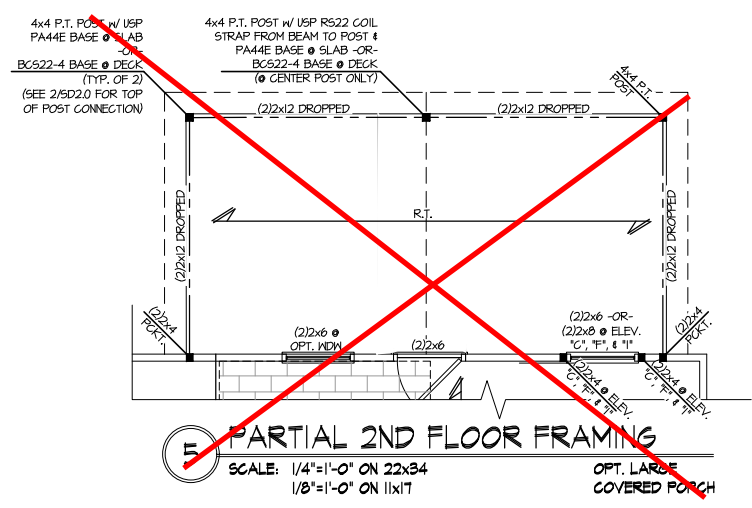
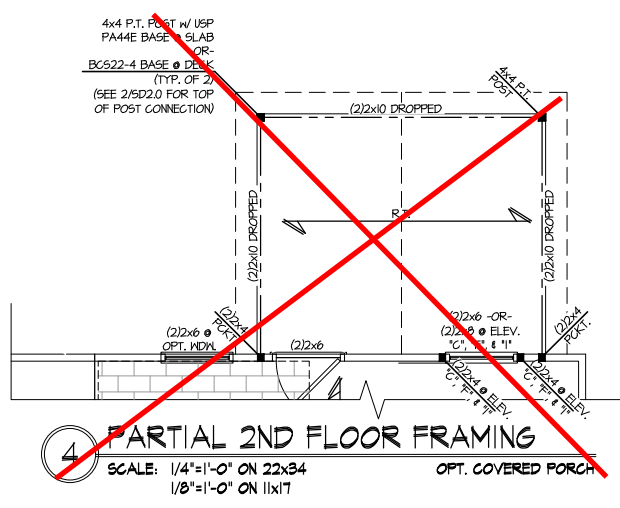
NC License # C-3825

Mulhern+Kulp project number:
256-21009
project mgr: **SMK**
drawn by: **MJF**
issue date: **10-26-2021**
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date: initial:
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MISSED PLANS ADDED
08/18/23 MMD
STRAP, PORTAL FRAME, GARAGE EXT. WALLS

SMITH DOUGLAS
HOMES

2ND FLOOR FRAMING PLAN
MCGINNIS MODEL
120 MPH WIND ZONE
NORTH CAROLINA

sheet:
S3.0M

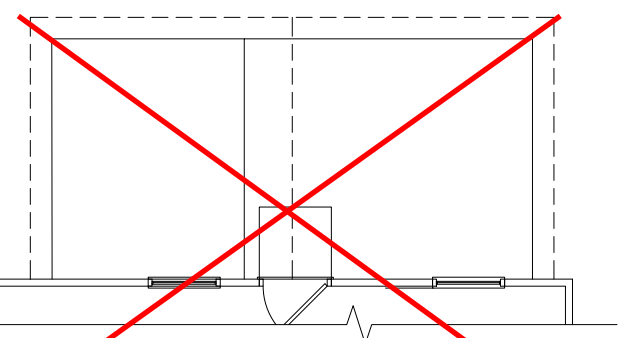


**Duncans
Lot 46**

REFER TO 50.0 FOR TYPICAL
STRUCTURAL NOTES & SCHEDULES
THIS LEVEL HAS BEEN DESIGNED
FOR 9'-1" PLATE HEIGHT

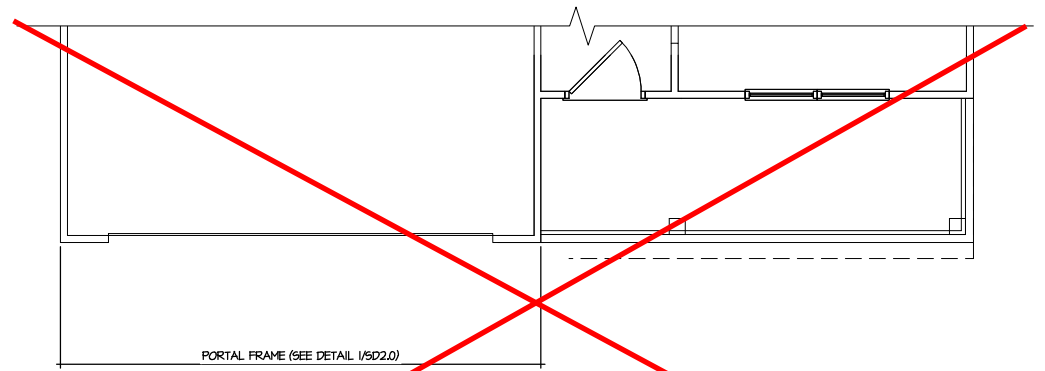
LEGEND

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- [Symbol] BEARING WALL ABOVE (B.W.A.)
- [Symbol] BEAM/HEADER
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- * INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

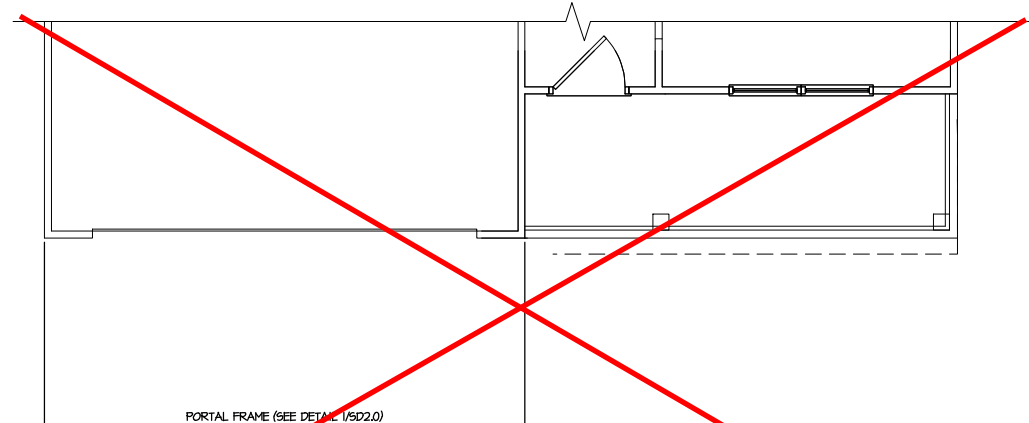


5 PARTIAL 1ST FLOOR WALL BRACING
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. LARGE COVERED PORCH

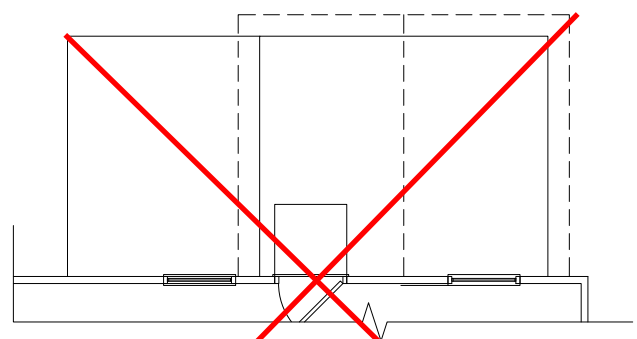
NOTE:
 NO ADD'L SHEARWALL REQUIREMENTS
 ARE REQUIRED BEYOND THE
 STANDARD EXTERIOR WALL SHEATHING
 SPECIFICATION FOR THIS OPTION



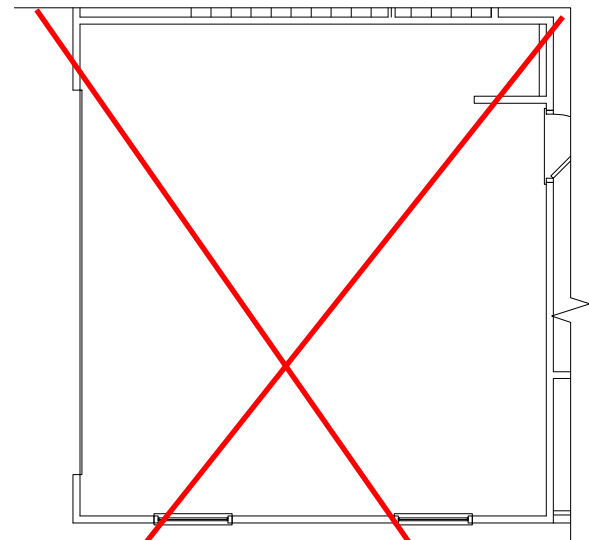
2 PARTIAL 1ST FLOOR WALL BRACING
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. B, E, H, & K
 PORTAL FRAME (SEE DETAIL 1/SD2.0)



