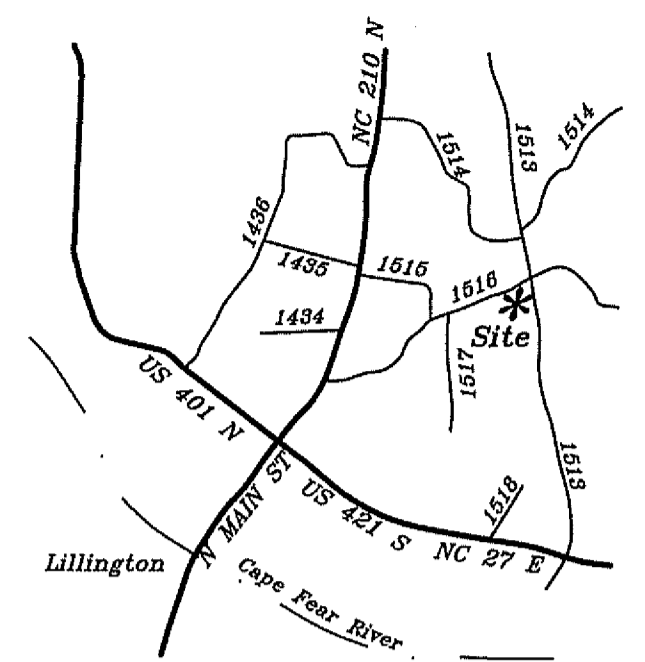
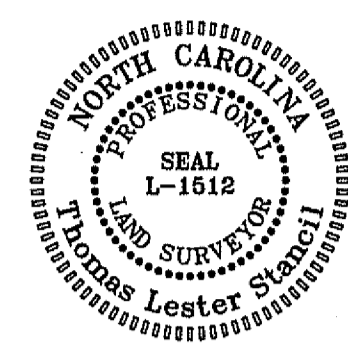


Submitted electronically by "Lester Stancil and Associates, P.L.S., PA" in compliance with North Carolina statutes governing recordable documents and the terms of the submitter's agreement with the Harnett County Register of Deeds.

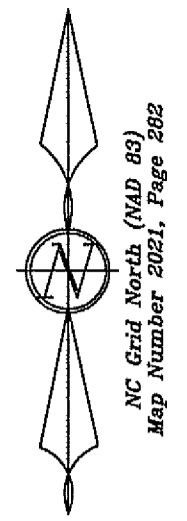


VICINITY MAP  
Not to Scale

I, Thomas Lester Stancil, certify that this plat was drawn under my supervision from (an actual survey made under my supervision) (deed description recorded in Book See Page Ref., etc.) (other); that the boundaries not surveyed are shown clearly indicated as drawn from information found in references as shown hereon; that the ratio of precision as calculated is 1:10000+; that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, registration number and seal this the 19th day of August, A.D. 2021.



Surveyor  
L-1512  
License Number  
I hereby certify that this survey creates a subdivision of land within the area of Harnett County, NC, which has an ordinance that regulates parcels of land.  
Thomas Lester Stancil, P.L.S.



FEMA FLOOD HAZARD STATEMENT  
Property shown on this plat is located within Zone "X" of the FEMA Flood Hazard Map and not in any Flood Hazard Area  
FEMA map No. 3720066000J  
Effective Date: 10/3/2006

NOTE:  
A 10' x 70' Sight Triangle shall be placed at all street intersections as shown hereon.

- Legend: Lines Surveyed, Lines Not Surveyed, Tie or Adjoining Lines, Right of Way Lines, EIP/EIS, ECM, EPK, EMN, MNS, ISS, EGS, RRS, CP, AG, BFG, HOA, etc.

IMPERVIOUS AREA CALCULATIONS:  
TRACT AREA: 774,407 SF  
IMPERVIOUS AREA ALLOWED: 24% MAX (LOW DENSITY)  
774,407 SF X 0.24=185,658 SF MAXIMUM ALLOWABLE IMPERVIOUS

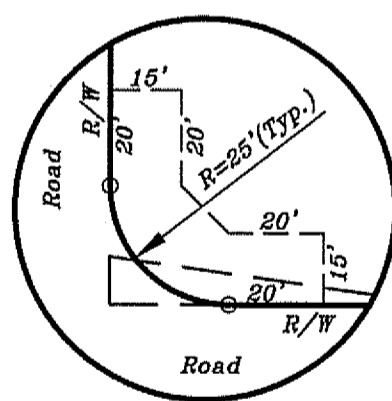
IMPERVIOUS AREA BY DESIGN  
29,939 SF ASPHALT  
155,100 SF (7.050 SF/LOT MAX IMPERVIOUS X 22 LOTS)  
185,039 SF TOTAL IMPERVIOUS BY DESIGN (23.9%)

See Sheet Two of Two for additional seals, signatures, statements, references, notes, certifications, tables etc...

