

**SHEET LIST - CONSTRUCTION**

SHEET NUMBER	SHEET NAME
E-0	COVER SHEET
E-1	FRONT & REAR ELEVATIONS
E-2	LEFT & RIGHT ELEVATION
E-3	ROOF OVERVIEW
F-1	FOUNDATION PLAN
F-1.2	CRAWL W/BRICK FOUNDATION DETAILS
F-2	FIRST FLOOR PLAN
F-3	SECOND FLOOR PLAN
GD-1	GARAGE DOOR DETAILS
H-1	FIRST FLOOR ELECTRICAL PLAN
H-2	SECOND FLOOR ELECTRICAL PLAN
S-4	8" KDAT COLUMN W/ TRIM
S-5	8" KDAT COLUMN DETAILS
S-6	FRAMING DETAILS
S-7	DETAILS/SECTIONS
S-8	STANDARD DECK DETAILS

**ABBREVIATION LEGEND:**

5 SH.	FIVE SHELVES
6 SH.	SIX SHELVES
A.F.F.	ABOVE FINISHED FLOOR
B.C.	BLIND CORNER (CABINET)
C.H.	COMFORT HEIGHT
C.J.	CEILING JOIST
C.M.U.	CONCRETE MASONRY UNIT
C.O.	CASED OPENING
CONC.	CONCRETE
C.R.V.	CONTINUOUS RIDGE VENT
DBL SH-RD	DOUBLE SHELF AND ROD
D.H.	DOUBLE HUNG
DR. or DRR	DRAWER
D.S.	DRAWER SPACE
EVP	ENGINEERED VINYL PLANK
EXT.	EXTERIOR
F.J.	FLOOR JOIST
F.S.	SUPPLY IN FLOOR (HVAC)
FTG.	FOOTING
GYP. BD.	GYPSUM BOARD
H.B.	HOSE BIBB
H.D.G.	HOT DIPPED GALVANIZED
HDWD	HARDWOOD
HDR.	HEADER
HT.	HEIGHT
INT.	INTERIOR
K.S.	KNEE SPACE
KDAT	KILN DRIED AFTER TREATMENT
L.B.W.	LOAD BEARING WALL
L.S.	LAUNDRY SINK or LAZY SUSAN
LVP	LUXURY VINYL PLANK
LVT	LUXURY VINYL TILE
O.C.	ON CENTER
O.H.	OVERHEAD
OPT.	OPTIONAL
O.W.H.	OVER THE WALL HEIGHT
P.T.	PRESSURE TREATED
PANT.	PANTRY
R/A	RETURN AIR (HVAC)
REINF.	REINFORCED
R.O.	ROUGH OPENING
S.C.	SUPPLY IN CEILING (HVAC)
S.D.	SMOKE DETECTOR
SH	SINGLE HUNG
SH-RD	SHELF AND ROD
S.J.	SINGLE JOIST
SM/CO	SMOKE AND CARBON MONOXIDE DETECTOR
SPEC.	SPECIFIED
SPF	SPRUCE/PINE/FIR
S.R.O.	SHEETROCK OPENING
S.Y.P.	SOUTHERN YELLOW PINE
T&G	TONGUE AND GROOVE
TEMP.	TEMPERED
T.O.P.	TOP OF PLATE
TRAP.	TRAPEZOID (WINDOW)
U.N.O.	UNLESS NOTED OTHERWISE
UTIL	UTILITY
VAN.	VANITY
W/H	WATER HEATER
W.H.H.	WINDOW HEADER HEIGHT
W.I.C.	WALK IN CLOSET



**FRONT VIEW**



**REAR VIEW**



**GENERAL NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- MIN 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS NOTED OTHERWISE
- HEADERS FOR WINDOWS ABOVE KITCHEN COUNTERTOPS TO BE FRAMED DOWN 1'-5" FROM T.O.P.
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. UNLESS NOTED OTHERWISE
- STANDARD SECOND FLOOR WINDOW HEADERS TO BE FRAMED DOWN 1'-2" FROM T.O.P. UNLESS NOTED OTHERWISE
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:  
SINGLE - 68"  
DOUBLE - 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" ABOVE FINISHED GRADE

**FOUNDATION NOTES**

- TYPICAL FOUNDATION WALL: (2'-8") 4" BRICK W/ 4" BLOCK ON (2) 8" BASE BLOCK - ON TOP OF 16" x 8"d POURED CONCRETE FOOTING
- CRAWL SPACE ACCESS TO BE 42" WIDE
- ADD LIGHT AND SWITCH UNDER FLOOR NEAR ACCESS
- CRAWL SPACE VENT & ACCESS DIMENSIONS ARE APPROXIMATE, VENTS & ACCESSES SHOULD BE LOCATED WITHIN CONCRETE BLOCKS. DO NOT LOCATE UNDER BEAMS OR ANY OTHER STRUCTURAL LOCATIONS
- VENTS SHOULD BE INSTALLED PER LOCAL CODE
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- NOTCH SILL PLATE AROUND DROPPED BEAM
- FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
- POLY REQ'D IN CRAWL
- GRAVEL REQ'D UNDER GARAGE SLAB
- POLY REQ'D UNDER GARAGE SLAB
- **ADDITIONAL FLOORING SUPPOR FOR SAFE ROOM**

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	1,734 SF	1,178 SF	2,912 SF	276 SF	533 SF	810 SF	3,722 SF	28 SF	28 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
FRONT PORCH									
GARAGE									
TOTAL UNDER ROOF									
REAR STOOP									
TOTAL UNCOVERED									

THE:	<b>WYNFIELD</b>
FOR:	<b>MEZA, FERNANDO &amp; KIM</b>
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #:	<b>141-24-001</b>
FOUNDATION TYPE:	<b>CRAWLSPACE</b>
EXTERIOR WALLS:	<b>2x4 EXTERIOR WALLS</b>

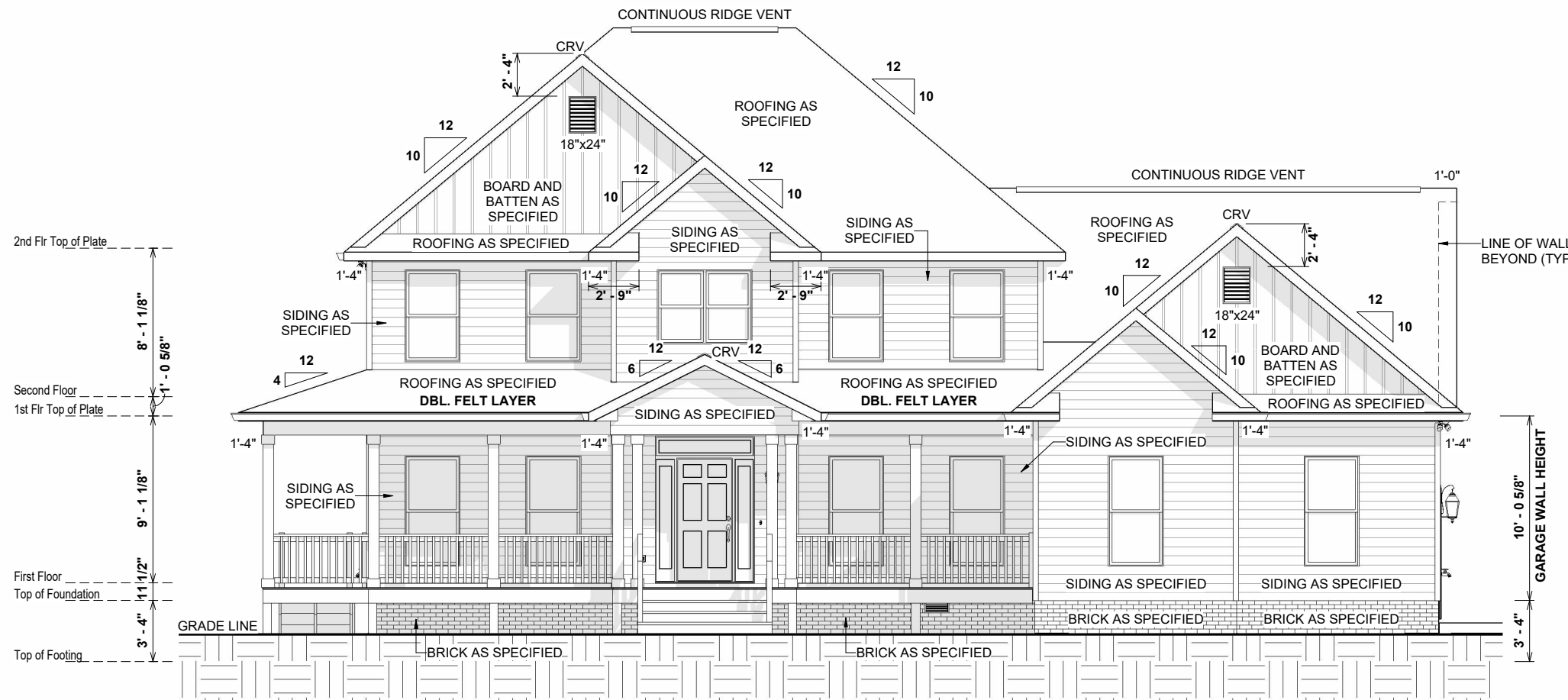
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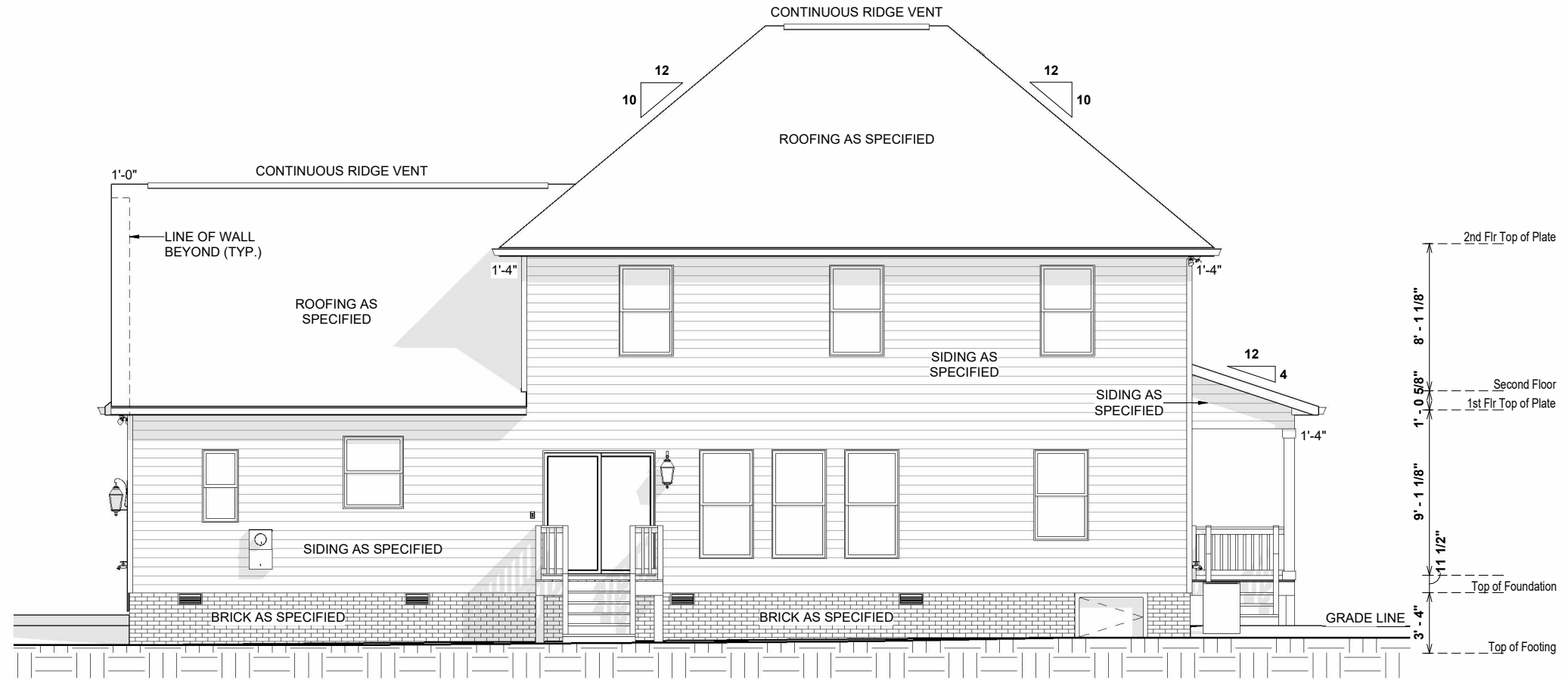
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SHEET #:	<b>E-0</b>
COVER SHEET	



1 FRONT ELEVATION  
1/8" = 1'-0"



2 REAR ELEVATION  
1/8" = 1'-0"

- ELEVATION NOTES**
- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
  - MIN 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
  - 7/16" O.S.B. AND HOUSEWRAP REQUIRED
  - ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
  - FINAL GRADE TO BE DETERMINED ON SITE; FOUNDATION DRAWN AS REPRESENTATION ONLY
  - FOOTINGS TO BE LOCATED BELOW FROST LINE (SEE LOCAL CODES)
  - RAILINGS SHOWN IN ELEVATION ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL RAIL DETAIL MAY VARY PER LOCATION

**8:12 O.W.H. = 7"**  
**8:12 O.W.H. = 11 1/2" @**  
**BONUS ROOM**  
**10:12 O.W.H. = 1'- 2 3/16"**

UNLESS OTHERWISE NOTED ON ROOF OVERVIEW

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

REVISION SCHEDULE	REV #	DESCRIPTION	DATE
		1.734 SF	FIRST FLOOR HEATED
	1.178 SF	SECOND FLOOR HEATED	
	2.912 SF	FRONT PORCH	
	276 SF	GARAGE	
	533 SF	TOTAL UNDER ROOF	
	810 SF	REAR STOOP	
	3.722 SF	TOTAL UNCOVERED	
	28 SF		
	28 SF		

AREAS:	1.734 SF	1.178 SF	2.912 SF	276 SF	533 SF	810 SF	3.722 SF	28 SF	28 SF
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THE:	<b>WYNFIELD</b>
FOR:	<b>MEZA, FERNANDO &amp; KIM</b>
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
OFFICER:	A. VIRT

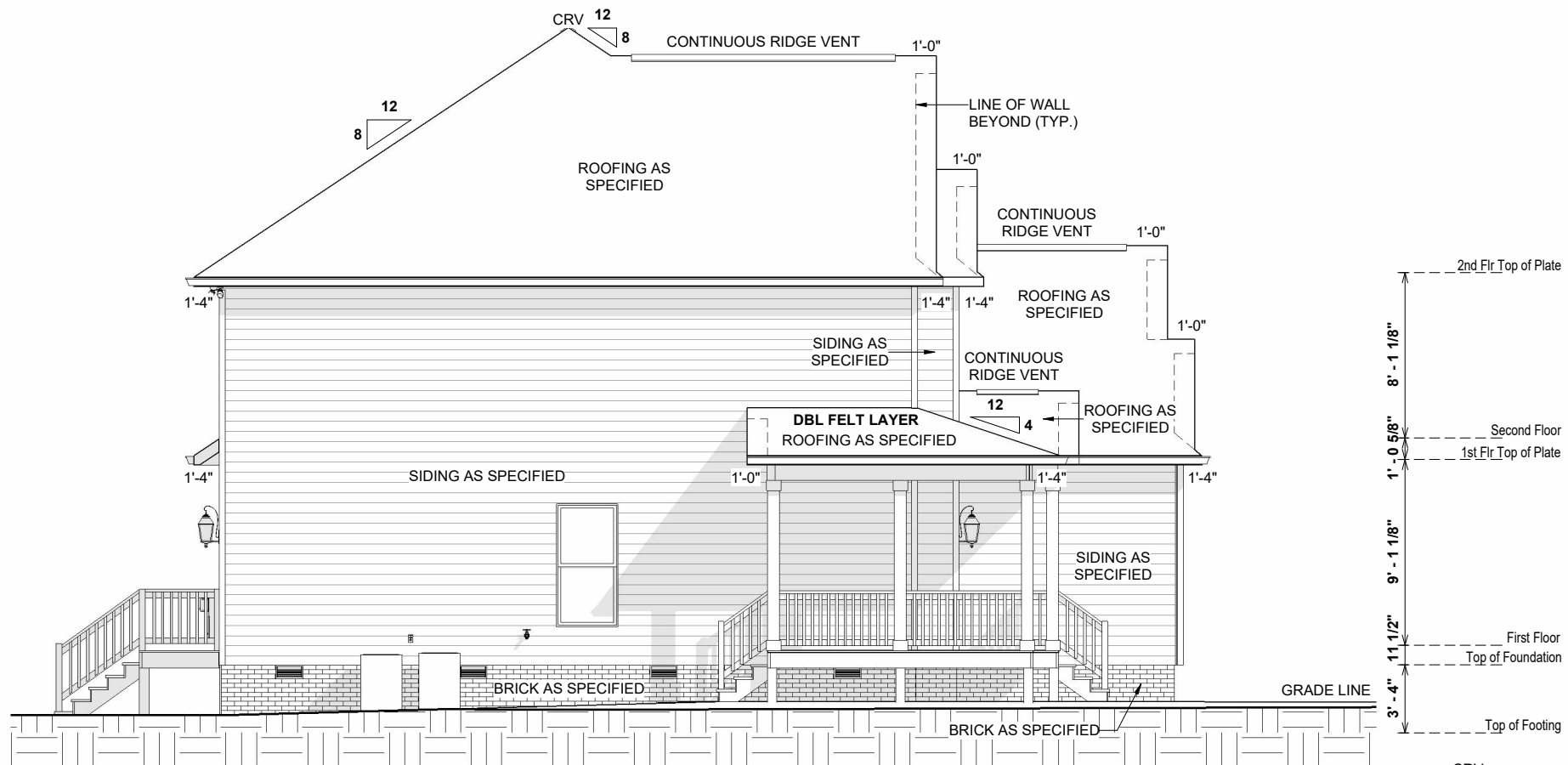
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FOUNDATION TYPE:	CRAWLSPACE

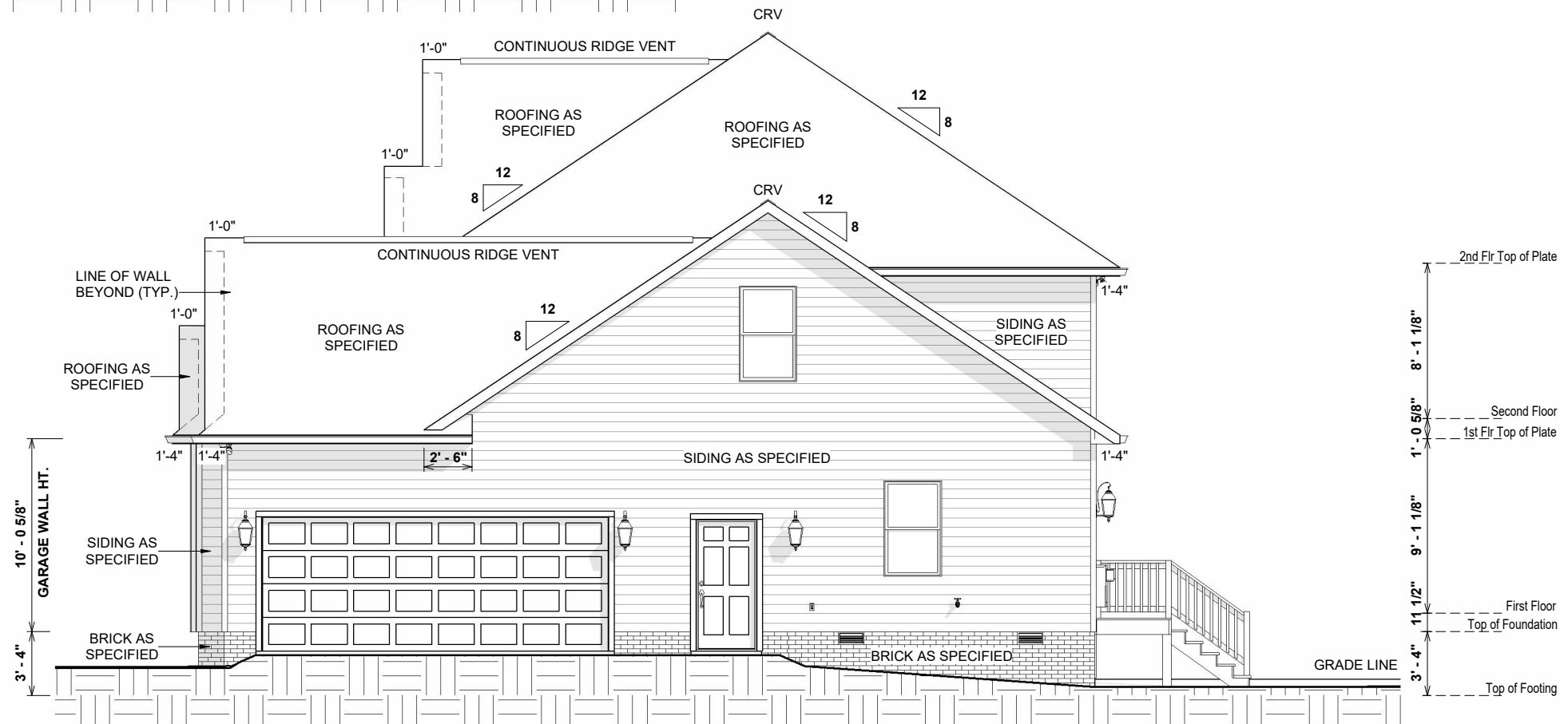
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PROPERTY OF:	
SHEET #	<b>E-1</b>
SCALE:	1/8" = 1'-0"



1 LEFT ELEVATION  
1/8" = 1'-0"



2 RIGHT ELEVATION  
1/8" = 1'-0"

**ELEVATION NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- MIN 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
- FINAL GRADE TO BE DETERMINED ON SITE; FOUNDATION DRAWN AS REPRESENTATION ONLY
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8:12 O.W.H. = 7"  
8:12 O.W.H. = 11 1/2" @  
**BONUS ROOM**  
10:12 O.W.H. = 1'- 2 3/16"  
UNLESS OTHERWISE NOTED ON ROOF OVERVIEW

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	1,734 SF	1,178 SF	2,912 SF	276 SF	533 SF	810 SF	3,722 SF	28 SF	28 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
FRONT PORCH									
GARAGE									
TOTAL UNDER ROOF									
REAR STOOP									
TOTAL UNCOVERED									