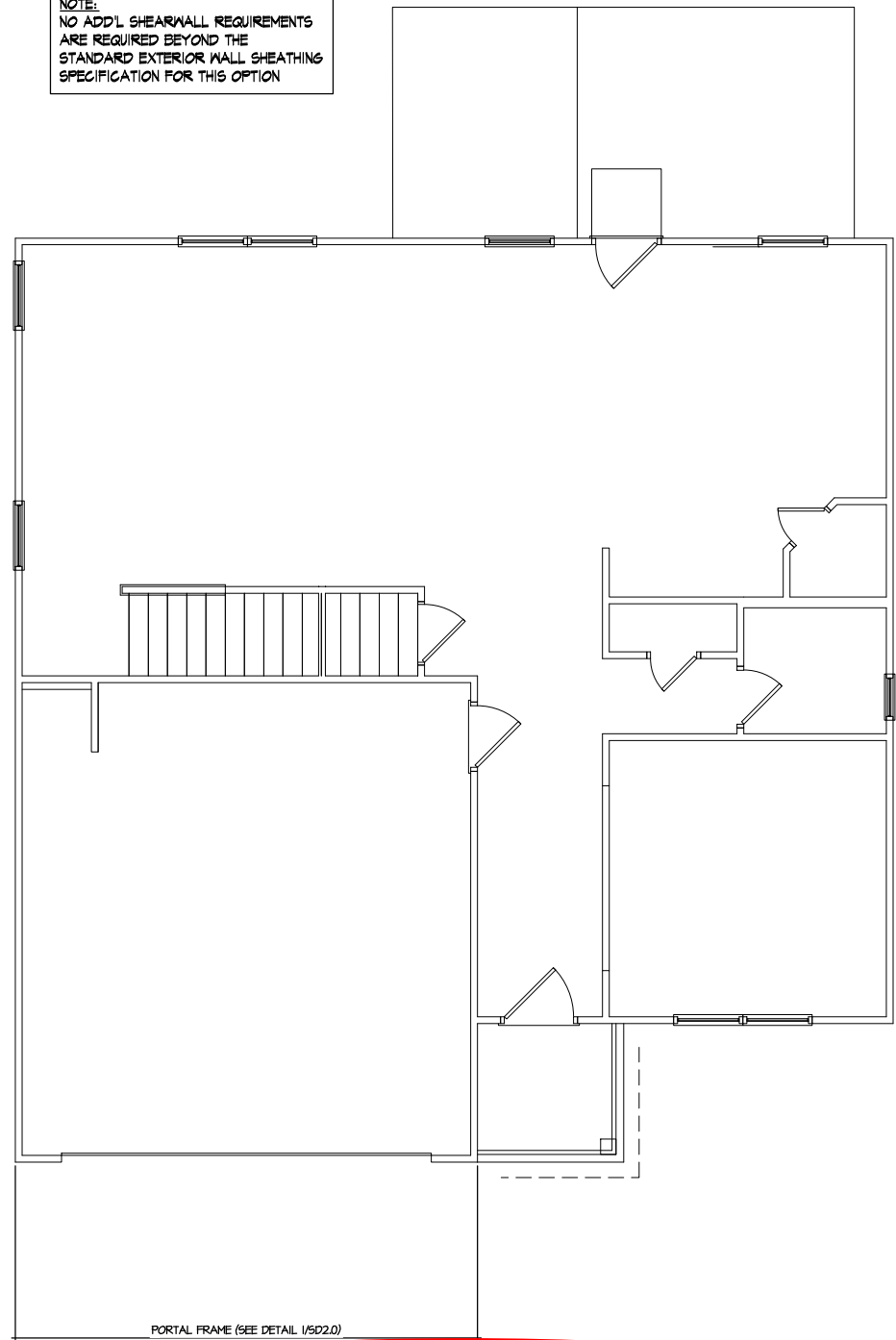
3 PARTIAL 1ST FLOOR WALL BRACING
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. C, F, & I
 PORTAL FRAME (SEE DETAIL 1/SD2.0)



4 PARTIAL 1ST FLOOR WALL BRACING
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. COVERED PORCH
 NOTE:
 NO ADD'L SHEARWALL REQUIREMENTS
 ARE REQUIRED BEYOND THE
 STANDARD EXTERIOR WALL SHEATHING
 SPECIFICATION FOR THIS OPTION



6 PARTIAL 1ST FLOOR WALL BRACING
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. SIDE ENTRY GARAGE
 NOTE:
 NO ADD'L SHEARWALL REQUIREMENTS
 ARE REQUIRED BEYOND THE
 STANDARD EXTERIOR WALL SHEATHING
 SPECIFICATION FOR THIS OPTION



1 1ST FLOOR WALL BRACING
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. A, D, G, & J
 PORTAL FRAME (SEE DETAIL 1/SD2.0)

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:
120MPH WIND IN 2018 NCSBG:RC
& 120MPH WIND IN 2018 IRC
 (120 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1)
 EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC (SECTION 1604) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2018 NCSBG:RC & 2018 IRC. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBG:RC & 2018 IRC SECTION R602.11.1.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 & R602.11.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:
 FASTEN SHEATHING w/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. UNO.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACINGS, UNO.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS:
 FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

--- INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING
 ► INDICATES HOLDOWN
MHC STD. - MAR 2016

Duncans Lot 46

REFER TO 50.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES
 THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

LEGEND

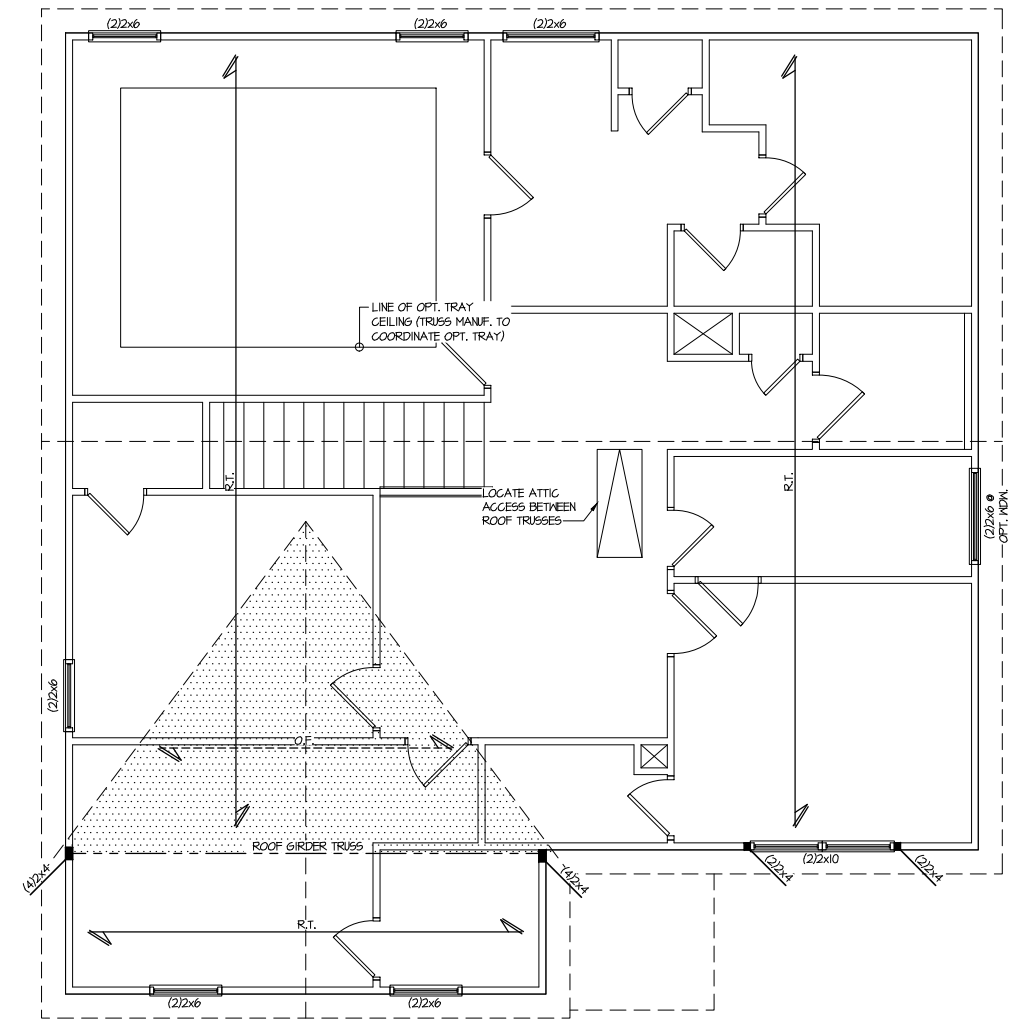
- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- J.L. METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

Mulhern+Kulp project number:	256-21009
project mgr:	SMK
drawn by:	MJF
issue date:	10-26-2021
REVISIONS:	
date:	initial:
11/22/21	JPP
08/18/23	MMD
STRAP, PORTAL FRAME, GARAGE EXT. WALLS	

SMITH DOUGLAS
 HOMES

ROOF FRAMING PLAN
 MCGINNIS MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

sheet:
S4.0M



**Duncans
 Lot 46**

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

1 ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. A, D, G, & J

LEGEND	
• R.T.	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF MANUF. (TYP. U.N.O.)
• O.F.	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
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• D.J.	INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
• [Symbol]	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
• [Symbol]	INTERIOR BEARING WALL
• [Symbol]	BEARING WALL ABOVE (B.W.A.)
• [Symbol]	BEAM/HEADER
• JL	METAL HANGER
• *	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
3825 Matthews Parkway, Suite 105 - Alpharetta, GA 30022
770-777-8974 - mulhern@mulhernkulp.com

NC License # C-3825

Mulhern+Kulp project number:
256-21009
project mgr: **SMK**
drawn by: **MJF**
issue date: **10-26-2021**
REVISIONS:
date: initial:
11/22/21 JPP
MISSED PLANS ADDED
08/18/23 MMD
STRAP, PORTAL FRAME, GARAGE EXT. WALLS

SMITH DOUGLAS
HOMES

2ND FLOOR WALL BRACING PLAN
MCGINNIS MODEL
120 MPH WIND ZONE
NORTH CAROLINA

sheet:
S4.0ML

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:
120MPH WIND IN 2018 NCSBG:RC
& **120MPH WIND IN 2018 IRC**
(120 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC SECTION 1604) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2018 NCSBG:RC & 2018 IRC. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBG:RC & 2018 IRC SECTION R802.11.1.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 & R802.11.