Harnett County Minimum Building Setback Requirements  
RA-20R, RA-20M, RA-30 & RA-40

FRONT: 35' from R/W  
REAR: 25'  
SIDE: 10'  
CORNER LOT SIDE: 20'

- Notes: Iron Stakes set at all property corners unless noted otherwise. Areas determined by coordinate method. All distances/dimensions are Horizontal ground distances unless otherwise indicated.



Typical Sign Easement  
No Scale  
Note: A 10' x 70' Sight Triangle takes precedence over sign easement.

Antonio Petruzzo  
Mariana Hoffman  
Deed Book 2775, Page 280  
Map Number 2003-139

HLM Legacy Partnership, LLC  
Deed Book 4169, Page 29  
Map Number 2022-601

Richard V. McCalister  
Deed Book 3145, Page 376

Sign must be located a minimum of 20 feet from the intersection of the road right-of-way.

Matthew S. Willis Register of Deeds  
Harnett County, NC  
Electronically Recorded  
10/09/2023 11:54:46 AM NC Rev Stamp: \$0.00  
Book: 2023 Page: 520 - 521 (2) Fee: \$42.00  
Instrument Number: 2023017037

- SFR JV-HD Property, LLC D B 4161, Page 1719
- Ty Matthew Bumgardner Melody S. Bumgardner D B 3713, Page 397
- Romans I-16, LLC D B 4011, Page 582
- Richard Bradley Sheffield D B 3711, Page 925
- Piera Jill Bobrowski Trustee of the Tomkinson Keystone Irrevocable Trust D B 3823, Page 434
- Christopher D. Hemeyer Jessica Daniels Hemeyer D B 3782, Page 933
- Ross H. Carroll Hannah G. Carroll D B 3634, Page 340
- Brandon C. Anderson Katherine Y. Anderson D B 3763, Page 999
- Charles T. Nichols Georgia K. Nichols D B 3651, Page 708

South Creek of Harnett County Homeowners Association  
Deed Book 3711, Page 131  
Map Number 2018-274 to 2018-277

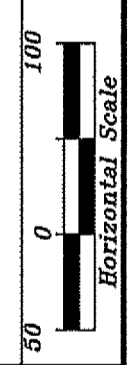
References  
Deed Book 4169, Page 29 (Title to HLM Legacy)  
Map Number 2021-282  
Map Number 2022-601  
Others as shown and/or noted hereon

Table with 3 columns: Course, Bearing, Distance. Lists 29 courses with bearings and distances.

STANCIL & ASSOCIATES, Professional Land Surveyor, P.A. C-0831  
98 East Depot Street, P. O. Box 730, Angier, N.C. 27501  
Phone: 919-639-2133 Fax: 919-639-2602

Owned by, Surveyed and Mapped for:  
HLM Legacy Partnership, LLC  
10305 Penny Road Raleigh, NC 27603 919-868-3586

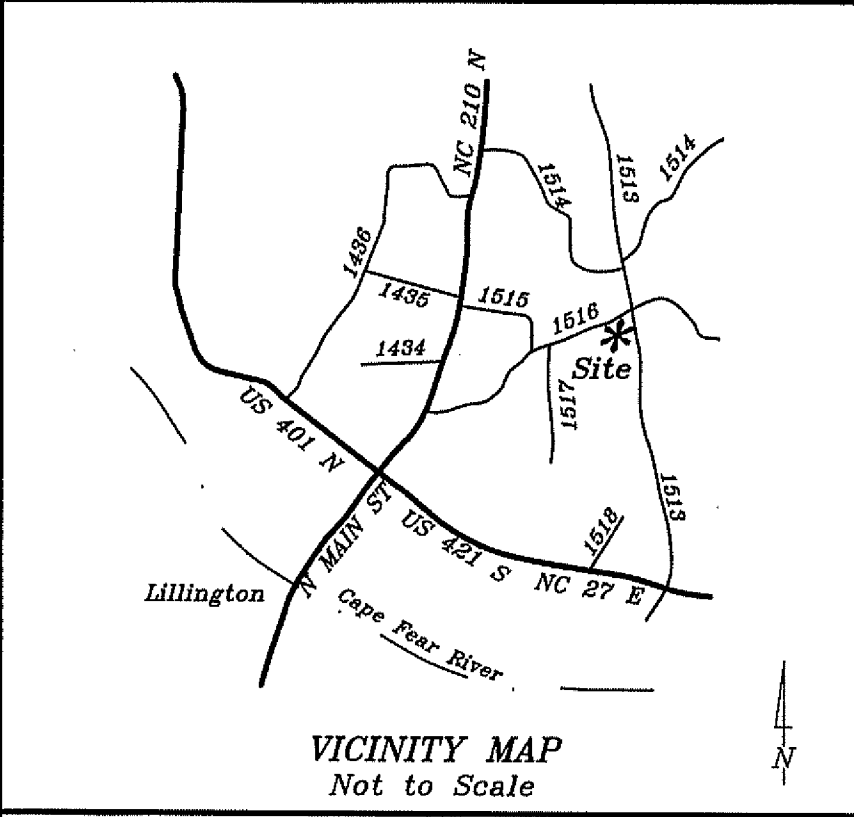
Revisions:  
Stake Lots November 2022  
Final Plats February 2023  
Partial Water As built 8-10-23  
Relocated Powerlines 8-10-23  
Remove Road, Add DR 8-23-23  
Add Water as Built 8-23-23  
DRB Comments 9-21-2023