THE:	<b>WYNFIELD</b>
FOR:	<b>MEZA, FERNANDO &amp; KIM</b>
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #:	141-24-001
FOUNDATION TYPE:	CRAWLSPACE
2X4 EXTERIOR WALLS	

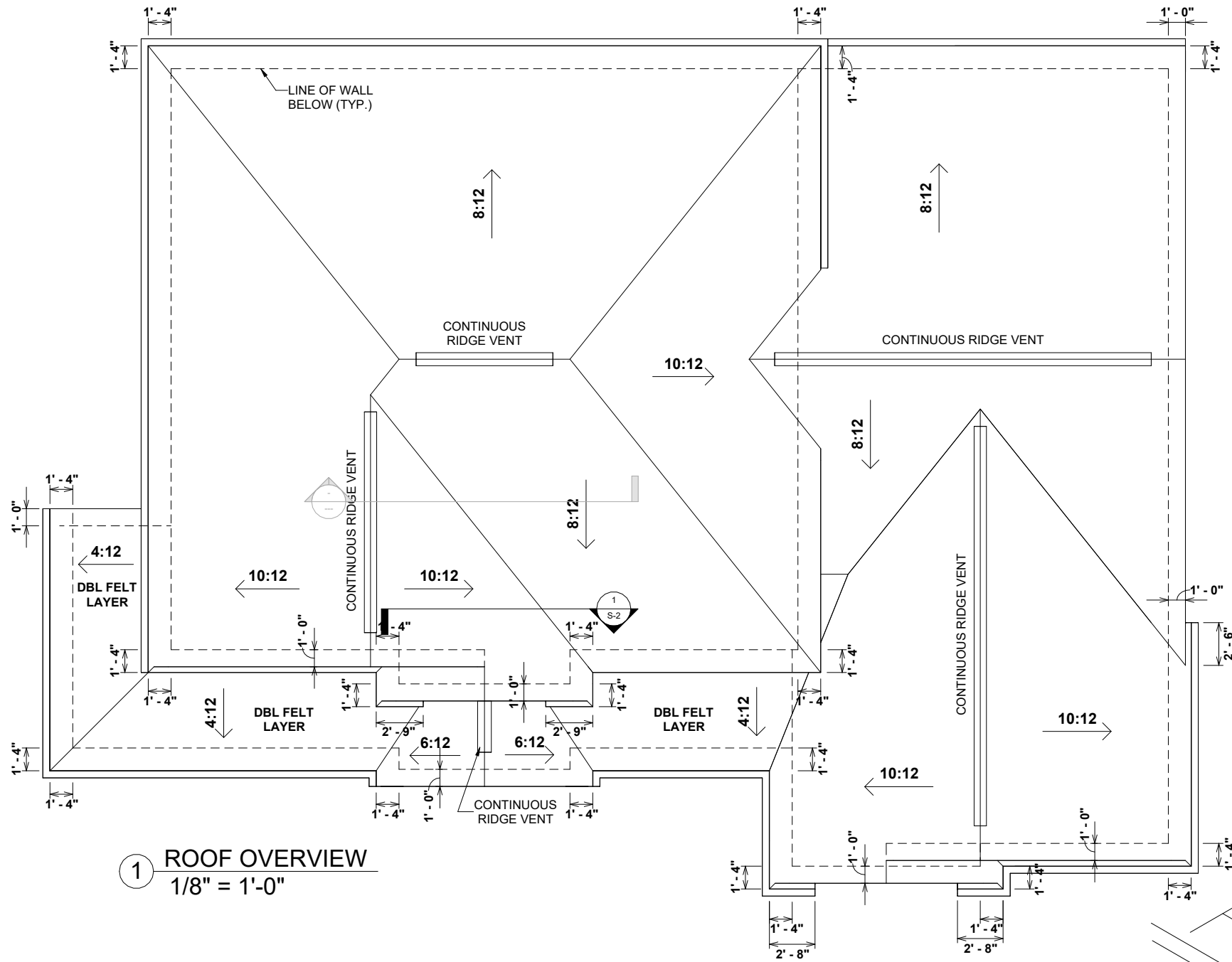
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SCALE:	1/8" = 1'-0"

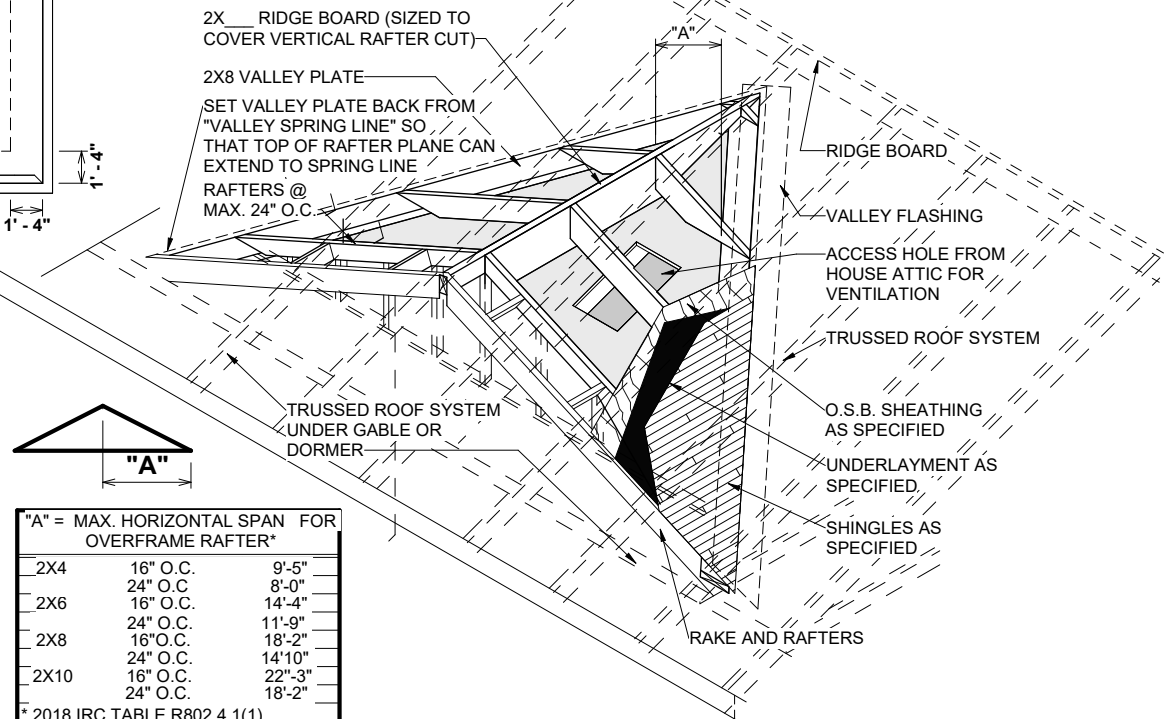
  

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**1 ROOF OVERVIEW**  
1/8" = 1'-0"

**8:12 O.W.H. = 7"**  
**8:12 O.W.H. = 11 1/2" @**  
**BONUS ROOM**  
**10:12 O.W.H. = 1'- 2 3/16"**  
UNLESS OTHERWISE NOTED ON ROOF OVERVIEW



"A" = MAX. HORIZONTAL SPAN FOR OVERFRAME RAFTER\*

2X4	16" O.C.	9'-5"
	24" O.C.	8'-0"
2X6	16" O.C.	14'-4"
	24" O.C.	11'-9"
2X8	16" O.C.	18'-2"
	24" O.C.	14'-10"
2X10	16" O.C.	22'-3"
	24" O.C.	18'-2"

\* 2018 IRC TABLE R802.4.1(1)

**ROOF OVERFRAMING DETAIL**

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	
FIRST FLOOR HEATED	1,734 SF
SECOND FLOOR HEATED	1,178 SF
FRONT PORCH	2,912 SF
GARAGE	276 SF
TOTAL UNDER ROOF	533 SF
REAR STOOP	810 SF
TOTAL UNCOVERED	3,722 SF
	28 SF
	28 SF

THE:	<b>WYNFIELD</b>
FOR:	<b>MEZA, FERNANDO &amp; KIM</b>
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #	<b>141-24-001</b>
FOUNDATION TYPE:	<b>CRAWLSPACE</b>
2X4 EXTERIOR WALLS	

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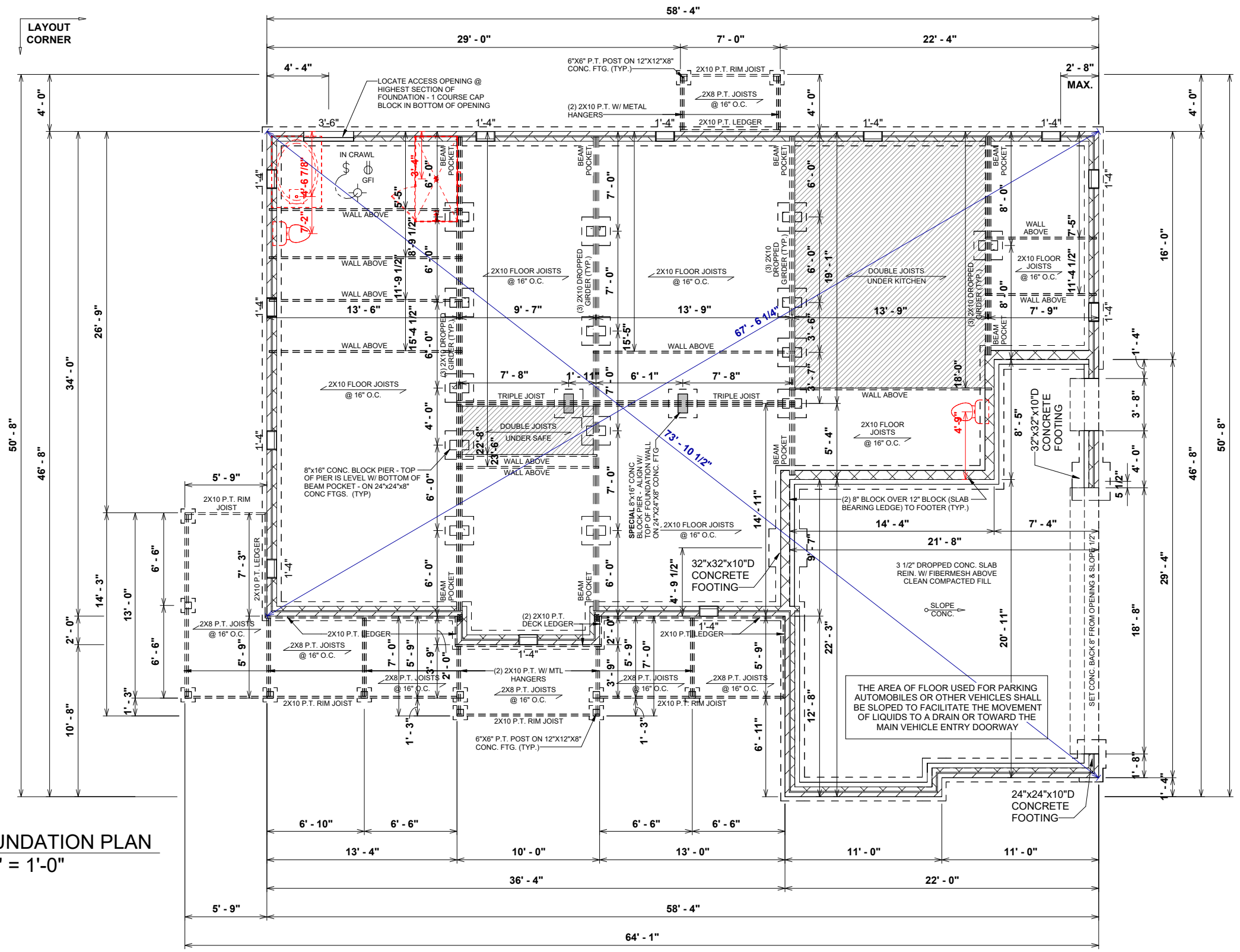
  

SHEET #	<b>E-3</b>
SCALE:	As indicated

**ROOF OVERVIEW**

1 FOUNDATION PLAN  
1/8" = 1'-0"



**FOUNDATION NOTES**

- TYPICAL FOUNDATION WALL: (2'-8") 4" BRICK W/ 4" BLOCK ON (2) 8" BASE BLOCK - ON TOP OF 16" x 8"d POURED CONCRETE FOOTING
- CRAWL SPACE ACCESS TO BE 42" WIDE
- ADD LIGHT AND SWITCH UNDER FLOOR NEAR ACCESS
- CRAWL SPACE VENT & ACCESS DIMENSIONS ARE APPROXIMATE, VENTS & ACCESSES SHOULD BE LOCATED WITHIN CONCRETE BLOCKS, DO NOT LOCATE UNDER BEAMS OR ANY OTHER STRUCTURAL LOCATIONS
- VENTS SHOULD BE INSTALLED PER LOCAL CODE
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- NOTCH SILL PLATE AROUND DROPPED BEAM
- FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
- POLY REQ'D IN CRAWL
- GRAVEL REQ'D UNDER GARAGE SLAB
- POLY REQ'D UNDER GARAGE SLAB
- ADDITIONAL FLOORING SUPPORT FOR SAFE ROOM

SHEET #	PROPERTY OF:	DRAWN BY:	JOB #	THE:	REVISION SCHEDULE
F-1	AMERICA'S HOME PLACE	D. VIVANCO	141-24-001	WYNFIELD	1.734 SF
		JS	2x4 EXTERIOR WALLS	FOR: MEZA, FERNANDO & KIM	1.178 SF
					2.912 SF
					276 SF
					533 SF
					810 SF
					3.722 SF
					28 SF
					28 SF

AREA: FIRST FLOOR HEATED, SECOND FLOOR HEATED, FRONT PORCH, GARAGE, TOTAL UNDER ROOF, REAR STOOP, TOTAL UNCOVERED

OFFICE: FAYETTEVILLE

740 MCLEOD RD. BROADWAY, NC 27505

SOLD BY: A. VIRT

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OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

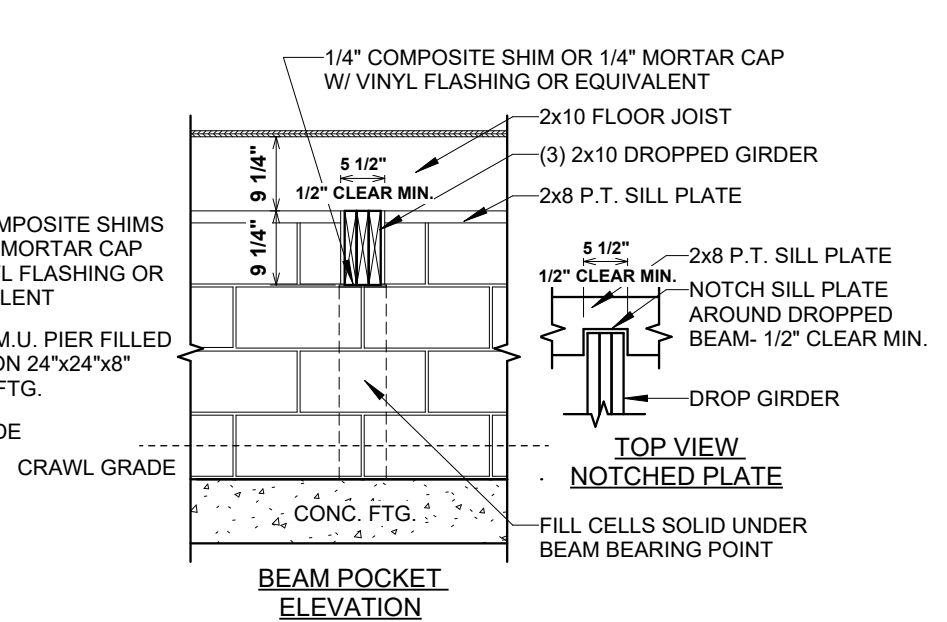
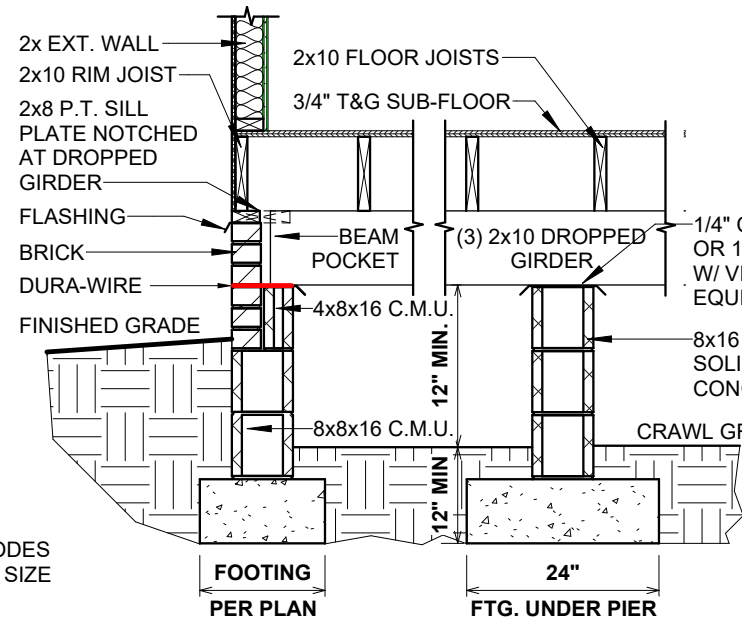
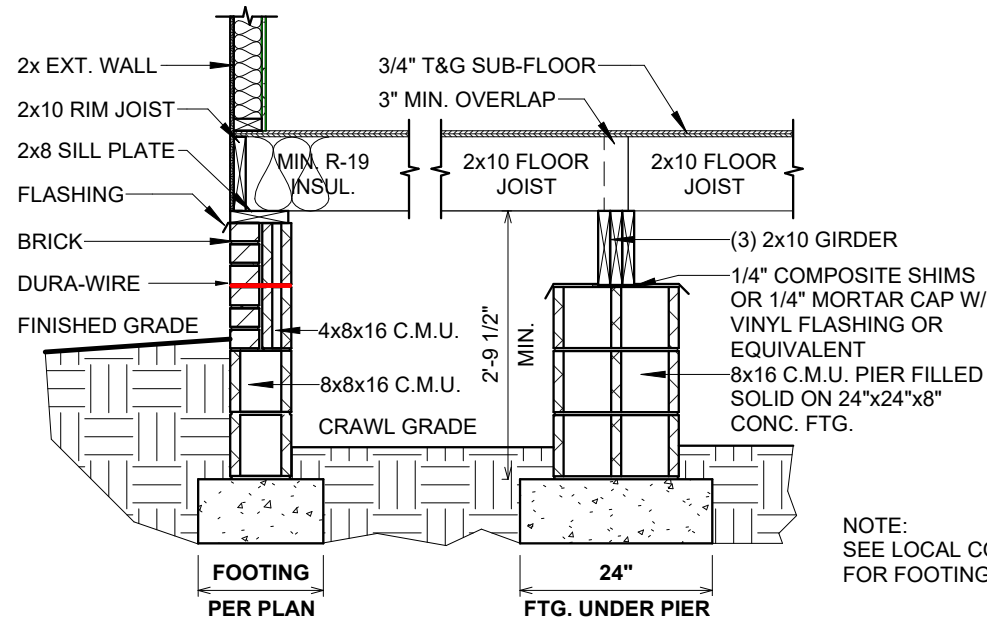
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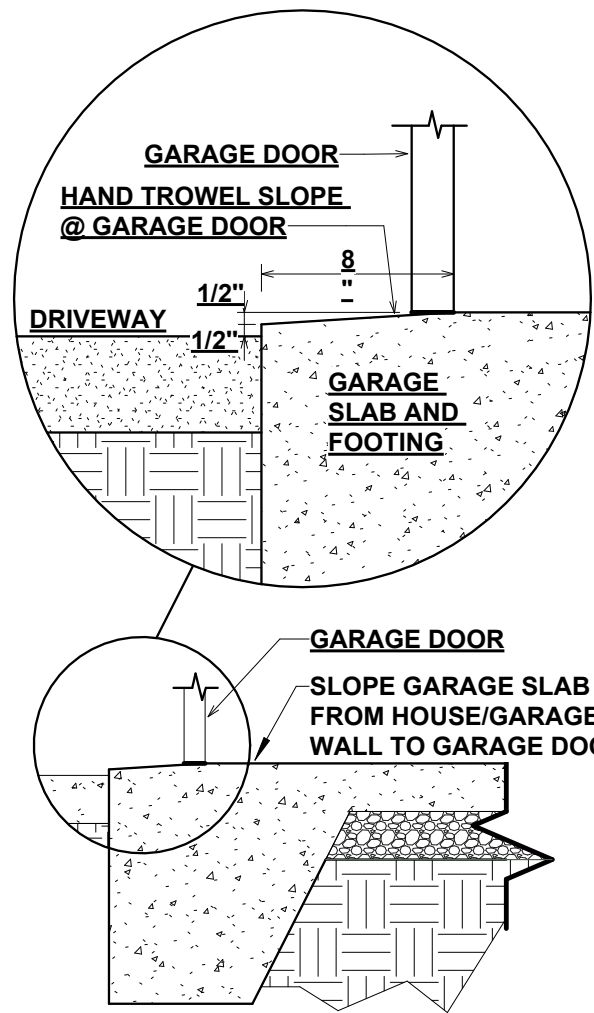
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SCALE: 1/8" = 1'-0"