MHC STD. - MAR 2016

EXT. WALL SHEATHING SPECIFICATION

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FASTEN SHEATHING W/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. U.N.O.)
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3" O.C. EDGE NAILING

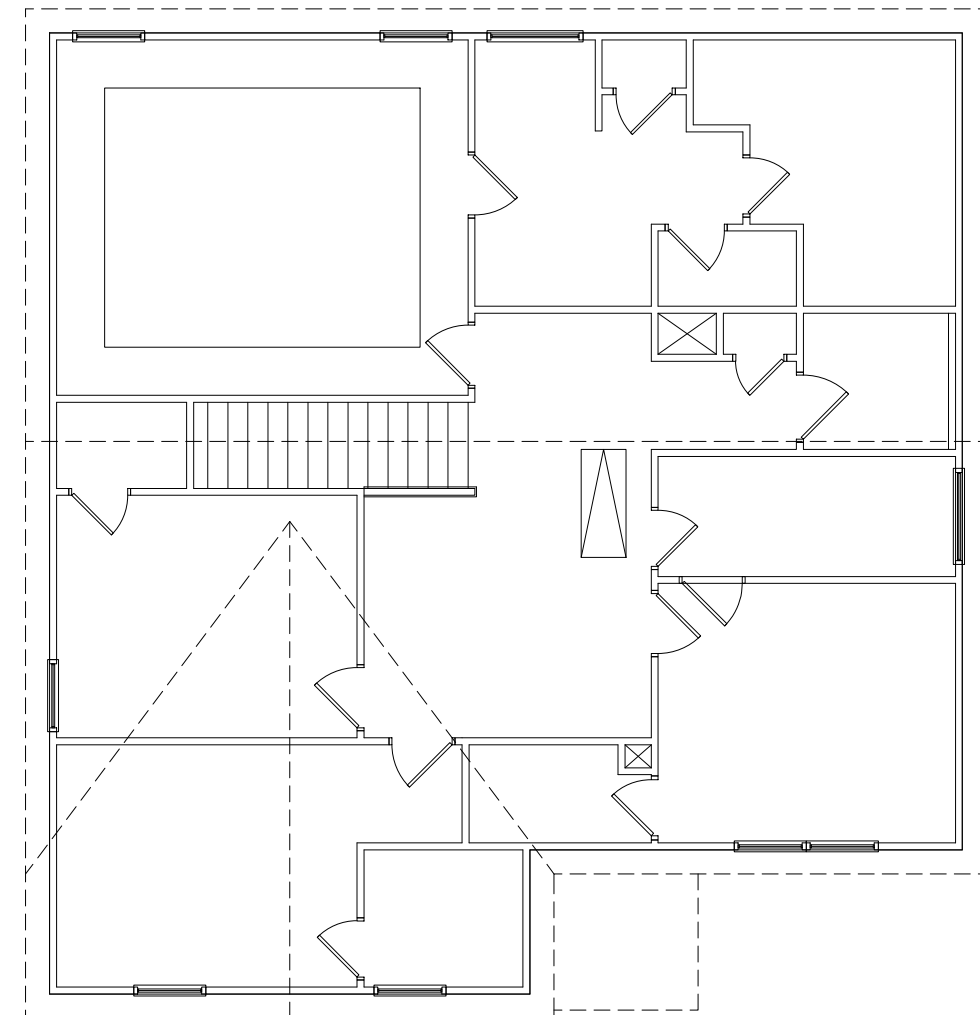
- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

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- DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
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--- INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING
▶ INDICATES HOLDDOWN

MHC STD. - MAR 2016



NOTE:
NO ADD'L SHEARWALL REQUIREMENTS ARE REQUIRED BEYOND THE STANDARD EXTERIOR WALL SHEATHING SPECIFICATION FOR THIS ELEVATION

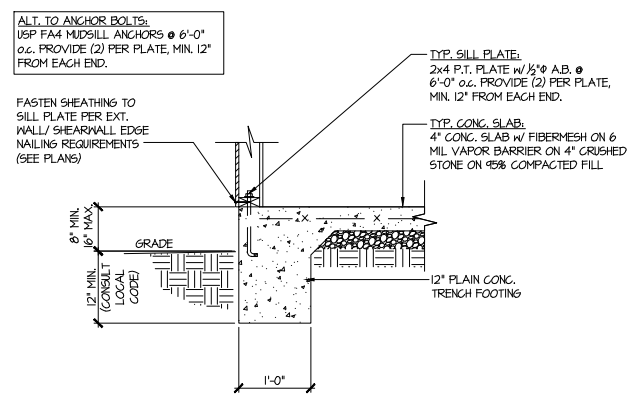
2ND FLOOR WALL BRACING PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
ELEV. A, D, G, & J

**Duncans
Lot 46**

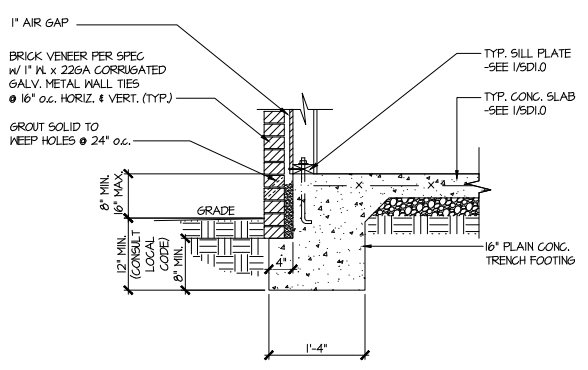
THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT
REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND

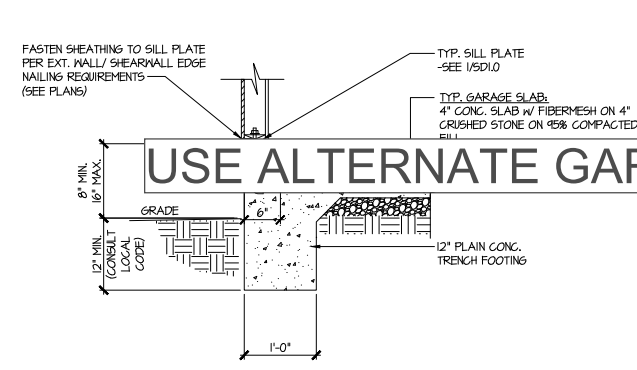
- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
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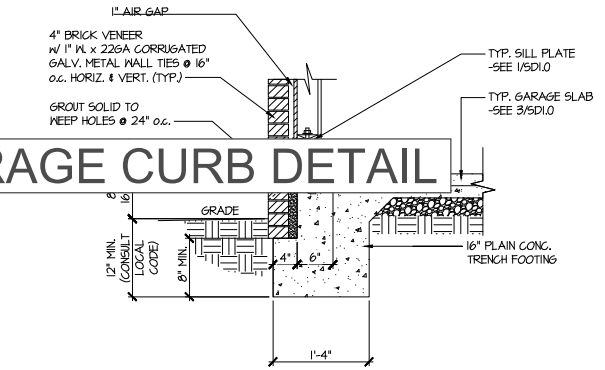
1 TYPICAL SLAB ON GRADE PERIMETER FOOTING



2 TYPICAL SLAB ON GRADE PERIMETER FOOTING w/ BRICK VENEER

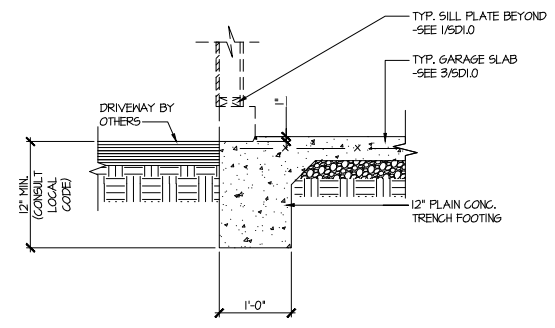


3 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

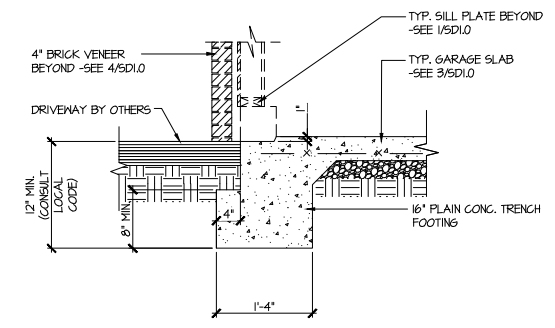


4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING w/ BRICK VENEER

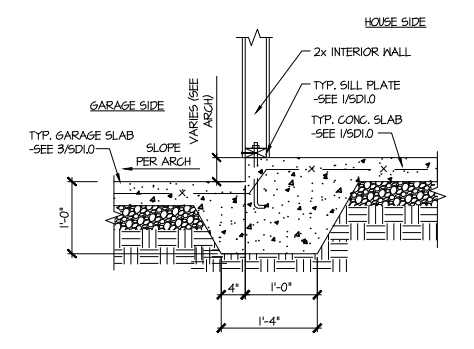
USE ALTERNATE GARAGE CURB DETAIL



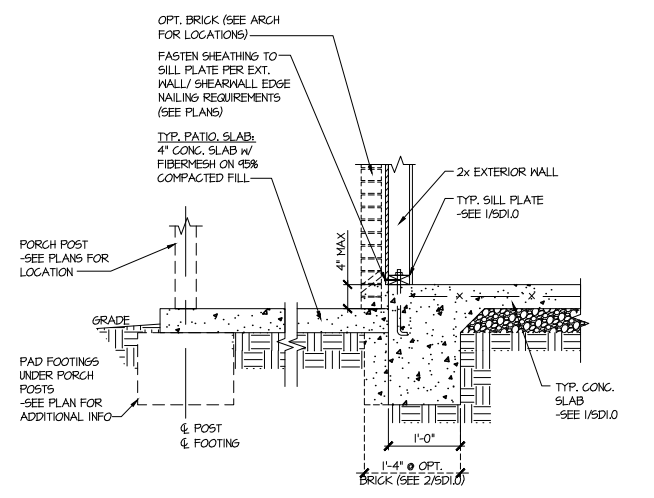
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



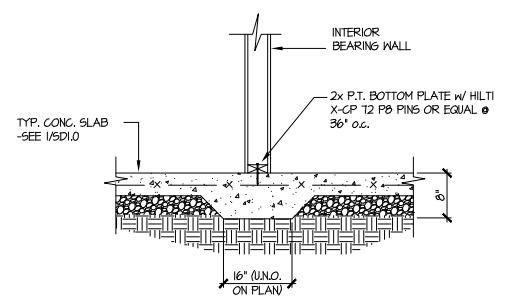
6 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING w/ BRICK VENEER



