

SHEET LIST - CONSTRUCTION

SHEET NUMBER	SHEET NAME
E-0	COVER SHEET
E-1	FRONT & REAR ELEVATIONS
E-2	LEFT & RIGHT ELEVATION
E-3	ROOF OVERVIEW
F-1	FOUNDATION PLAN
F-1.2	CRAWL W/BRICK FOUNDATION DETAILS
F-2	FIRST FLOOR PLAN
F-3	SECOND FLOOR PLAN
GD-1	GARAGE DOOR DETAILS
H-1	FIRST FLOOR ELECTRICAL PLAN
H-2	SECOND FLOOR ELECTRICAL PLAN
S-4	8" KDAT COLUMN W/ TRIM
S-5	8" KDAT COLUMN DETAILS
S-6	FRAMING DETAILS
S-7	DETAILS/SECTIONS
S-8	STANDARD DECK DETAILS

ABBREVIATION LEGEND:

5 SH.	FIVE SHELVES
6 SH.	SIX SHELVES
A.F.F.	ABOVE FINISHED FLOOR
B.C.	BLIND CORNER (CABINET)
C.H.	COMFORT HEIGHT
C.J.	CEILING JOIST
C.M.U.	CONCRETE MASONRY UNIT
C.O.	CASED OPENING
CONC.	CONCRETE
C.R.V.	CONTINUOUS RIDGE VENT
DBL SH-RD	DOUBLE SHELF AND ROD
D.H.	DOUBLE HUNG
DR. or DRR	DRAWER
D.S.	DRAWER SPACE
EVP	ENGINEERED VINYL PLANK
EXT.	EXTERIOR
F.J.	FLOOR JOIST
F.S.	SUPPLY IN FLOOR (HVAC)
FTG.	FOOTING
GYP. BD.	GYPSUM BOARD
H.B.	HOSE BIBB
H.D.G.	HOT DIPPED GALVANIZED
HDWD	HARDWOOD
HDR.	HEADER
HT.	HEIGHT
INT.	INTERIOR
K.S.	KNEE SPACE
KDAT	KILN DRIED AFTER TREATMENT
L.B.W.	LOAD BEARING WALL
L.S.	LAUNDRY SINK or LAZY SUSAN
LVP	LUXURY VINYL PLANK
LVT	LUXURY VINYL TILE
O.C.	ON CENTER
O.H.	OVERHEAD
OPT.	OPTIONAL
O.W.H.	OVER THE WALL HEIGHT
P.T.	PRESSURE TREATED
PANT.	PANTRY
R/A	RETURN AIR (HVAC)
REINF.	REINFORCED
R.O.	ROUGH OPENING
S.C.	SUPPLY IN CEILING (HVAC)
S.D.	SMOKE DETECTOR
SH	SINGLE HUNG
SH-RD	SHELF AND ROD
S.J.	SINGLE JOIST
SM/CO	SMOKE AND CARBON MONOXIDE DETECTOR
SPEC.	SPECIFIED
SPF	SPRUCE/PINE/FIR
S.R.O.	SHEETROCK OPENING
S.Y.P.	SOUTHERN YELLOW PINE
T&G	TONGUE AND GROOVE
TEMP.	TEMPERED
T.O.P.	TOP OF PLATE
TRAP.	TRAPEZOID (WINDOW)
U.N.O.	UNLESS NOTED OTHERWISE
UTIL	UTILITY
VAN.	VANITY
W/H	WATER HEATER
W.H.H.	WINDOW HEADER HEIGHT
W.I.C.	WALK IN CLOSET



FRONT VIEW



REAR VIEW

GENERAL NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- MIN 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS NOTED OTHERWISE
- HEADERS FOR WINDOWS ABOVE KITCHEN COUNTERTOPS TO BE FRAMED DOWN 1'-5" FROM T.O.P.
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. UNLESS NOTED OTHERWISE
- STANDARD SECOND FLOOR WINDOW HEADERS TO BE FRAMED DOWN 1'-2" FROM T.O.P. UNLESS NOTED OTHERWISE
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:
SINGLE - 68"
DOUBLE - 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" ABOVE FINISHED GRADE

FOUNDATION NOTES

- TYPICAL FOUNDATION WALL: (2'-8") 4" BRICK W/ 4" BLOCK ON (2) 8" BASE BLOCK - ON TOP OF 16" x 8"d POURED CONCRETE FOOTING
- CRAWL SPACE ACCESS TO BE 42" WIDE
- ADD LIGHT AND SWITCH UNDER FLOOR NEAR ACCESS
- CRAWL SPACE VENT & ACCESS DIMENSIONS ARE APPROXIMATE, VENTS & ACCESSES SHOULD BE LOCATED WITHIN CONCRETE BLOCKS. DO NOT LOCATE UNDER BEAMS OR ANY OTHER STRUCTURAL LOCATIONS
- VENTS SHOULD BE INSTALLED PER LOCAL CODE
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- NOTCH SILL PLATE AROUND DROPPED BEAM
- FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
- POLY REQ'D IN CRAWL
- GRAVEL REQ'D UNDER GARAGE SLAB
- POLY REQ'D UNDER GARAGE SLAB
- **ADDITIONAL FLOORING SUPPOR FOR SAFE ROOM**

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	1734 SF	1,178 SF	2,912 SF	276 SF	533 SF	810 SF	3,722 SF	28 SF	28 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
FRONT PORCH									
GARAGE									
TOTAL UNDER ROOF									
REAR STOOP									
TOTAL UNCOVERED									

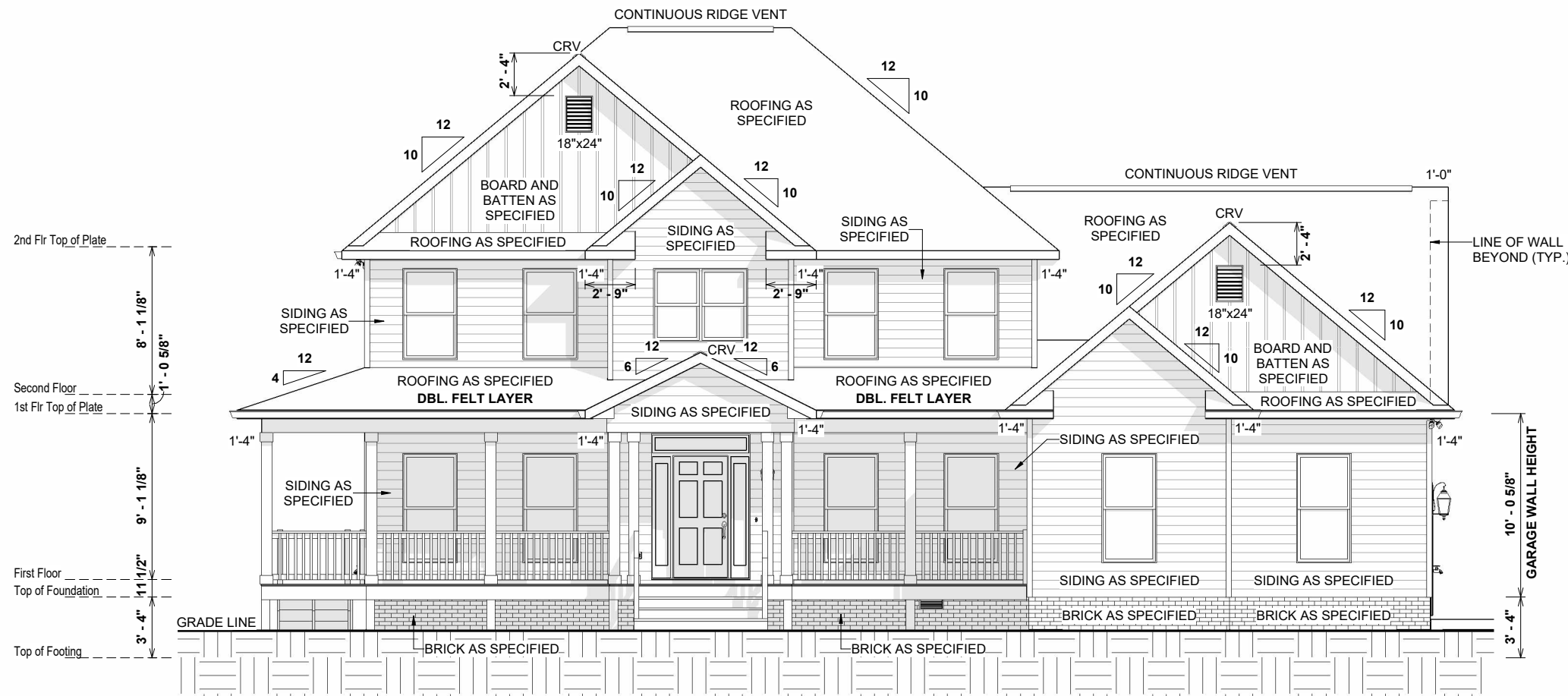
THE:	WYNFIELD
FOR:	MEZA, FERNANDO & KIM
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #:	141-24-001
FOUNDATION TYPE:	CRAWLSPACE
EXTERIOR WALLS:	2x4 EXTERIOR WALLS

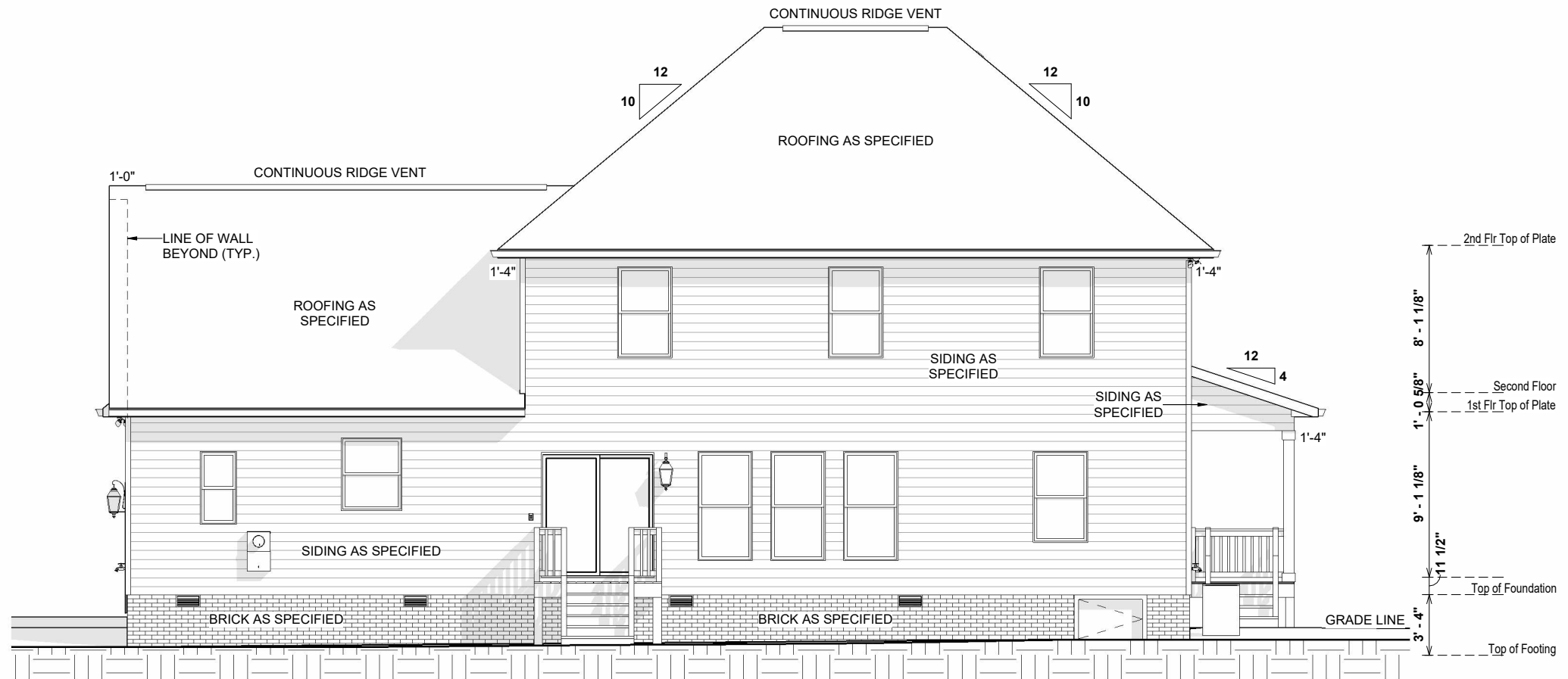
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SHEET #:	E-0
COVER SHEET	



1 FRONT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"

ELEVATION NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- MIN 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
- FINAL GRADE TO BE DETERMINED ON SITE; FOUNDATION DRAWN AS REPRESENTATION ONLY
- FOOTINGS TO BE LOCATED BELOW FROST LINE (SEE LOCAL CODES)
- RAILINGS SHOWN IN ELEVATION ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL RAIL DETAIL MAY VARY PER LOCATION

8:12 O.W.H. = 7"
8:12 O.W.H. = 11 1/2" @
BONUS ROOM
10:12 O.W.H. = 1'- 2 3/16"
 UNLESS OTHERWISE NOTED ON ROOF OVERVIEW

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	1734 SF	1178 SF	2912 SF	533 SF	810 SF	3722 SF	28 SF	28 SF
FIRST FLOOR HEATED								
SECOND FLOOR HEATED								
FRONT PORCH								
GARAGE								
TOTAL UNDER ROOF								
REAR STOOP								
TOTAL UNCOVERED								

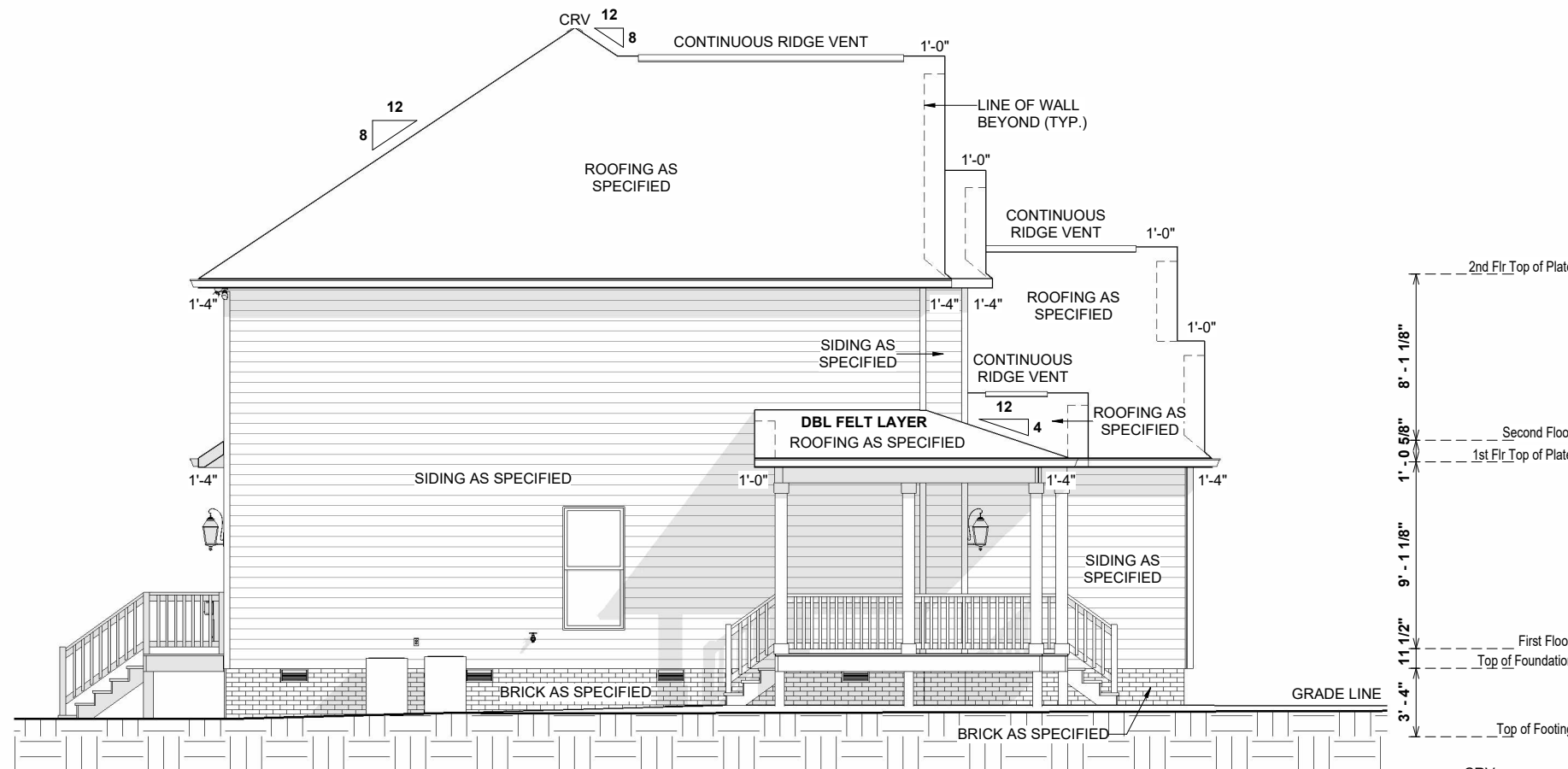
THE:	WYNFIELD
FOR:	MEZA, FERNANDO & KIM
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #:	141-24-001
FOUNDATION TYPE:	CRAWLSPACE
FOUNDATION TYPE:	CRAWLSPACE