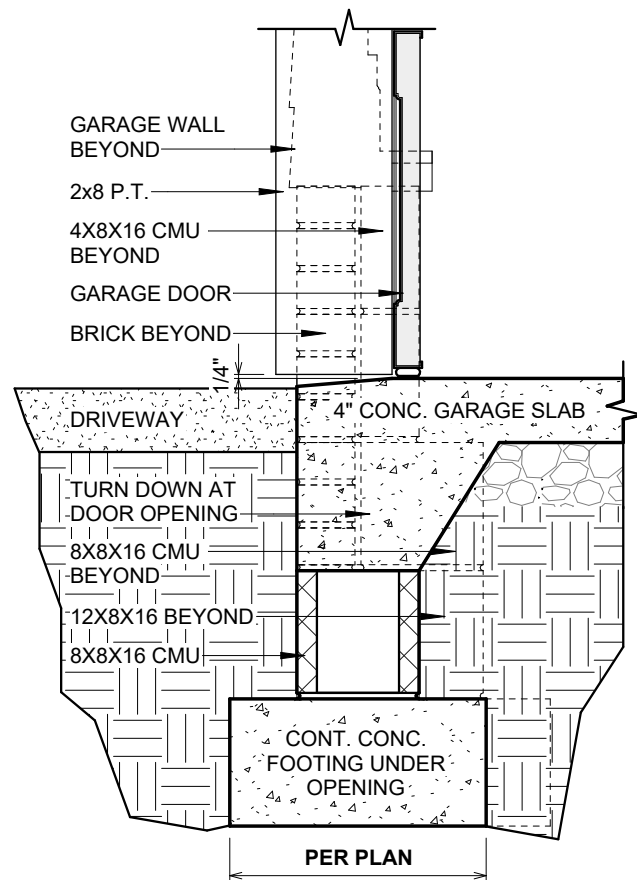
FOUNDATION PLAN



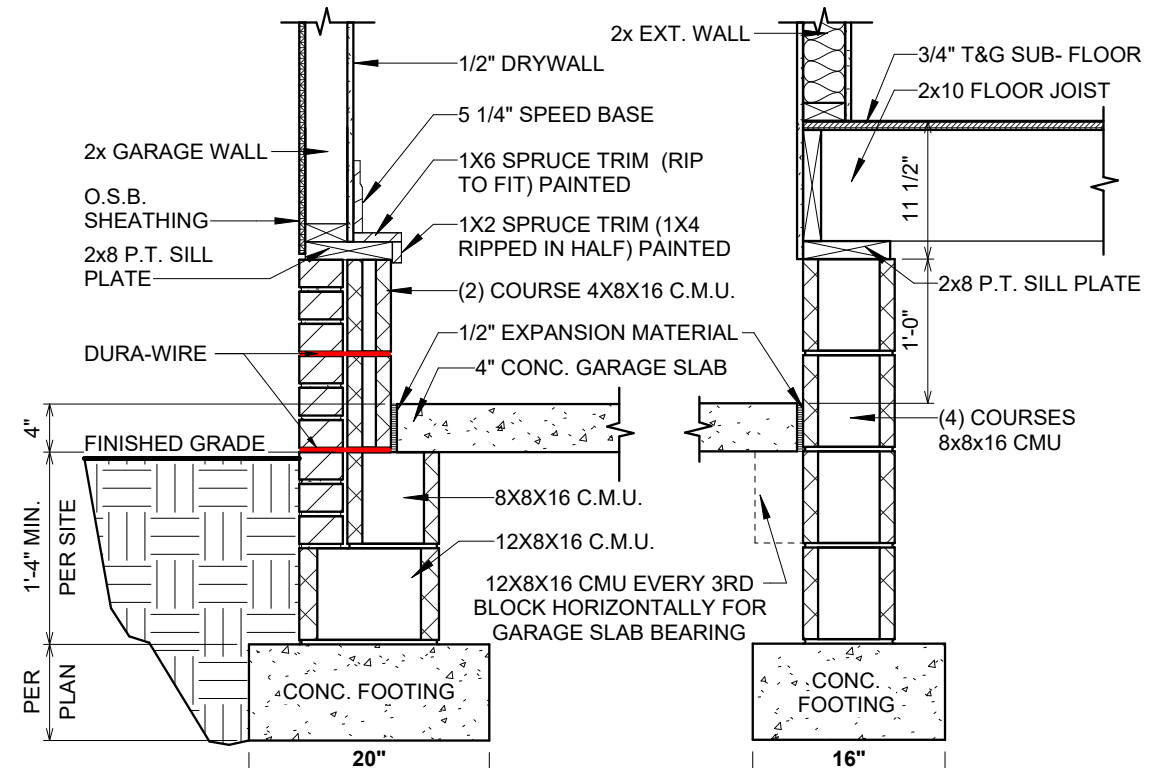
1 141-600.41 CRAWL FOUNDATION W/BRICK DETAIL  
1/2" = 1'-0"



4 141-GARAGE DOOR SLOPE DETAIL  
3/4" = 1'-0"



3 141.91- FOUNDATION @ GARAGE DOOR  
1" = 1'-0"



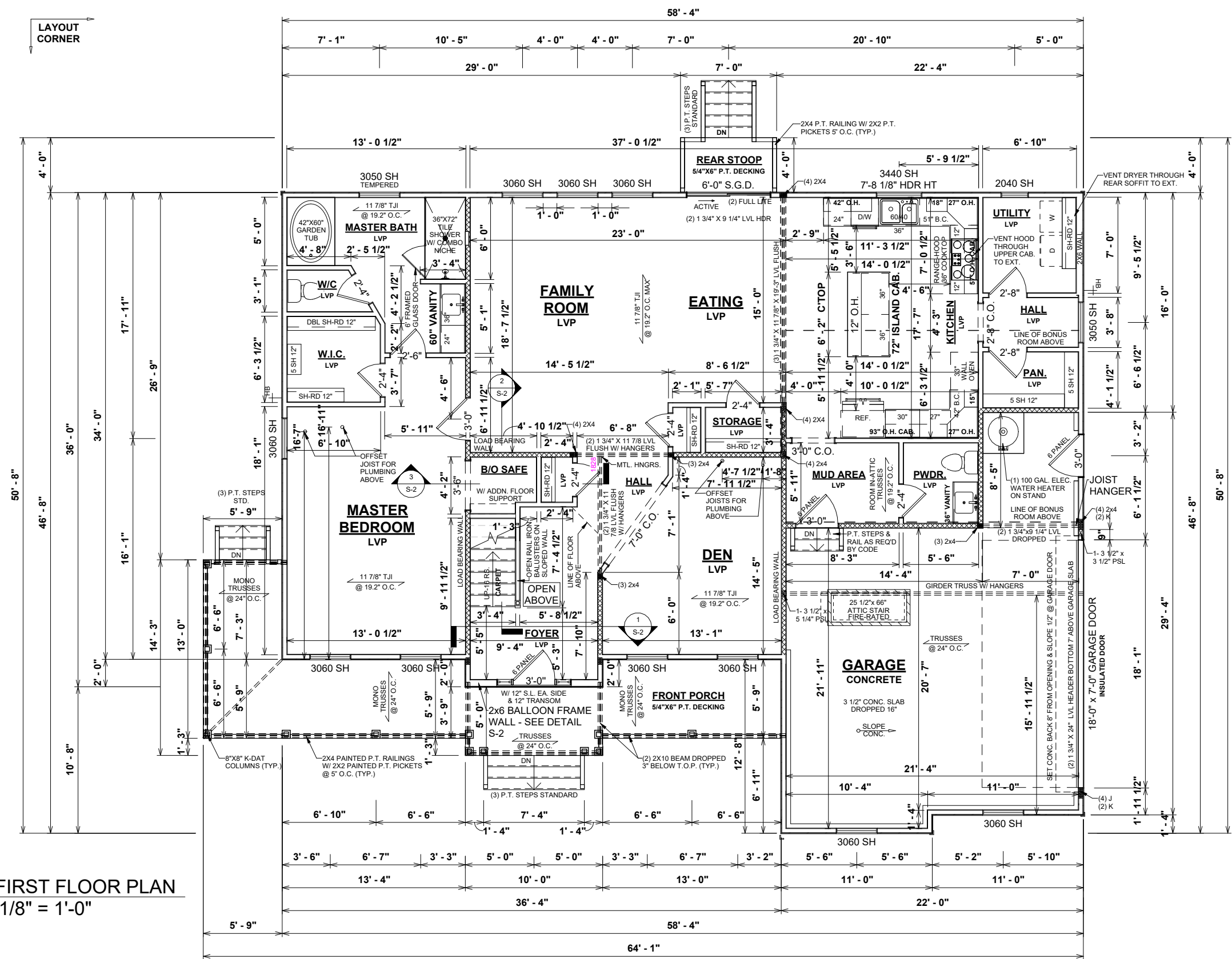
2 141-530.41 GARAGE CRAWL FOUNDATION W/BRICK  
DETAIL  
3/4" = 1'-0"

REVISION SCHEDULE	REV #	DESCRIPTION	DATE
AREAS:	FIRST FLOOR HEATED	1,734 SF	
	SECOND FLOOR HEATED	1,178 SF	
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	REAR STOOP	810 SF	
	TOTAL UNCOVERED	3,722 SF	
THE:	WYNFIELD		
FOR:	MEZA, FERNANDO & KIM		
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505		
JOB #:	141-24-001		
FOUNDATION TYPE:	CRAWLSPACE		
FOUNDATION TYPE:	2x4 EXTERIOR WALLS		
OFFICE:	FAYETTEVILLE		
DRAWN BY:	D. VIVANCO		
CHECKED BY:	JS		
PRINTED:	4/9/2024 11:58:55 AM		
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SHEET #:	F-1.2		
SCALE:	As indicated		
PROPERTY OF:	CRAWL W/BRICK FOUNDATION DETAILS		

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

LAYOUT CORNER



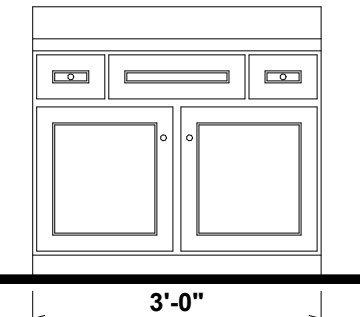
1 FIRST FLOOR PLAN  
1/8" = 1'-0"

**GENERAL NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- MIN 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS NOTED OTHERWISE
- HEADERS FOR WINDOWS ABOVE KITCHEN COUNTERTOPS TO BE FRAMED DOWN 1'-5" FROM T.O.P.
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. UNLESS NOTED OTHERWISE
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- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" ABOVE FINISHED GRADE

**SPECIAL NOTES**

- 36" WALL MOUNT CHASE MODEL #VVW53UC6LS OVER RANGE HOOD MODEL #WEXTKIT18FS TO COVER VENT PIPE
- 36" ELECTRIC COOKTOP MODEL #WCE55US6HB
- 30" SINGLE WALL OVEN MODEL #WOS1E0C0HS FIT INTO 33" WALL OVEN CABINET
- MICROWAVE BY OWNER - NOT EXISTING APPLIANCE
- KITCHEN & KITCHEN ISLAND COUNTERTOPS TO BE GRANITE
- BATHS COUNTERTOPS TO BE MARBLE
- 2ND SAFE ROOM - LOCATION T.B.D.
- INTERIOR DOOR STYLE TO BE "SANTA FE"



2 891.1 36" VANITY ELEVATION  
1/2" = 1'-0"

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**FINAL CONSTRUCTION PLANS**

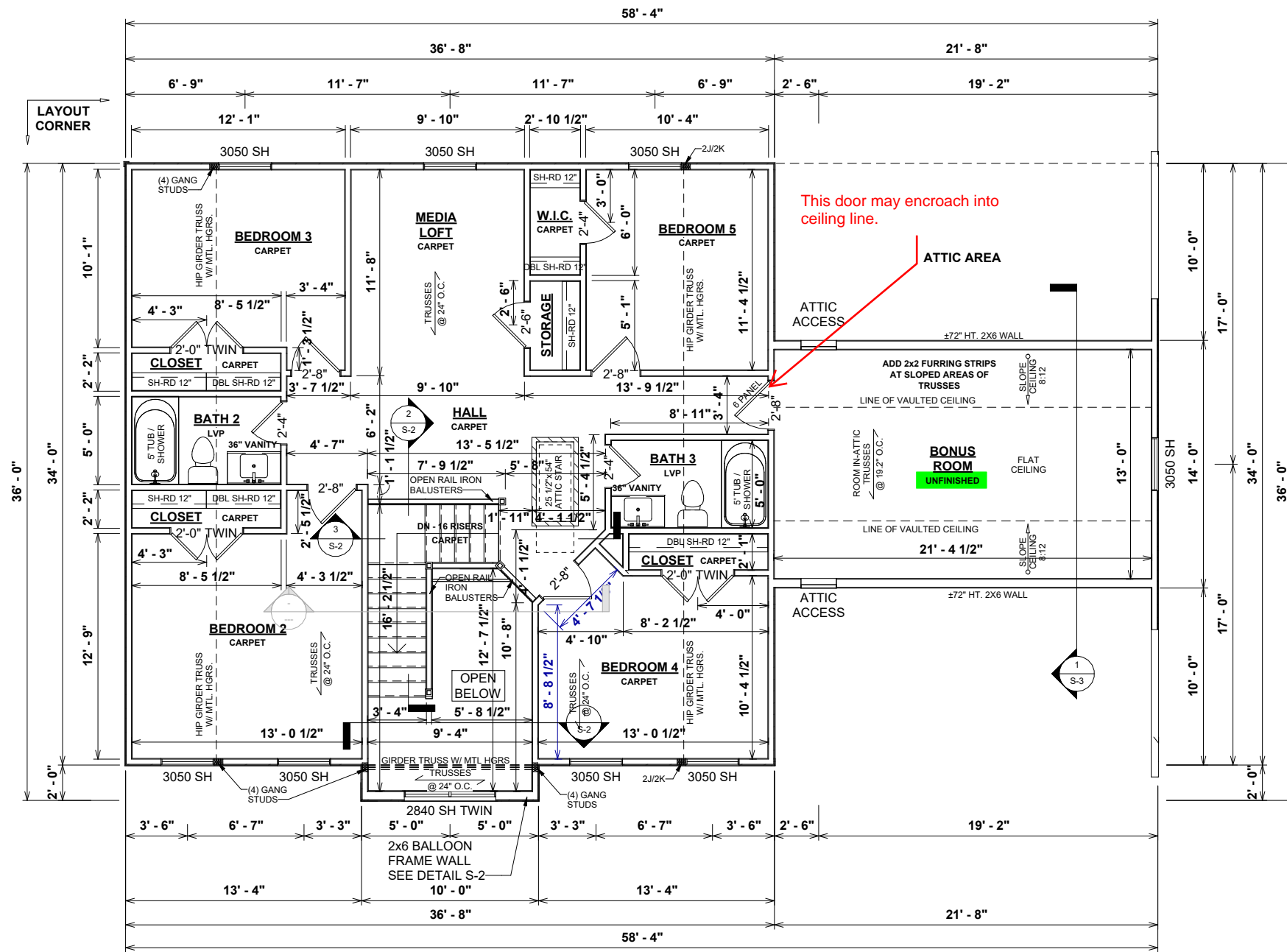
REVISION SCHEDULE	REV #	DESCRIPTION	DATE
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	1.178 SF	SECOND FLOOR HEATED	
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	276 SF	GARAGE	
	533 SF	TOTAL UNDER ROOF	
	810 SF	REAR STOOP	
	3.722 SF	TOTAL UNCOVERED	
	28 SF		
	28 SF		

THE:	<b>WYNFIELD</b>
FOR:	<b>MEZA, FERNANDO &amp; KIM</b>
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
DESIGNED BY:	A. VIRT
DRAWN BY:	D. VIVANCO
CHECKED BY:	JS
PRINTED:	4/9/2024 11:58:55 AM
PROJECT:	141-24-001
FOUNDATION TYPE:	CRAWLSPACE
FOUNDATION:	2x4 EXTERIOR WALLS

PROPERTY OF:	
SHEET #	<b>F-2</b>
SCALE:	As indicated
COPYRIGHT:	© COPYRIGHT - 2023
TITLE:	<b>FIRST FLOOR PLAN</b>



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

**GENERAL NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- MIN 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS NOTED OTHERWISE
- HEADERS FOR WINDOWS ABOVE KITCHEN COUNTERTOPS TO BE FRAMED DOWN 1'-5" FROM T.O.P.
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. UNLESS NOTED OTHERWISE
- STANDARD SECOND FLOOR WINDOW HEADERS TO BE FRAMED DOWN 1'-2" FROM T.O.P. UNLESS NOTED OTHERWISE
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:  
SINGLE - 68"  
DOUBLE - 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" ABOVE FINISHED GRADE

REVISION SCHEDULE		REV #	DESCRIPTION	DATE
		1.734 SF	FIRST FLOOR HEATED	
		1.178 SF	SECOND FLOOR HEATED	
		2.912 SF	FRONT PORCH	
		276 SF	GARAGE	
		533 SF	TOTAL UNDER ROOF	
		810 SF	REAR STOOP	
		3.722 SF	TOTAL UNCOVERED	
		28 SF		
		28 SF		

THE:	WYNFIELD
FOR:	MEZA, FERNANDO & KIM
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #	141-24-001
FOUNDATION TYPE:	CRAWLSPACE
EXTERIOR WALLS:	2x4 EXTERIOR WALLS

DRAWN BY:	D. VIVANCO
CHECKED BY:	JS
PRINTED:	4/9/2024 11:58:56 AM

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SHEET #	F-3
PLAN	SECOND FLOOR PLAN

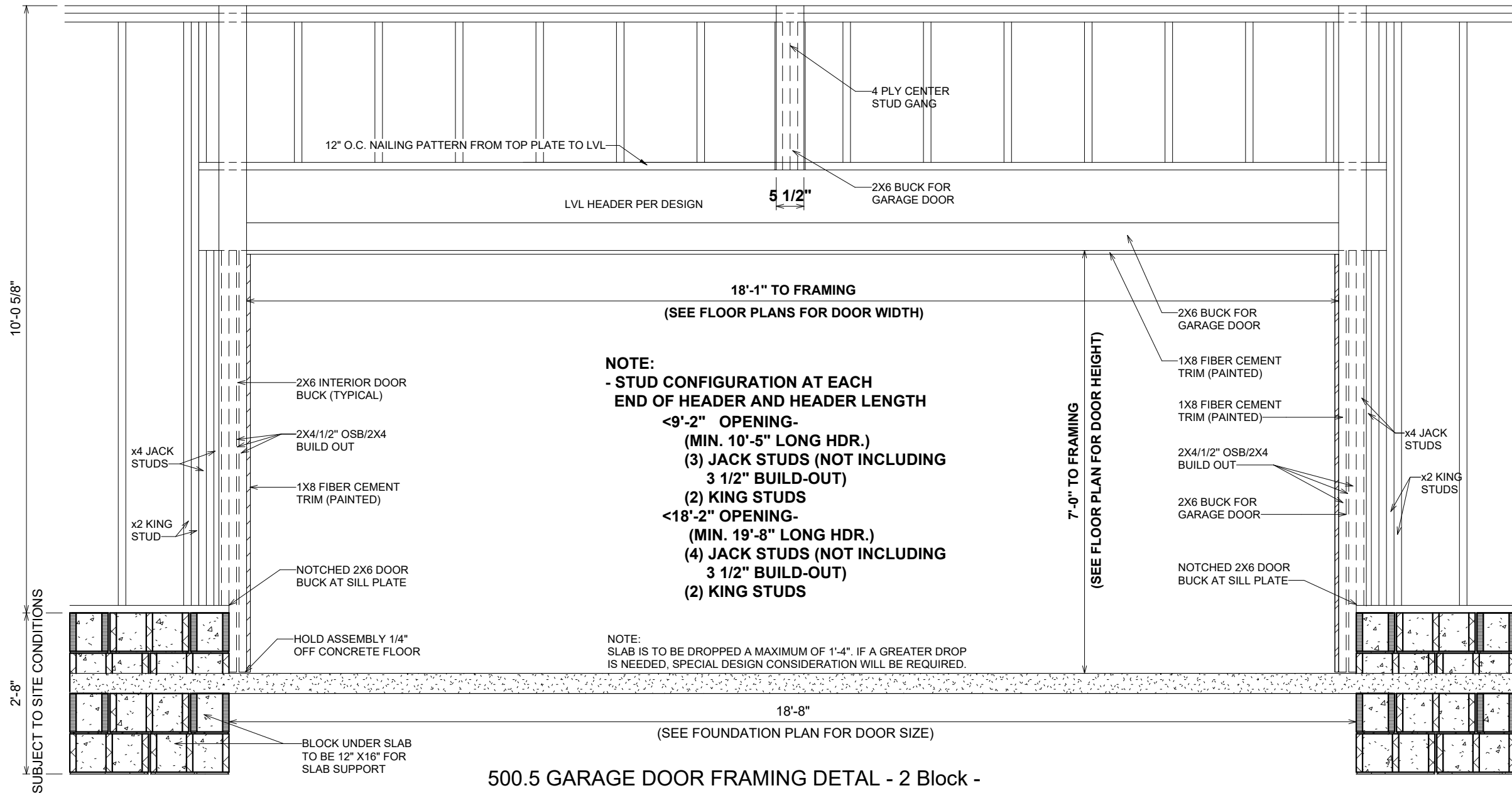
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

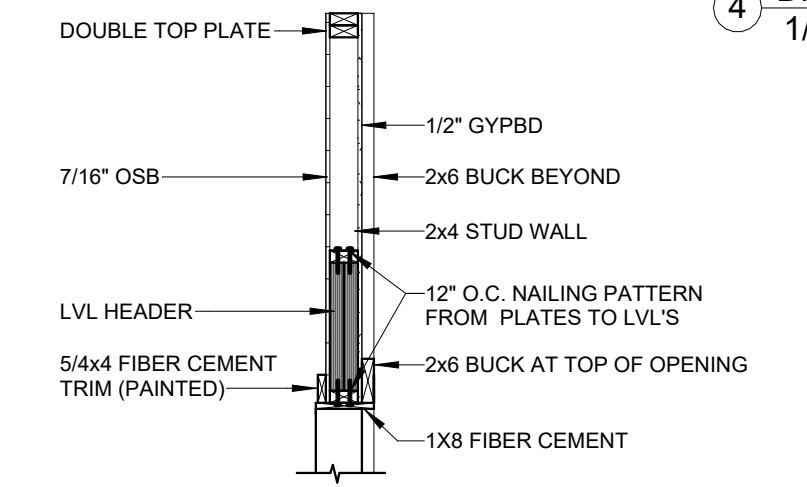
PAPER SIZE: 11" x 17"

SCALE: 1/8" = 1'-0"

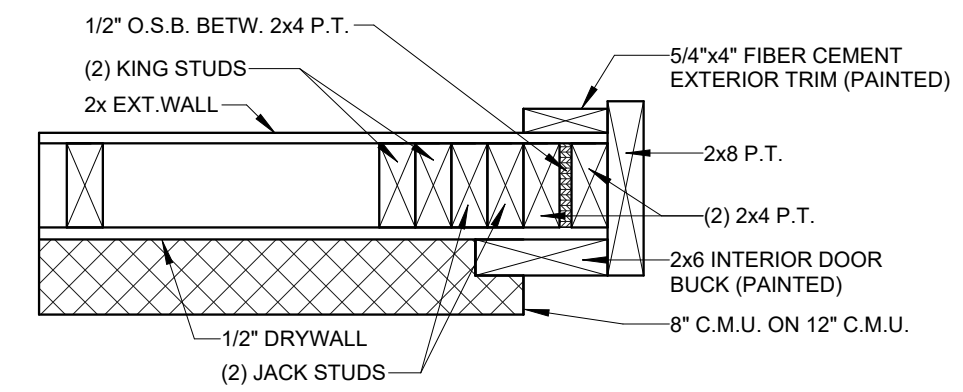




4 500.5 GARAGE DOOR FRAMING DETAL - 2 Block - DROPPED HEADER  
1/2" = 1'-0"