7 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



8 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



9 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

MULHERN+KULP
 RESIDENTIAL STRUCTURAL ENGINEERING
 3025 Dunwoody Parkway, Suite 105 - Alpharetta, GA 30022
 770-777-8974 - mulhern+kulp.com
 NC License # C-3825

Mulhern+Kulp project number:
 256-21009

project mgr: SMK
 drawn by: MJF
 issue date: 10-26-2021

REVISIONS:

date:	initial:
11/22/21	JPP
08/18/23	MMD
STRAP, PORTAL FRAME, GARAGE EXT. WALLS	

SMITH DOUGLAS
 HOMES

FOUNDATION DETAILS
 MCGINNIS MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

Duncans
 Lot 46

sheet:
SD1.0



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING

3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

August 18, 2023

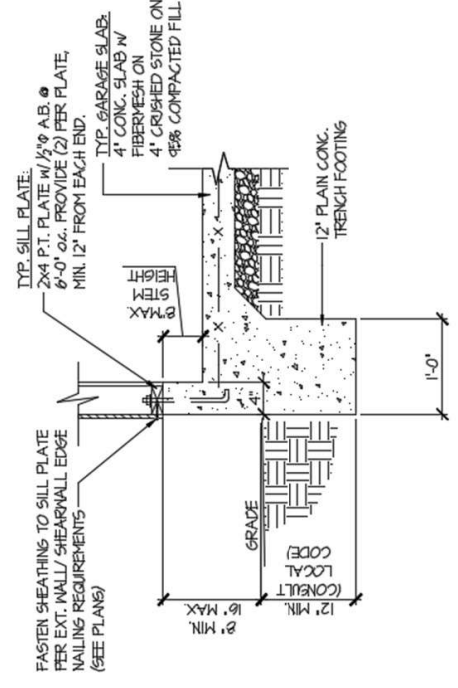
Jody Hunt
Director of Product Development
SMITH DOUGLAS HOMES
110 Village Trail, Suite 215
Woodstock, GA 30188

ALTERNATE GARAGE CURB DETAIL
Smith Douglas Homes

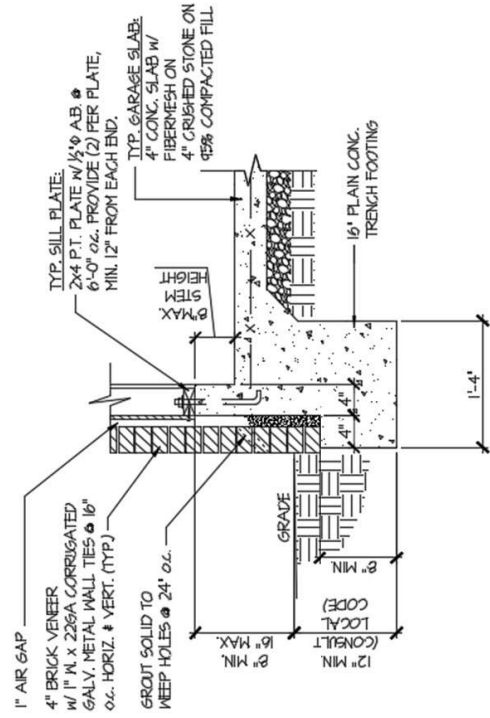
Reference
Current Structural Plans prepared by Mulhern & Kulp

Jody:

Pursuant to your request, we have prepared this letter to address the “Alternate Garage Curb Details”, prepared by Mulhern & Kulp for Smith Douglas Homes shown below. The foundation details shown below call for a 4” wide curb with a maximum of 8” stem wall height; these are an acceptable alternative to the 6” wide curb at the garage per M&K foundation details 3 & 4 on sheet SD-1.0 at 2x4 garage wall locations.



(A) TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



(B) TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

Please feel free to call if you have any questions.

Respectfully,
MULHERN & KULP STRUCTURAL ENGINEERING, INC.
NC License # C-3825
Shaun M. Kreidel, P.E. Project Manager + Atlanta Office Director



Signature + Seal 08/18/2023

Mulhern+Kulp project number:
256-21009

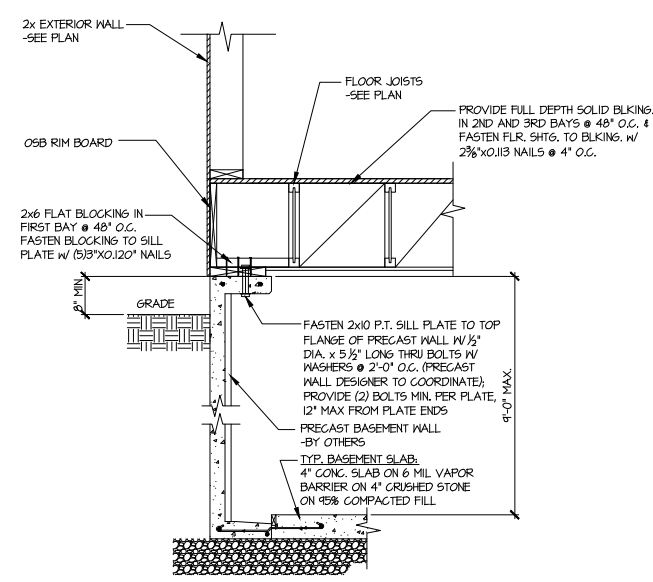
project mgr: **SMK**
 drawn by: **MJF**
 issue date: **10-26-2021**

REVISIONS:

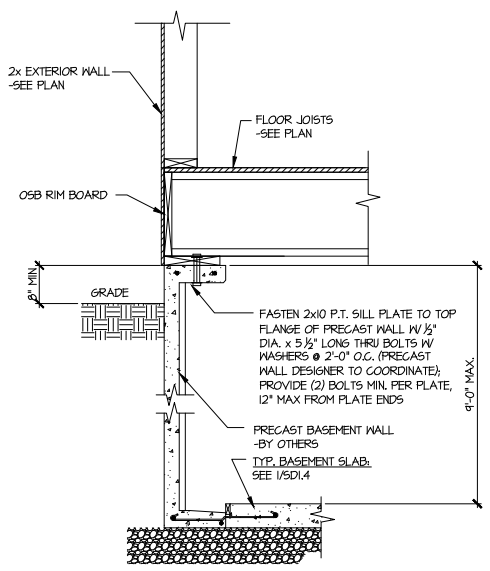
date:	initial:
11/22/21	JPP
08/18/23	MMD
STRAP, PORTAL FRAME, GARAGE EXT. WALLS	

SMITH DOUGLAS
 HOMES

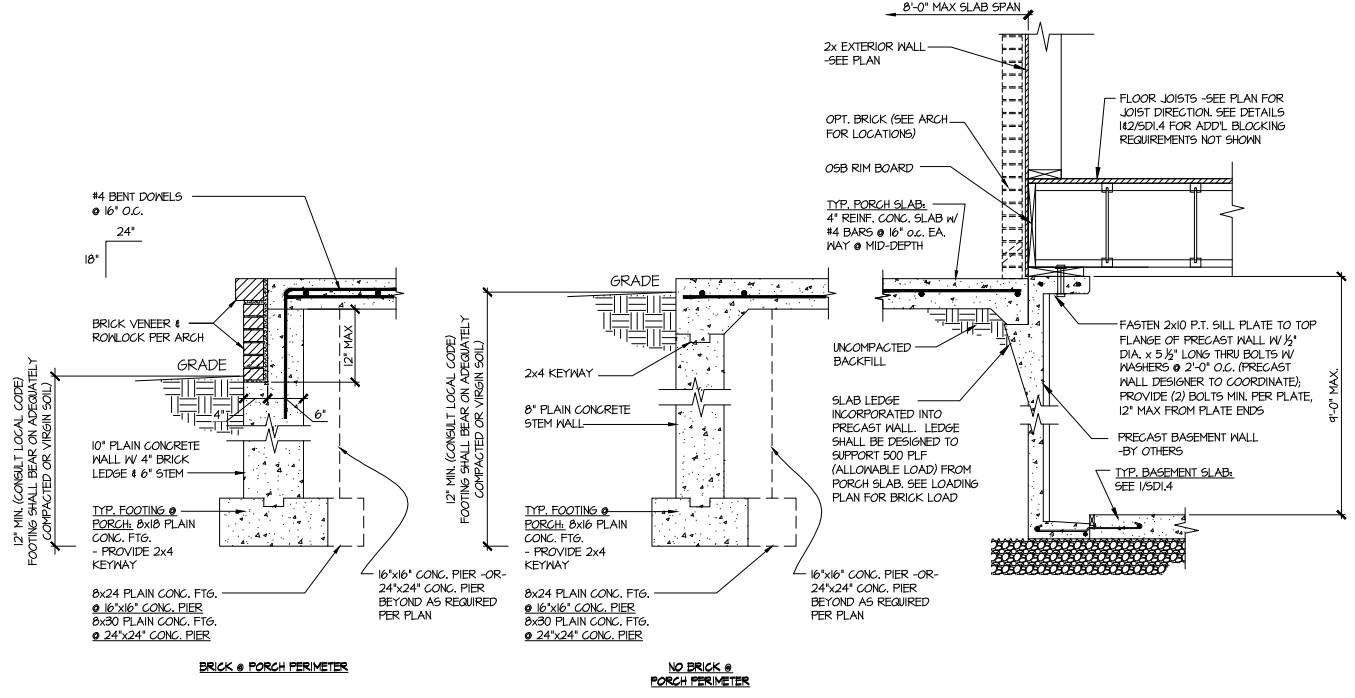
FOUNDATION DETAILS
 MCGINNIS MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA



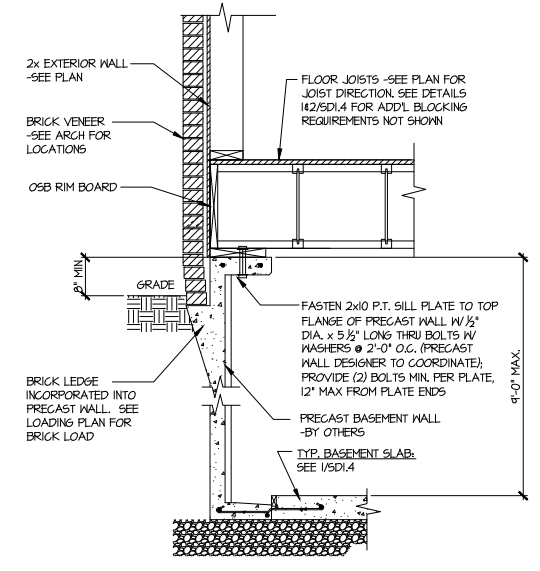
1 SECTION
 SCALE: 3/4"=1'-0"