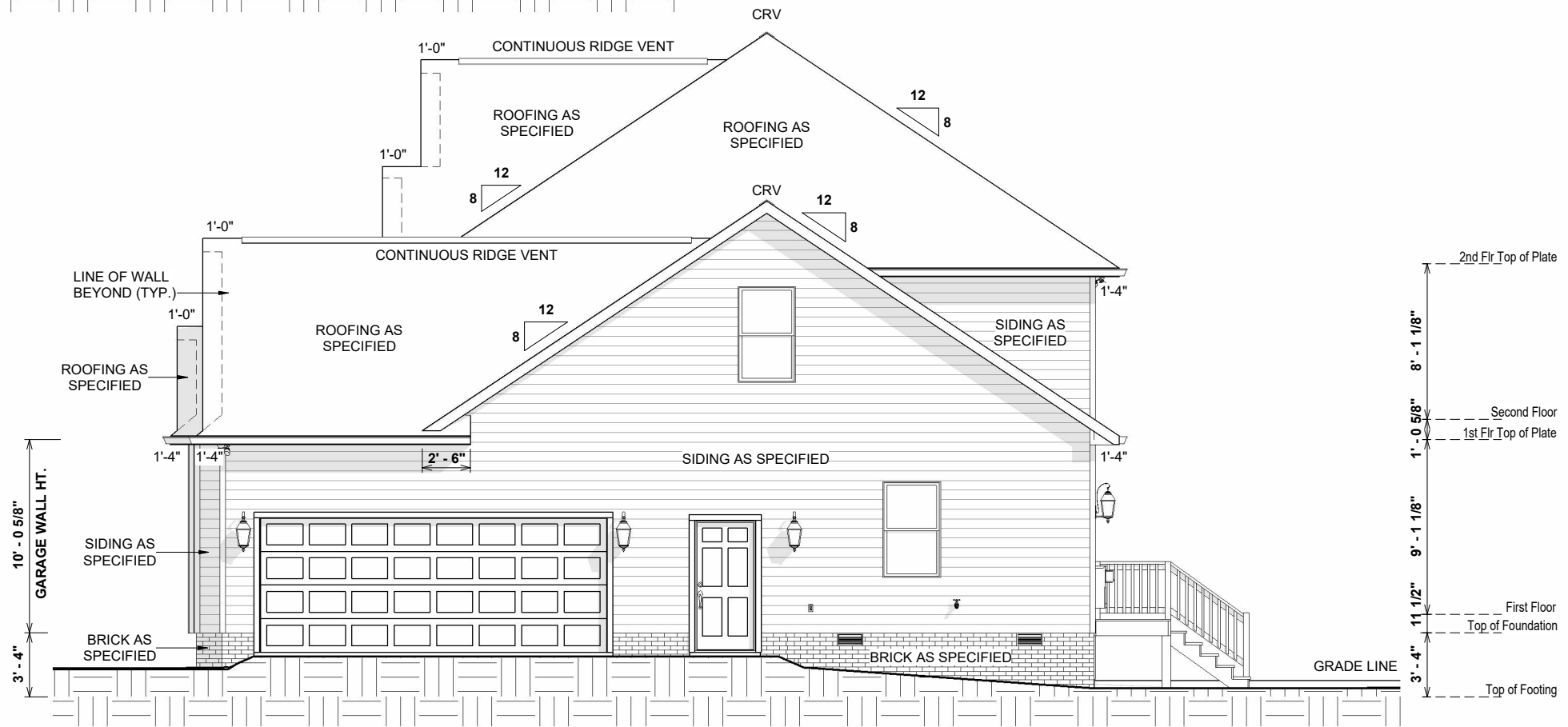
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SHEET #:	E-1
SCALE:	1/8" = 1'-0"

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FRONT & REAR ELEVATIONS



1 LEFT ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"

ELEVATION NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- MIN 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
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8:12 O.W.H. = 7"
8:12 O.W.H. = 11 1/2" @
BONUS ROOM
10:12 O.W.H. = 1'- 2 3/16"
UNLESS OTHERWISE NOTED ON ROOF OVERVIEW

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	1,734 SF	1,178 SF	2,912 SF	276 SF	533 SF	810 SF	3,722 SF	28 SF	28 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
FRONT PORCH									
GARAGE									
TOTAL UNDER ROOF									
REAR STOOP									
TOTAL UNCOVERED									

THE:	WYNFIELD
FOR:	MEZA, FERNANDO & KIM
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

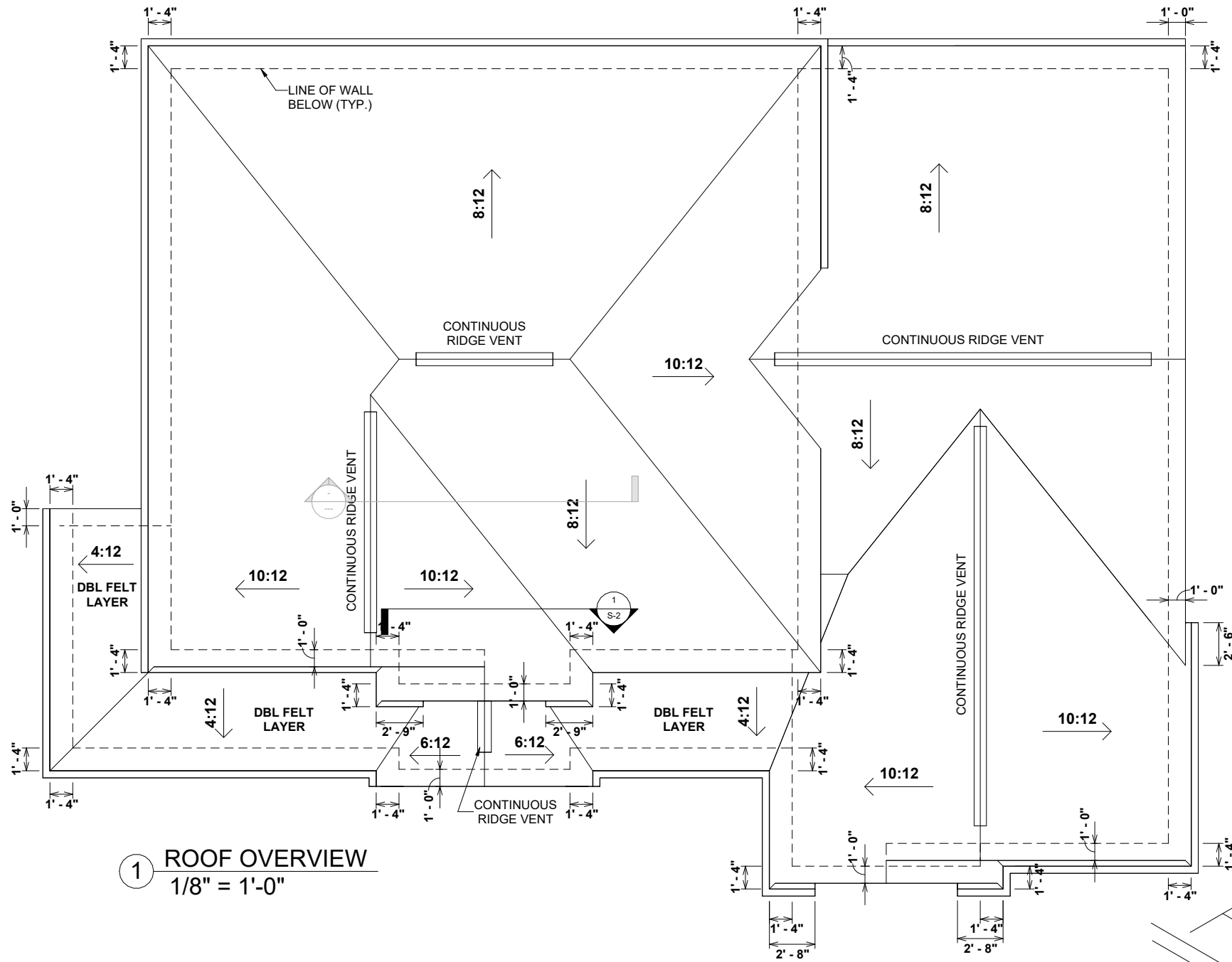
JOB #	141-24-001
FOUNDATION TYPE:	CRAWLSPACE
2X4 EXTERIOR WALLS	

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SHEET #	E-2
LEFT & RIGHT ELEVATION	

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

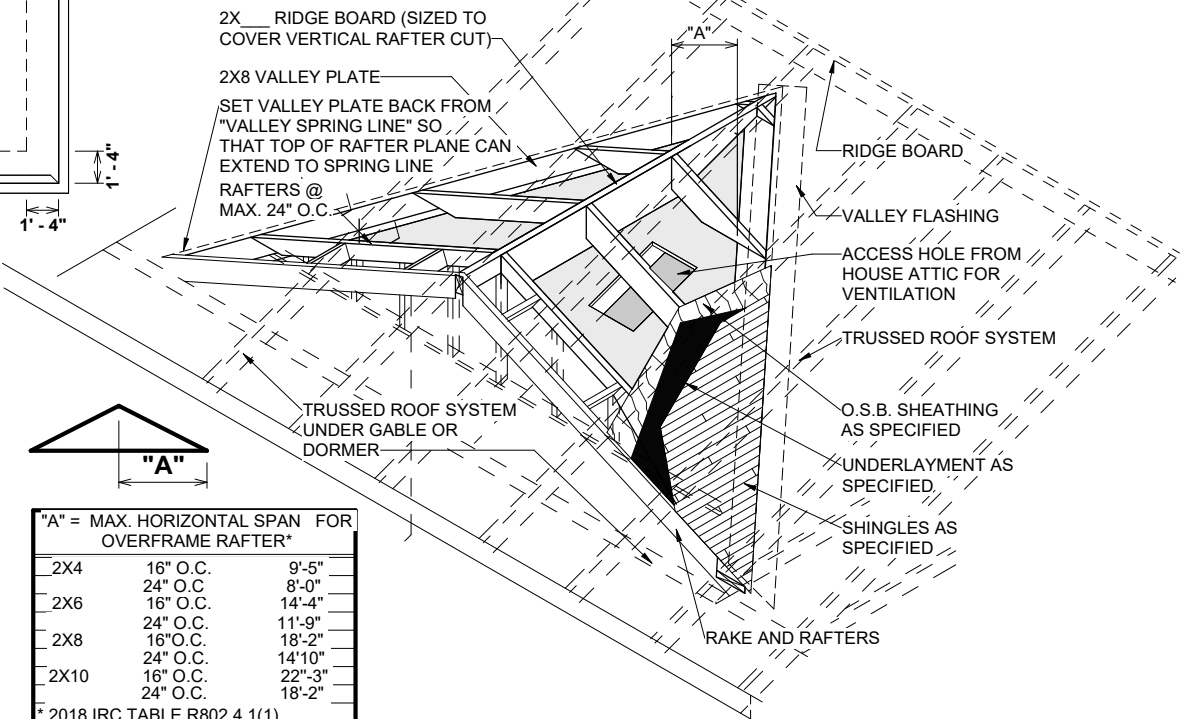
FINAL CONSTRUCTION PLANS



1 ROOF OVERVIEW
1/8" = 1'-0"

8:12 O.W.H. = 7"
8:12 O.W.H. = 11 1/2" @
BONUS ROOM
10:12 O.W.H. = 1'- 2 3/16"

UNLESS OTHERWISE NOTED ON ROOF OVERVIEW



"A" = MAX. HORIZONTAL SPAN FOR OVERFRAME RAFTER*

2X4	16" O.C.	9'-5"
	24" O.C.	8'-0"
2X6	16" O.C.	14'-4"
	24" O.C.	11'-9"
2X8	16" O.C.	18'-2"
	24" O.C.	14'-10"
2X10	16" O.C.	22'-3"
	24" O.C.	18'-2"

* 2018 IRC TABLE R802.4.1(1)

ROOF OVERFRAMING DETAIL

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	
FIRST FLOOR HEATED	1,734 SF
SECOND FLOOR HEATED	1,178 SF
FRONT PORCH	2,912 SF
GARAGE	276 SF
TOTAL UNDER ROOF	533 SF
REAR STOOP	810 SF
TOTAL UNCOVERED	3,722 SF
	28 SF
	28 SF

THE:	WYNFIELD
FOR:	MEZA, FERNANDO & KIM
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

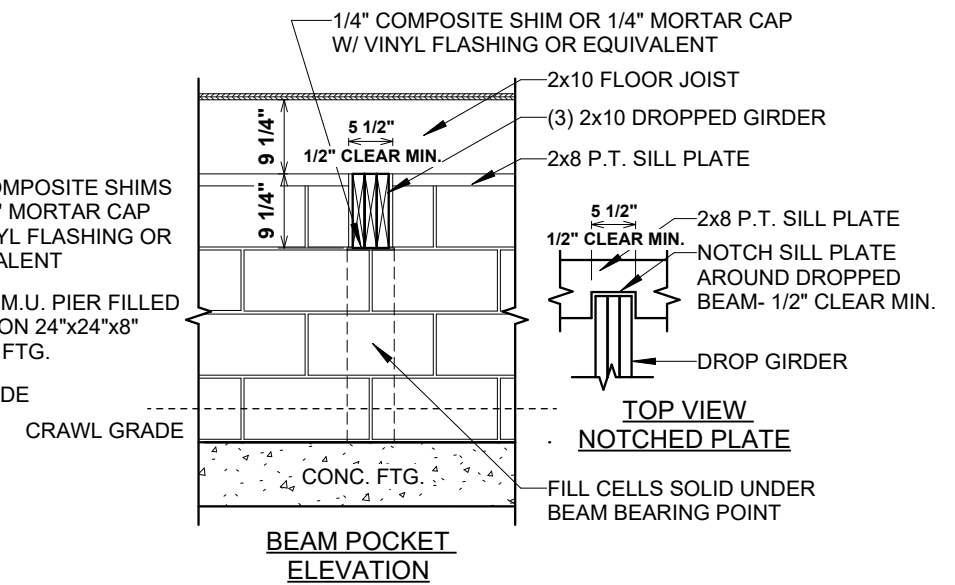
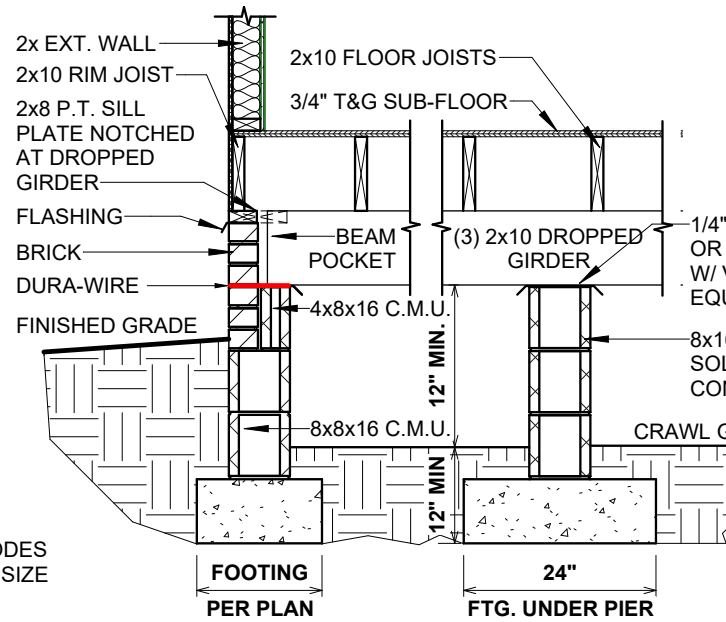
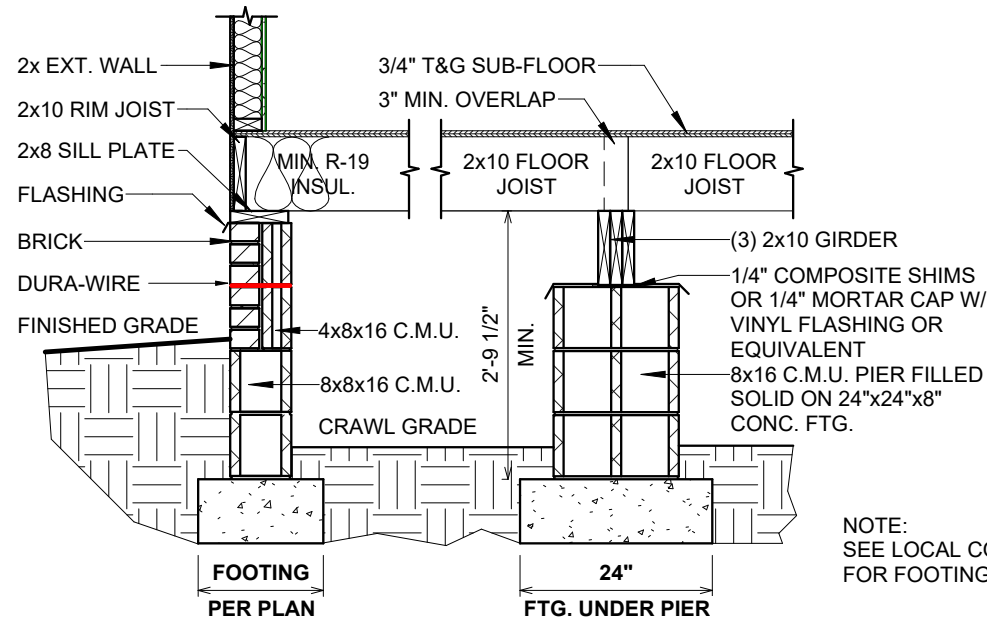
JOB #	141-24-001
FOUNDATION TYPE:	CRAWLSPACE
2X4 EXTERIOR WALLS	