2 GARAGE DOOR WALL SECTION AT HEADER  
1/2" = 1'-0"



3 GARAGE DOOR JAMB FRAMING  
1 1/2" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

REVISION SCHEDULE		REV #	DESCRIPTION	DATE

AREAS:		1,734 SF	1,178 SF	2,912 SF	533 SF	810 SF	3,722 SF	28 SF	28 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
FRONT PORCH GARAGE									
TOTAL UNDER ROOF									
REAR STOOP									
TOTAL UNCOVERED									

THE:	WYNFIELD
FOR:	MEZA, FERNANDO & KIM
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
DESIGNED BY:	A. VIRT

JOB #	141-24-001
FOUNDATION TYPE:	CRAWLSPACE
FOUNDATION TYPE:	CRAWLSPACE

DRAWN BY:	D. VIVANCO
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SHEET #	GD-1
SCALE:	As indicated

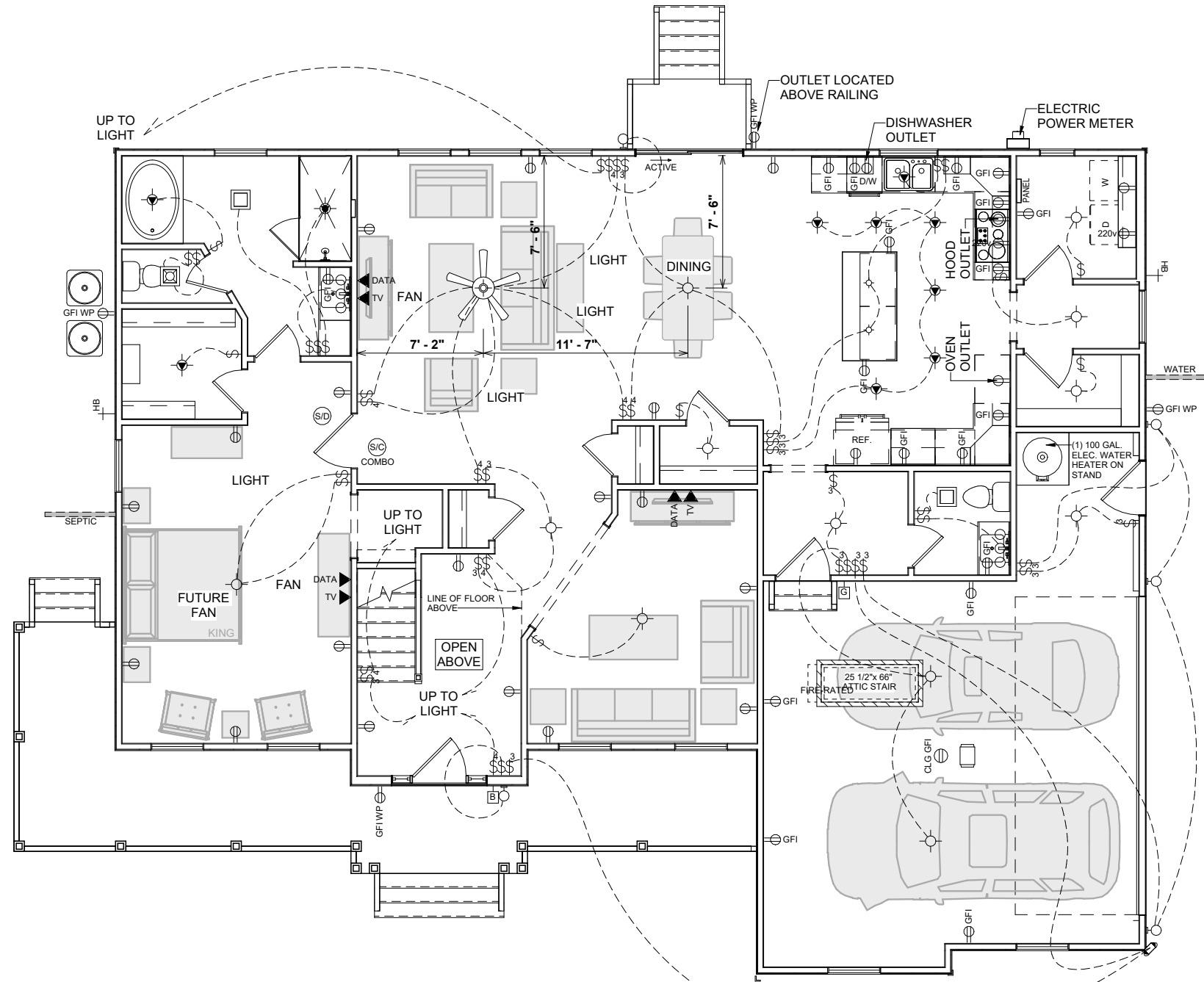
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GARAGE DOOR DETAILS

ELECTRICAL LEGEND	
<b>LIGHT FIXTURES</b>	
CEILING FAN	
CEILING MOUNT	
COACH / SCONCE	
EXHAUST FAN	
EXTERIOR FLOOD	
LED STRIP LIGHT - CEILING	
LED - WALL	
LED DISC	
PENDANT	
RECESSED CAN	
RECESSED EYEBALL CAN	
VANITY	
<b>ELECTRICAL FIXTURES</b>	
DOOR BELL BUTTON	
DOOR BELL CHIME	
GARAGE DOOR OPENER	
MEDIA	
OUTLET	
OUTLET - CEILING	
OUTLET - FLOOR	
OUTLET - GFI	
OUTLET - 220v	
SWITCH	
SWITCH - DIMMER	
SMOKE & CARBON DETECTOR	
SMOKE DETECTOR	
THERMOSTAT	
UNDER CABINET LIGHT	

**ELECTRICAL NOTES:**

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE AND WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED



1 FIRST FLOOR ELECTRICAL PLAN  
1/8" = 1'-0"

REVISION SCHEDULE	REV #	DESCRIPTION	DATE
		1	

AREAS:	
FIRST FLOOR HEATED	1,734 SF
SECOND FLOOR HEATED	1,178 SF
FRONT PORCH	2,912 SF
GARAGE	276 SF
TOTAL UNDER ROOF	533 SF
REAR STOOP	810 SF
TOTAL UNCOVERED	3,722 SF
	28 SF
	28 SF

THE:	<b>WYNFIELD</b>
FOR:	<b>MEZA, FERNANDO &amp; KIM</b>
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #	141-24-001
FOUNDATION TYPE:	CRAWLSPACE
FOUNDATION:	2x4 EXTERIOR WALLS

DRAWN BY:	D. VIVANCO
CHECKED BY:	JS
PRINTED:	4/9/2024 11:58:57 AM

PROPERTY OF:	
SHEET #	H-1
SCALE:	1/8" = 1'-0"

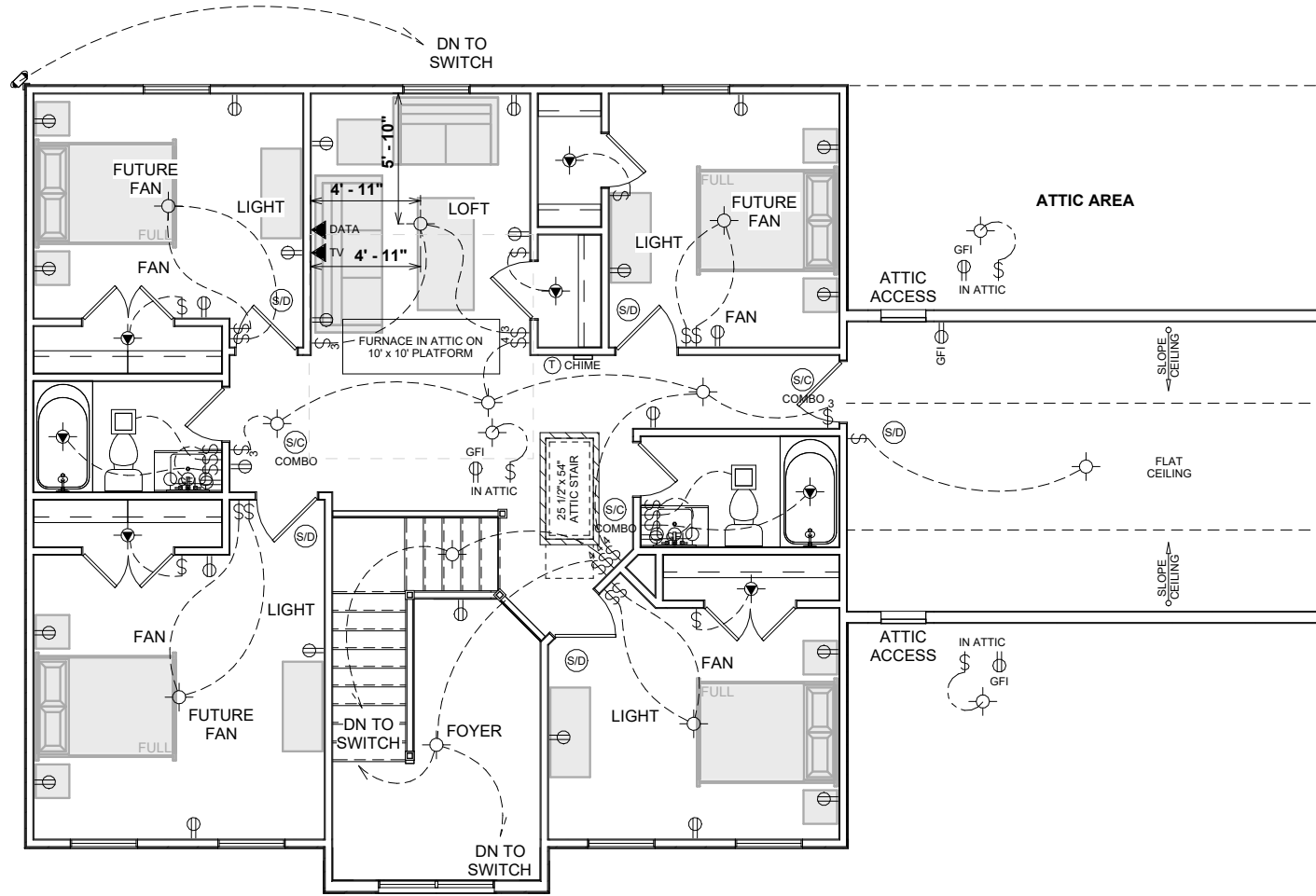
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

ELECTRICAL LEGEND	
<b>LIGHT FIXTURES</b>	
CEILING FAN	
CEILING MOUNT	
COACH / SCONCE	
EXHAUST FAN	
EXTERIOR FLOOD	
LED STRIP LIGHT - CEILING	
LED - WALL	
LED DISC	
PENDANT	
RECESSED CAN	
RECESSED EYEBALL CAN	
VANITY	
<b>ELECTRICAL FIXTURES</b>	
DOOR BELL BUTTON	
DOOR BELL CHIME	
GARAGE DOOR OPENER	
MEDIA	
OUTLET	
OUTLET - CEILING	
OUTLET - FLOOR	
OUTLET - GFI	
OUTLET - 220v	
SWITCH	
SWITCH - DIMMER	
SMOKE & CARBON DETECTOR	
SMOKE DETECTOR	
THERMOSTAT	
UNDER CABINET LIGHT	

**ELECTRICAL NOTES:**

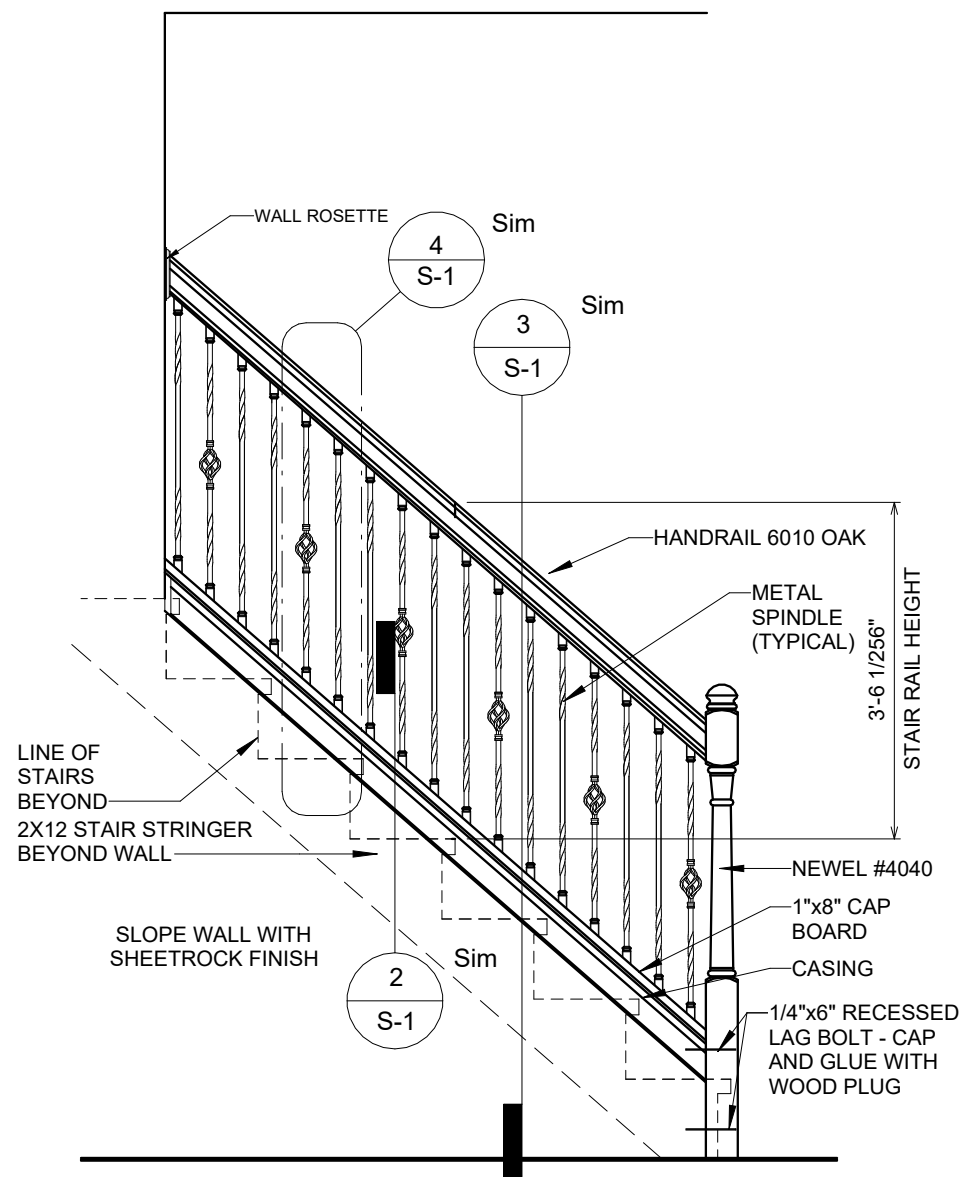
- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE AND WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED



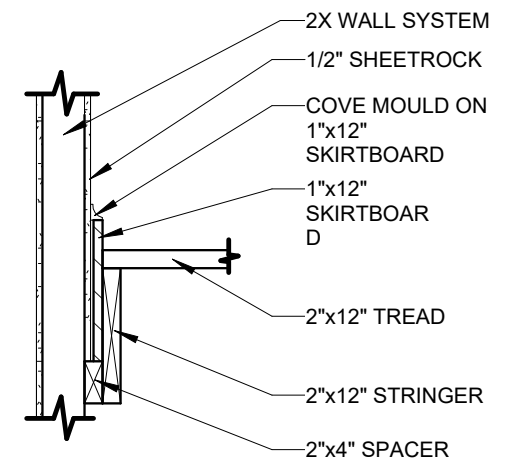
1 SECOND FLOOR ELECTRICAL  
1/8" = 1'-0"

SHEET #	PROPERTY OF:	DRAWN BY:	JOB #	THE:	REVISION SCHEDULE	
					REV #	DESCRIPTION
H-2	AMERICA'S HOME PLACE	D. VIVANCO	141-24-001	WYNFIELD	1.734 SF	DATE
					2.912 SF	
SECOND FLOOR ELECTRICAL PLAN	© COPYRIGHT - 2023	CHECKED BY: JS	2x4 EXTERIOR WALLS	FOR: MEZA, FERNANDO & KIM	1.178 SF	
					276 SF	
SCALE: 1/8" = 1'-0"	PAPER SIZE: 11" x 17"	PRINTED: 4/9/2024 11:58:58 AM	FOUNDATION TYPE: CRAWLSPACE	740 MCLEOD RD. BROADWAY, NC 27505	533 SF	
					810 SF	
					3.722 SF	
					28 SF	
					28 SF	

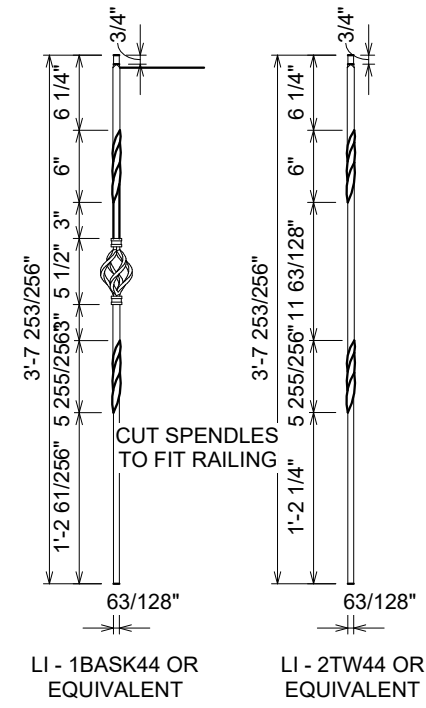
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%  
**FINAL CONSTRUCTION PLANS**



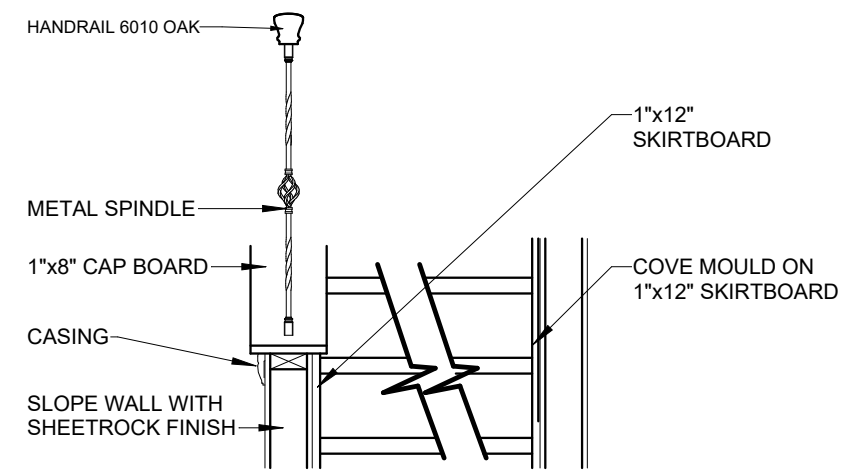
1 SLOPED WALL AT RAILING  
1/2" = 1'-0"



2 STAIR SECTION THRU STRINGER  
3/4" = 1'-0"



4 STAIR SPINDLE DETAIL  
3/4" = 1'-0"



3 STAIR TRIM @ SLOPED WALL  
1/2" = 1'-0"

SHEET #	PROPERTY OF:	DRAWN BY:	JOB #	THE:	REVISION SCHEDULE	
					REV #	DESCRIPTION
S-1	 © COPYRIGHT - 2023	D. VIVANCO	141-24-001	WYNFIELD	1.734 SF	
		JS	2x4 EXTERIOR WALLS	FOR: MEZA, FERNANDO & KIM	1.178 SF	
		JS	FOUNDATION TYPE: CRAWLSPACE	740 MCLEOD RD. BROADWAY, NC 27505	2.912 SF	
				OFFICE: FAYETTEVILLE	276 SF	
				SOLD BY: A. VIRT	533 SF	
					810 SF	
					3.722 SF	
					28 SF	
					28 SF	
					TOTAL UNCOVERED	

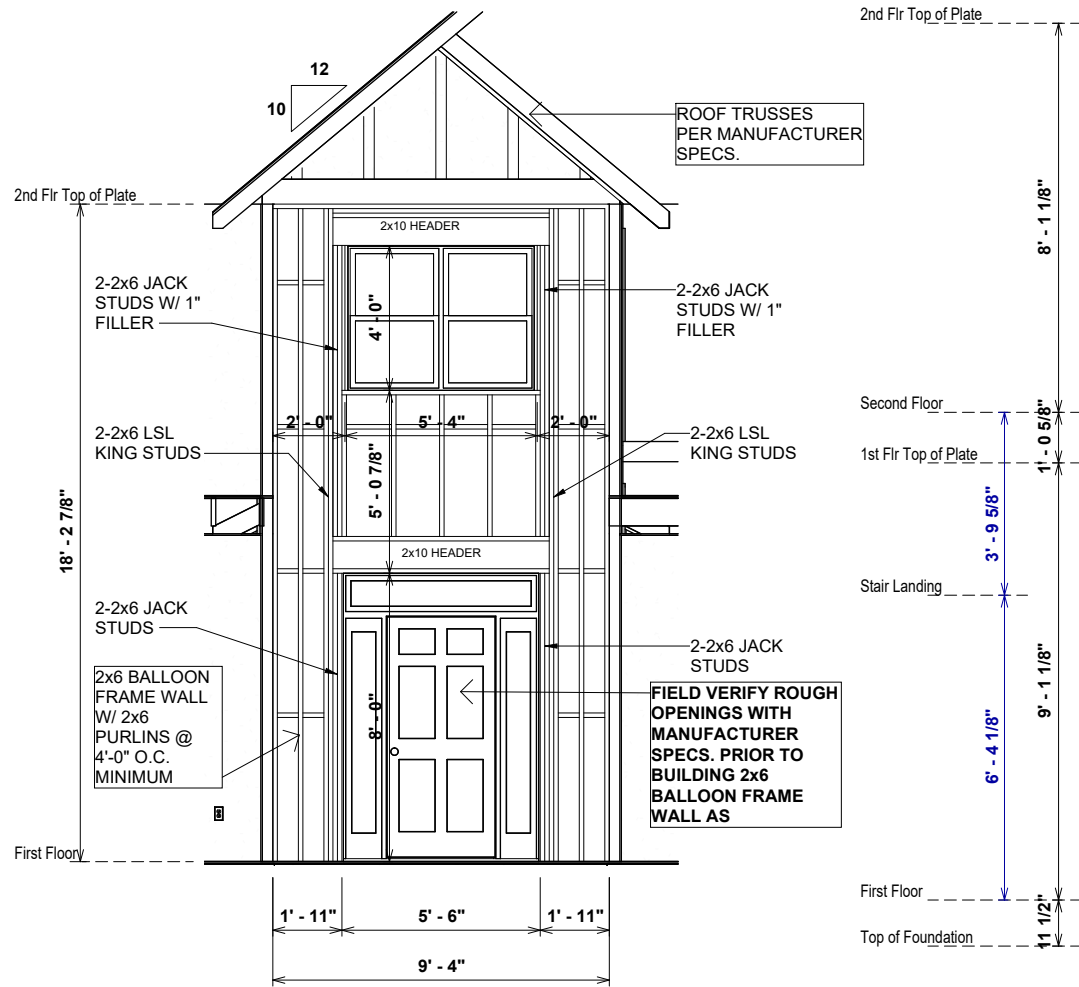
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