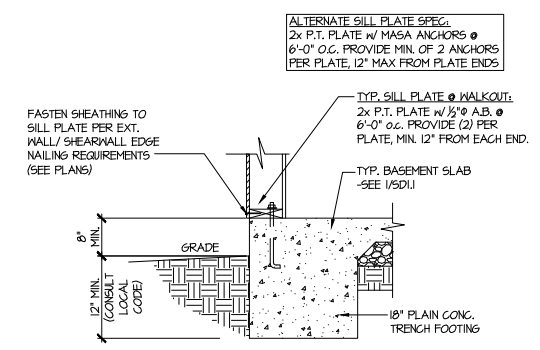
1A SECTION
 SCALE: 3/4"=1'-0"



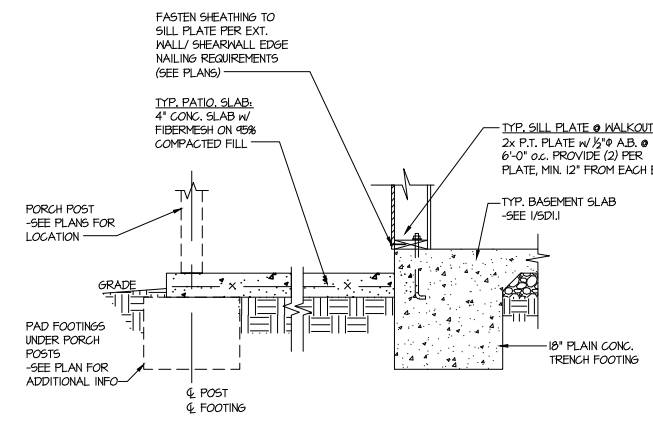
3 SECTION
 SCALE: 3/4"=1'-0"



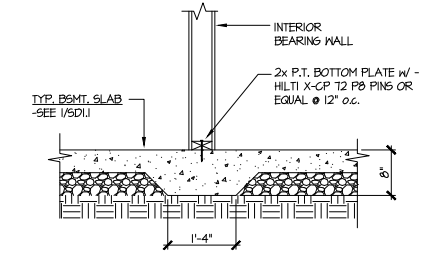
2 SECTION
 SCALE: 3/4"=1'-0"



4 TYPICAL BASEMENT FOUNDATION @ WALKOUT

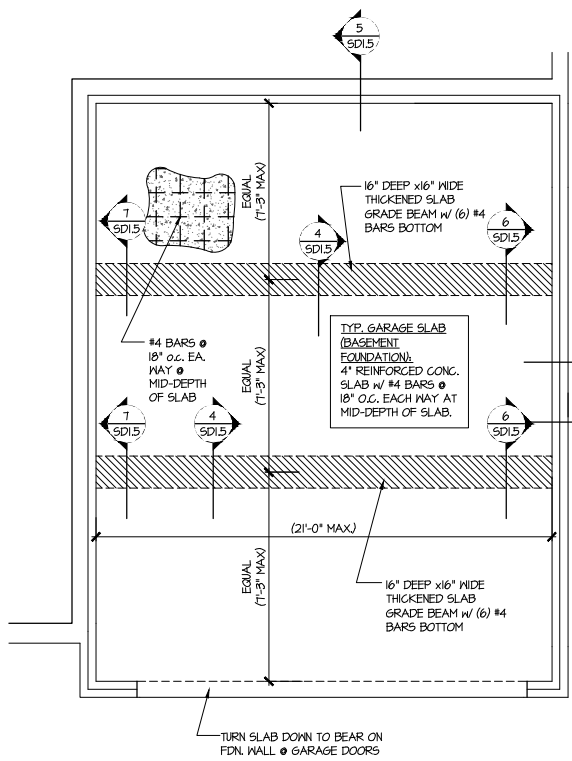


5 TYPICAL BASEMENT FOUNDATION @ WALKOUT



6 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

Duncans
 Lot 46



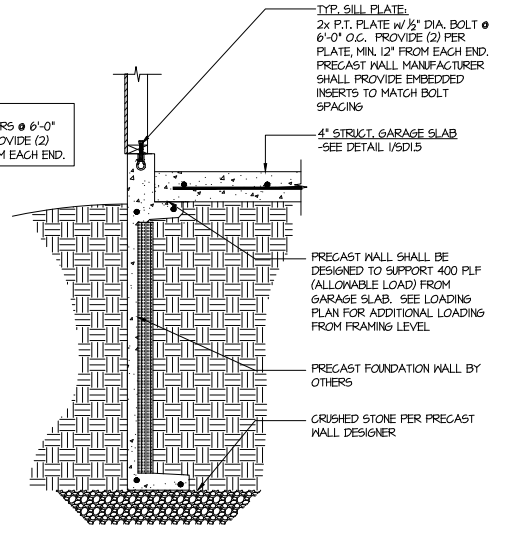
1 **GENERIC FOUNDATION PLAN KEY @ GARAGE**
 SCALE: 1/4"=1'-0"

ALT. TO BOLTS:
 USP FA4 MIDSILL ANCHORS @ 6'-0"
 o.c. OR EQUIVALENT. PROVIDE (2)
 PER PLATE, MIN. 12" FROM EACH END.

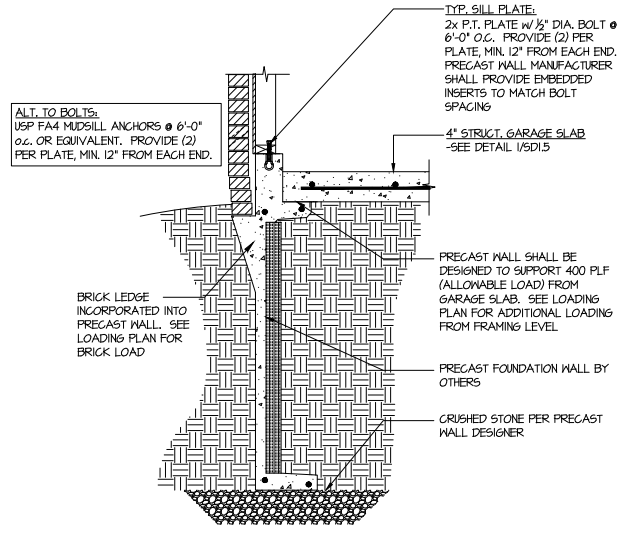
2 \varnothing SD1.5 NON-BRICK
 3 \varnothing SD1.5 BRICK

SLAB THICKNESS
 SHOWN IS MIN.
 THICKNESS REQ'D -
 SLOPE OF SLAB SHALL
 NOT COMPROMISE MIN.
 THICKNESS

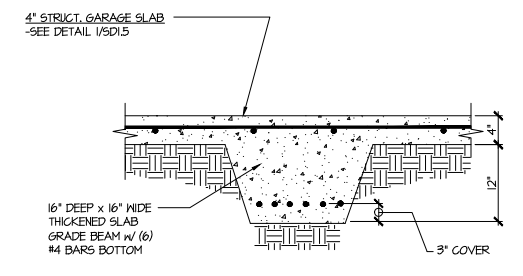
SEE ARCHITECTURAL
 PLANS FOR ACTUAL
 GARAGE DIMENSIONS



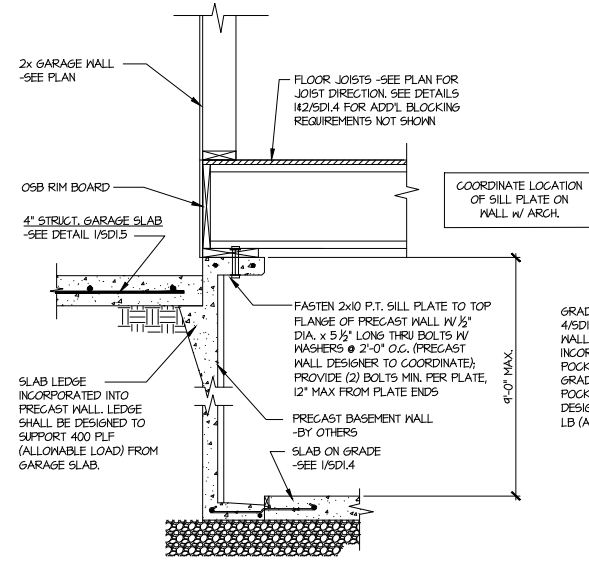
2 **TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION**



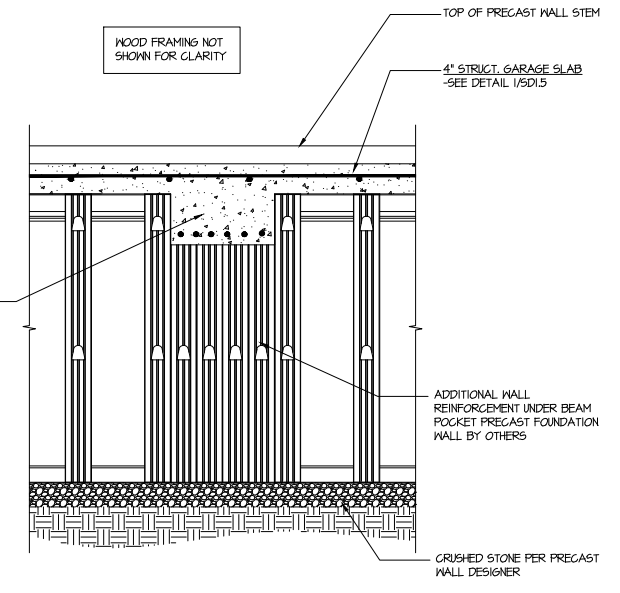
3 **TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION (BRICK)**