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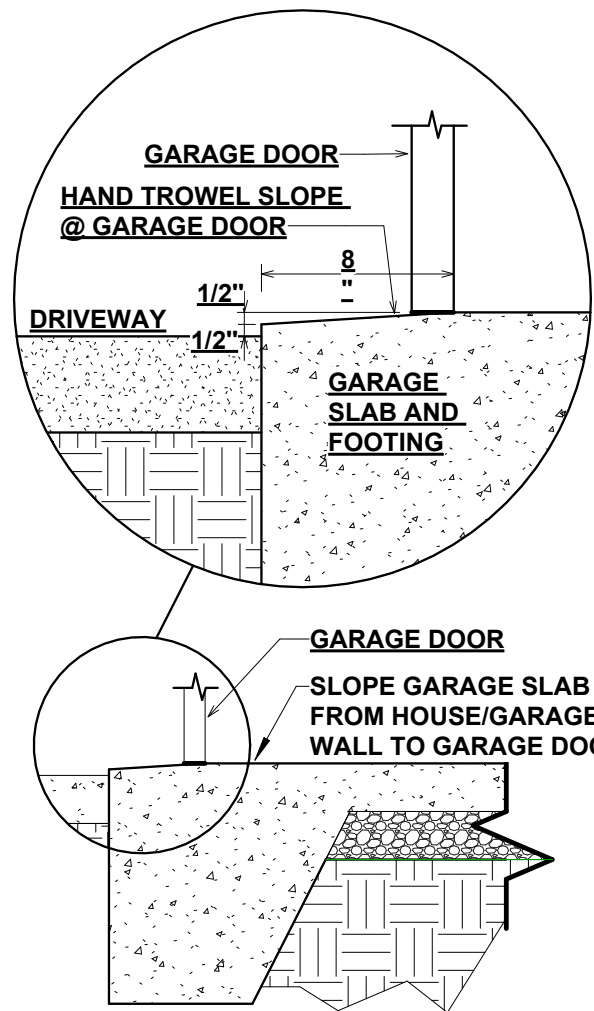
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SHEET #	E-3
SCALE:	As indicated

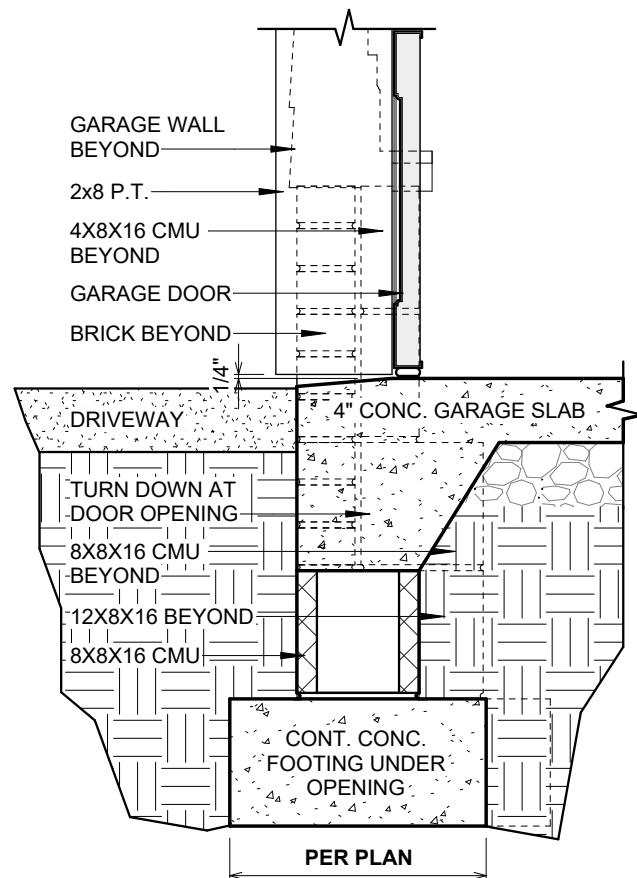
ROOF OVERVIEW



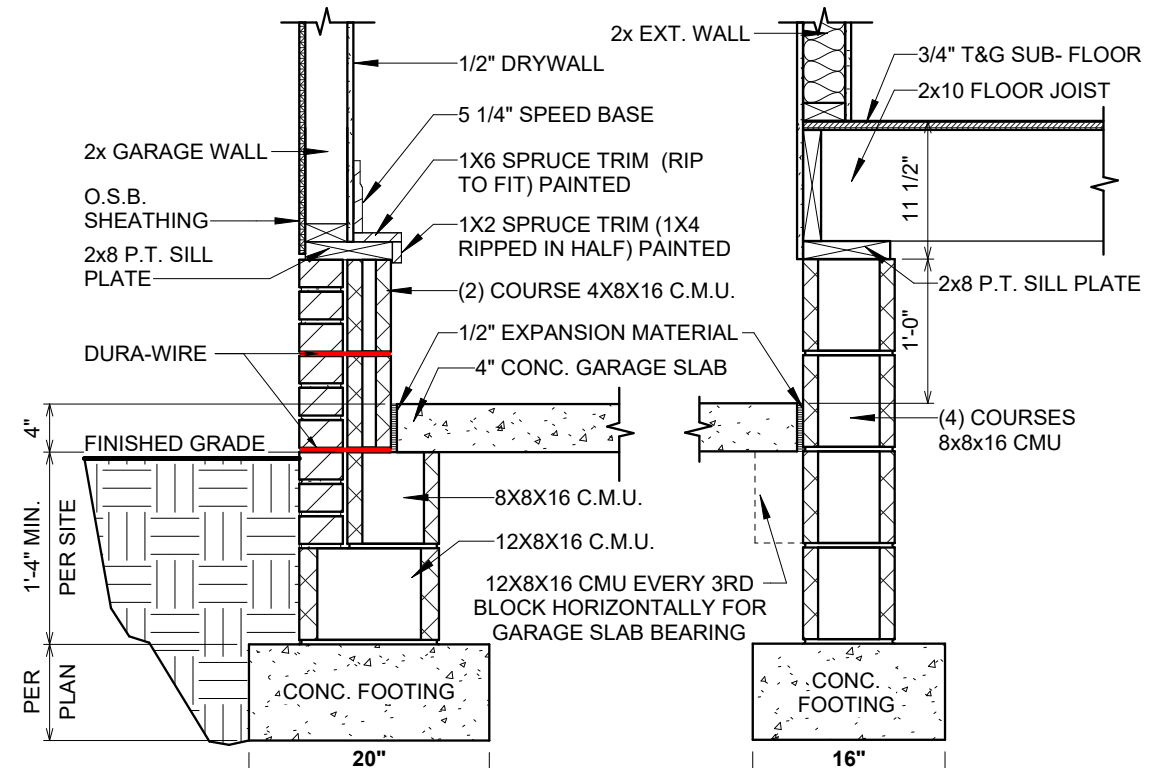
1 141-600.41 CRAWL FOUNDATION W/BRICK DETAIL
1/2" = 1'-0"



4 141-GARAGE DOOR SLOPE DETAIL
3/4" = 1'-0"



3 141.91- FOUNDATION @ GARAGE DOOR
1" = 1'-0"



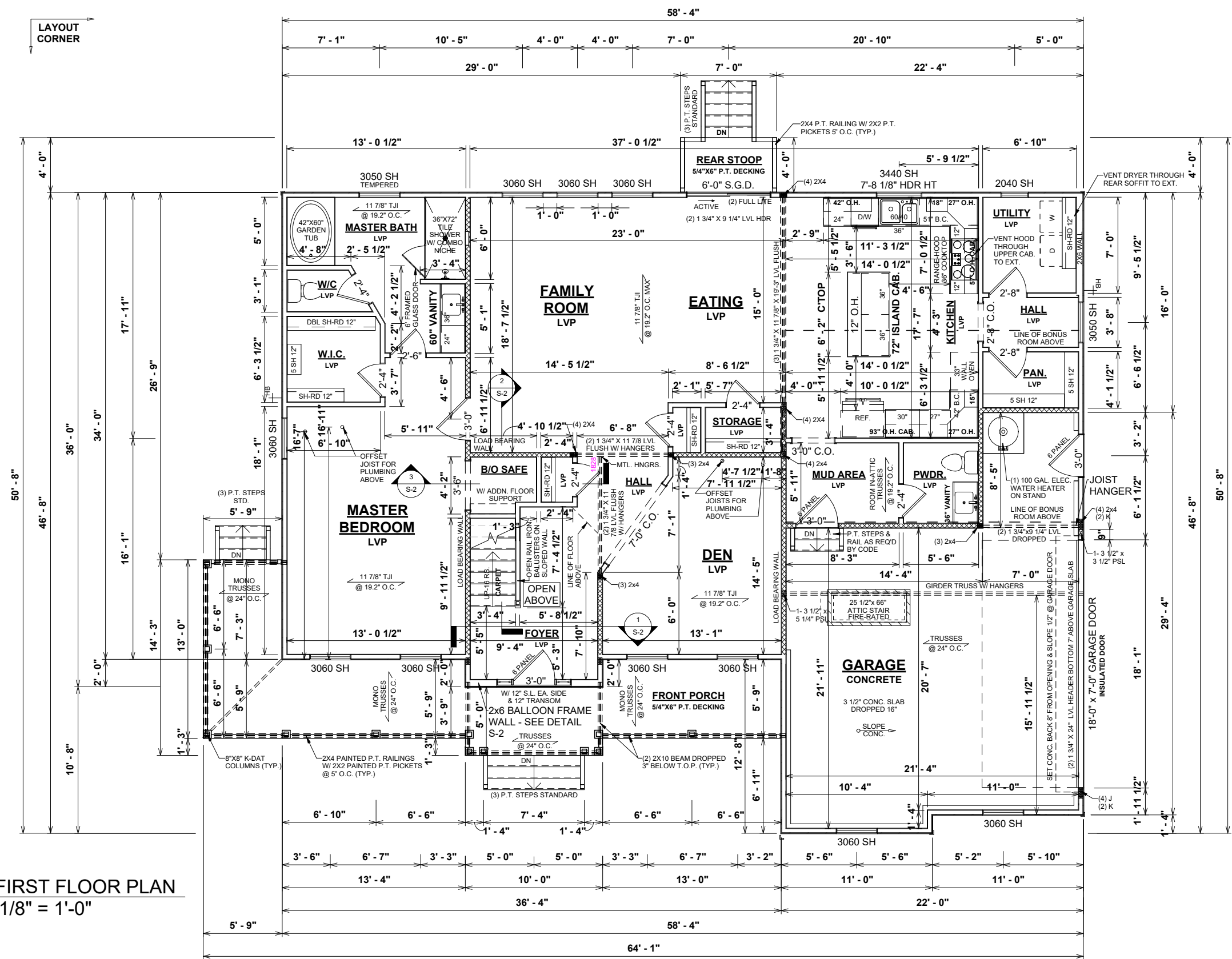
2 141-530.41 GARAGE CRAWL FOUNDATION W/BRICK
DETAIL
3/4" = 1'-0"

REVISION SCHEDULE	REV #	DESCRIPTION	DATE
AREAS:	FIRST FLOOR HEATED	1,734 SF	
	SECOND FLOOR HEATED	1,178 SF	
	FRONT PORCH	2,912 SF	
	GARAGE	276 SF	
	TOTAL UNDER ROOF	533 SF	
	REAR STOOP	810 SF	
	TOTAL UNCOVERED	3,722 SF	
THE:	WYNFIELD		
FOR:	MEZA, FERNANDO & KIM		
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505		
JOB #:	141-24-001		
FOUNDATION TYPE:	2x4 EXTERIOR WALLS		
OFFICE:	FAYETTEVILLE		
DRAWN BY:	D. VIVANCO		
CHECKED BY:	JS		
PRINTED:	4/9/2024 11:58:55 AM		
PROPERTY OF:	AMERICA'S HOME PLACE		
SHEET #:	F-1.2		
SCALE:	As indicated		
CRAWL W/BRICK FOUNDATION DETAILS			

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

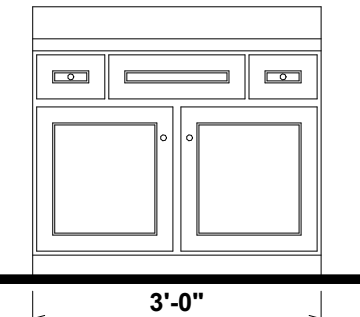
FINAL CONSTRUCTION PLANS

LAYOUT CORNER



1 FIRST FLOOR PLAN
1/8" = 1'-0"

2 891.1 36" VANITY ELEVATION
1/2" = 1'-0"



GENERAL NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- MIN 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS NOTED OTHERWISE
- HEADERS FOR WINDOWS ABOVE KITCHEN COUNTERTOPS TO BE FRAMED DOWN 1'-5" FROM T.O.P.
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. UNLESS NOTED OTHERWISE
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- NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:
SINGLE - 68"
DOUBLE - 42" & 84"
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- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" ABOVE FINISHED GRADE