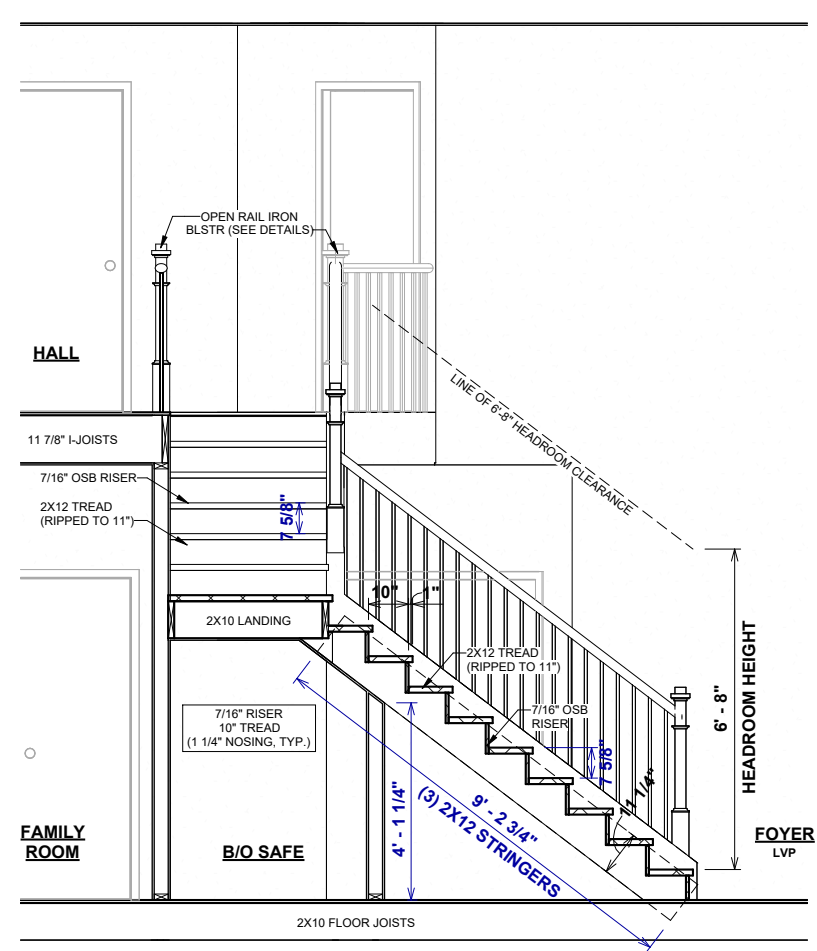
PAPER SIZE: 11" x 17"

SCALE: As indicated

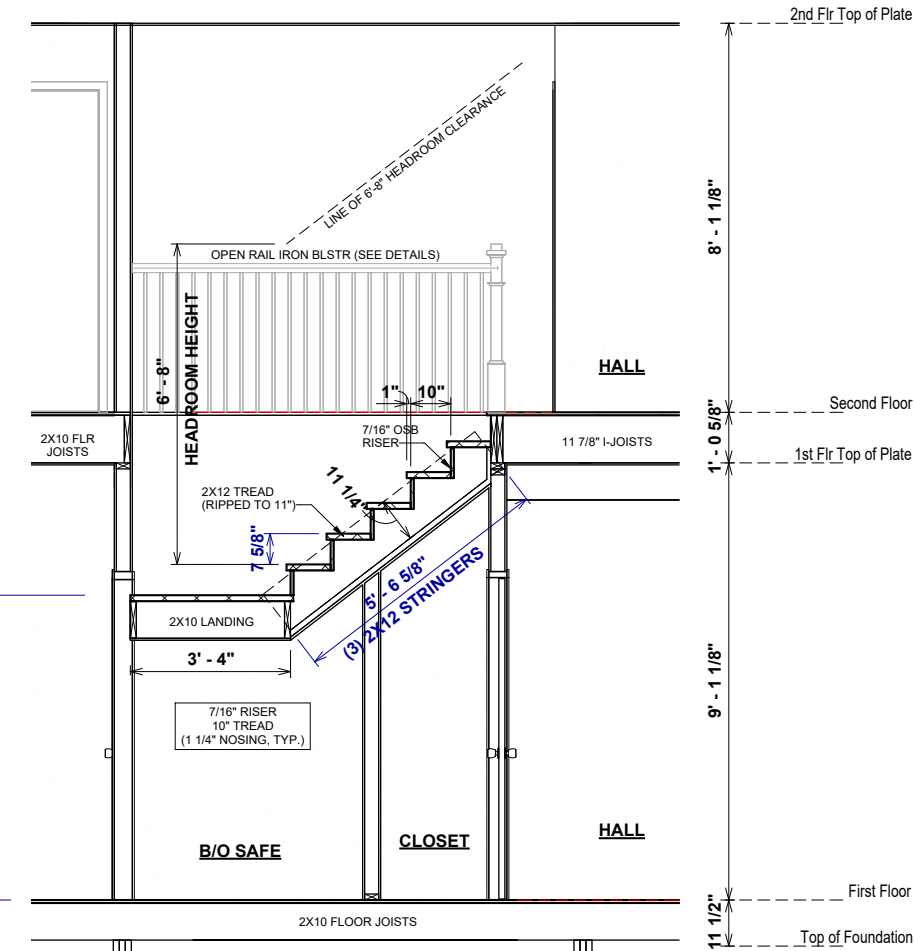
STAIR DETAILS



1 FOYER - BALLOON FRAME WALL  
3/16" = 1'-0"



2 STAIRS SECTION FROM FOYER  
1/4" = 1'-0"



3 STAIRS SECTION FROM LANDING  
1/4" = 1'-0"

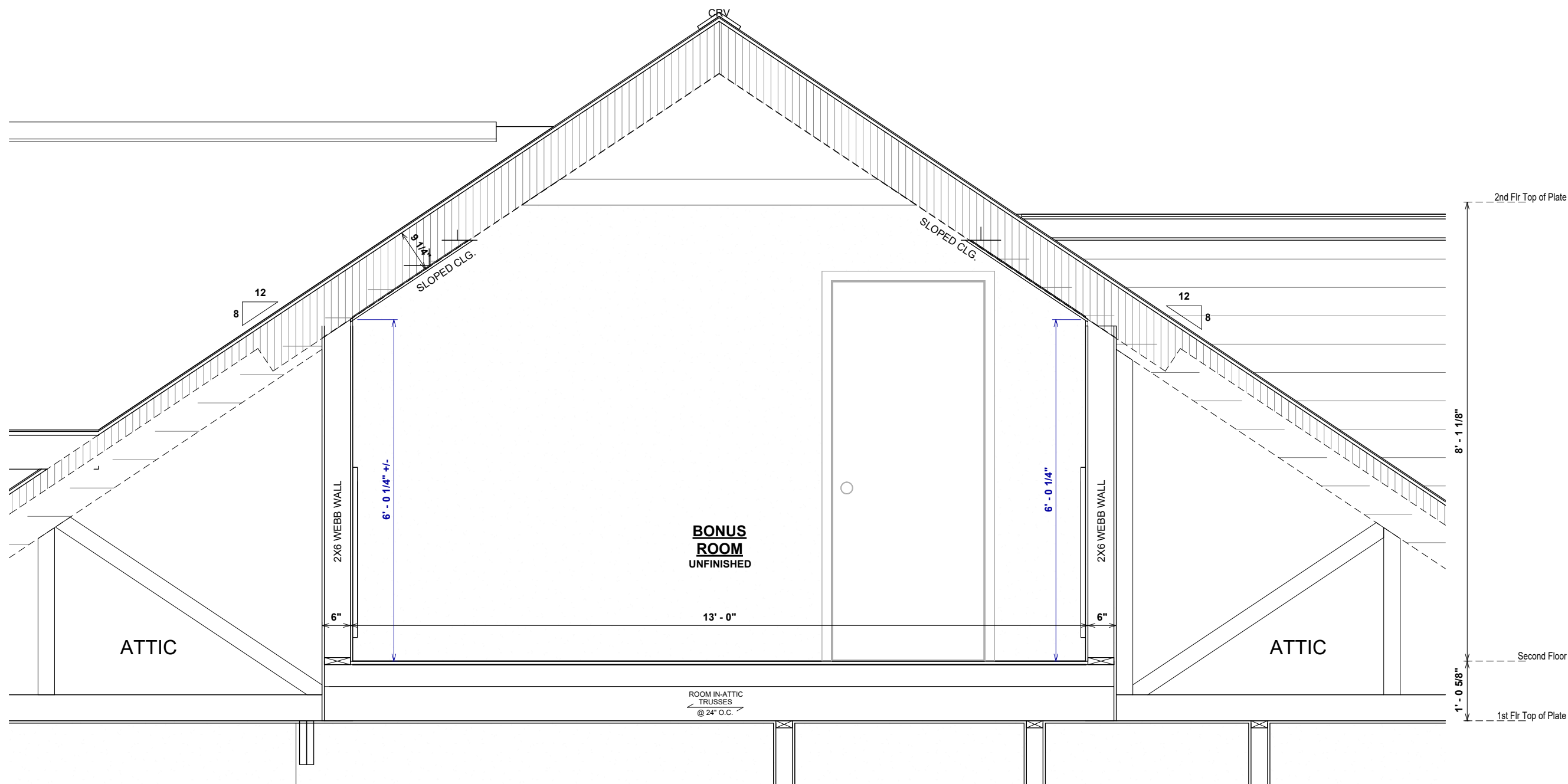
REVISION SCHEDULE		REV #	DESCRIPTION	DATE
		1.734 SF	FIRST FLOOR HEATED	
		1.178 SF	SECOND FLOOR HEATED	
		2.912 SF	FRONT PORCH	
		276 SF	GARAGE	
		533 SF	TOTAL UNDER ROOF	
		810 SF	REAR STOOP	
		3.722 SF	TOTAL UNCOVERED	
		28 SF		
		28 SF		

THE:	WYNFIELD
FOR:	MEZA, FERNANDO & KIM
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT
JOB #:	141-24-001
FOUNDATION TYPE:	CRAWLSPACE
EXTERIOR WALLS:	2x4 EXTERIOR WALLS
DRAWN BY:	D. VIVANCO
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SHEET #:	S-2
SCALE:	As indicated

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS



1 BONUS ROOM SECTION  
1/2" = 1'-0"

REVISION SCHEDULE	
REV #	DESCRIPTION

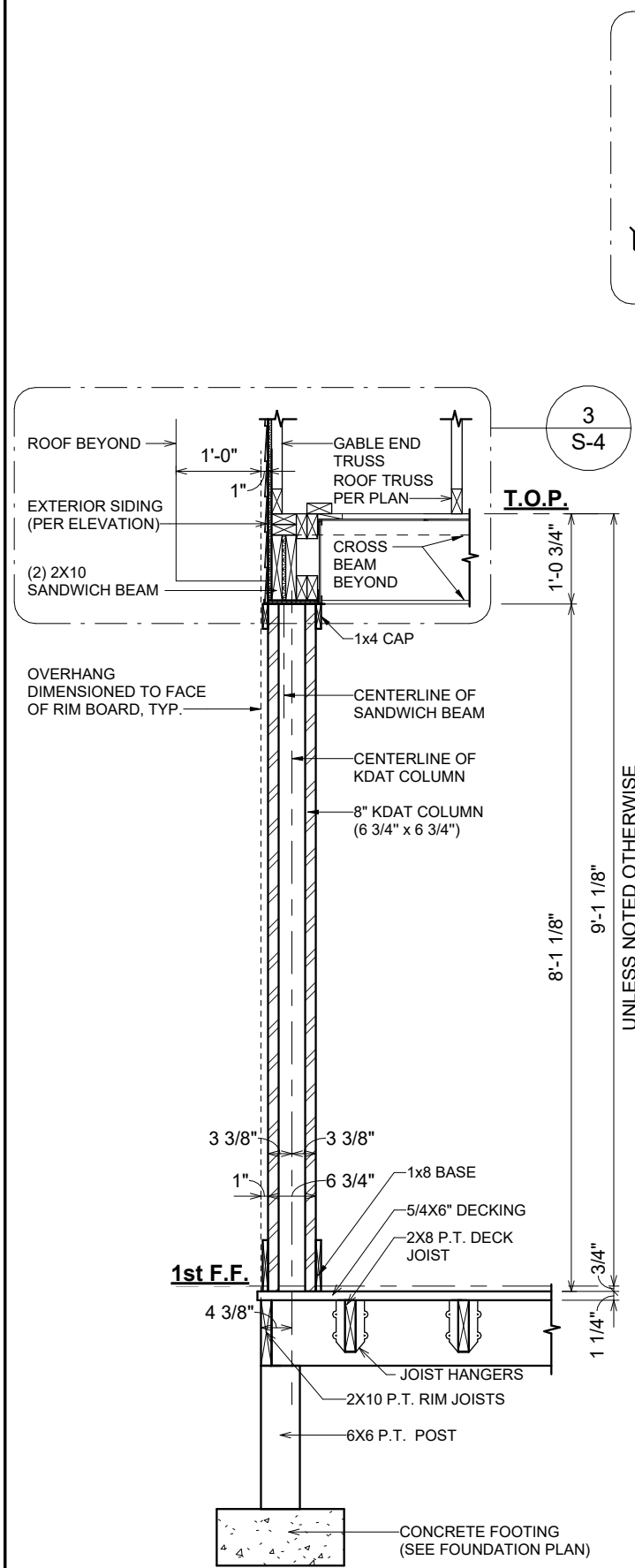
AREAS:	
FIRST FLOOR HEATED	1,734 SF
SECOND FLOOR HEATED	1,178 SF
FRONT PORCH	2,912 SF
GARAGE	276 SF
TOTAL UNDER ROOF	533 SF
REAR STOOP	810 SF
TOTAL UNCOVERED	3,722 SF
	28 SF
	28 SF

**THE:** WYNFIELD  
**FOR:** MEZA, FERNANDO & KIM  
740 MCLEOD RD.  
BROADWAY, NC 27505  
**OFFICE:** FAYETTEVILLE  
**SOLD BY:** A. VIRT

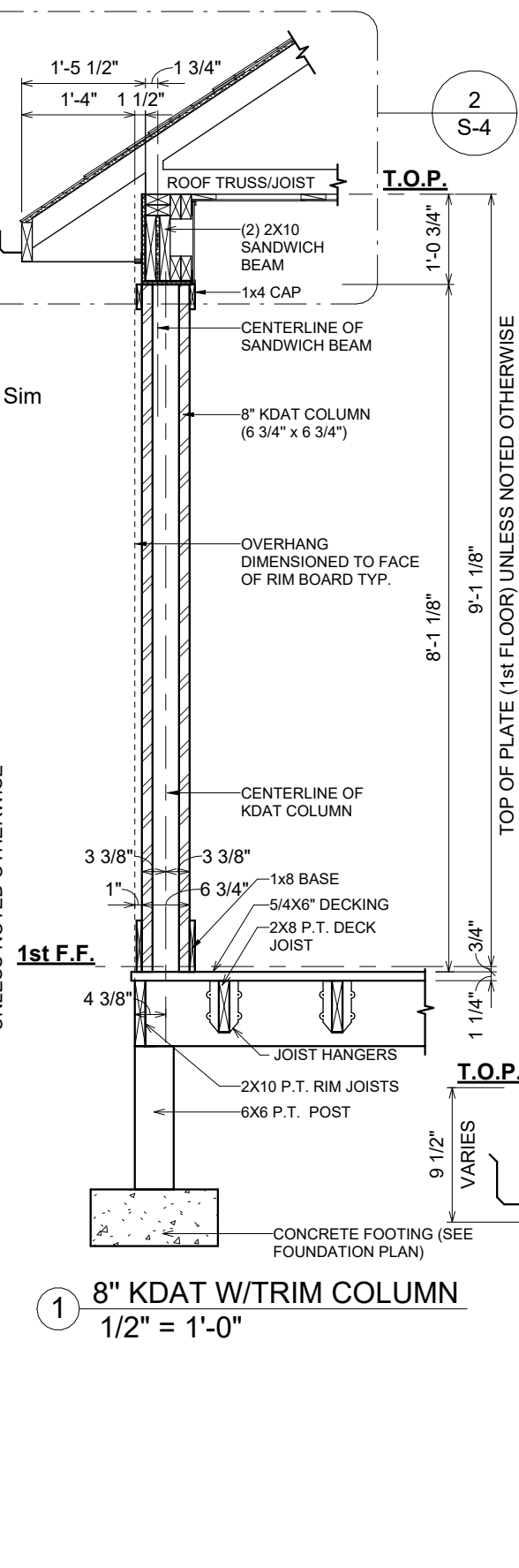
**JOB #** 141-24-001  
**2x4 EXTERIOR WALLS**  
**FOUNDATION TYPE:** CRAWLSPACE

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**SHEET #** S-3  
**BONUS ROOM SECTION**

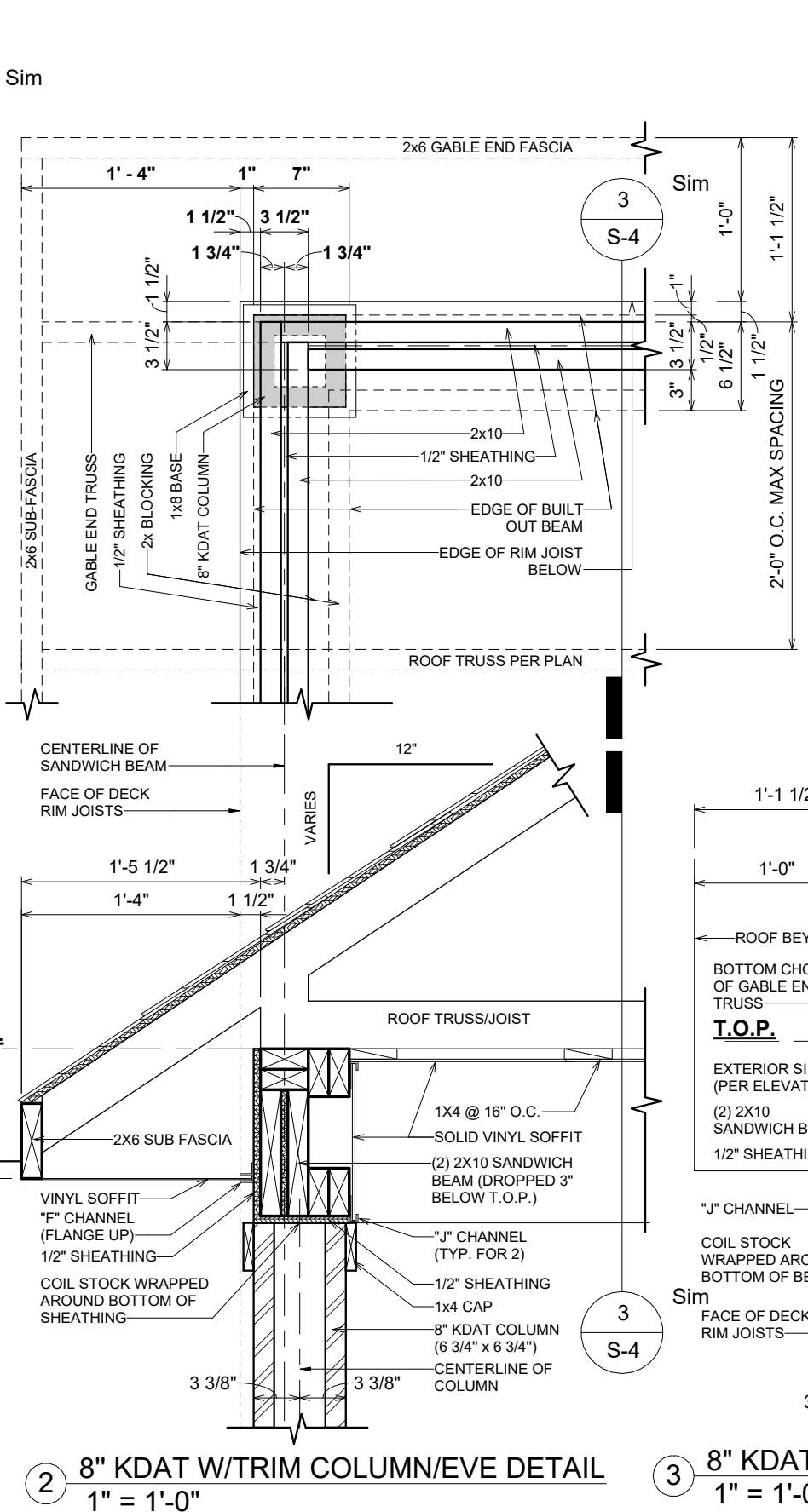
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%  
**FINAL CONSTRUCTION PLANS**



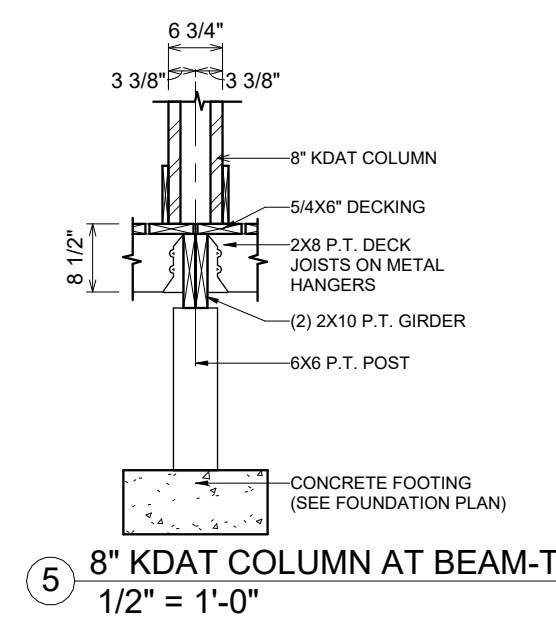
**4** 8" KDAT W/TRIM COLUMN GABLE END  
1/2" = 1'-0"