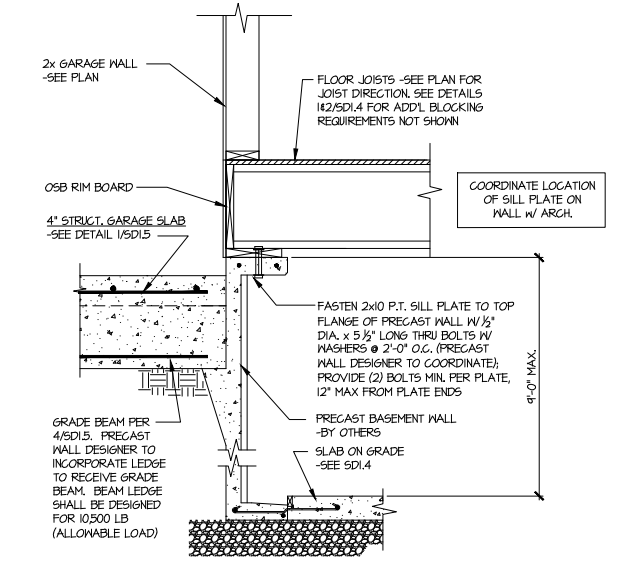
4 **TYPICAL CONCRETE GRADE BEAM @ GARAGE FDN.**
 SCALE: 3/4"=1'-0"



5 **CONCRETE BSMT. FDN. WALL @ GARAGE**



6 **SECTION**
 SCALE: 3/4"=1'-0"



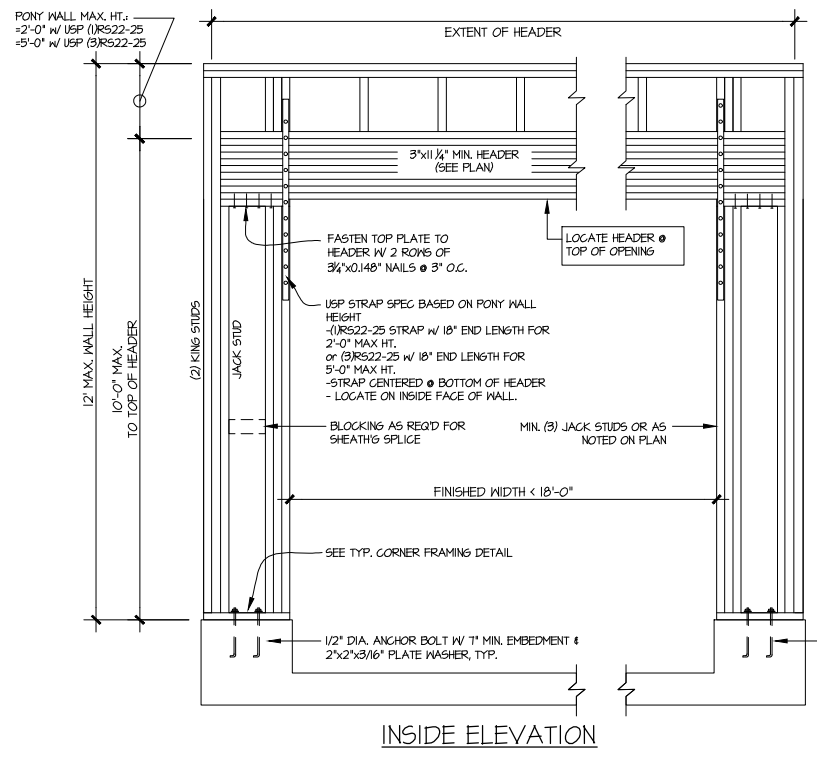
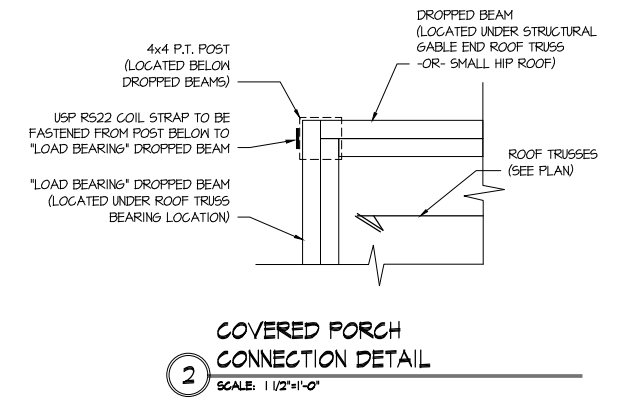
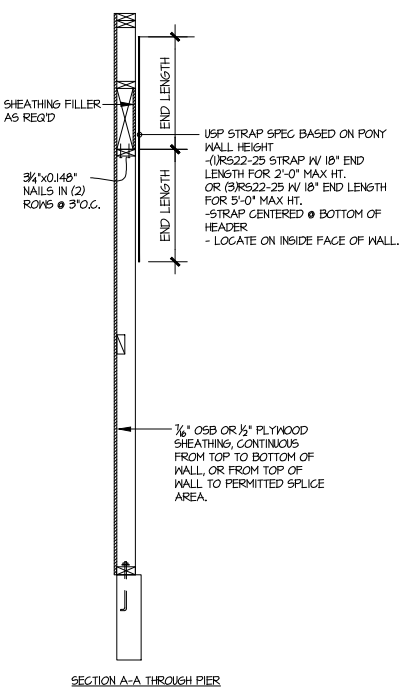
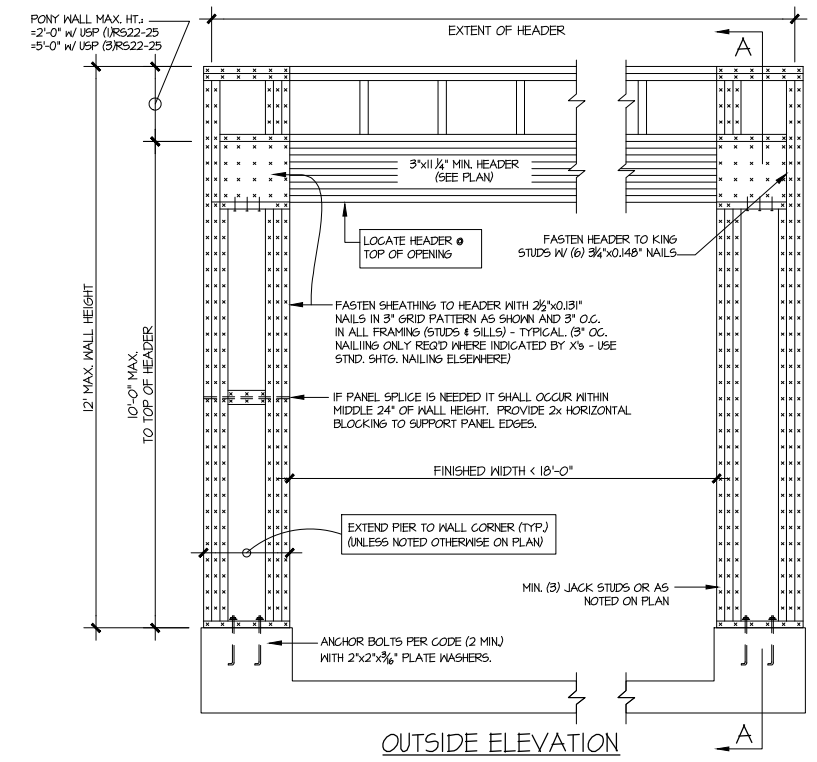
7 **SECTION**
 SCALE: 3/4"=1'-0"

Duncans
 Lot 46

Mulhern+Kulp project number:	256-21009
project mgr:	SMK
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issue date:	10-26-2021
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STRAP, PORTAL FRAME, GARAGE EXT. WALLS	

SMITH DOUGLAS
 HOMES

FRAMING DETAILS
 MCGINNIS MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA



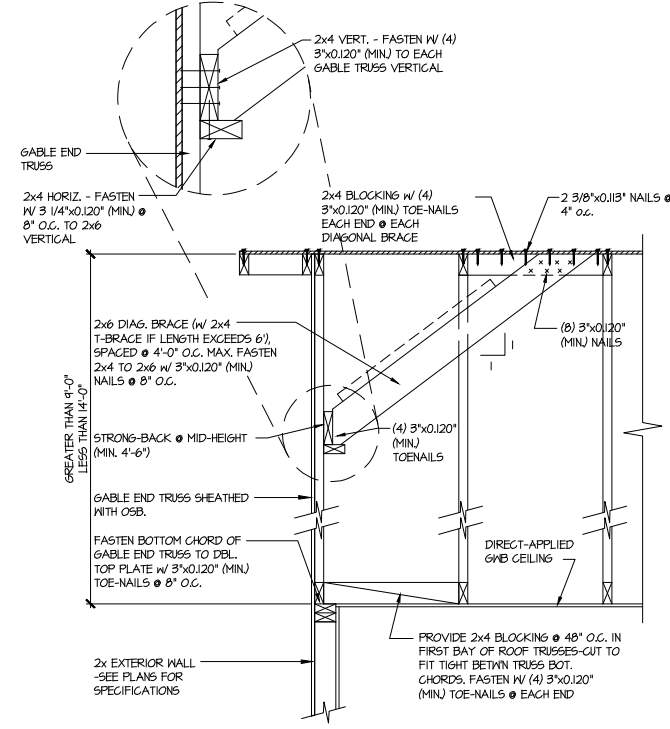
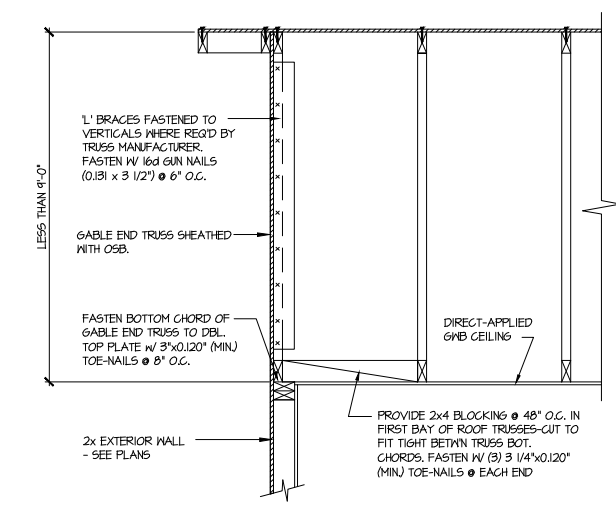
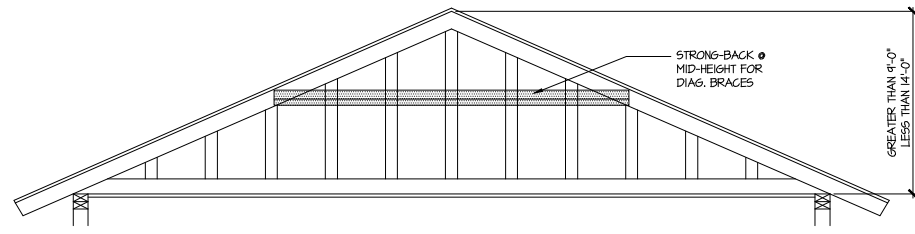
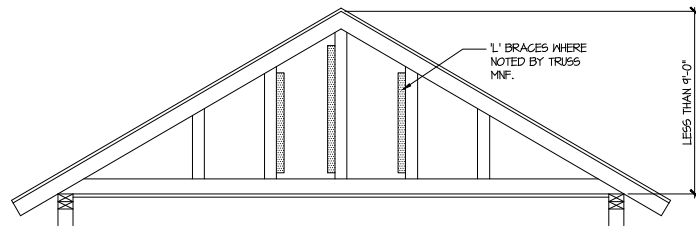
NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 3/8" OSB