SPECIAL NOTES

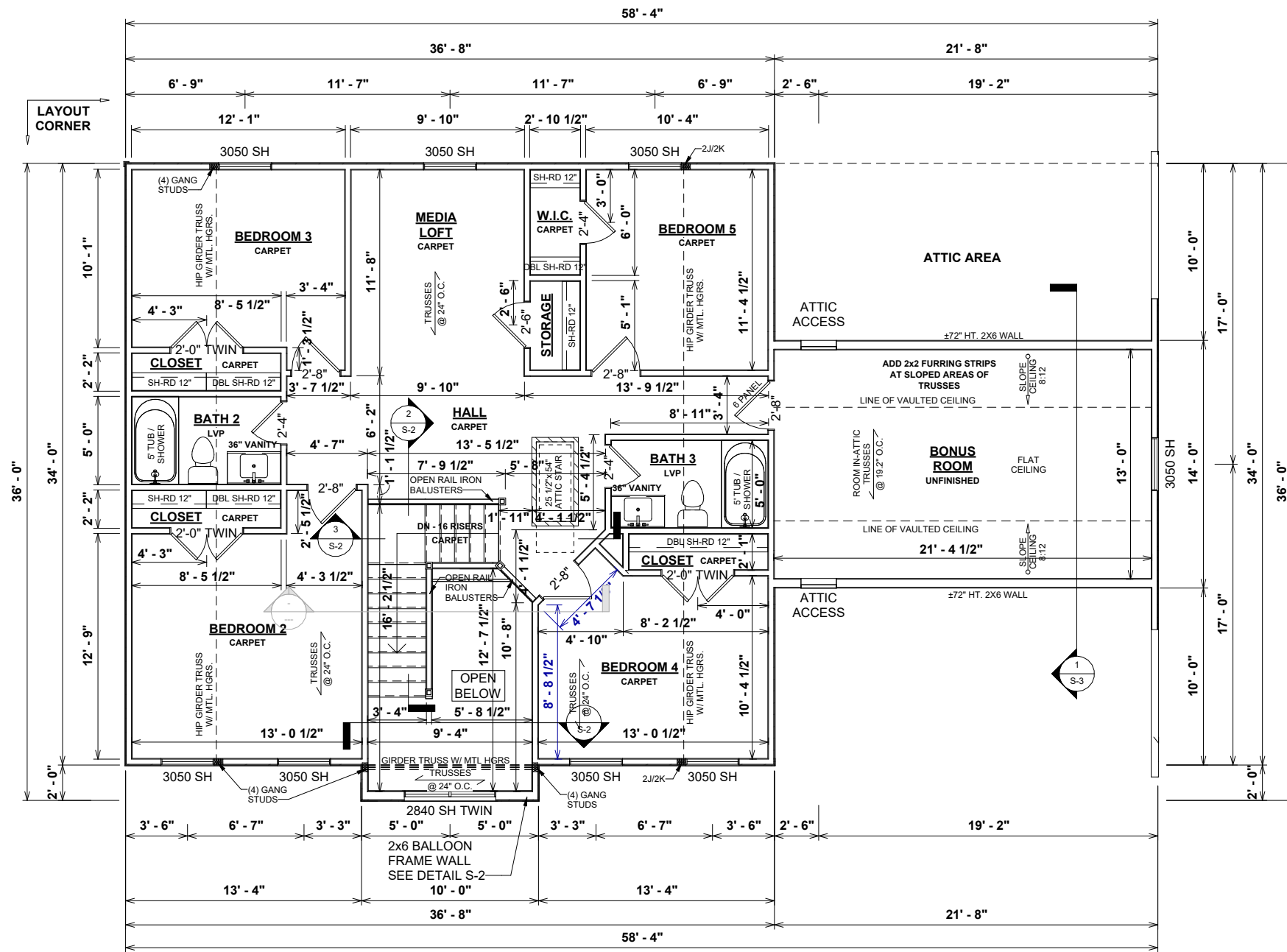
- 36" WALL MOUNT CHASE MODEL #VVW53UC6LS OVER RANGE HOOD MODEL #WEXTKIT18FS TO COVER VENT PIPE
- 36" ELECTRIC COOKTOP MODEL #WCE55US6HB
- 30" SINGLE WALL OVEN MODEL #WOS1E0C0HS FIT INTO 33" WALL OVEN CABINET
- MICROWAVE BY OWNER - NOT EXISTING APPLIANCE
- KITCHEN & KITCHEN ISLAND COUNTERTOPS TO BE GRANITE
- BATHS COUNTERTOPS TO BE MARBLE
- 2ND SAFE ROOM - LOCATION T.B.D.
- INTERIOR DOOR STYLE TO BE "SANTA FE"

SHEET #	PROPERTY OF:	DRAWN BY:	CHECKED BY:	PRINTED:	JOB #	THE:	AREAS:		REVISION SCHEDULE	
							FOR:	FOUNDATION TYPE:	REV #	DESCRIPTION
F-2	AMERICA'S HOME PLACE	D. VIVANCO	JS	4/9/2024 11:58:55 AM	141-24-001	WYNFIELD	2x4 EXTERIOR WALLS	FIRST FLOOR HEATED	1.734 SF	
							CRAWLSPACE	SECOND FLOOR HEATED	1.178 SF	
								FRONT PORCH	2.912 SF	
								GARAGE	276 SF	
								TOTAL UNDER ROOF	533 SF	
								REAR STOOP	810 SF	
								TOTAL UNCOVERED	3.722 SF	
									28 SF	
									28 SF	

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

SCALE: As indicated



1 SECOND FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- MIN 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
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		276 SF	GARAGE	
		533 SF	TOTAL UNDER ROOF	
		810 SF	REAR STOOP	
		3.722 SF	TOTAL UNCOVERED	
		28 SF		
		28 SF		

THE:	WYNFIELD
FOR:	MEZA, FERNANDO & KIM
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
OFFICE BY:	A. VIRT

JOB #	141-24-001
FOUNDATION TYPE:	CRAWLSPACE
EXTERIOR WALLS:	2X4 EXTERIOR WALLS

DRAWN BY:	D. VIVANCO
CHECKED BY:	JS
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PROPERTY OF:	AMERICA'S HOME PLACE
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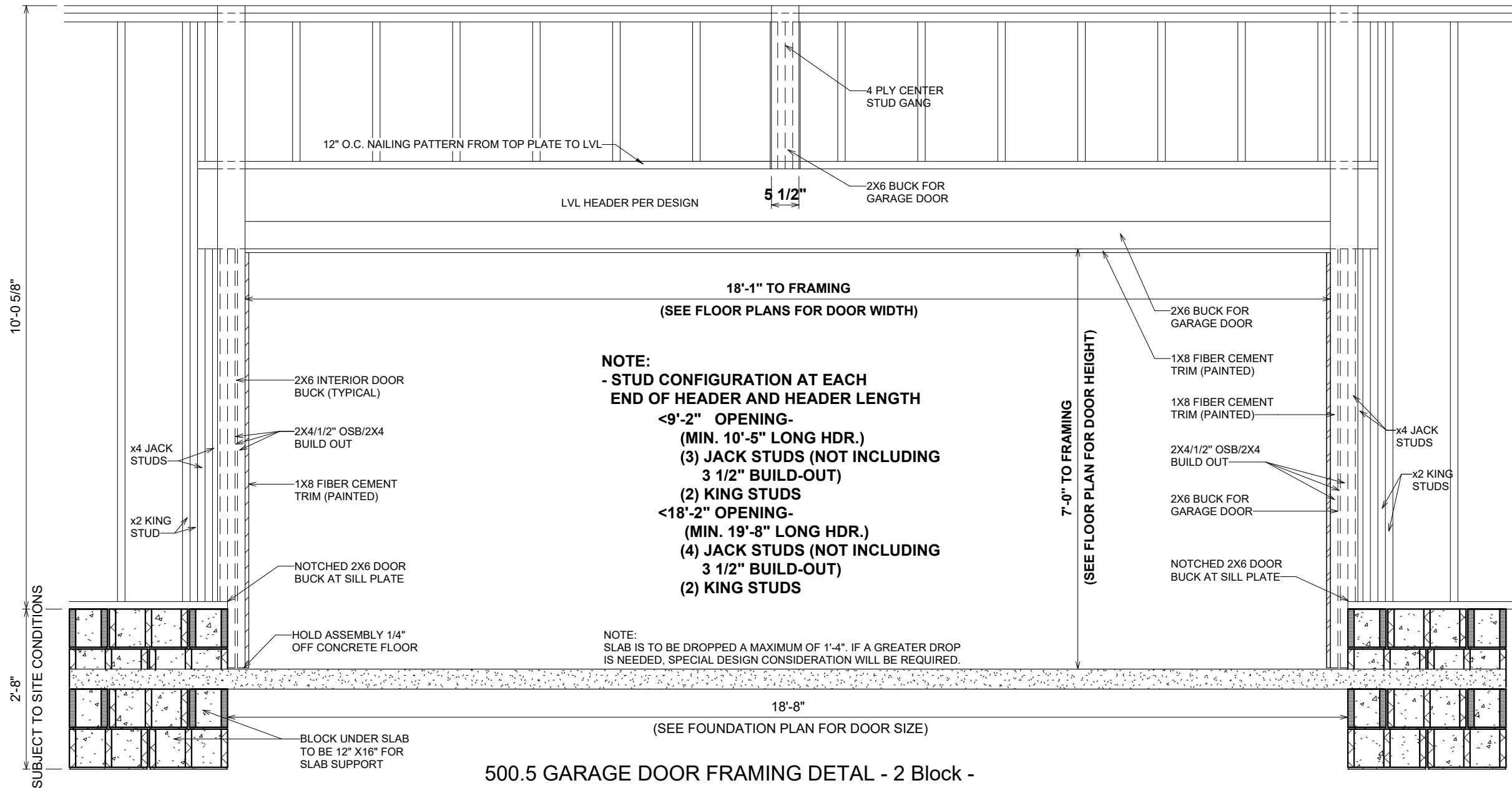
SHEET #	F-3
PLAN	SECOND FLOOR PLAN

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

PAPER SIZE: 11" x 17"

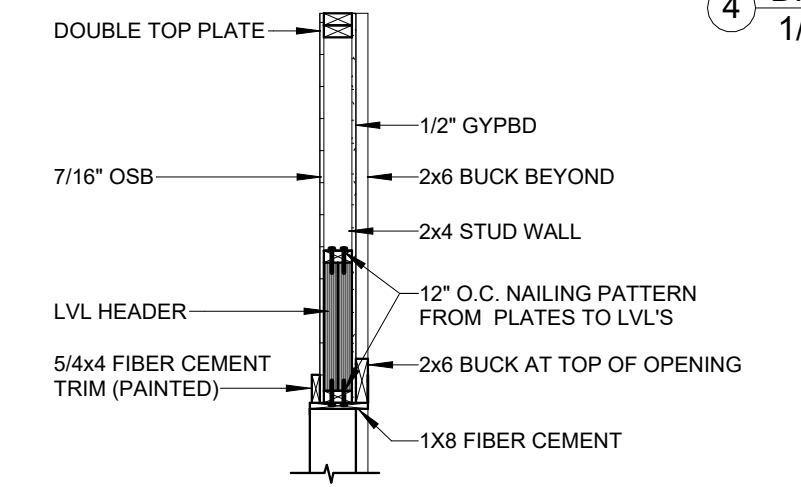
SCALE: 1/8" = 1'-0"



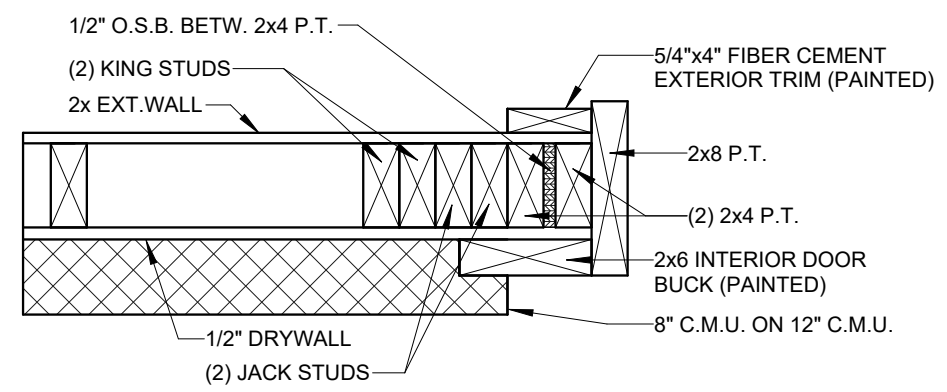
NOTE:
- STUD CONFIGURATION AT EACH END OF HEADER AND HEADER LENGTH
<9'-2" OPENING-
(MIN. 10'-5" LONG HDR.)
(3) JACK STUDS (NOT INCLUDING 3 1/2" BUILD-OUT)
(2) KING STUDS
<18'-2" OPENING-
(MIN. 19'-8" LONG HDR.)
(4) JACK STUDS (NOT INCLUDING 3 1/2" BUILD-OUT)
(2) KING STUDS

NOTE:
 SLAB IS TO BE DROPPED A MAXIMUM OF 1'-4". IF A GREATER DROP IS NEEDED, SPECIAL DESIGN CONSIDERATION WILL BE REQUIRED.

4 500.5 GARAGE DOOR FRAMING DETAL - 2 Block - DROPPED HEADER
 1/2" = 1'-0"



2 GARAGE DOOR WALL SECTION AT HEADER
 1/2" = 1'-0"



3 GARAGE DOOR JAMB FRAMING
 1 1/2" = 1'-0"

REVISION SCHEDULE		REV #	DESCRIPTION	DATE
		1,734 SF	FIRST FLOOR HEATED	
		1,178 SF	SECOND FLOOR HEATED	
		2,912 SF	FRONT PORCH	
		533 SF	GARAGE	
		810 SF	TOTAL UNDER ROOF	
		3,722 SF	REAR STOOP	
		28 SF	TOTAL UNCOVERED	

THE:	WYNFIELD
FOR:	MEZA, FERNANDO & KIM
OFFICE:	FAYETTEVILLE
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
DESIGNER:	A. VIRT
DATE:	4/9/2024
TIME:	11:58:56 AM
PROJECT:	141-24-001
FOUNDATION TYPE:	CRAWLSPACE
JOB #:	2x4 EXTERIOR WALLS
FOUNDATION TYPE:	CRAWLSPACE
DRAWN BY:	D. VIVANCO
CHECKED BY:	JS
PRINTED:	4/9/2024 11:58:56 AM
PROPERTY OF:	AMERICA'S HOME PLACE
SCALE:	As indicated
SHEET #:	GD-1
DATE:	2023

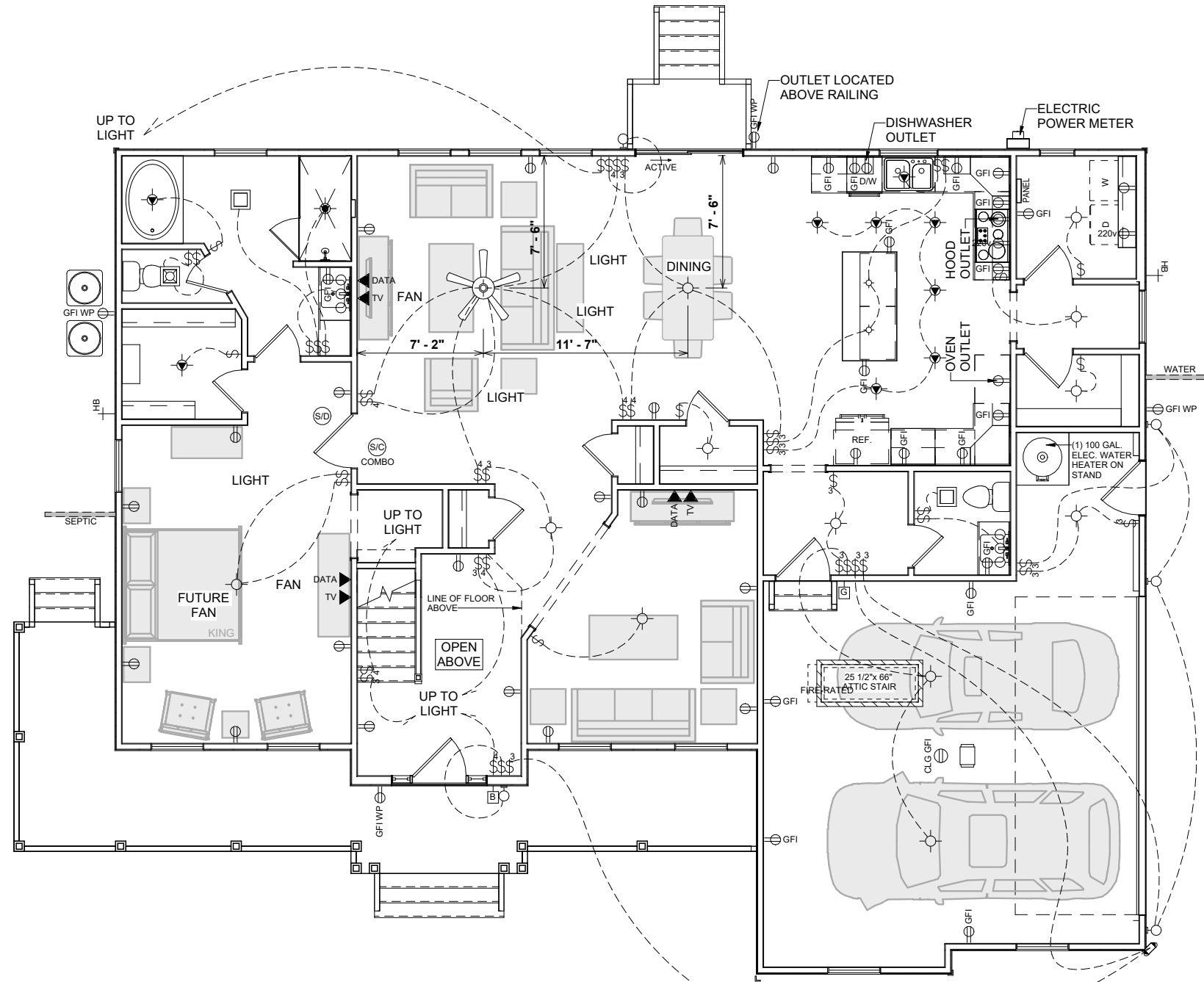
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