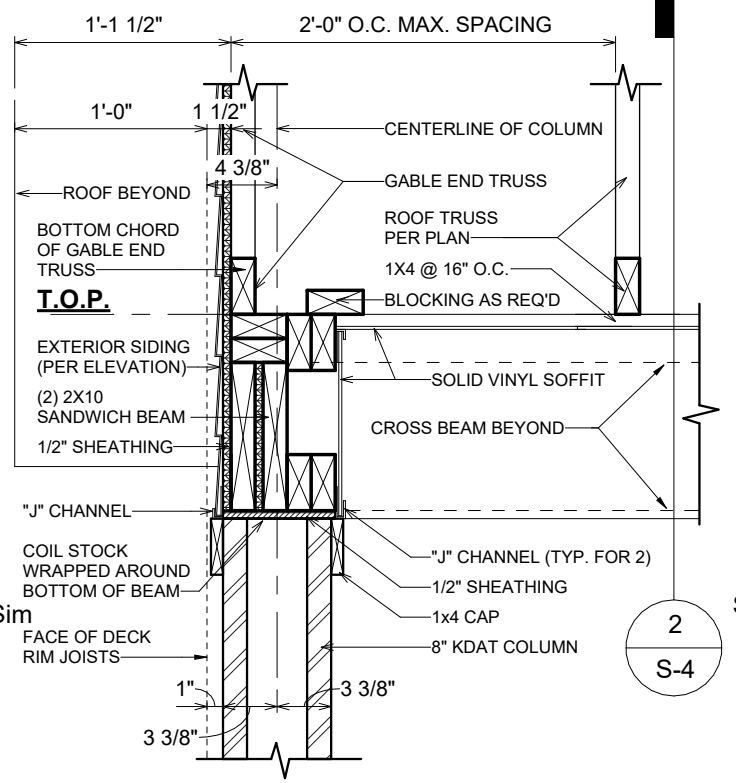
**1** 8" KDAT W/TRIM COLUMN  
1/2" = 1'-0"



**2** 8" KDAT W/TRIM COLUMN/EVE DETAIL  
1" = 1'-0"



**3** 8" KDAT W/TRIM COLUMN GABLE DETAIL  
1" = 1'-0"



**5** 8" KDAT COLUMN AT BEAM-T  
1/2" = 1'-0"

REVISION SCHEDULE		REV #	DESCRIPTION	DATE
		1.734 SF	FIRST FLOOR HEATED	
		1.178 SF	SECOND FLOOR HEATED	
		2.912 SF	FRONT PORCH	
		276 SF	GARAGE	
		533 SF	TOTAL UNDER ROOF	
		810 SF	REAR STOOP	
		3.722 SF	TOTAL UNCOVERED	
		28 SF		
		28 SF		

THE:	<b>WYNFIELD</b>
FOR:	<b>MEZA, FERNANDO &amp; KIM</b>
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #:	<b>141-24-001</b>
FOUNDATION TYPE:	<b>CRAWLSPACE</b>
THE:	<b>2x4 EXTERIOR WALLS</b>
FOR:	<b>2x4 EXTERIOR WALLS</b>

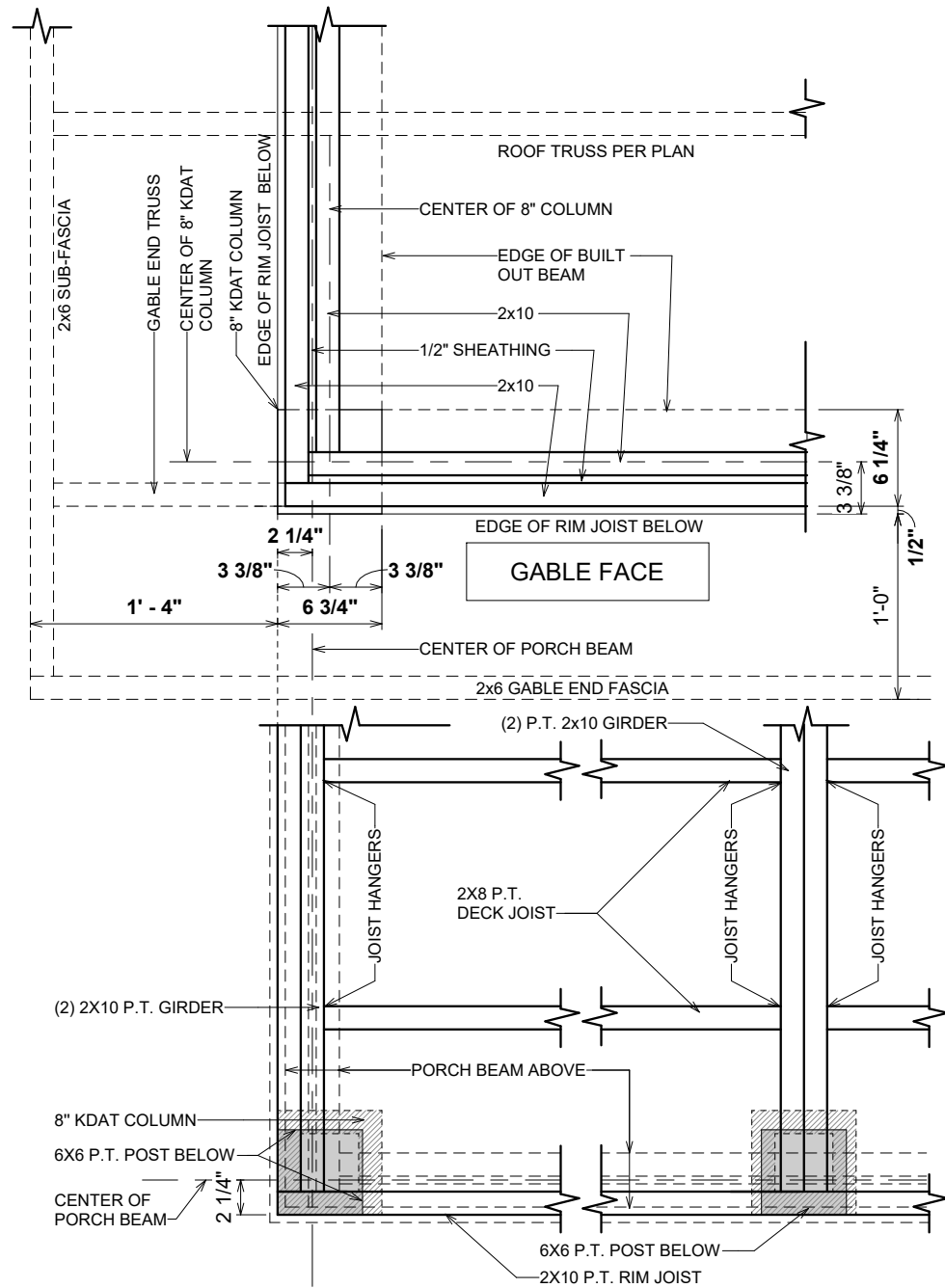
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SHEET #:	<b>S-4</b>
SCALE:	As indicated
8" KDAT COLUMN W/ TRIM	

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**



① 8" KDAT COLUMN FRAMING  
1" = 1'-0"

PROPERTY OF:		JOB #		THE:		AREAS:		REVISION SCHEDULE		
 © COPYRIGHT - 2023 <b>S-5</b>	<b>141-24-001</b> 2x4 EXTERIOR WALLS FOUNDATION TYPE: CRAWLSPACE	<b>D. VIVANCO</b> <b>JS</b> 4/9/2024 11:59:01 AM	<b>141-24-001</b> <b>2x4 EXTERIOR WALLS</b> <b>FOUNDATION TYPE:</b> <b>CRAWLSPACE</b>	<b>WYNFIELD</b> <b>MEZA, FERNANDO &amp; KIM</b> 740 MCLEOD RD. BROADWAY, NC 27505		FIRST FLOOR HEATED 1,734 SF SECOND FLOOR HEATED 1,178 SF FRONT PORCH 2,912 SF GARAGE 276 SF TOTAL UNDER ROOF 810 SF REAR STOOP 28 SF TOTAL UNCOVERED 28 SF		REV #	DESCRIPTION	DATE
				<b>OFFICE:</b> FAYETTEVILLE		<b>SOLD BY:</b> A. VIRT				

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**



ROUGH OPENINGS FOR PLY-GEM VINYL S/H WINDOWS

**SINGLE WINDOW UNITS**

CALL SIZE	ACTUAL SIZE	ROUGH OPENING SIZE
2-0 X 3-0	23 1/2" X 35 1/2"	24" X 36"
2-0 X 4-0	23 1/2" X 47 1/2"	24" X 48"
2-8 X 4-0	31 1/2" X 47 1/2"	32" X 48"
2-8 X 5-0	31 1/2" X 59 1/2"	32" X 60"
2-8 X 6-0	31 1/2" X 71 1/2"	32" X 72"
3-0 X 3-0	35 1/2" X 35 1/2"	36" X 36"
3-0 X 4-0	35 1/2" X 47 1/2"	36" X 48"
3-0 X 5-0	35 1/2" X 59 1/2"	36" X 60"
3-0 X 5-2	35 1/2" X 61 1/2"	36" X 62"
3-0 X 6-0	35 1/2" X 71 1/2"	36" X 72"
3-0 X 6-2	35 1/2" X 73 1/2"	36" X 74"
3-4 X 4-0	39 1/2" X 47 1/2"	40" X 48"
4-0 X 4-0	47 1/2" X 47 1/2"	48" X 48"

**TWIN/TRIPLE WINDOW UNITS**

2-8 X 5-0 TWIN	63 1/2" X 59 1/2"	64" X 60"
2-8 X 6-0 TWIN	63 1/2" X 71 1/2"	64" X 72"
3-0 X 5-0 TWIN	71 1/2" X 59 1/2"	72" X 60"
3-0 X 6-0 TWIN	71 1/2" X 71 1/2"	72" X 72"
3-0 X 5-0 TRIPLE	107 1/2" X 59 1/2"	108" X 60"
3-0 X 6-0 TRIPLE	107 1/2" X 71 1/2"	108" X 72"
1-8 / 3-0 / 1-8 X 6-0	75 1/2" X 71 1/2"	76" X 72"
2-0 / 3-0 / 2-0 X 6-0	83 1/2" X 71 1/2"	84" X 72"

**TRANSOM WINDOW UNITS**

3-0 HALF-ROUND (18" TALL)	CALL SIZE + 18" TO HGT. OF WINDOW
12" TRANSOM	CALL SIZE + 12" TO HGT. OF WINDOW
2-8 ARCH TRAN. (14" TALL)	CALL SIZE + 14" TO HGT. OF WINDOW
3-0 ARCH TRAN. (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 HALF-ROUND (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW

**SPECIALTY WINDOWS**

4-0 X 5-0 EYEBROW	48" X 60"
3-0 X 4-0 PALLADIAN	36" X 48"
3-0 X 5-0 PALLADIAN	60" X 72"

1. TRANSOM SAMPLE. 3-0 X 6-0 W/ HALF-ROUND TRANSOM. CALL SIZE 3060 + 18" TALL TRANSOM EQUALS A ROUGH OPENING SIZE OF 36" X 90"
2. CALL SUPERINTENDENT FOR ANY WINDOW SIZE THAT IS NOT SHOWN HERE PRIOR TO FRAMING THE OPENING

ROUGH OPENINGS FOR MASONITE ENTRY DOORS

**INSWING UNITS**

2-8 X 6-8	34 1/2" X 82 1/2"
3-0 X 6-8	38 1/2" X 82 1/2"
3-0 X 6-8 W/ (2) 12" S.L.	65 1/4" X 82 1/2"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 96"
3-0 X 6-8 W/ (2) 12" S.L. & 12" TRAN.	65 1/4" X 96"

**OUTSWING UNITS**

2-8 X 6-8	34 1/2" X 81"
3-0 X 6-8	38 1/2" X 81"
3-0 X 6-8 W (2) 12" S.L.	65 1/4" X 81"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 94 1/2"
3-0 X 6-8 W (2) 12" S.L. & 12" TRAN.	65 1/4" X 94 1/2"

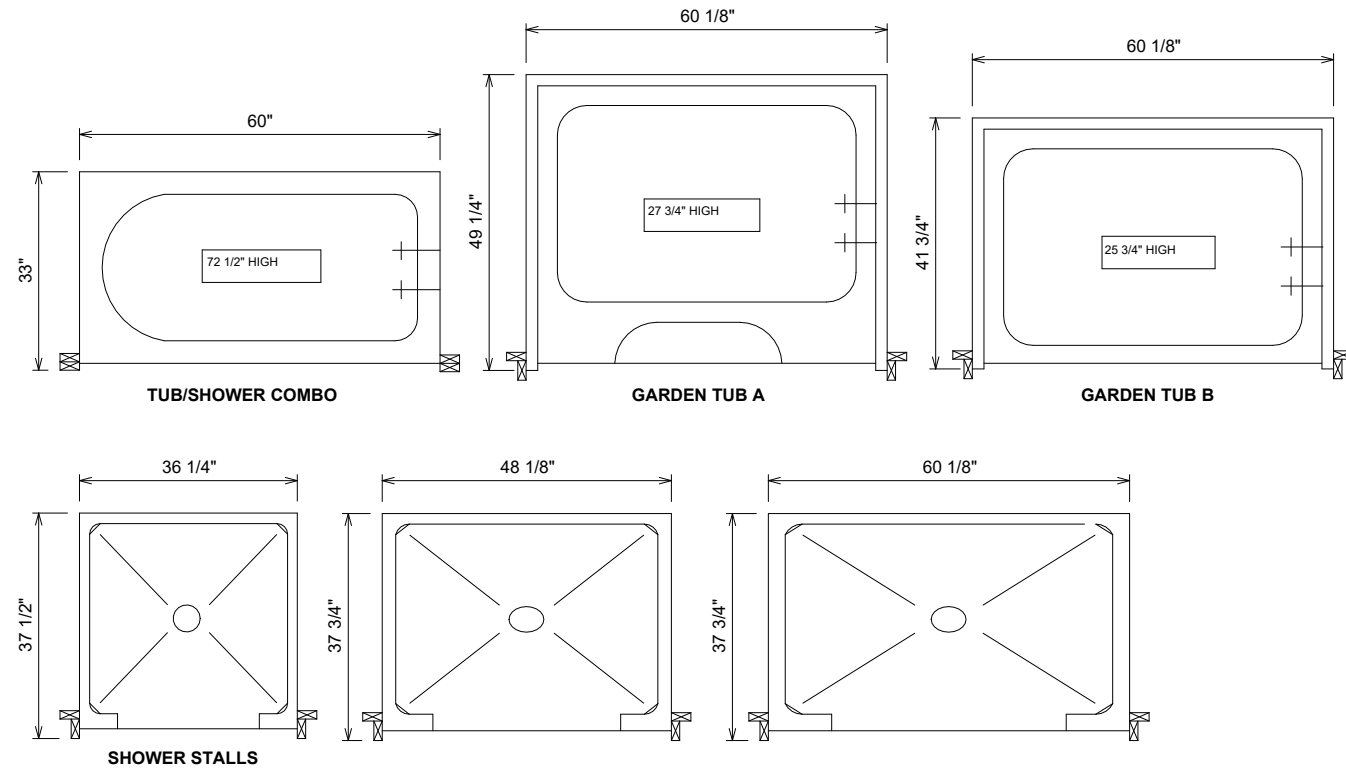
**CENTER HINGED/ FRENCH DOOR...**

6-0 X 6-8 CENTER HINGED (INSWING)	75 5/8" X 82 1/2"
6-0 X 6-8 FRENCH (INSWING)	75 1/4" X 82 1/2"
6-0 X 6-8 INSWING W/ 12" TRAN.	75 5/8" X 96"
6-0 X 6-8 FRENCH W/ 12" TRAN.	75 1/4" X 96"

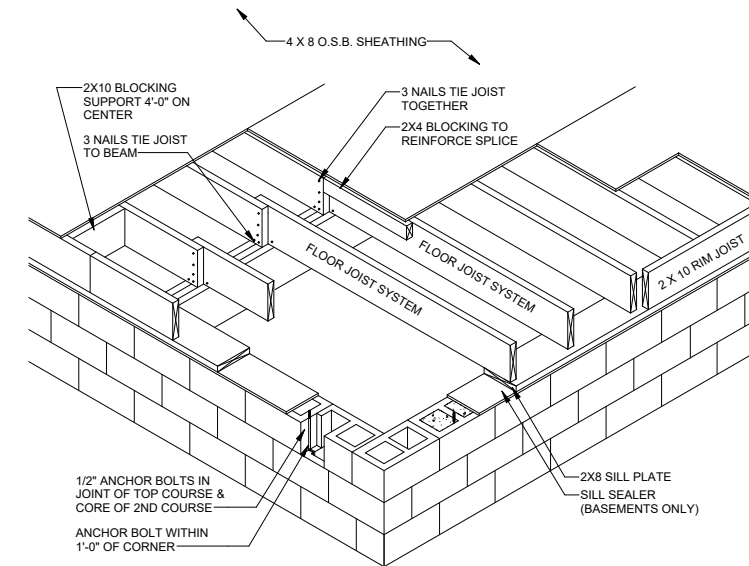
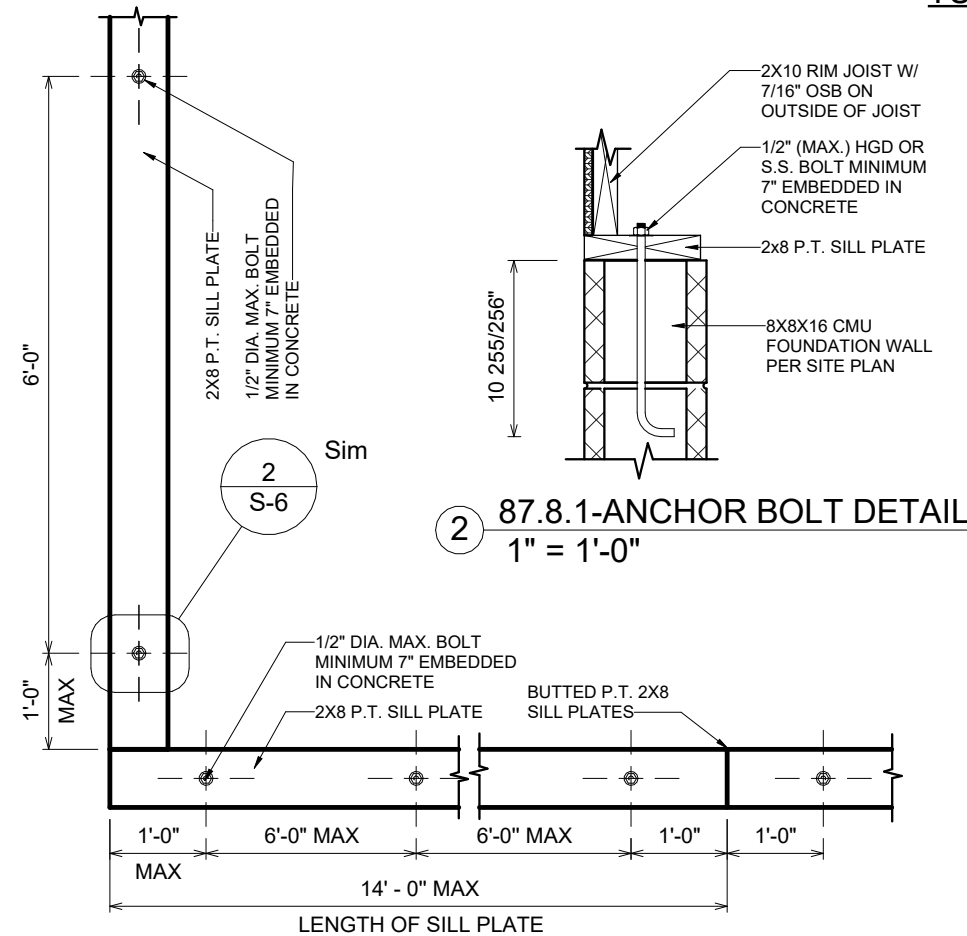
**SLIDING GLASS DOORS**

5-0 X 6-8 SLIDER	60 1/4" X 80 1/2"
6-0 X 6-8 SLIDER	72 1/4" X 80 1/2"

\*\*\* FOR OUTSWING DOORS, DEDUCT 1" FROM HEIGHT OF UNIT\*\*\*



**TUB DETAILS**



- GENERAL NOTES:**
- 1.) MINIMUM ALLOWABLE BEARING FOR FLOOR JOIST IS 1 1/2".
  - 2.) ALL REQUIRED NAILING PATTERNS ARE PER PRINT AND/OR SPECS.