WALL FRAMING SPECIFICATION:
 2x4 WALL: USE SPF #2 GRADE STUDS (OR BETTER)
 2x6 WALL: USE SPF #2 GRADE STUDS (OR BETTER)

PLAN VIEW OF CORNER DETAIL

ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
 1) 1/2" DIA. THREADED ROD EPOXY SET W/ 4 1/2" EMBED. (MIN UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)

GARAGE PORTAL FRAME BRACING ELEVATION
 SCALE: N.T.S. BOTH SIDES OF GARAGE DOOR
 120 MPH WIND SPEED (ULT)



A TYPICAL GABLE END BRACING DETAIL
 SCALE: NONE
 REQ'D • GABLE END TRUSS HEIGHT UP TO 9'-0"

B TYPICAL GABLE END BRACING DETAIL
 SCALE: NONE
 REQ'D • GABLE END TRUSS HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.
 NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

MULHERN+KULP
 RESIDENTIAL STRUCTURAL ENGINEERING
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Mulhern+Kulp project number:
256-21009

project mgr: **SMK**
 drawn by: **MJF**
 issue date: **10-26-2021**

REVISIONS:

date:	initial:
11/22/21	JPP
08/18/23	MMD
STRAP, PORTAL FRAME, GARAGE EXT. WALLS	

SMITH DOUGLAS
 HOMES

FRAMING DETAILS
 MCGINNIS MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

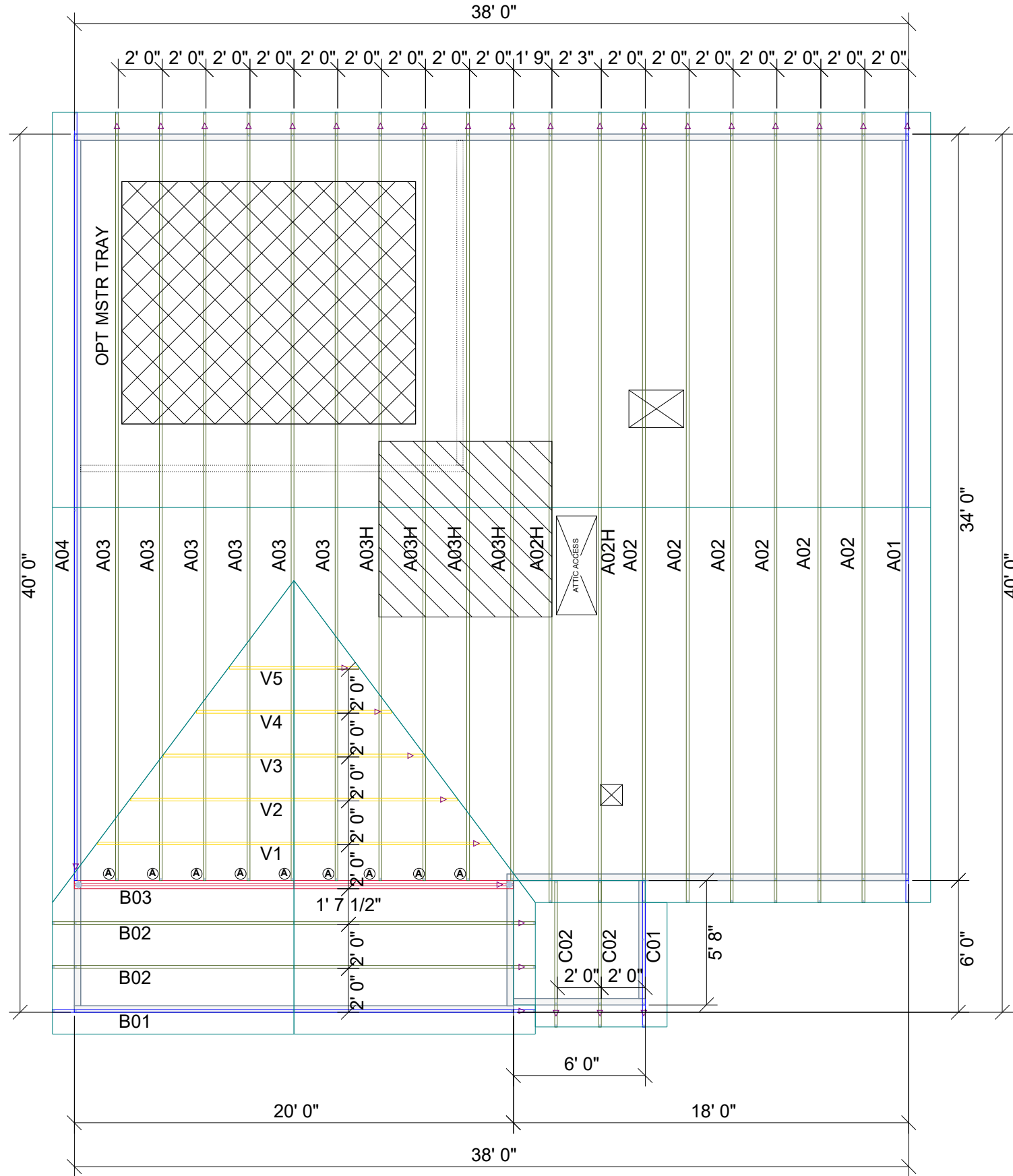
72404456 46 DUNCANS CROSSING

THIS IS A TRUSS/COMPONENT PLACEMENT DIAGRAM (TPD) ONLY. NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDD's) for each truss design identified on the TPD. The Contractor is responsible for the temporary bracing of the roof and floor system, and the building designer is responsible for the permanent bracing of the roof and floor system and the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbcassociation.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.

PLACEMENT PLAN

MCGINNIS ADG

Roof Hanger List			
QTY	DESCRIPTION	TYPE	MARK
9	FACE MOUNT HANGER	HUS26	(A)



SCALE: N.T.S.