ELECTRICAL LEGEND	
LIGHT FIXTURES	
CEILING FAN	
CEILING MOUNT	
COACH / SCONCE	
EXHAUST FAN	
EXTERIOR FLOOD	
LED STRIP LIGHT - CEILING	
LED - WALL	
LED DISC	
PENDANT	
RECESSED CAN	
RECESSED EYEBALL CAN	
VANITY	
ELECTRICAL FIXTURES	
DOOR BELL BUTTON	
DOOR BELL CHIME	
GARAGE DOOR OPENER	
MEDIA	
OUTLET	
OUTLET - CEILING	
OUTLET - FLOOR	
OUTLET - GFI	
OUTLET - 220v	
SWITCH	
SWITCH - DIMMER	
SMOKE & CARBON DETECTOR	
SMOKE DETECTOR	
THERMOSTAT	
UNDER CABINET LIGHT	

ELECTRICAL NOTES:

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE AND WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED



1 FIRST FLOOR ELECTRICAL PLAN
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

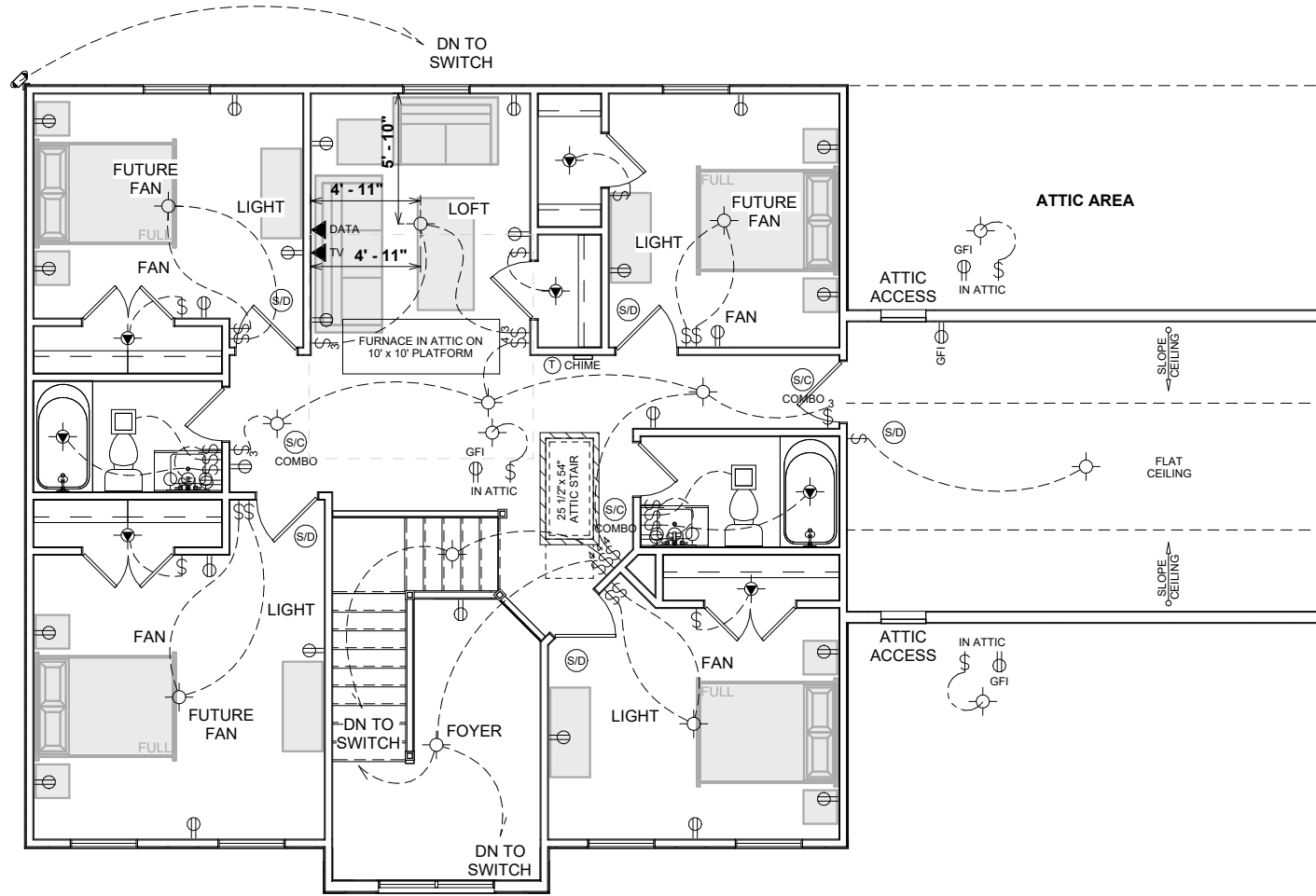
FINAL CONSTRUCTION PLANS

SHEET #	PROPERTY OF:	DRAWN BY:	JOB #	THE:	REVISION SCHEDULE	
					REV #	DESCRIPTION
H-1	AMERICA'S HOME PLACE	D. VIVANCO	141-24-001	WYNFIELD	1.734 SF	DATE
					1.178 SF	
FIRST FLOOR ELECTRICAL PLAN	AMERICA'S HOME PLACE	CHECKED BY: JS	2x4 EXTERIOR WALLS	FOR: MEZA, FERNANDO & KIM	2.912 SF	
					276 SF	
FIRST FLOOR ELECTRICAL PLAN	AMERICA'S HOME PLACE	PRINTED: 4/9/2024 11:58:57 AM	FOUNDATION TYPE: CRAWLSPACE	740 MCLEOD RD. BROADWAY, NC 27505	533 SF	
					810 SF	
FIRST FLOOR ELECTRICAL PLAN	AMERICA'S HOME PLACE	© COPYRIGHT - 2023	OFFICE: FAYETTEVILLE	SOLD BY: A. VIRT	3.722 SF	
					28 SF	
FIRST FLOOR ELECTRICAL PLAN	AMERICA'S HOME PLACE				28 SF	
					28 SF	

ELECTRICAL LEGEND	
LIGHT FIXTURES	
CEILING FAN	
CEILING MOUNT	
COACH / SCONCE	
EXHAUST FAN	
EXTERIOR FLOOD	
LED STRIP LIGHT - CEILING	
LED - WALL	
LED DISC	
PENDANT	
RECESSED CAN	
RECESSED EYEBALL CAN	
VANITY	
ELECTRICAL FIXTURES	
DOOR BELL BUTTON	
DOOR BELL CHIME	
GARAGE DOOR OPENER	
MEDIA	
OUTLET	
OUTLET - CEILING	
OUTLET - FLOOR	
OUTLET - GFI	
OUTLET - 220v	
SWITCH	
SWITCH - DIMMER	
SMOKE & CARBON DETECTOR	
SMOKE DETECTOR	
THERMOSTAT	
UNDER CABINET LIGHT	

ELECTRICAL NOTES:

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE AND WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED

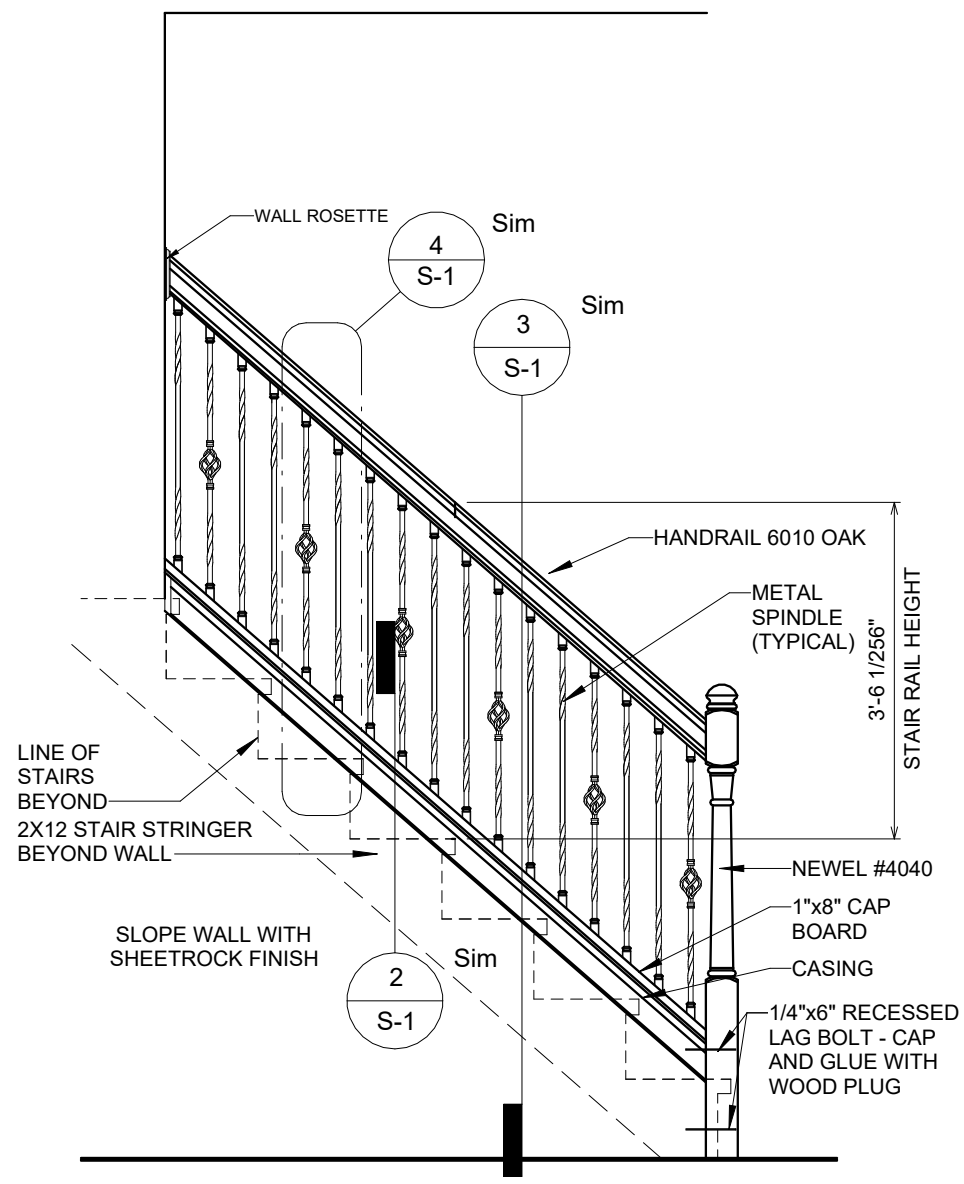


1 SECOND FLOOR ELECTRICAL
1/8" = 1'-0"

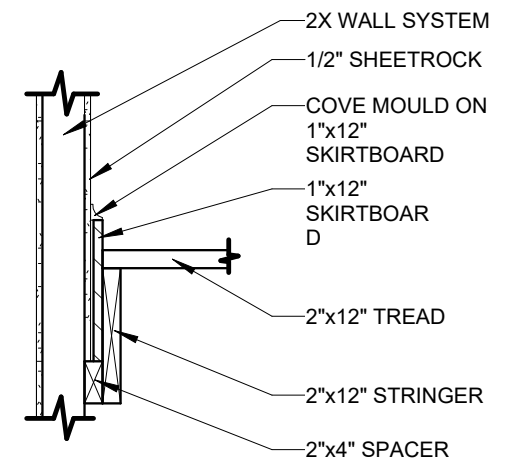
SHEET #	PROPERTY OF:	DRAWN BY:	JOB #	THE:	REVISION SCHEDULE	
					REV #	DESCRIPTION
H-2	AMERICA'S HOME PLACE	D. VIVANCO	141-24-001	WYNFIELD	1.734 SF	DATE
					2.912 SF	DATE
SECOND FLOOR ELECTRICAL PLAN	© COPYRIGHT - 2023	CHECKED BY: JS	2x4 EXTERIOR WALLS	FOR: MEZA, FERNANDO & KIM	1.178 SF	DATE
					276 SF	DATE
SECOND FLOOR ELECTRICAL PLAN	© COPYRIGHT - 2023	PRINTED: 4/9/2024 11:58:58 AM	FOUNDATION TYPE: CRAWLSPACE	740 MCLEOD RD. BROADWAY, NC 27505	533 SF	DATE
					810 SF	DATE
SECOND FLOOR ELECTRICAL PLAN	© COPYRIGHT - 2023	OFFICE: FAYETTEVILLE	SOLD BY: A. VIRT	TOTAL UNDER ROOF	3.722 SF	DATE
					28 SF	DATE
SECOND FLOOR ELECTRICAL PLAN	© COPYRIGHT - 2023	OFFICE: FAYETTEVILLE	SOLD BY: A. VIRT	TOTAL UNCOVERED	28 SF	DATE
					28 SF	DATE

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

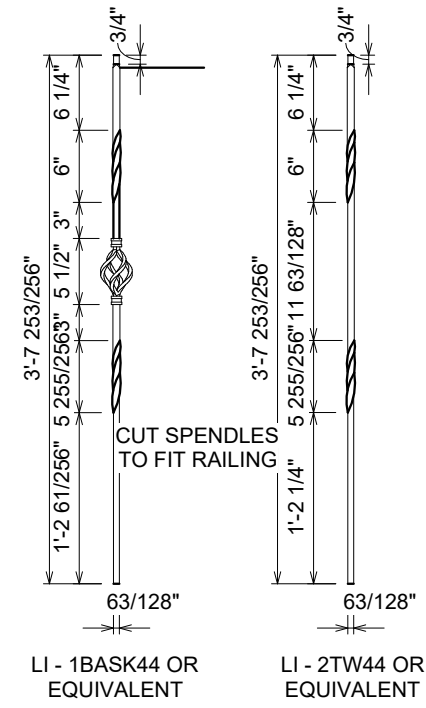
FINAL CONSTRUCTION PLANS



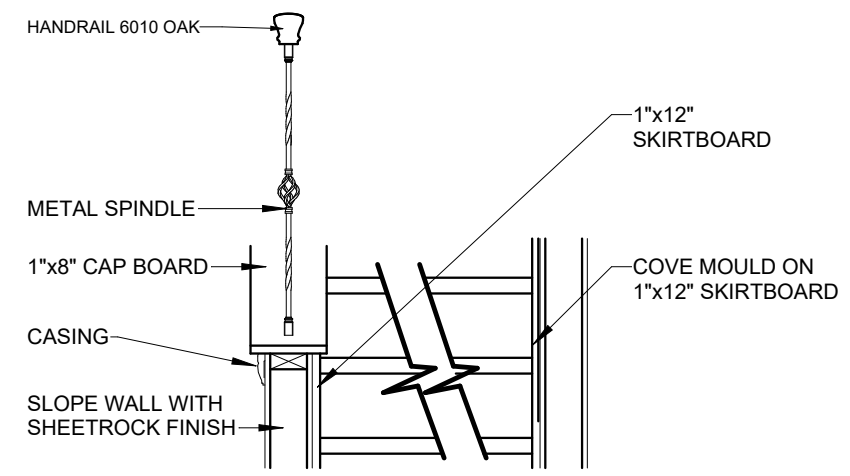
1 SLOPED WALL AT RAILING
1/2" = 1'-0"