**FLOOR FRAMING DETAIL**

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

REVISION SCHEDULE	REV #	DESCRIPTION	DATE
		1.734 SF	FIRST FLOOR HEATED
	1.178 SF	SECOND FLOOR HEATED	
	2.912 SF	FRONT PORCH	
	276 SF	GARAGE	
	533 SF	TOTAL UNDER ROOF	
	810 SF	REAR STOOP	
	3.722 SF	TOTAL UNCOVERED	
	28 SF		
	28 SF		

<b>AREAS:</b>	1.734 SF	1.178 SF	2.912 SF	276 SF	533 SF	810 SF	3.722 SF	28 SF	28 SF
---------------	----------	----------	----------	--------	--------	--------	----------	-------	-------

<b>THE:</b>	<b>WYNFIELD</b>
<b>FOR:</b>	<b>MEZA, FERNANDO &amp; KIM</b>
<b>ADDRESS:</b>	740 MCLEOD RD. BROADWAY, NC 27505
<b>OFFICE:</b>	FAYETTEVILLE
<b>OFFICE BY:</b>	A. VIRT

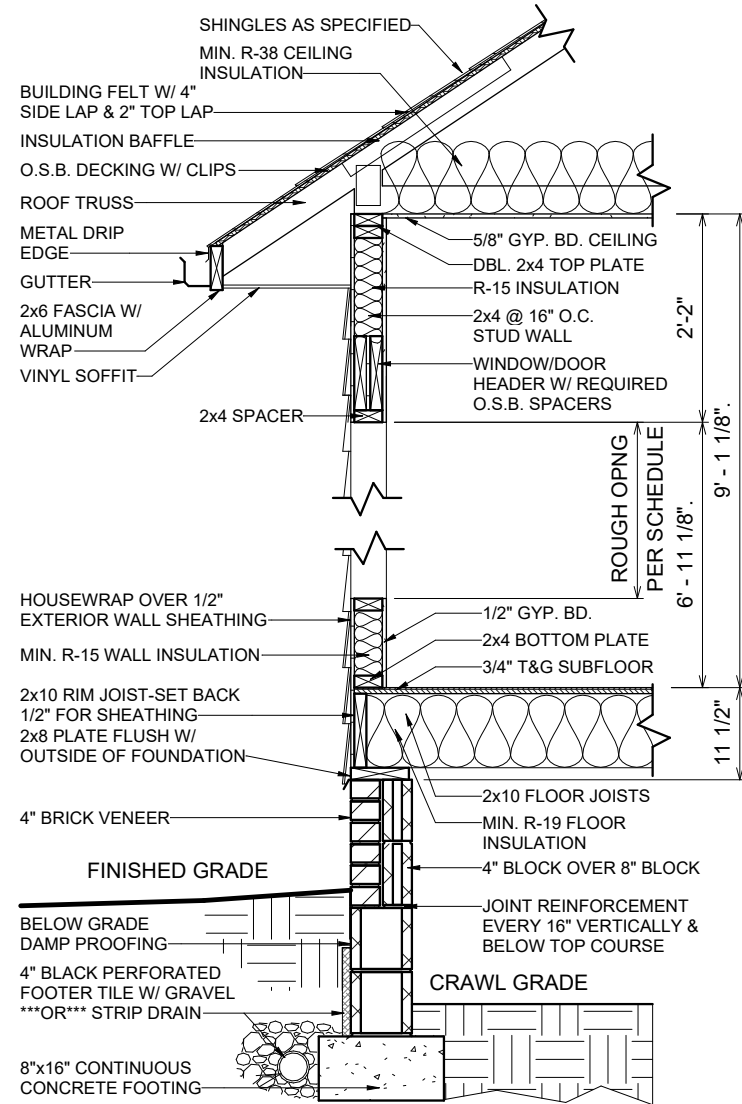
<b>JOB #:</b>	141-24-001
<b>FOUNDATION TYPE:</b>	CRAWLSPACE
<b>FOUNDATION:</b>	2x4 EXTERIOR WALLS

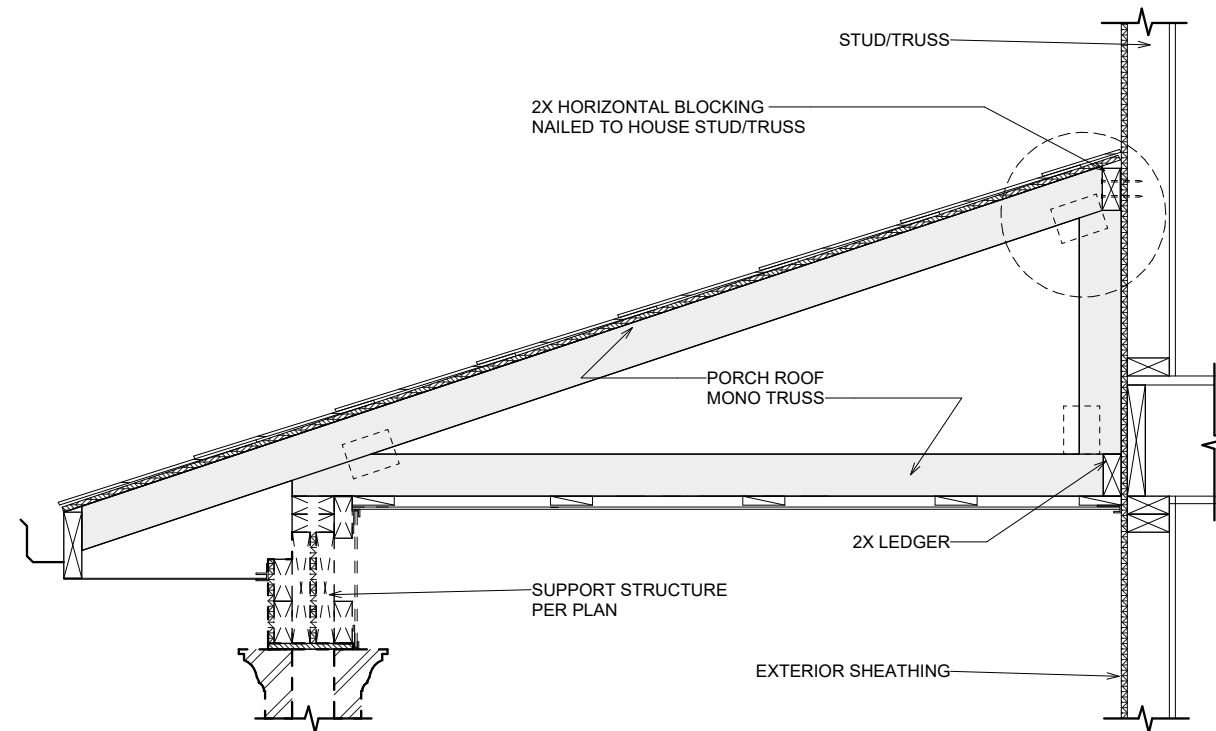
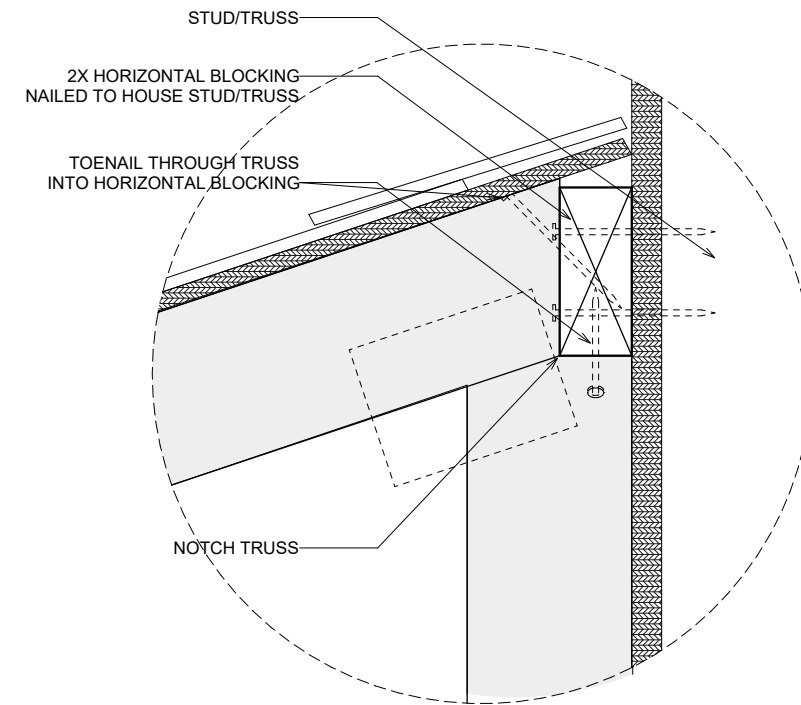
<b>DRAWN BY:</b>	D. VIVANCO
<b>CHECKED BY:</b>	JS
<b>PRINTED:</b>	4/9/2024 11:59:02 AM

<b>PROPERTY OF:</b>	AMERICA'S HOME PLACE
<b>SHEET #:</b>	S-6
<b>SCALE:</b>	As indicated
<b>FRAMING DETAILS</b>	



1 1 STORY-BRICK CRAWL W/2X4-SIDING-SECTION  
1/2" = 1'-0"



4 930-3c Porch Roof Truss Fastening Detail (Against House)  
3/4" = 1'-0"

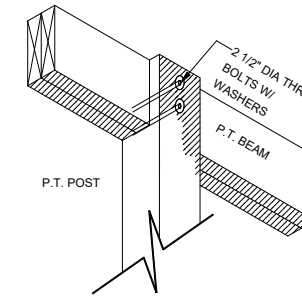
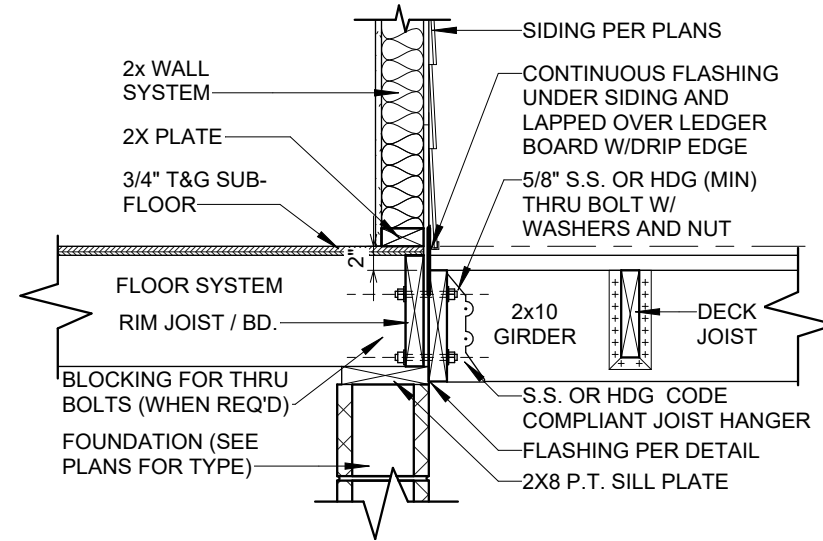
REVISION SCHEDULE		REV #	DESCRIPTION	DATE
AREAS:		1,734 SF	FIRST FLOOR HEATED	
		1,178 SF	SECOND FLOOR HEATED	
		2,912 SF	FRONT PORCH	
		276 SF	GARAGE	
		533 SF	TOTAL UNDER ROOF	
		810 SF	REAR STOOP	
		3,722 SF	TOTAL UNCOVERED	
		28 SF		
		28 SF		

THE:	WYNFIELD
FOR:	MEZA, FERNANDO & KIM
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT
JOB #:	141-24-001
FOUNDATION TYPE:	CRAWLSPACE
EXTERIOR WALLS:	2x4 EXTERIOR WALLS
PROPERTY OF:	AMERICA'S HOME PLACE
© COPYRIGHT:	2023
PRINTED:	4/9/2024 11:59:03 AM
CHECKED BY:	JS
DRAWN BY:	D. VIVANCO
SCALE:	As indicated
SHEET #:	S-7
DETAILS/SECTIONS:	

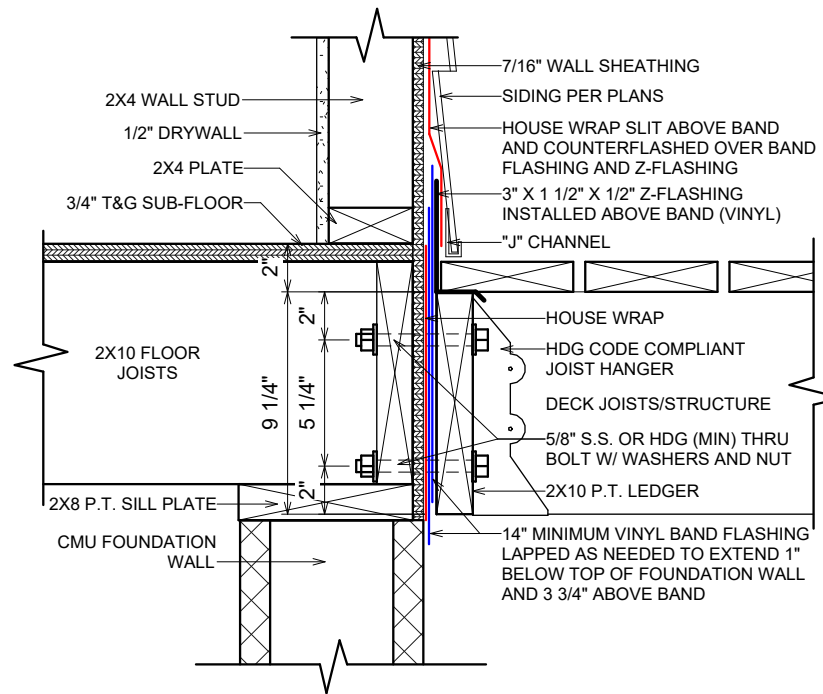
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS



**POST TO BEAM CONNECTION**

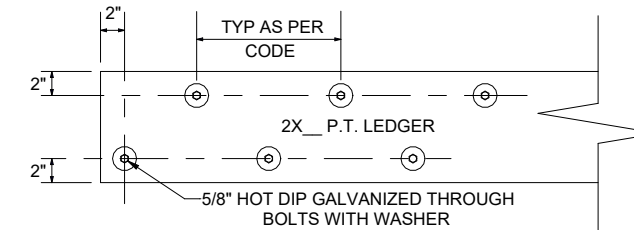
**2 87-0.6-DECK LEDGER CONNECTION**  
3/4" = 1'-0"



**1 87-480.2 PORCH LEDGER FLASHING**  
1 1/2" = 1'-0"

FASTENERS	8' MAX. JOIST SPAN	16' MAX. JOIST SPAN
5/8" HOT DIPPED GALV. BOLTS WITH NUT AND WASHER	1 @ 3'-6" O.C.	1 @ 1'-8" O.C.
AND	AND	AND
12 D COMMON HOT DIPPED GALV. NAILS	2 @ 8" O.C.	3 @ 6" O.C.

AM104.1.1 ALL STRUCTURES EXCEPT BRICK VENEER STRUCTURES



**LEDGER BOARD AND FASTENER DETAIL**

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	1,734 SF	1,178 SF	2,912 SF	276 SF	533 SF	810 SF	3,722 SF	28 SF	28 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
FRONT PORCH									
GARAGE									
TOTAL UNDER ROOF									
REAR STOOP									
TOTAL UNCOVERED									

THE:	<b>WYNFIELD</b>
FOR:	<b>MEZA, FERNANDO &amp; KIM</b>
ADDRESS:	740 MCLEOD RD. BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	A. VIRT

JOB #	<b>141-24-001</b>
FOUNDATION TYPE:	<b>CRAWLSPACE</b>
FOUNDATION TYPE:	<b>CRAWLSPACE</b>

DRAWN BY:	D. VIVANCO
CHECKED BY:	JS
PRINTED:	4/9/2024 11:59:04 AM

PROPERTY OF:	
SHEET #	<b>S-8</b>
SCALE:	As indicated

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**



# ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park  
Fayetteville, N.C. 28309  
Phone: (910) 864-8787  
Fax: (910) 864-4444

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables ( derived from the prescriptive Code requirements ) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature Bob Lewis  
**Bob Lewis**

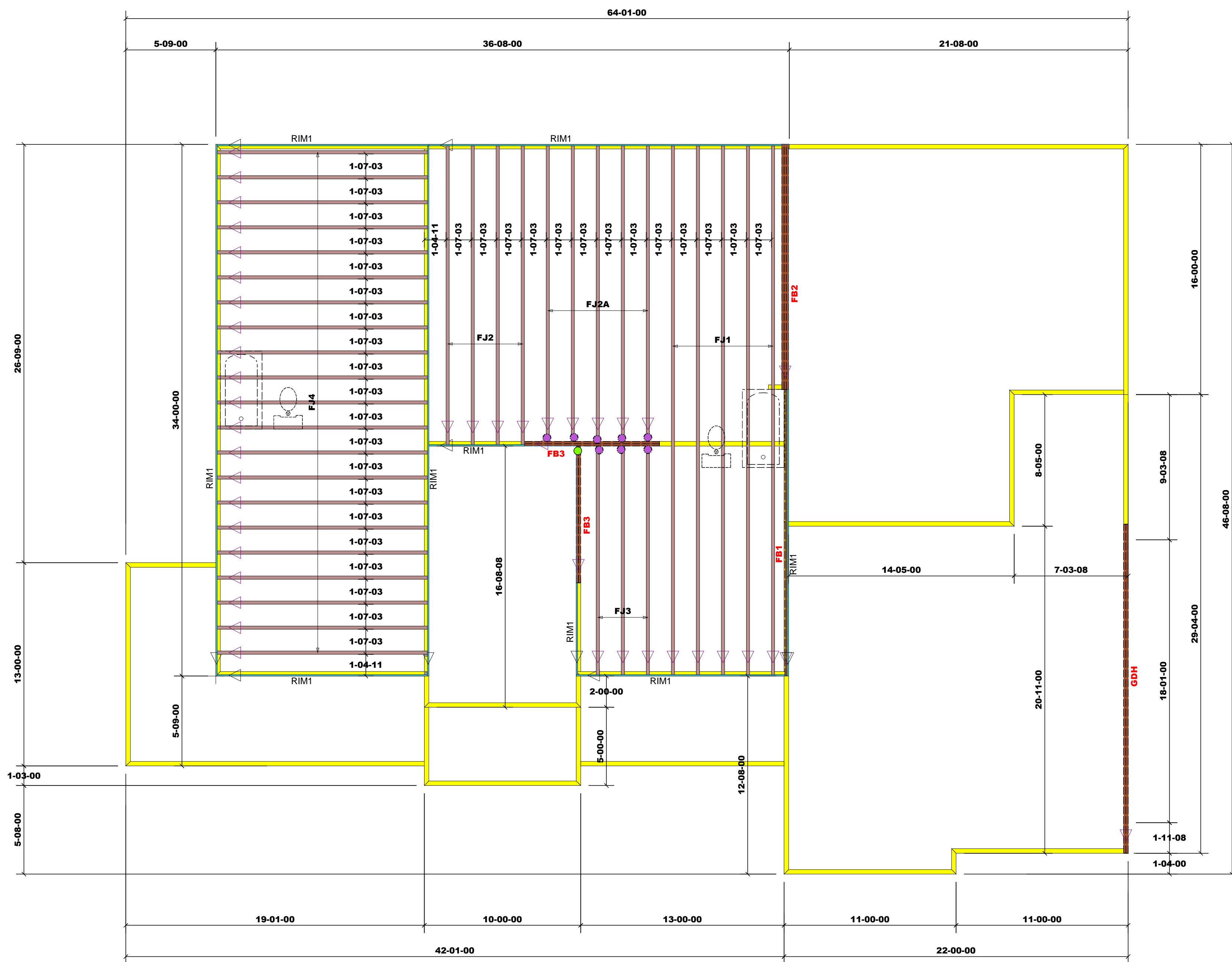
### LOAD CHART FOR JACK STUDS

(BASED ON TABLES R502.5(1) & (b))  
NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADER/GIRDER

END REACTION (UP TO)	REQ'D STUDS FOR (1) PLY HEADER	END REACTION (UP TO)	REQ'D STUDS FOR (1) PLY HEADER	END REACTION (UP TO)	REQ'D STUDS FOR (1) PLY HEADER
1700	1	2550	1	3400	1
3400	2	5100	2	6800	2
5100	3	7650	3	10200	3
6800	4	10200	4	13600	4
8500	5	12750	5	17000	5
10200	6	15300	6		
11900	7				
13600	8				
15300	9				

CITY / CO.	BROADWAY / HARNETT
ADDRESS	740 MCLEOD RD
MODEL	FLOOR NI-40 JOISTS
DATE REV.	03/29/24
DRAWN BY	Bob Lewis
SALES REP.	Bob Lewis

BUILDER	AMERICA'S HOME PLACE
JOB NAME	MEZA 14124001
PLAN	WYNFIELD
SEAL DATE	3.8.24
QUOTE #	Quote #
JOB #	J0324-1579



Roof Area = 3605.36 sq.ft.  
Ridge Line = 89.11 ft.  
Hip Line = 92.71 ft.  
Horiz. OH = 216.58 ft.  
Raked OH = 158.54 ft.  
Decking = 124 sheets

	IHF25112	USP	8	NA	10d/3"	10d/3"
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#### LVL BEAMS BY OTHERS

PlotID	Length	Product	Plies	Net Qty	Fab Type
FB1	19-00-00	1.75 X 11.875 Kerto-S LVL 2.0E	1	1	FF
FB2	16-00-00	1.75 X 11.875 Kerto-S LVL 2.0E	3	3	FF
FB3	9-00-00	1.75 X 11.875 Kerto-S LVL 2.0E	2	4	FF
GDH	22-00-00	1.75 X 18 Kerto-S LVL 2.0E	2	2	FF

#### P.E.T. NI-40 JOISTS

PlotID	Length	Product	Plies	Net Qty	Fab Type
FJ1	33-09-12	11 7/8" NI-40x	1	5	MFD
FJ2	19-01-04	11 7/8" NI-40x	1	4	MFD
FJ2A	18-10-14	11 7/8" NI-40x	1	5	MFD
FJ3	14-07-06	11 7/8" NI-40x	1	3	MFD
FJ4	13-05-04	11 7/8" NI-40x	1	21	MFD

#### RIMBOARD

PlotID	Length	Product	Plies	Net Qty	Fab Type
RIM1	12-00-00	1 1/8" x 11 7/8" Rim Board	1	15	FF

Truss Placement Plan  
SCALE: NTS

= Indicates Left End of Truss  
(Reference Engineered Truss Drawing)  
Do NOT Erect Truss Backwards

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSI-B1 and BCSI-B3 provided with the truss delivery package or online @ sbcindustry.com



**ROOF & FLOOR TRUSSES & BEAMS**

Reilly Road Industrial Park  
Fayetteville, N.C. 28309  
Phone: (910) 864-8787  
Fax: (910) 864-4444

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables ( derived from the prescriptive Code requirements ) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature Bob Lewis  
**Bob Lewis**