REVISIONS		DSN
DATE	DESCRIPTION	

DESIGNER -THATHCOCK
 LAYOUT DATE -04.21.2022
 ARCH DATE -
 STRUC DATE -
 JOB #: -22041547

-SD COMMUNITIES

-MCGINNIS ADG (NO TRAY) LH

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 A UFP INDUSTRIES COMPANY

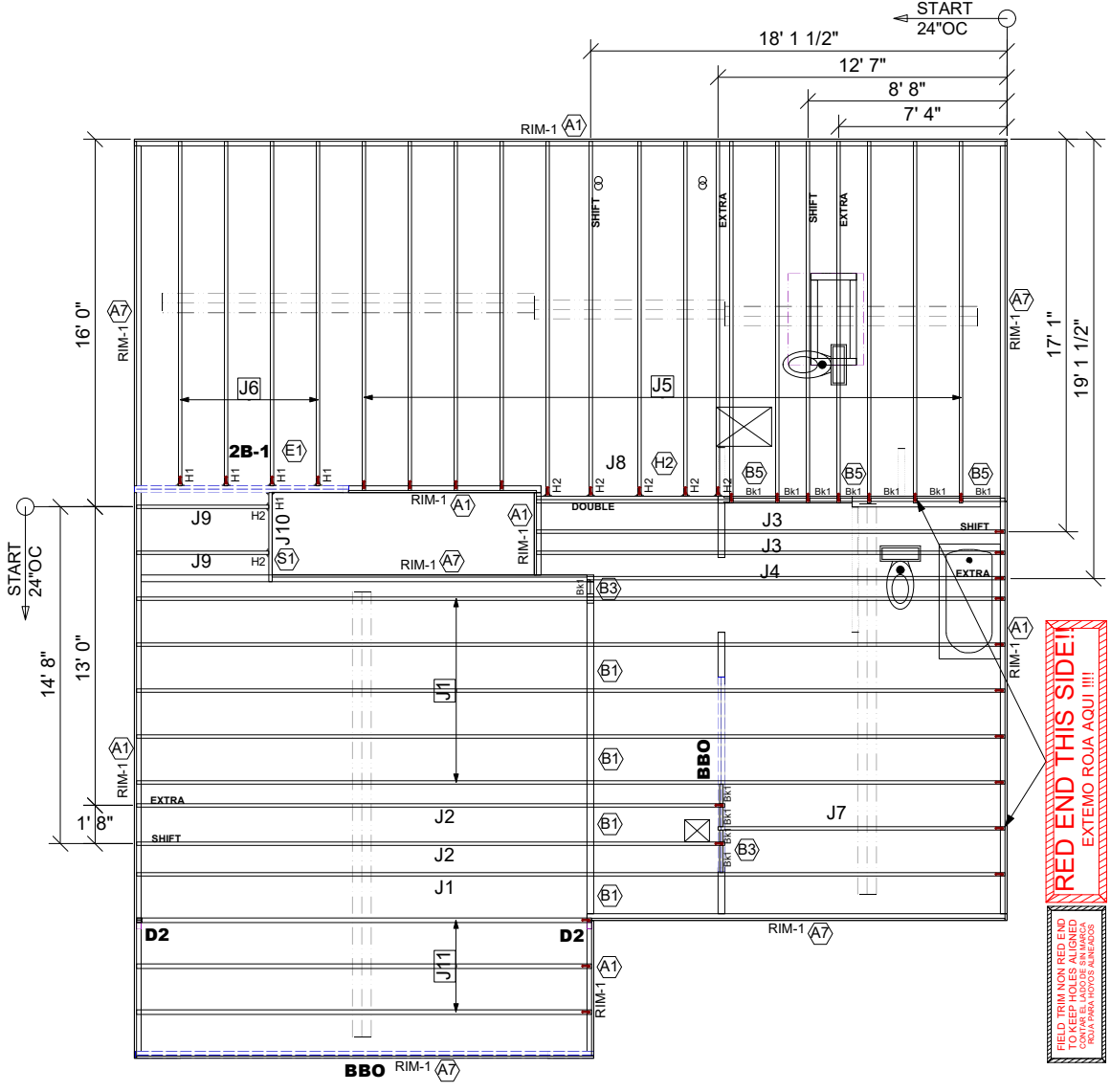
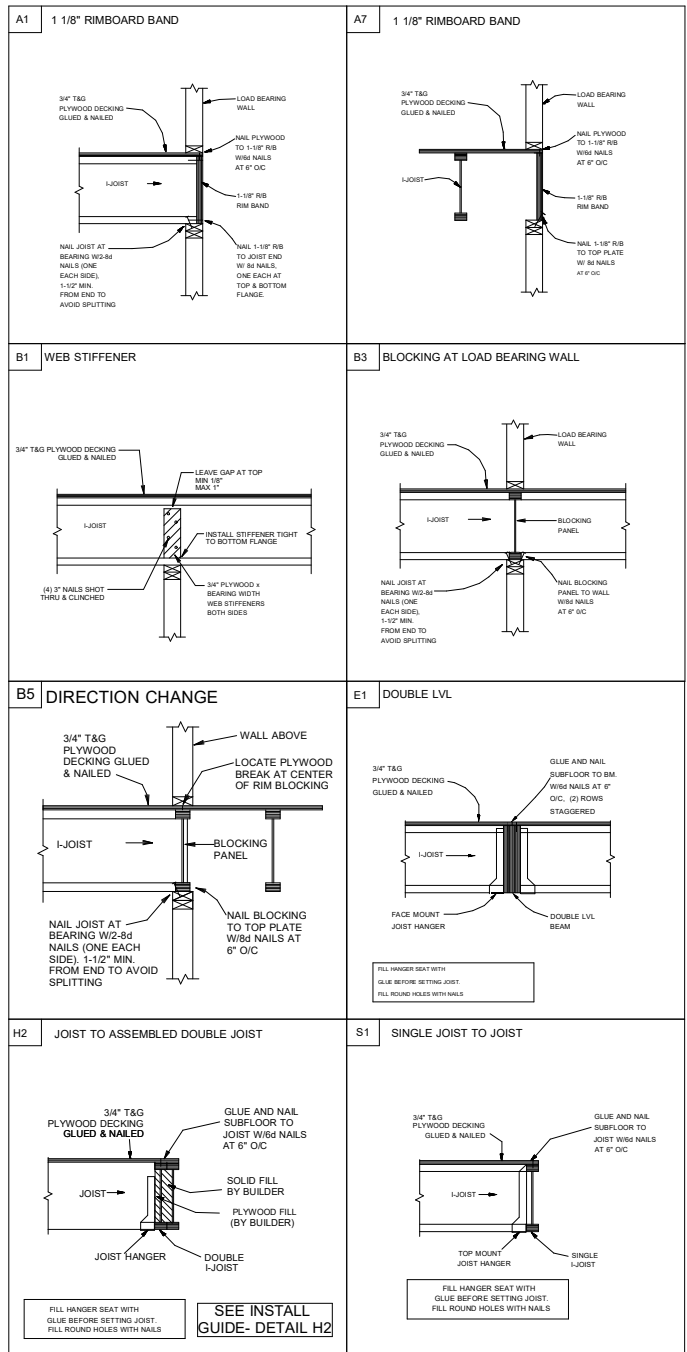
TRUSS TRAX
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Customer Service (800) 476-9356
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PlotID	Length	Product	Plies	Net Qty	Fab Type
J1	38' 0"	14" TJI@ 110	1	6	MFD
J2	26' 0"	14" TJI@ 110	1	2	MFD
J3	21' 0"	14" TJI@ 110	1	2	MFD
J4	19' 0"	14" TJI@ 110	1	1	MFD
J5	16' 0"	14" TJI@ 110	1	16	MFD
J6	15' 0"	14" TJI@ 110	1	4	MFD
J7	13' 0"	14" TJI@ 110	1	1	MFD
J8	9' 0"	14" TJI@ 110	2	2	FF
J9	6' 0"	14" TJI@ 110	1	2	MFD
J10	4' 0"	14" TJI@ 110	1	1	MFD
J11	20' 0"	14" TJI@ 360	1	3	MFD
2B-1	10' 0"	1 3/4" x 14" 2.0E Microllam® LVL	2	2	MFD
RIM-1	16' 0"	1 1/8" x 14" TJI@ Rim Board	1	12	MFD
Bk1	2' 0"	14" TJI@ 110	1	12	MFD

Connector Summary			
PlotID	Qty	Manuf	Product
H1	5	MiTek	IHFL1714
H2	7	MiTek	TFL1714

- GENERAL NOTES:**
- 1.) TOP CHORD OF JOISTS ARE PAINTED RED AT NUMBERED END. PLACE PAINTED END AS NOTED ON PLAN.
 - 2.) FOLLOW SPECIAL SPACING AND LOCATION DIMENSIONS FOR EXTRAS OR SHIFT JOISTS AS SHOWN ON PLAN.
 - 3.) ALL INTERIOR WALL PLATES MUST BE LEVEL WITH OUTSIDE WALL TOP PLATES.
 - 4.) DO NOT STACK CONSTRUCTION LOADS ON UN-BRACED JOISTS.
 - 5.) PROVIDE SOLID SUPPORT BELOW ALL BEAM AND HEADER BEARING POINTS IN WALL AND JOIST SPACES CONTINUOUS DOWN TO THE FOUNDATION.
 - 6.) LOCATE CRIPPLE STUDS IN JOIST SPACE DIRECTLY BELOW HEADER JACKS AT ALL FIRST FLOOR EXTERIOR DOOR LOCATIONS.
 - 7.) INSTALL NAILS IN ALL HOLES PROVIDED IN JOIST HANGERS EXCEPT AT BOTTOM CHORD SEAT. PLACE A DAB OF GLUE IN THE HANGER SEAT BEFORE SETTING JOISTS.
 - 8.) IMPORTANT NOTE! NO STRUCTURAL ANALYSIS OF CONVENTIONAL HEADERS HAS BEEN CONDUCTED IF NOT NOTED. THEY ARE CONSIDERED TO BE ADEQUATE TO SUPPORT THE APPLIED LOADS.

PLAN LEGEND

1B-, 2B- INDICATES BEAM ABOVE TOP PLATE (FLUSH WITH FLOOR SYSTEM)

H-, 1H-, GDH- INDICATES BEAM BELOW TOP PLATE (DROPPED BELOW FLOOR SYSTEM)

*BEAMS MAY PROTRUDE ABOVE OR BELOW DECKING OR TOP PLATE RESPECTIVELY, REFER TO DETAIL IF BEAM IS A DIFFERENT DEPTH THAN FLOOR SYSTEM

SINGLE PLY BEAM (ADD LINE FOR EACH ADDITIONAL PLY)

SHIFT SHIFT JOIST TO MISS PLUMBING, ALIGN WITH WALL OR SUPPORT FURNITURE

EXTRA A JOIST ADDED TO THE LAYOUT IN ADDITION TO THE ON CENTER JOISTS

DOUBLE TWO JOISTS SIDE BY SIDE (ONLY ASSEMBLED IF NOTED)

FRAMER NOTE

--- DENOTES DUCT HOLE RUNS

ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED

• Avoid Plumbing Drops

- FRAMER NOTE**
1. GLUE AND NAIL PLYWOOD SUBFLOOR TO BEAMS AND GIRDERS AT 6" O/C WHERE NO WALL IS ABOVE.
 2. FILL HANGER SEAT WITH GLUE BEFORE SETTING JOIST IN HANGER. FILL ROUND HOLES WITH NAILS.

CRITICAL !!

INSTALL 2X4 SQUASH BLOCKS IN FLOOR TRUSS SPACE BELOW ALL EXTERIOR DOOR HEADER JACKS. CUT 1/16" TALLER THAN TRUSS.

FIELD TRIM NON RED END TO KEEP HOLES ALIGNED
CONTAR EL LADO DE SIN MARCA ROJA PARA HOYOS ALINEADOS

FIELD LOCATE PLUMBING DROPS/CAN LIGHTS, ETC... PRIOR TO JOIST SECUREMENT TO AVOID INTERFERENCE.

LAYOUT FOR 19.2" O/C

1= 19-3/16"	9= 172-13/16"
2= 38-3/8"	10= 192"
3= 57-5/8"	11= 211-3/16"
4= 76-13/16"	12= 230-3/8"
5= 96"	13= 249-13/16"
6= 115-3/16"	14= 268-13/16"
7= 134-3/8"	15= 288"
8= 153-5/8"	

FIELD VERIFY DIMENSIONS TO JOISTS LOCATED UNDER WALLS!!

2ND FLOOR LAYOUT

SCALE: 1/8"=1'



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Smith Douglas Homes

McGinnis 2nd Floor

REVISIONS	DATE	DESCRIPTION	DSN

DESIGNER PB2
 LAYOUT DATE 2/14/2024
 ARCH DATE 7/23/2021
 STRUC DATE 8/18/2023
 JOB #: 24021157F2