2 STAIR SECTION THRU STRINGER
3/4" = 1'-0"



4 STAIR SPINDLE DETAIL
3/4" = 1'-0"



3 STAIR TRIM @ SLOPED WALL
1/2" = 1'-0"

REVISION SCHEDULE	REV #	DESCRIPTION	DATE
		1.734 SF	FIRST FLOOR HEATED
	1.178 SF	SECOND FLOOR HEATED	
	2.912 SF	FRONT PORCH	
	276 SF	GARAGE	
	533 SF	TOTAL UNDER ROOF	
	810 SF	REAR STOOP	
	3.722 SF	TOTAL UNCOVERED	
	28 SF		
	28 SF		

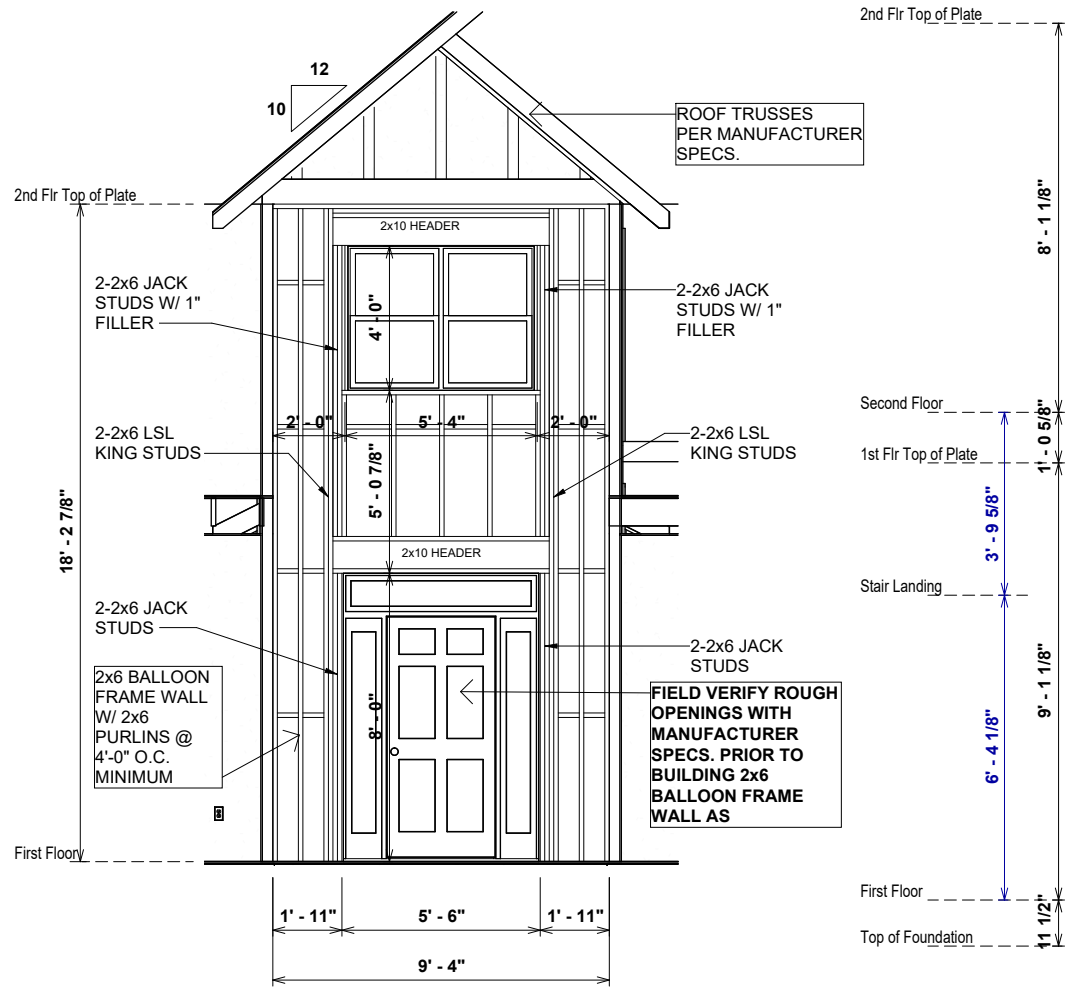
AREAS:	THE:	WYNFIELD
	FOR:	MEZA, FERNANDO & KIM
	OFFICE:	FAYETTEVILLE
	FOUNDATION TYPE:	CRAWLSPACE
	ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
	SOLD BY:	A. VIRT
	JOB #	141-24-001
	THE:	141-24-001
	FOR:	2X4 EXTERIOR WALLS
	FOUNDATION TYPE:	CRAWLSPACE
	DRAWN BY:	D. VIVANCO
	CHECKED BY:	JS
	PRINTED:	4/9/2024 11:58:58 AM
PROPERTY OF:		
	© COPYRIGHT - 2023	
SHEET #	S-1	
	STAIR DETAILS	

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

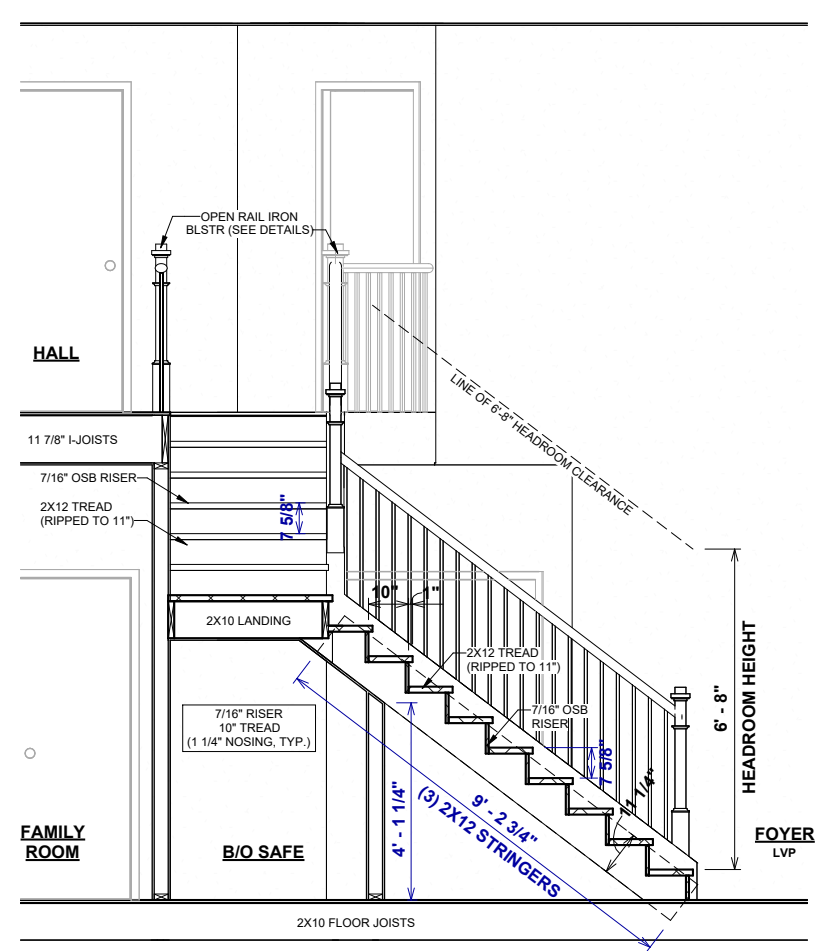
FINAL CONSTRUCTION PLANS

PAPER SIZE: 11" x 17"

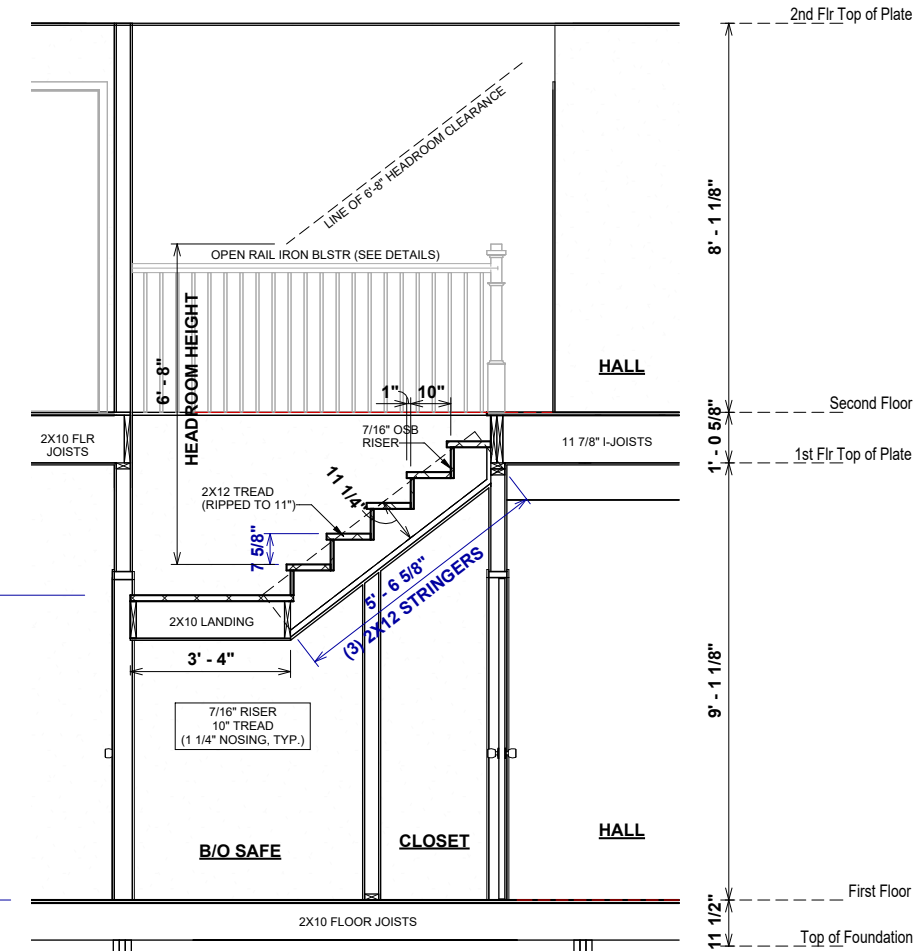
SCALE: As indicated



1 FOYER - BALLOON FRAME WALL
3/16" = 1'-0"



2 STAIRS SECTION FROM FOYER
1/4" = 1'-0"



3 STAIRS SECTION FROM LANDING
1/4" = 1'-0"

REVISION SCHEDULE		REV #	DESCRIPTION	DATE
		1.734 SF	FIRST FLOOR HEATED	
		1.178 SF	SECOND FLOOR HEATED	
		2.912 SF	FRONT PORCH	
		276 SF	GARAGE	
		533 SF	TOTAL UNDER ROOF	
		810 SF	REAR STOOP	
		3.722 SF	TOTAL UNCOVERED	
		28 SF		
		28 SF		

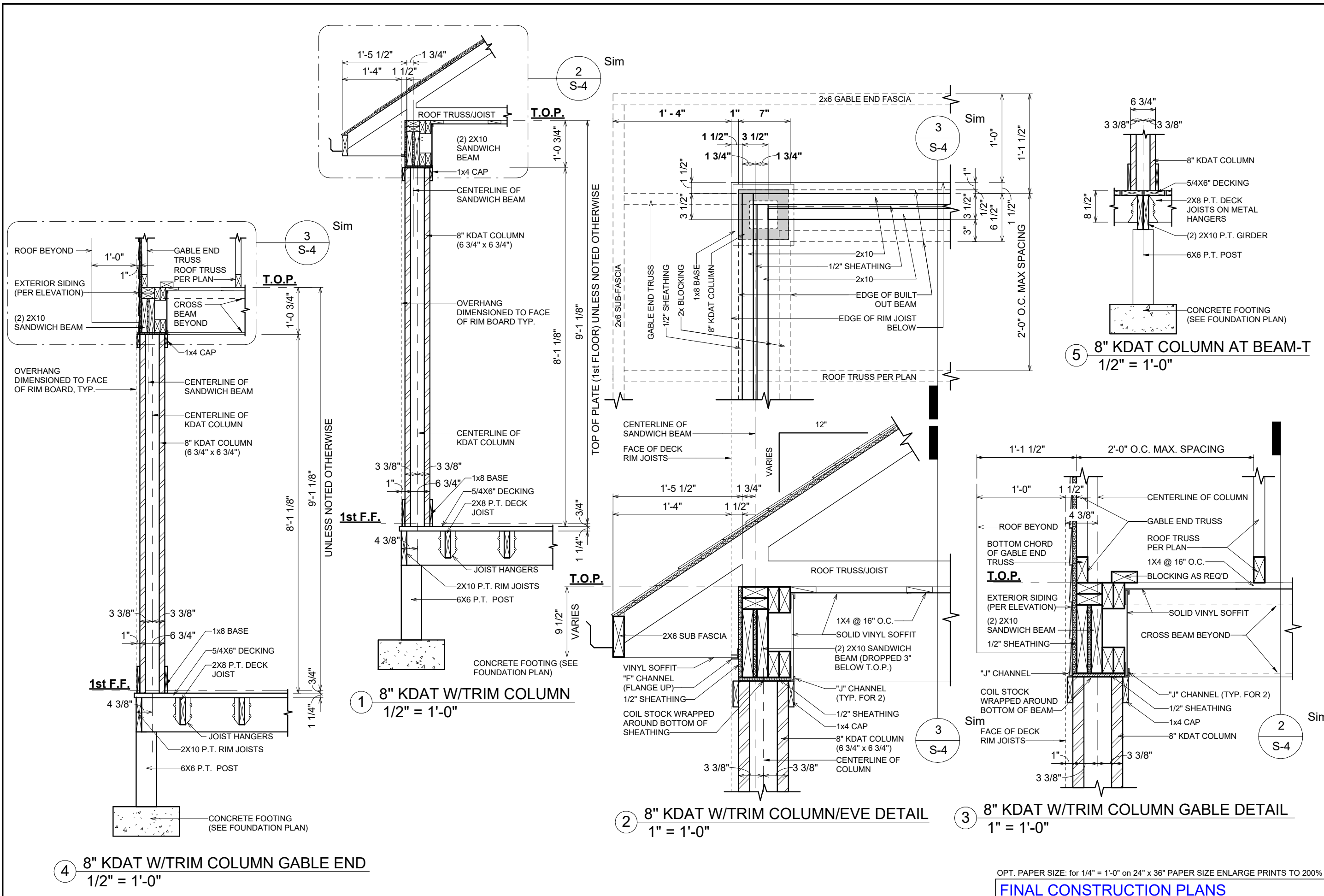
AREAS:	THE:	FOR:	OFFICE:
FIRST FLOOR HEATED	141-24-001	2X4 EXTERIOR WALLS	FAYETTEVILLE
SECOND FLOOR HEATED	WYNFIELD	FOUNDATION TYPE:	
FRONT PORCH	MEZA, FERNANDO & KIM	CRAWLSPACE	
GARAGE	740 MCLEOD RD.		
TOTAL UNDER ROOF	BROADWAY, NC 27505		
REAR STOOP	SOLD BY:		
TOTAL UNCOVERED	A. VIRT		

PROPERTY OF:	DRAWN BY:	CHECKED BY:	PRINTED:
AMERICA'S HOME PLACE	D. VIVANCO	JS	4/9/2024 11:58:59 AM
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SHEET #	SCALE:
S-2	As indicated

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS



5 8" KDAT COLUMN AT BEAM-T
1/2" = 1'-0"

4 8" KDAT W/TRIM COLUMN GABLE END
1/2" = 1'-0"

2 8" KDAT W/TRIM COLUMN/EVE DETAIL
1" = 1'-0"

3 8" KDAT W/TRIM COLUMN GABLE DETAIL
1" = 1'-0"

REVISION SCHEDULE		REV #	DESCRIPTION	DATE
		1.734 SF	FIRST FLOOR HEATED	
		1.178 SF	SECOND FLOOR HEATED	
		2.912 SF	FRONT PORCH	
		276 SF	GARAGE	
		533 SF	TOTAL UNDER ROOF	
		810 SF	REAR STOOP	
		3.722 SF	TOTAL UNCOVERED	
		28 SF		
		28 SF		

THE:	WYNFIELD
FOR:	MEZA, FERNANDO & KIM
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #	141-24-001
DESCRIPTION	2x4 EXTERIOR WALLS
FOUNDATION TYPE	CRAWLSPACE