Sheet One of Two  
Heritage at Neill's Creek

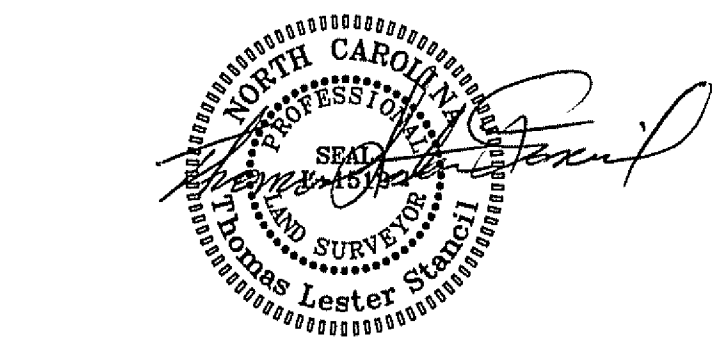
TOWNSHIP: NEILL'S CREEK COUNTY: HARNETT  
STATE: NORTH CAROLINA PID: 110661 0055  
ZONE: RA-30 PIN: 0661-72-0302.000

DATE: 8-19-2021 SURVEYED BY: TF  
SCALE: 1" = 100' DRAWN BY: PAN  
FIELD BOOK LHCN1267.cgt  
CHECKED & CLOSURE BY: LHCN-1267A

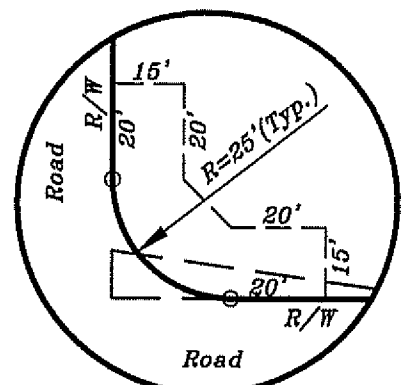


LEGEND: Lines Surveyed, Lines Not Surveyed, Tie or Adjoining Lines, Right of Way Lines, etc.

N.C.G.S. North Carolina Geodetic Survey NAD 27 North American Datum of 1927 NAD 83 North American Datum of 1983



See Sheet One of Two for additional seals, signatures, statements, references, notes, certifications, tables etc...



Typical Sign Easement No Scale Note: A 10' x 70' Sight Triangle takes precedence over sign easement.

Sign must be located a minimum of 20 feet from the intersection of the road right-of-way.

Certificate of Ownership and Dedication I (we) hereby certify that I am (we are) the owner(s) or agent of the property shown and described hereon...

10/2/2023 Date DocuSigned by: Bryant Montague Owner

Public Plat Dedication All roads in this subdivision are hereby declared public. The maintenance of all streets and roads in this subdivision shall be the responsibility of HLM Legacy Partnership, LLC...

10/2/2023 Date DocuSigned by: Bryant Montague Owner

Stormwater Certificate I (we) hereby certify that stormwater conveyance and control measures have been completed in accordance with the approved plans and specifications...

10/2/2023 Date DocuSigned by: Michele Temple Review Officer

State of North Carolina County of Harnett Michele W Temple Review Officer 10/9/2023 Date

State of North Carolina County of Harnett Meade O. Bradshaw, III Development Review Board Chairman 10/6/2023 Date

FEMA FLOOD HAZARD STATEMENT Property shown on this plat is located within Zone 'X' of the FEMA Flood Hazard Map and not in any Flood Hazard Area FEMA map No. 372006800J Effective Date: 10/3/2006

NOTE: A 10' x 70' Sight Triangle shall be placed at all street intersections as shown hereon.

DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS PROPOSED SUBDIVISION ROAD DESIGN STANDARDS CERTIFICATION

APPROVED Cec R. Hines Sr PE DISTRICT ENGINEER DATE: 9-26-2023

ONLY NCDOT APPROVED STRUCTURES ARE TO BE CONSTRUCTED ON PUBLIC RIGHT-OF-WAY ALL LOTS SHALL BE SERVED BY THE INTERNAL STREET SYSTEM ONLY.

THE 10' X 70' SIGHT TRIANGLES TAKES PRECEDENCE OVER ANY SIGN EASEMENTS.

NOTE: ALL DRAINAGE EASEMENTS SHALL BE DEDICATED AS PUBLIC AND IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS TO MAINTAIN THE DRAINAGE EASEMENTS AND ANY DRAINAGE STRUCTURES THEREIN...

A 15' CONSTRUCTION EASEMENT SHALL BE RESERVED ON BOTH SIDES OF ALL PROPOSED STREETS.

THE OWNER, DEVELOPER, OR CONTRACTOR SHALL SET THE CENTERLINE OF THE EXISTING ROADWAY DITCH BACK TO A MINIMUM OF 12 FEET FROM THE EXISTING PROPOSED EDGE OF PAVEMENT ALONG ALL ROAD FRONT LOTS.

Table with columns: Curve, Radius, Length, Delta, Chord, Chord Bear. Lists curves C-1 through C-29 with their respective dimensions.

Site Data and Notes

See Harnett County Project Number SUB 2107-0025 and SUB 2308-002 Property shown hereon is located in a Watershed District IV-P. Property shown hereon is located in Medium Density Residential Future Land Use No lot shown hereon shall have direct access to SR 1516 (Old Coats Road) or SR 1513 (Neill's Creek Road) 17.778 Ac. Net In Subdivision 1.553 Ac. Net in Proposed Road R/W NO Open Space Required 22 Lots planned in Development = 1.2 DUA All lots are limited to 7050 sq. ft. of impervious surface Minimum lot size = 0.576 Ac. or 25,100 sq. ft. Maximum lot size = 2.064 Ac. or 89,931 sq. ft. Average lot size = 0.738 Ac. or 32,125 sq. ft. Minimum required lot width @ R/W on Cul-de-sac = 40.00' Minimum required lot width @ R/W = 100.00' Approximately 559 linear feet in Whistling Way Approximately 611 linear feet in Eagle Crest Court Approximately 1170 linear feet in ALL Streets All streets shown hereon are to be 50' Public Dedicated R/W and 50' Utility Easements. All construction shall be in accordance with Harnett County and/or NC DOT Standards. All lots shall be served by Harnett County Water and individual on-site septic systems. Any public utilities NOT located in the 50' Utility Easements shall have a public dedicated easement on the recorded plats. All Drainage easements are to be permanent & public. Fire Hydrants and Street Lights shall be installed per Harnett County Regulations. This development is within one mile of a Voluntary Agricultural District. NO WETLANDS exist within the subdivision. See report by Alex Adams, a NC LSS dated 9-24-2021 and being project #1267. Signs must be located a minimum of 20 feet from the intersection of the road right-of-way. Sidewalks, street trees, streetscape buffer, mailbox kiosk, sign easements, pedestrian trail, etc... shall be maintained by the Home Owners Association ("HOA"), Property Owners Association, ("POA"), Condominium Owner's Association ("COA"), or any other association responsible for the maintenance and/or upkeep of the residential community. Maintenance shall be enforced by the restrictive covenants. Sidewalk, street trees, or streetscape buffers that are damaged or removed by Harnett County/ Department of Public Utilities/Harnett Regional Water or its representatives, agents, contractors as a result of repair/maintenance of the public water and/or sewer line will be replaced or repaired by the Home Owners Association ("HOA"), Property Owners Association, ("POA"), Condominium Owner's Association ("COA") or any other association responsible for the maintenance and/or upkeep of the residential community. Foundation survey to be submitted to Harnett County upon completed construction of the foundation on lots that are equal to or less than 0.574 Ac. or 25,000 sq. ft.

Sheet Two of Two Heritage at Neill's Creek

STANCIL & ASSOCIATES, Professional Land Surveyor, P.A. C-0831 98 East Depot Street, P. O. Box 730, Angier, N.C. 27501 Phone: 919-639-2133 Fax: 919-639-2602

Owned by, Surveyed and Mapped for: HLM Legacy Partnership, LLC 10305 Penny Road Raleigh, NC 27603 919-868-3566

Revisions: Stakes Laid November 2022 Final Plats February 2023 DRB Comments 9-21-2023