**LOAD CHART FOR JACK STUDS**

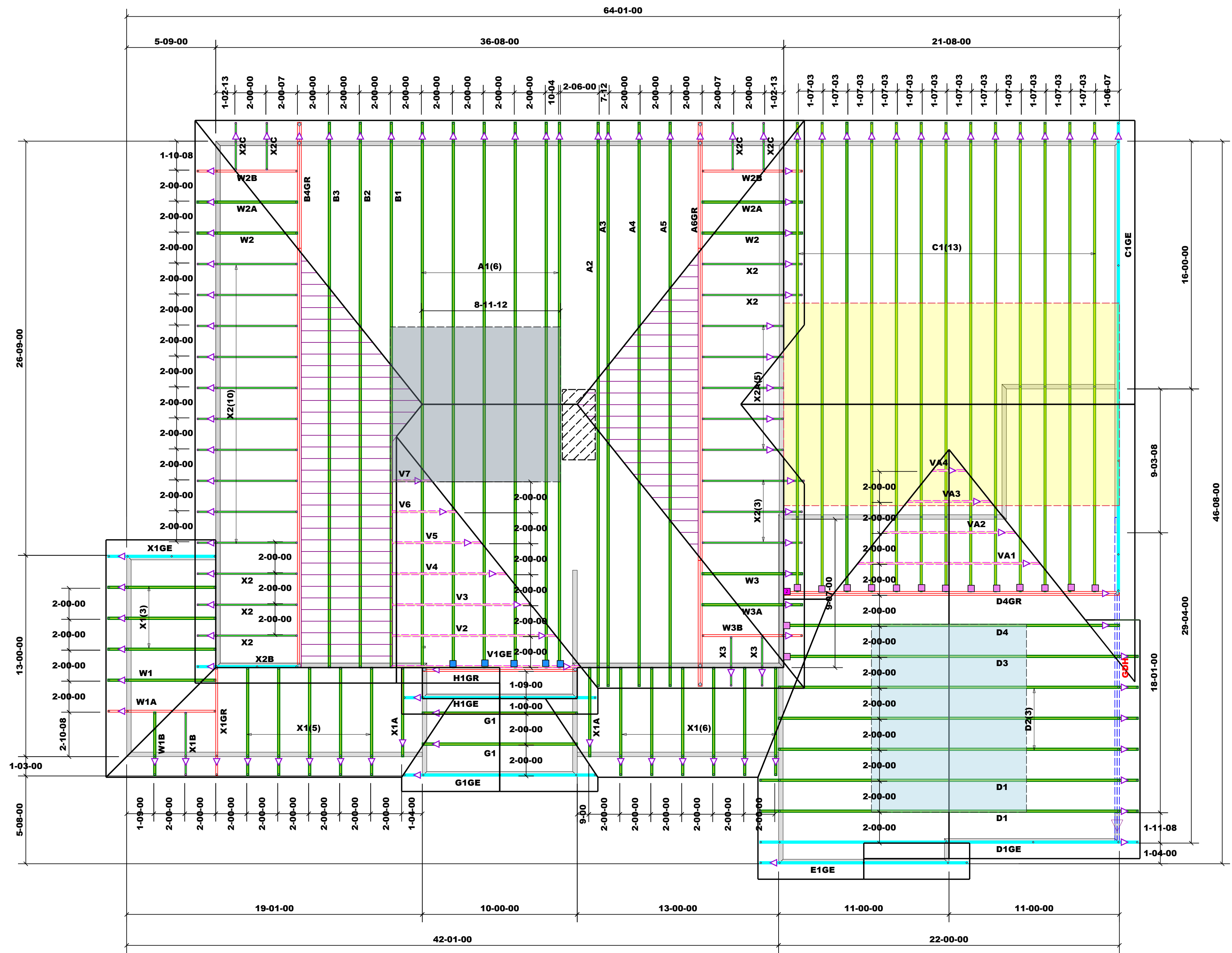
(BASED ON TABLES R502.5(1) & (b))  
NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADER/GIRDER

END REACTION (UP TO)	REQ. D. STUDS FOR (1) PLY HEADER	END REACTION (UP TO)	REQ. D. STUDS FOR (1) PLY HEADER	END REACTION (UP TO)	REQ. D. STUDS FOR (1) PLY HEADER
1700	1	2550	1	3400	1
3400	2	5100	2	5100	2
5100	3	7650	3	6800	2
6800	4	10200	4	10200	3
8500	5	12750	5	13600	4
10200	6	15300	6	17000	5
11900	7				
13600	8				
15300	9				

BUILDER	CITY / CO.	BROADWAY / HARNETT
AMERICA'S HOME PLACE		
JOB NAME	MEZA 14124001	ADDRESS
PLAN	WYNFIELD	MODEL
SEAL DATE	3.8.24	DATE REV.
QUOTE #	Quote #	DRAWN BY
JOB #	J0324-1578	SALES REP.

BUILDER	CITY / CO.	BROADWAY / HARNETT
AMERICA'S HOME PLACE		
JOB NAME	MEZA 14124001	ADDRESS
PLAN	WYNFIELD	MODEL
SEAL DATE	3.8.24	DATE REV.
QUOTE #	Quote #	DRAWN BY
JOB #	J0324-1578	SALES REP.

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSI-B1 and BCSI-B3 provided with the truss delivery package or online @ sbcindustry.com

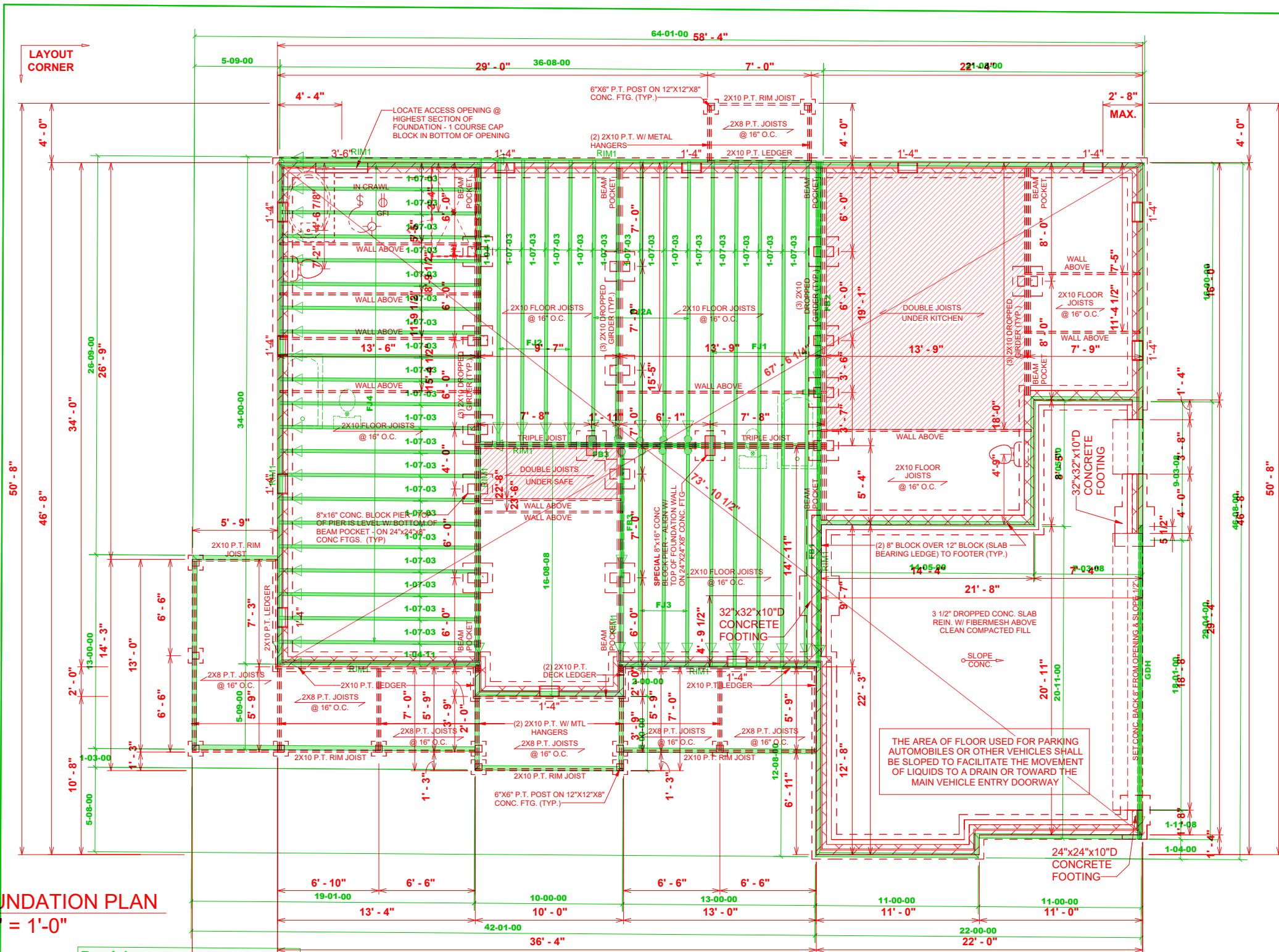


Roof Area = 3605.36 sq.ft.  
Ridge Line = 89.11 ft.  
Hip Line = 92.71 ft.  
Horiz. OH = 216.58 ft.  
Raked OH = 158.54 ft.  
Decking = 124 sheets

2	THDH210-2	USP	1	Varies	16d/3-1/2"	16d/3-1/2"
	HUS28	USP	15		16d/3-1/2"	16d/3-1/2"
	HUS26	USP	5	NA	16d/3-1/2"	16d/3-1/2"

**Truss Placement Plan**  
SCALE: NTS

**▲** = Indicates Left End of Truss  
(Reference Engineered Truss Drawing)  
**Do NOT Erect Truss Backwards**



**1 FOUNDATION PLAN**  
1/8" = 1'-0"

Roof Area = 3605.36 sq.ft.  
Ridge Line = 89.11 ft.  
Hip Line = 92.71 ft.  
Horiz. OH = 216.58 ft.  
Raked OH = 158.54 ft.  
Decking = 124 sheets

PlotID	Length	Product	Plies	Net Qty	Fab Type
IHF25112	USP	8	NA	10d/3"	10d/3" 58' - 4"

LVL BEAMS BY OTHERS					
PlotID	Length	Product	Plies	Net Qty	Fab Type
FB1	19-00-00	1.75 X 11.875 Kerto-S LVL 2.0E	1	1	FF
FB2	16-00-00	1.75 X 11.875 Kerto-S LVL 2.0E	3	3	FF
FB3	9-00-00	1.75 X 11.875 Kerto-S LVL 2.0E	2	4	FF

P.E.T. NI-40 JOISTS					
PlotID	Length	Product	Plies	Net Qty	Fab Type
FJ1	33-09-12	11 7/8" NI-40x	1	5	MFD
FJ2	19-01-04	11 7/8" NI-40x	1	4	MFD
FJ2A	18-10-14	11 7/8" NI-40x	1	5	MFD
FJ3	14-07-06	11 7/8" NI-40x	1	3	MFD
FJ4	13-05-04	11 7/8" NI-40x	1	21	MFD

RIMBOARD					
PlotID	Length	Product	Plies	Net Qty	Fab Type
RIM1	12-00-00	1 1/8" x 11 7/8" Rim Board	1	15	EF



**ROOF & FLOOR TRUSSES & BEAMS**  
Reilly Road Industrial Park  
Fayetteville, N.C. 28309  
Max. 150' x 60' x 14' 8"

- FOUNDATION NOTES:**
- TYPICAL FOUNDATION WALL: (2) 8" BRICK W/ 4" BLOCK ON (2) 8" BASE BLOCK - ON TOP OF 16" x 8" POURED CONCRETE FOOTING
  - CRAWL SPACE ACCESS TO BE 42" WIDE UNDER FLOOR NEAR ACCESS
  - ADD LIGHT AND SWITCH UNDER FLOOR NEAR ACCESS
  - CRAWL SPACE VENT & ACCESS DIMENSIONS ARE APPROXIMATE, VENTS & ACCESSES SHOULD BE LOCATED WITHIN CONCRETE BLOCKS, DO NOT LOCATE UNDER BEAMS OR ANY OTHER STRUCTURAL LOCATIONS
  - VENTS SHOULD BE INSTALLED PER LOCAL CODE
  - ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
  - NOTCH SILL PLATE AROUND DROPPED BEAM
  - FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
  - POLY REQ'D IN CRAWL
  - GRAVEL REQ'D UNDER GARAGE SLAB
  - POLY REQ'D UNDER GARAGE SLAB
  - ADDITIONAL FLOORING SUPPORT FOR SAFE ROOM

AREAS:	REVISION SCHEDULE
FIRST FLOOR HEATED	1,734 SF
SECOND FLOOR HEATED	1,178 SF
FRONT PORCH	2,912 SF
GARAGE	533 SF
TOTAL UNDER ROOF	810 SF
REAR STOOP	28 SF
TOTAL UNCOVERED	28 SF

CITY / CO.	ADDRESS	MODEL	DATE REV.	DRAWN BY	SALES REP.
AMERICA'S HOME PLACE	MEZA 14124001	WYNFIELD	3.8.24	Quote #	J0324-1579

BLDGR	JOB NAME	PLAN	DATE	QUOTE #	JOB #
AMERICA'S HOME PLACE	MEZA 14124001	WYNFIELD	3.8.24	Quote #	J0324-1579

DRAWN BY:	CHECKED BY:	PRINTED:
D. VIVANCO	JS	4/9/2024 11:58:54 AM

PROPERTY OF:	JOB #	THE:	FOR:	FOUNDATION TYPE:
AMERICA'S HOME PLACE	141-24-001	WYNFIELD	MEZA, FERNANDO & KIM	CRAWLSPACE

SCALE: 1/8" = 1'-0"

Truss Placement Plan  
SCALE: NTS

FINAL CONSTRUCTION PLANS

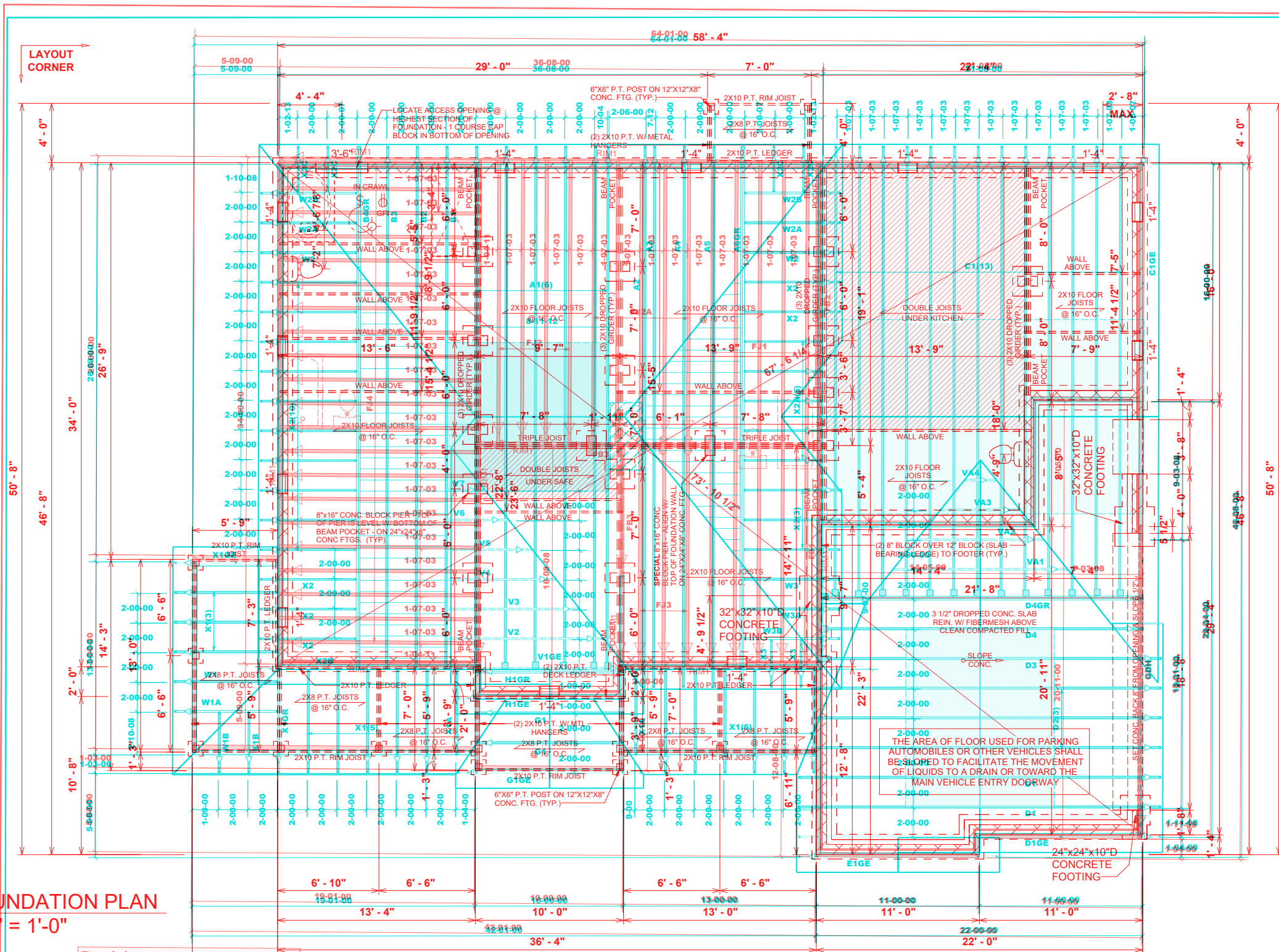
Indicates Left End of Truss  
(Reference Engineered Truss Drawing)

REVISION SCHEDULE	REV #	DESCRIPTION	DATE
	1,734 SF		
	1,178 SF		
	2,912 SF		
	533 SF		
	810 SF		
	28 SF		
	28 SF		

**WYNFIELD**  
**MEZA, FERNANDO & KIM**  
740 MCLEOD RD.  
BROADWAY, NC 27505  
OFFICE: FAYETTEVILLE

**F-1**

FOUNDATION PLAN



1 FOUNDATION PLAN  
1/8" = 1'-0"

Roof Area	3605.36 sq. ft.
Ridge Line	89.11 ft.
Hip Line	92.71 ft.
Horiz. OH	216.58 ft.
Raked OH	158.54 ft.
Decking	124 sheets

PlotID	Length	Product	Piles	Net Qty	Fab Type
IHF25112	USP	8	NA	10d/3"	10d/3" 58' - 4"
THDH210-2	USP	1	Varies	16d/3-1/2"	16d/3-1/2" 64' - 1"
HUS28	USP	15		16d/3-1/2"	16d/3-1/2"
HUS26	USP	5	NA	16d/3-1/2"	16d/3-1/2"

PlotID	Length	Product	Piles	Net Qty	Fab Type
FB1	19-00-00	1.75 X 11.875 Kerto-S LVL 2.0E	1	1	FF
FB2	16-00-00	1.75 X 11.875 Kerto-S LVL 2.0E	3	3	FF
FB3	9-00-00	1.75 X 11.875 Kerto-S LVL 2.0E	2	4	FF

PlotID	Length	Product	Piles	Net Qty	Fab Type
FJ1	33-09-12	11 7/8" NI-40x	1	5	MFD
FJ2	19-01-04	11 7/8" NI-40x	1	4	MFD
FJ2A	18-10-14	11 7/8" NI-40x	1	5	MFD
FJ3	14-07-06	11 7/8" NI-40x	1	3	MFD
FJ4	13-05-04	11 7/8" NI-40x	1	21	MFD

PlotID	Length	Product	Piles	Net Qty	Fab Type
RIM1	12-00-00	1 1/8" x 11 7/8" Rim Board	1	15	FF

**comTECH**  
ROOF & FLOOR TRUSSES & BEAMS  
Fayetteville, N.C. 28309  
Phone: (910) 864-8787

**comTECH**  
ROOF & FLOOR TRUSSES & BEAMS  
Reilly Road Industrial Park  
Fayetteville, N.C. 28309  
Phone: (910) 864-8787

- FOUNDATION NOTES:**
- TYPICAL FOUNDATION WALL: (2'-8") 4" BRICK W/ 4" BLOCK ON (2) 8" BASE BLOCK - ON TOP OF 16" x 8" POURED CONCRETE FOOTING
  - CRAWL SPACE ACCESS TO BE 42" WIDE
  - ADD LIGHT AND SWITCH UNDER FLOOR NEAR ACCESS
  - CRAWL SPACE VENT & ACCESS DIMENSIONS ARE APPROXIMATE. VENTS & ACCESSES SHOULD BE LOCATED WITHIN CONCRETE BLOCKS, DO NOT LOCATE UNDER BEAMS OR ANY OTHER STRUCTURAL LOCATIONS
  - VENTS SHOULD BE INSTALLED PER LOCAL CODES
  - ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
  - NOTCH SILL PLATE AROUND DROPPED BEAM
  - FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
  - POLY REQ'D IN CRAWL
  - GRAVEL REQ'D UNDER GARAGE SLAB
  - POLY REQ'D UNDER GARAGE SLAB
  - ADDITIONAL FLOORING SUPPORT FOR SAFE ROOM

CITY / CO.	ADDRESS	MODEL	DATE REV.	DRAWN BY	SALES REP.
BROADWAY / HARNETT	740 MCLEOD RD	ROOF	03/29/24	Bob Lewis	Bob Lewis

CITY / CO.	ADDRESS	MODEL	DATE REV.	DRAWN BY	SALES REP.
BROADWAY / HARNETT	740 MCLEOD RD	FLOOR NI-40 JOISTS	03/29/24	Bob Lewis	Bob Lewis

BUILDER	JOB NAME	PLAN	SEAL DATE	QUOTE #	JOB #
AMERICA'S HOME PLACE	MEZA 14124001	WYNFIELD	3.8.24	J0324-1578	J0324-1578

BUILDER	JOB NAME	PLAN	SEAL DATE	QUOTE #	JOB #
AMERICA'S HOME PLACE	MEZA 14124001	WYNFIELD	3.8.24	J0324-1579	J0324-1579

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system for the overall structure. The design of the truss support structure including headers, beams, walls and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSI-B1 and BCSI-B3 provided with the truss delivery package or contact the manufacturer.

**FINAL CONSTRUCTION PLANS**

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REVISION SCHEDULE	REV #	DESCRIPTION	DATE
	1.734 SF	FIRST FLOOR HEATED	
	1.178 SF	SECOND FLOOR HEATED	
	2.912 SF	FRONT PORCH	
	276 SF	GARAGE	
	533 SF	TOTAL UNDER ROOF	
	810 SF	REAR STOOP	
	3,722 SF	TOTAL UNCOVERED	
	28 SF		
	28 SF		

**AREAS:**

**WYNFIELD**  
**FOR: MEZA, FERNANDO & KIM**  
740 MCLEOD RD.  
BROADWAY, NC 27505

**THE:** WYNFIELD  
**FOR:** MEZA, FERNANDO & KIM  
740 MCLEOD RD  
FLOOR NI-40 JOISTS  
03/29/24  
Bob Lewis  
Bob Lewis

**JOB #:** 141-24-001  
**FOUNDATION TYPE:** CRAWLSPACE

**OFFICE:** FAYETTEVILLE

**SCALE:** 1/8" = 1'-0"

**PROPERTY OF:** AMERICA'S HOME PLACE

**DATE:** 4/9/2024 11:58:54 AM

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**FOUNDATION PLAN**