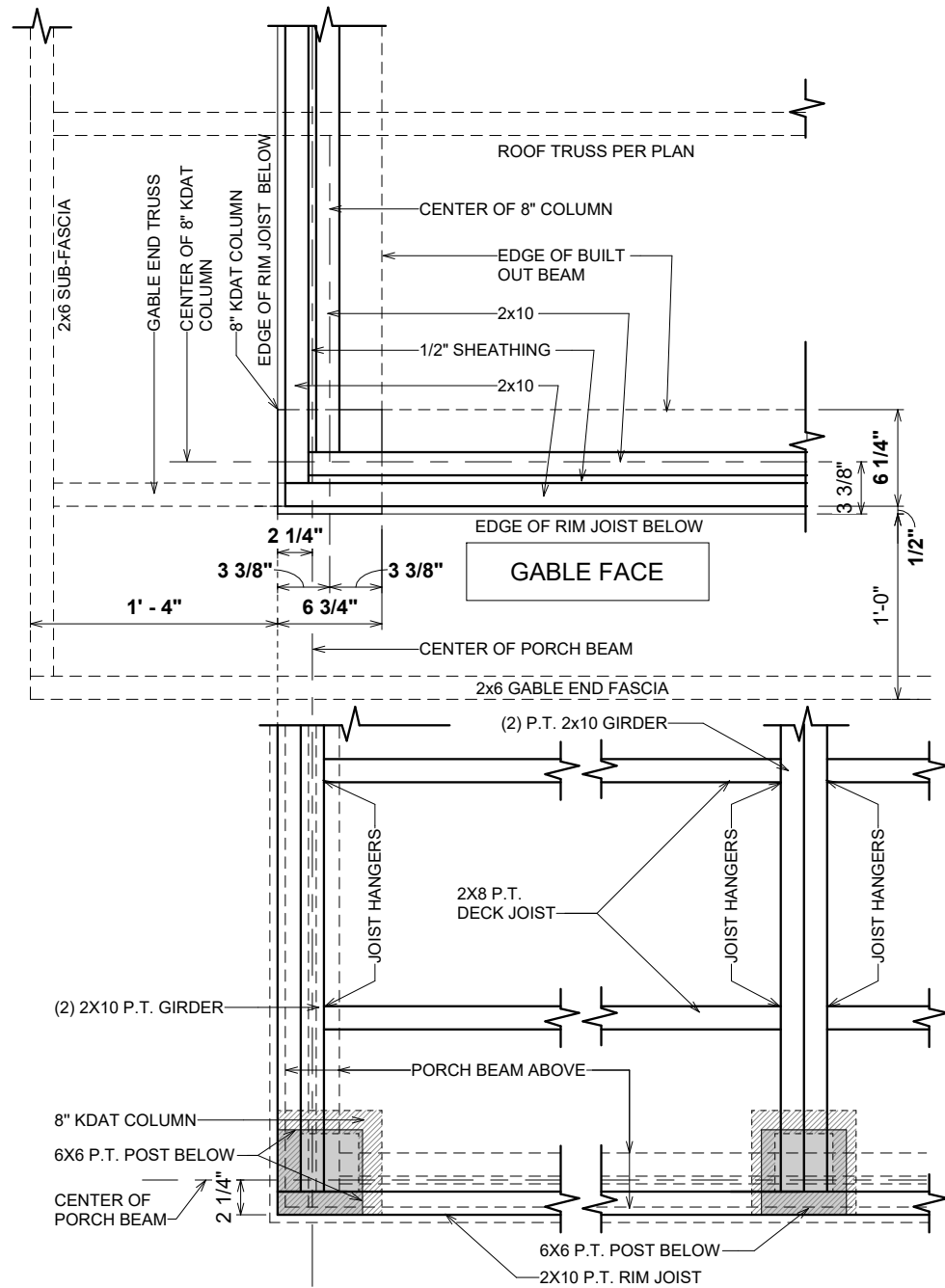
DRAWN BY:	D. VIVANCO
CHECKED BY:	JS
PRINTED:	4/9/2024 11:59:00 AM

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SHEET #	S-4
SCALE:	As indicated

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS



1 8" KDAT COLUMN FRAMING
1" = 1'-0"

PROPERTY OF:		JOB #		THE:		AREAS:		REVISION SCHEDULE	
 © COPYRIGHT - 2023	S-5	DRAWN BY: D. VIVANCO	141-24-001	WYNFIELD	FIRST FLOOR HEATED 1,734 SF	REV #	DESCRIPTION	DATE	
		CHECKED BY: JS	2x4 EXTERIOR WALLS	FOR: MEZA, FERNANDO & KIM	SECOND FLOOR HEATED 1,178 SF				
		PRINTED: 4/9/2024 11:59:01 AM	FOUNDATION TYPE: CRAWLSPACE	740 MCLEOD RD. BROADWAY, NC 27505	FRONT PORCH 276 SF				
				OFFICE: FAYETTEVILLE	GARAGE 533 SF				
				SOLD BY: A. VIRT	TOTAL UNDER ROOF 810 SF				
					REAR STOOP 28 SF				
					TOTAL UNCOVERED 28 SF				

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

ROUGH OPENINGS FOR PLY-GEM VINYL S/H WINDOWS

SINGLE WINDOW UNITS

CALL SIZE	ACTUAL SIZE	ROUGH OPENING SIZE
2-0 X 3-0	23 1/2" X 35 1/2"	24" X 36"
2-0 X 4-0	23 1/2" X 47 1/2"	24" X 48"
2-8 X 4-0	31 1/2" X 47 1/2"	32" X 48"
2-8 X 5-0	31 1/2" X 59 1/2"	32" X 60"
2-8 X 6-0	31 1/2" X 71 1/2"	32" X 72"
3-0 X 3-0	35 1/2" X 35 1/2"	36" X 36"
3-0 X 4-0	35 1/2" X 47 1/2"	36" X 48"
3-0 X 5-0	35 1/2" X 59 1/2"	36" X 60"
3-0 X 5-2	35 1/2" X 61 1/2"	36" X 62"
3-0 X 6-0	35 1/2" X 71 1/2"	36" X 72"
3-0 X 6-2	35 1/2" X 73 1/2"	36" X 74"
3-4 X 4-0	39 1/2" X 47 1/2"	40" X 48"
4-0 X 4-0	47 1/2" X 47 1/2"	48" X 48"

TWIN/TRIPLE WINDOW UNITS

2-8 X 5-0 TWIN	63 1/2" X 59 1/2"	64" X 60"
2-8 X 6-0 TWIN	63 1/2" X 71 1/2"	64" X 72"
3-0 X 5-0 TWIN	71 1/2" X 59 1/2"	72" X 60"
3-0 X 6-0 TWIN	71 1/2" X 71 1/2"	72" X 72"
3-0 X 5-0 TRIPLE	107 1/2" X 59 1/2"	108" X 60"
3-0 X 6-0 TRIPLE	107 1/2" X 71 1/2"	108" X 72"
1-8 / 3-0 / 1-8 X 6-0	75 1/2" X 71 1/2"	76" X 72"
2-0 / 3-0 / 2-0 X 6-0	83 1/2" X 71 1/2"	84" X 72"

TRANSOM WINDOW UNITS

3-0 HALF-ROUND (18" TALL)	CALL SIZE + 18" TO HGT. OF WINDOW
12" TRANSOM	CALL SIZE + 12" TO HGT. OF WINDOW
2-8 ARCH TRAN. (14" TALL)	CALL SIZE + 14" TO HGT. OF WINDOW
3-0 ARCH TRAN. (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 HALF-ROUND (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW

SPECIALTY WINDOWS

4-0 X 5-0 EYEBROW	48" X 60"
3-0 X 4-0 PALLADIAN	36" X 48"
3-0 X 5-0 PALLADIAN	60" X 72"

1. TRANSOM SAMPLE. 3-0 X 6-0 W/ HALF-ROUND TRANSOM. CALL SIZE 3060 + 18" TALL TRANSOM EQUALS A ROUGH OPENING SIZE OF 36" X 90"
2. CALL SUPERINTENDENT FOR ANY WINDOW SIZE THAT IS NOT SHOWN HERE PRIOR TO FRAMING THE OPENING

ROUGH OPENINGS FOR MASONITE ENTRY DOORS

INSWING UNITS

2-8 X 6-8	34 1/2" X 82 1/2"
3-0 X 6-8	38 1/2" X 82 1/2"
3-0 X 6-8 W/ (2) 12" S.L.	65 1/4" X 82 1/2"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 96"
3-0 X 6-8 W/ (2) 12" S.L. & 12" TRAN.	65 1/4" X 96"

OUTSWING UNITS

2-8 X 6-8	34 1/2" X 81"
3-0 X 6-8	38 1/2" X 81"
3-0 X 6-8 W (2) 12" S.L.	65 1/4" X 81"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 94 1/2"
3-0 X 6-8 W (2) 12" S.L. & 12" TRAN.	65 1/4" X 94 1/2"

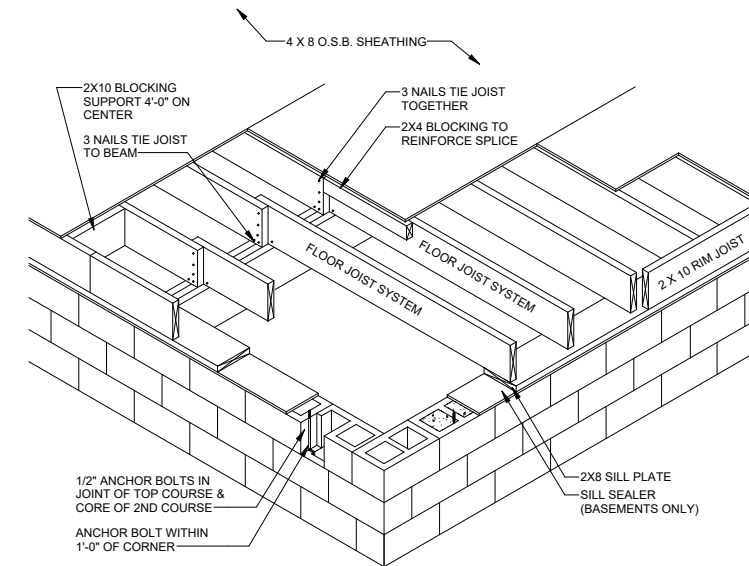
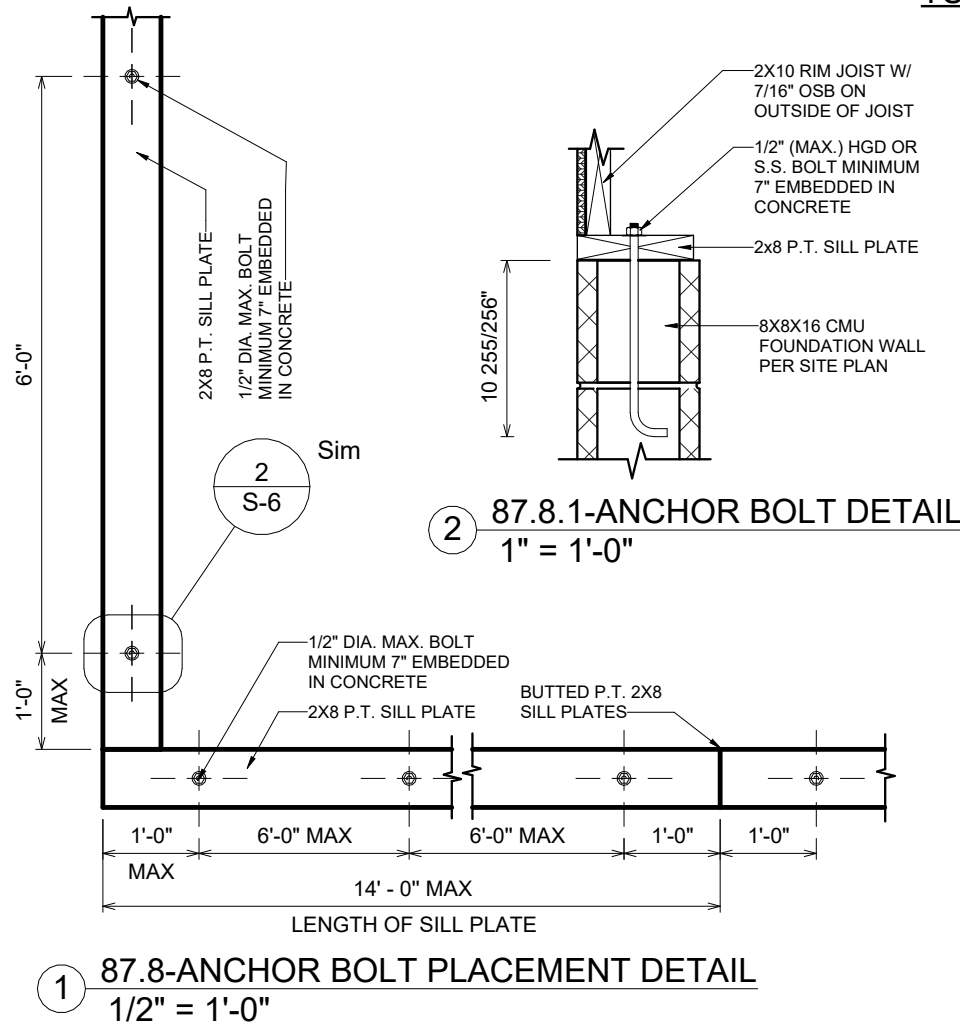
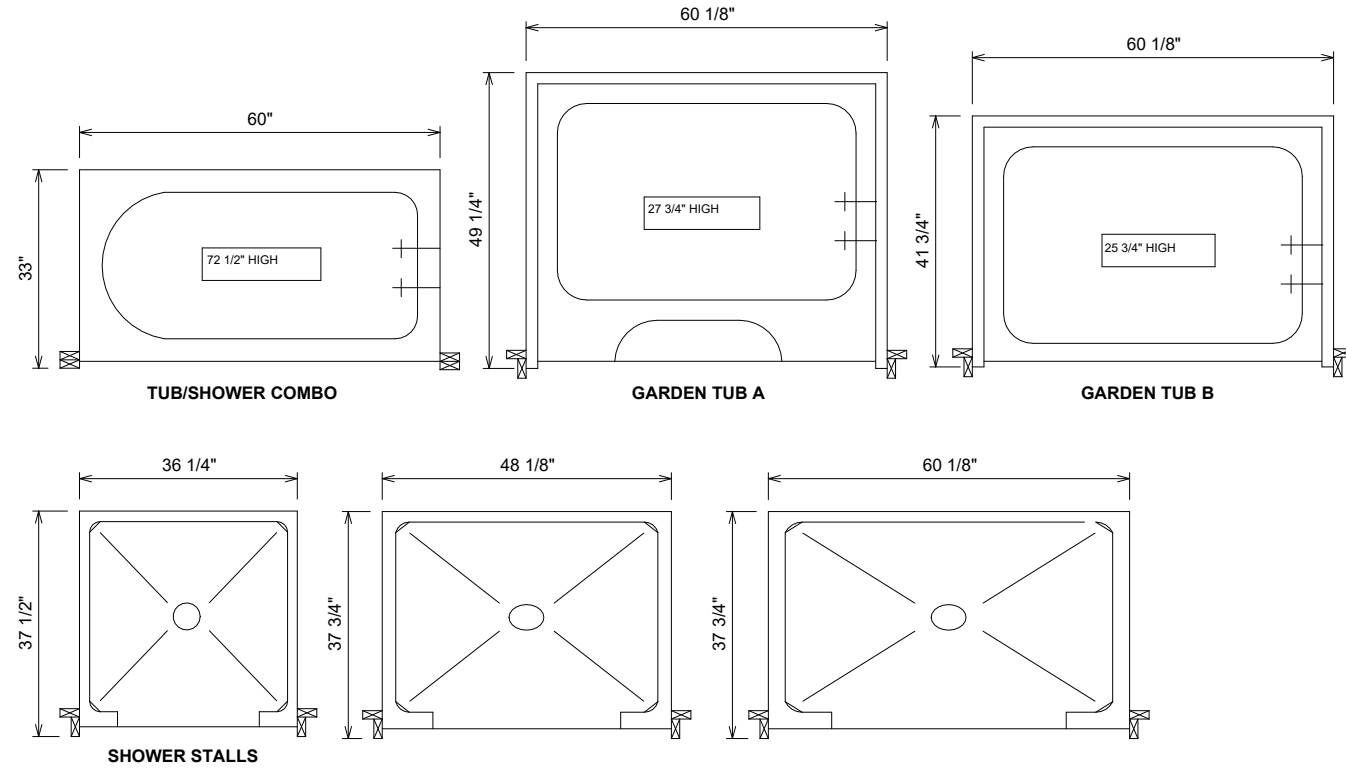
CENTER HINGED/ FRENCH DOOR...

6-0 X 6-8 CENTER HINGED (INSWING)	75 5/8" X 82 1/2"
6-0 X 6-8 FRENCH (INSWING)	75 1/4" X 82 1/2"
6-0 X 6-8 INSWING W/ 12" TRAN.	75 5/8" X 96"
6-0 X 6-8 FRENCH W/ 12" TRAN.	75 1/4" X 96"

SLIDING GLASS DOORS

5-0 X 6-8 SLIDER	60 1/4" X 80 1/2"
6-0 X 6-8 SLIDER	72 1/4" X 80 1/2"

*** FOR OUTSWING DOORS, DEDUCT 1" FROM HEIGHT OF UNIT***



- GENERAL NOTES:**
- 1.) MINIMUM ALLOWABLE BEARING FOR FLOOR JOIST IS 1 1/2".
 - 2.) ALL REQUIRED NAILING PATTERNS ARE PER PRINT AND/OR SPECS.

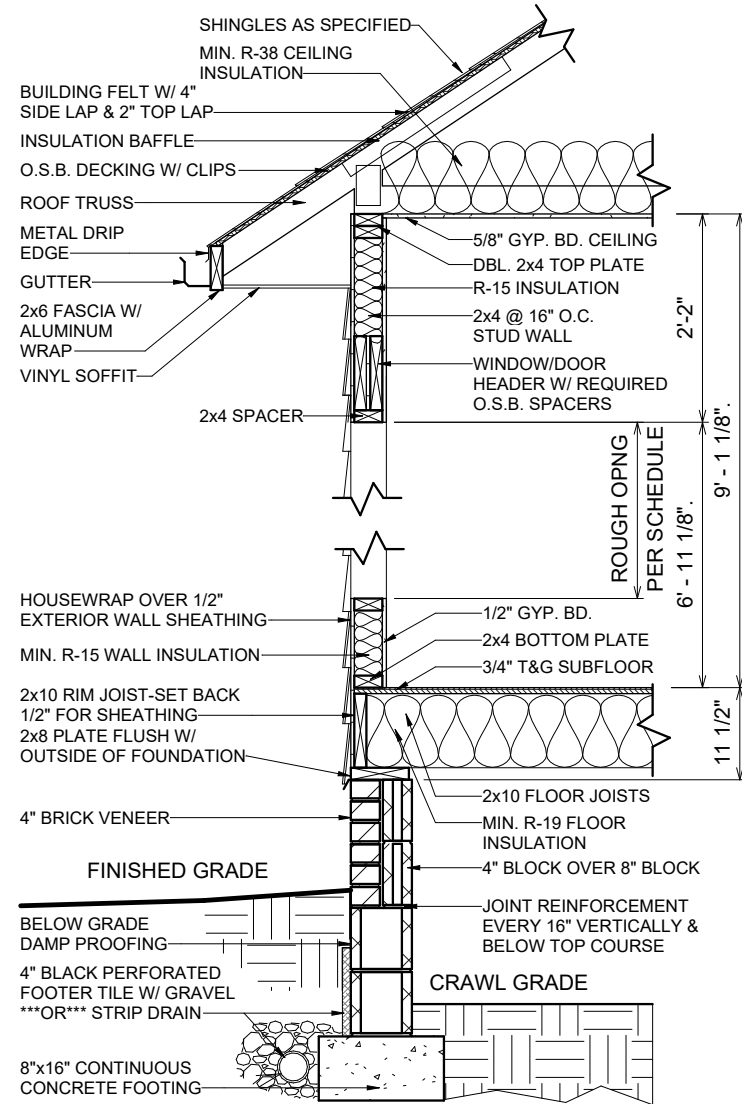
FLOOR FRAMING DETAIL

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

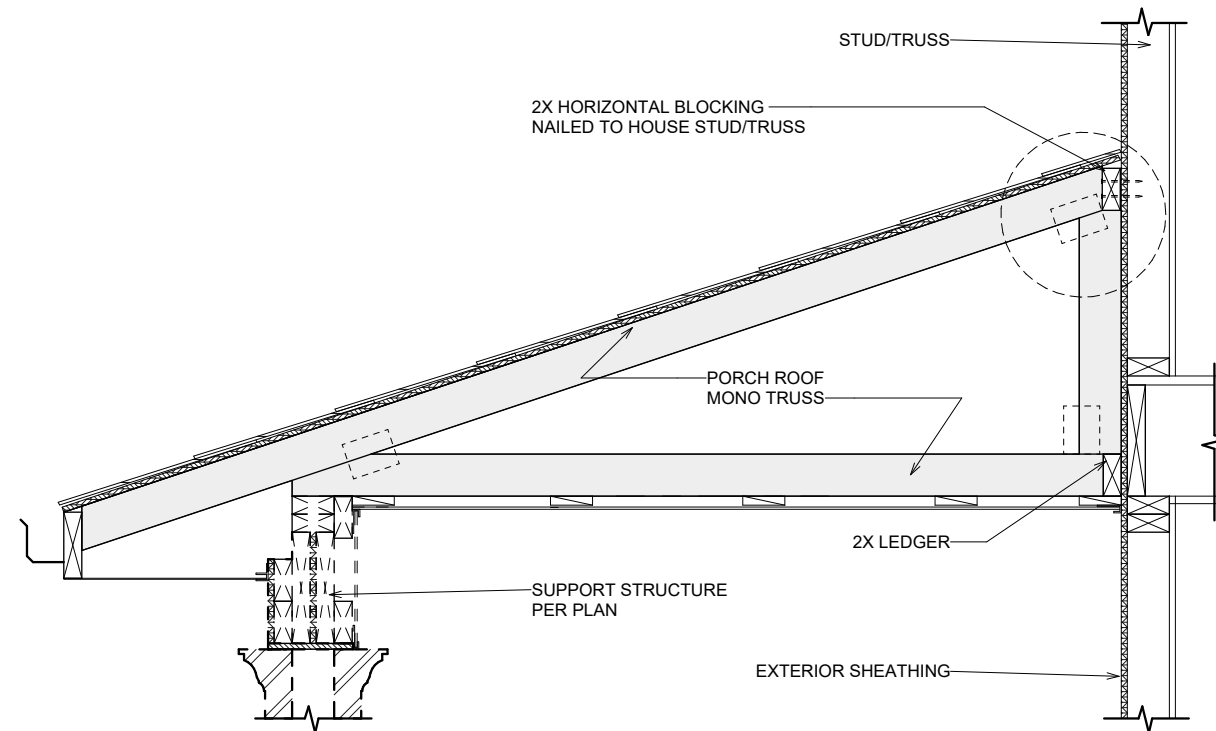
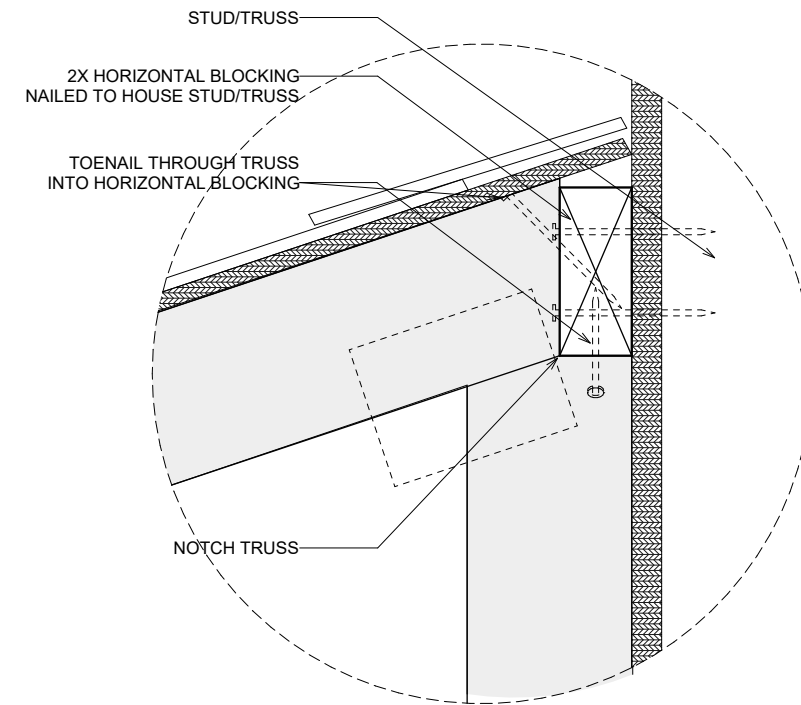
FINAL CONSTRUCTION PLANS

REVISION SCHEDULE	REV #	DESCRIPTION	DATE
		1.734 SF	FIRST FLOOR HEATED
	1.178 SF	SECOND FLOOR HEATED	
	2.912 SF	FRONT PORCH	
	276 SF	GARAGE	
	533 SF	TOTAL UNDER ROOF	
	810 SF	REAR STOOP	
	3.722 SF	TOTAL UNCOVERED	
	28 SF		
	28 SF		

THE: WYNFIELD	FOR: MEZA, FERNANDO & KIM	OFFICE: FAYETTEVILLE
JOB #: 141-24-001	FOUNDATION TYPE: CRAWLSPACE	ADDRESS: 740 MCLEOD RD. BROADWAY, NC 27505
DRAWN BY: D. VIVANCO	CHECKED BY: JS	PRINTED: 4/9/2024 11:59:02 AM
PROPERTY OF: AMERICA'S HOME PLACE	SCALE: As indicated	SHEET #: S-6
FRAMING DETAILS		



1 1 STORY-BRICK CRAWL W/2X4-SIDING-SECTION
1/2" = 1'-0"



4 930-3c Porch Roof Truss Fastening Detail (Against House)
3/4" = 1'-0"

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	1,734 SF	1,178 SF	2,912 SF	276 SF	533 SF	810 SF	3,722 SF	28 SF	28 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
FRONT PORCH									
GARAGE									
TOTAL UNDER ROOF									
REAR STOOP									
TOTAL UNCOVERED									

THE:	WYNFIELD
FOR:	MEZA, FERNANDO & KIM
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #	141-24-001
FOUNDATION TYPE:	CRAWLSPACE
2x4 EXTERIOR WALLS	

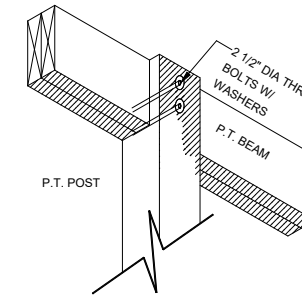
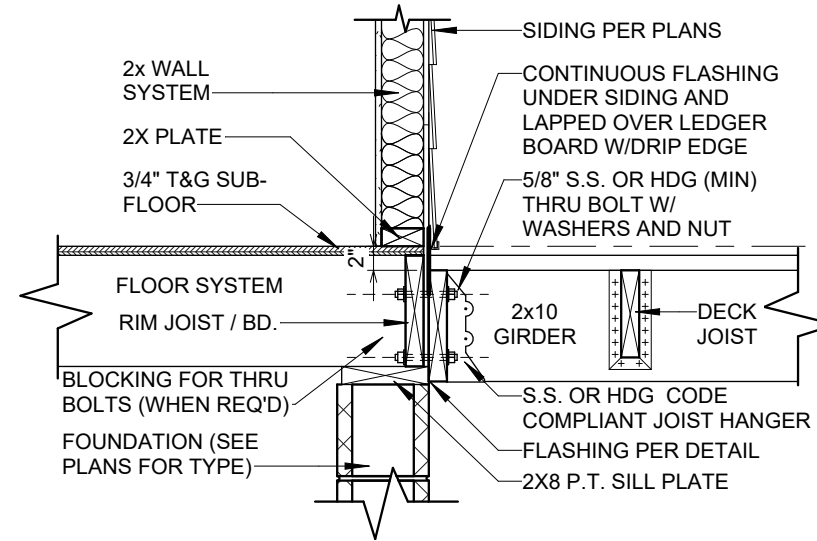
PROPERTY OF:	AMERICA'S HOME PLACE
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DRAWN BY:	D. VIVANCO
CHECKED BY:	JS
PRINTED:	4/9/2024 11:59:03 AM

SHEET #	S-7
DETAILS/SECTIONS	

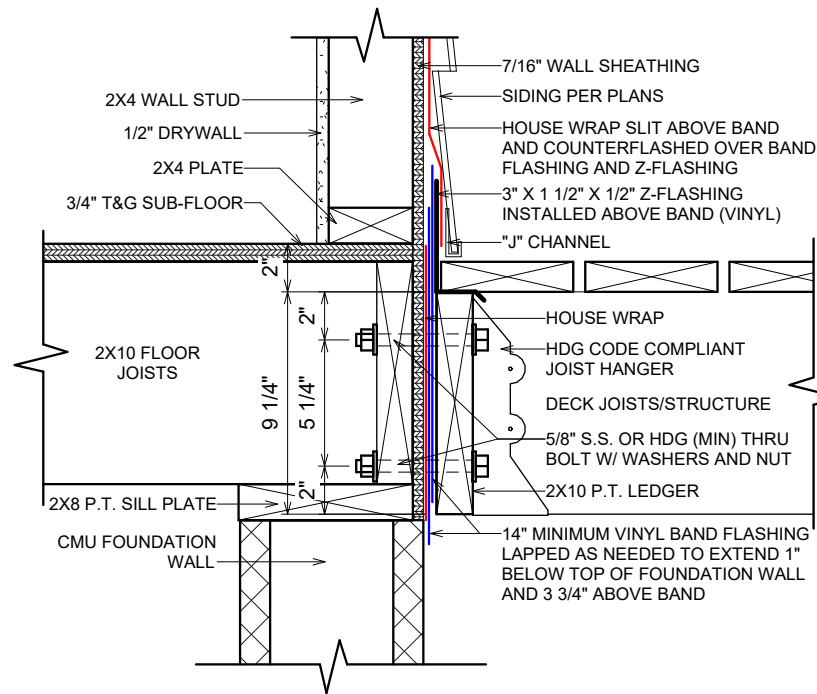
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS



POST TO BEAM CONNECTION

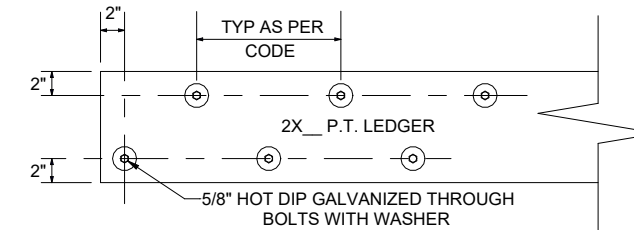
2 87-0.6-DECK LEDGER CONNECTION
3/4" = 1'-0"



1 87-480.2 PORCH LEDGER FLASHING
1 1/2" = 1'-0"

FASTENERS	8' MAX. JOIST SPAN	16' MAX. JOIST SPAN
5/8" HOT DIPPED GALV. BOLTS WITH NUT AND WASHER	1 @ 3'-6" O.C.	1 @ 1'-8" O.C.
AND	AND	AND
12 D COMMON HOT DIPPED GALV. NAILS	2 @ 8" O.C.	3 @ 6" O.C.

AM104.1.1 ALL STRUCTURES EXCEPT BRICK VENEER STRUCTURES



LEDGER BOARD AND FASTENER DETAIL

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	1,734 SF	1,178 SF	2,912 SF	276 SF	533 SF	810 SF	3,722 SF	28 SF	28 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
FRONT PORCH									
GARAGE									
TOTAL UNDER ROOF									
REAR STOOP									
TOTAL UNCOVERED									

THE:	WYNFIELD
FOR:	MEZA, FERNANDO & KIM
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #	141-24-001
FOUNDATION TYPE:	CRAWLSPACE
FOUNDATION TYPE:	CRAWLSPACE

DRAWN BY:	D. VIVANCO
CHECKED BY:	JS
PRINTED:	4/9/2024 11:59:04 AM

PROPERTY OF:	AMERICA'S HOME PLACE
SHEET #	S-8
STANDARD DECK DETAILS	

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS