

REVISION LOG	
REVISION:001	DATE: 9-27-23
1. CHANGE THE KNEEWALL HEIGHT 4'-4" TO MATCH THE TRUSS DESIGN FOR SECOND FLOOR A.	
REVISION:002	DATE: 10-13-23
2. HANOVER WALK-THROUGH CHANGES FOR FIRST FLOOR.	

Lot 14 - Heritage at Neills Creek

85 Whistling Way
Lillington, NC 27546

Redlines completed 16-May

The Guilford Traditional - RH



Traditional Elevation B



ARCHITECTURAL DRAWINGS	
Sheet No.	Sheet Description
0.0	Cover Sheet
1.0	Foundation (Slab)
1.0.1	Foundation (Crawl)
2.0	First Floor Plan
2.1	First Floor Plan Options
2.2	Second Floor Plan
2.3	Optional Second Floor Plan
3.0	Front & Rear Elevations (Slab)
3.0.1	Front & Rear Elevations (Crawl)
3.1	Side Elevations (Slab)
3.1.1	Side Elevations (Crawl)
3.2	Elevation Options (Slab)
3.2.1	Elevation Options (Crawl)
3.3	Elevation Options (Slab)
3.3.1	Elevation Options (Crawl)
3.4	Elevations For Optional Second Floor (Crawl)
3.4.1	Elevations For Optional Second Floor (Slab)
4.0	Roof Plan
4.0.1	Roof Plan for Optional Second Floor
5.0	First Floor Electrical
5.1	First Floor Options Electrical

SQUARE FOOTAGE		
	'TRADITIONAL' ELEVATION	
	UNHEATED	HEATED
FIRST FLOOR	0	1536
SECOND FLOOR A	0	793
FRONT PORCH	37	0
EQUIPMENT ROOM	59	0
REAR PATIO/DECK	144	0
2 CAR GARAGE	394	0
SUBTOTALS	634	2329
TOTAL UNDER ROOF	2963	
OPTIONS		
	UNHEATED S.F.	HEATED S.F.
OPTIONAL CAFE/OFFICE	0	+144
OPTIONAL REAR COV. PATIO/DECK W/ OPT. CAFE/OFFICE	+193	0
SECOND FLOOR B	0	+43
ALTERNATE SECOND FLOOR A	1100	1195
ALTERNATE SECOND FLOOR B	1100	217
ALT. 2ND FL POCKET OFFICE	70	170

Total Heated: 2,516
Total Unheated: 683

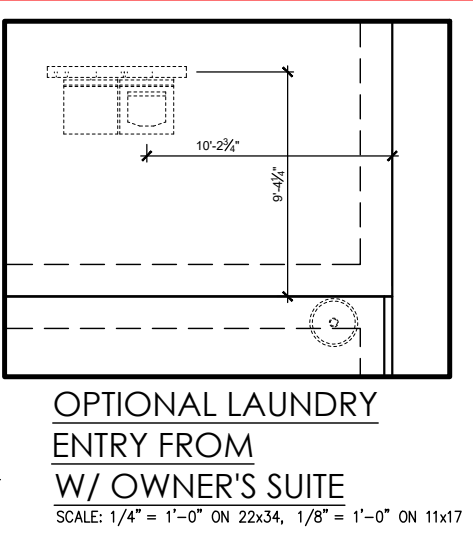
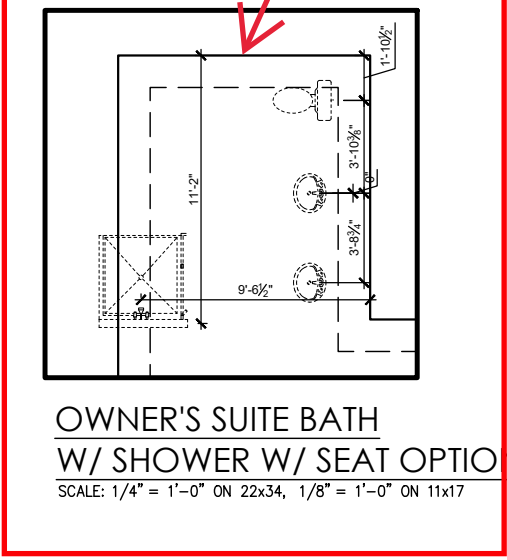
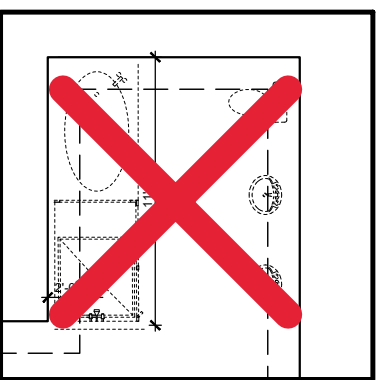
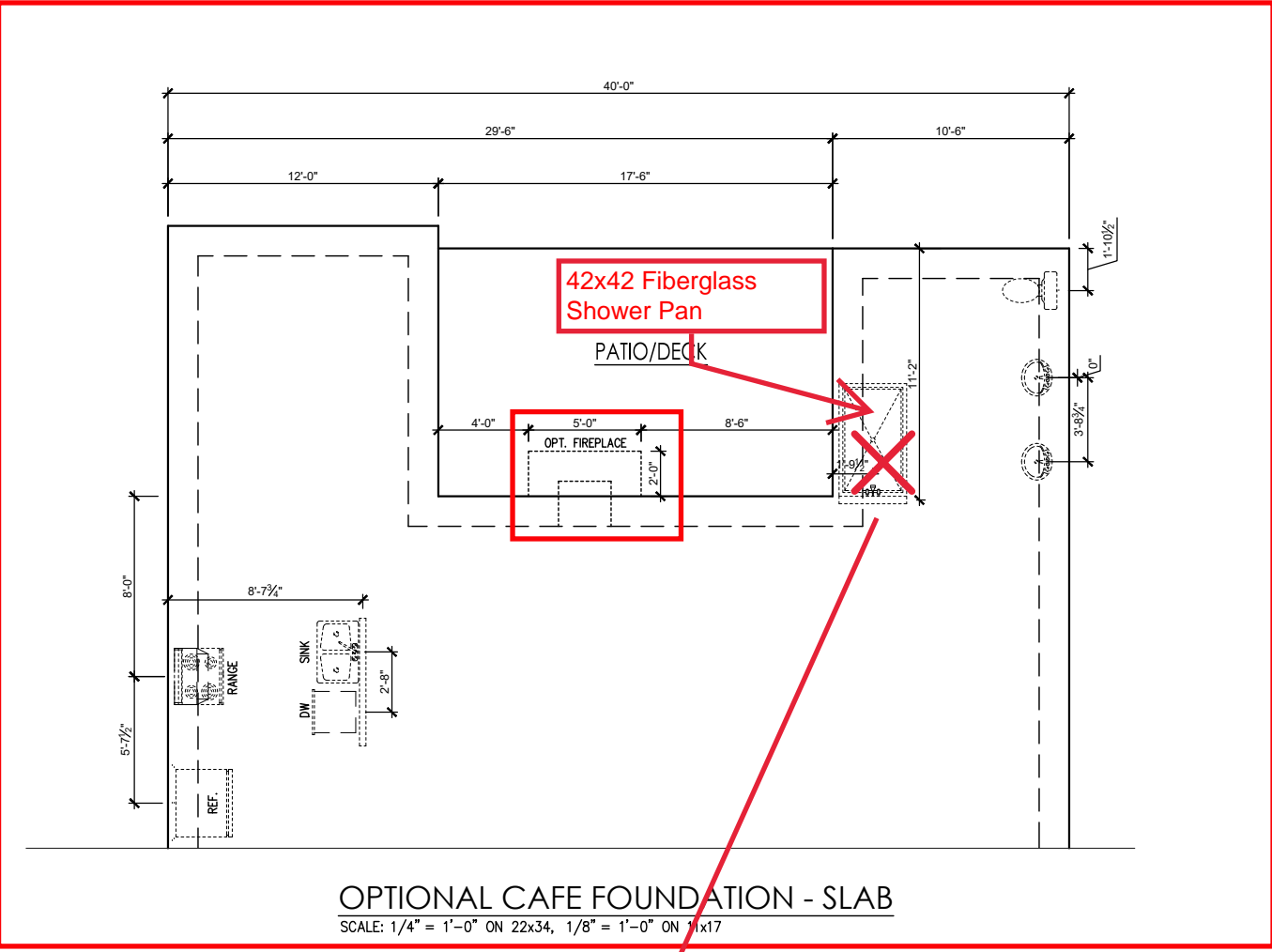
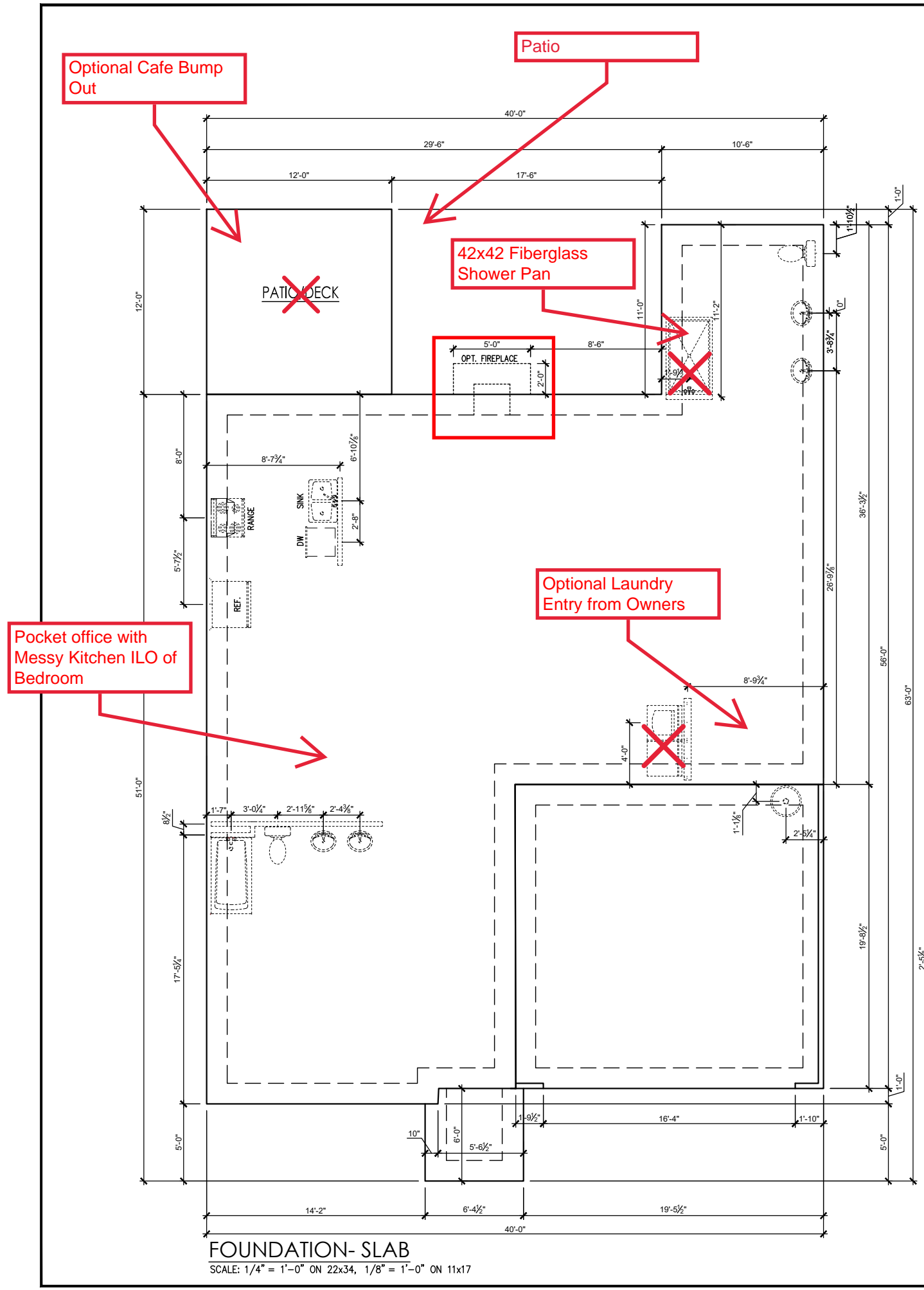
DESIGN CRITERIA:

THIS PLAN IS TO BE BUILT IN CONFORMANCE WITH THE 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE
DIMENSIONS SHALL GOVERN OVER SCALE, AND CODE SHALL GOVERN OVER DIMENSIONS.

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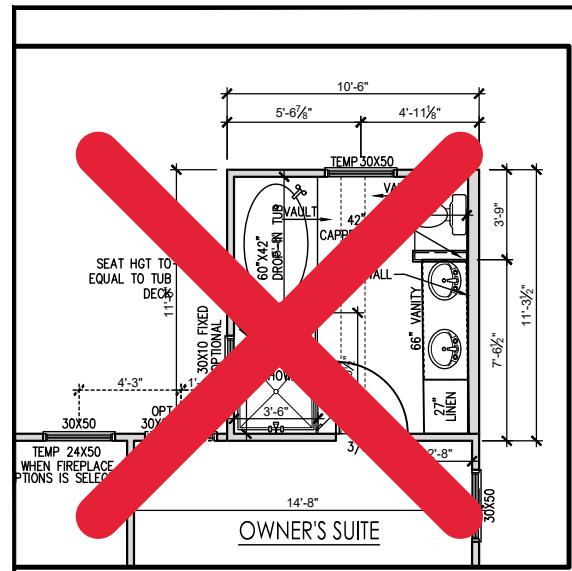
THE GUILFORD - RH
Cover - Traditional

DRAWN BY:
New Home Inc. - Jennifer Jones
ISSUE DATE:
07-25-2023
CURRENT REVISION DATE:
09-27-2023
SCALE:
1/8" = 1'-0"
SHEET
0.0

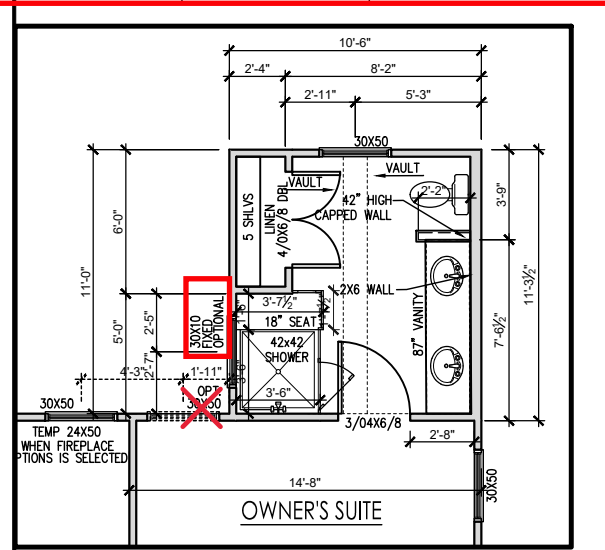


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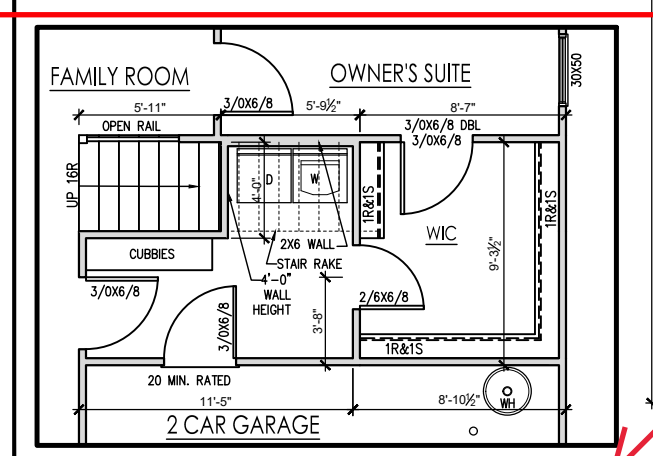
THE GUILFORD - RH
Foundation - Traditional (Slab)



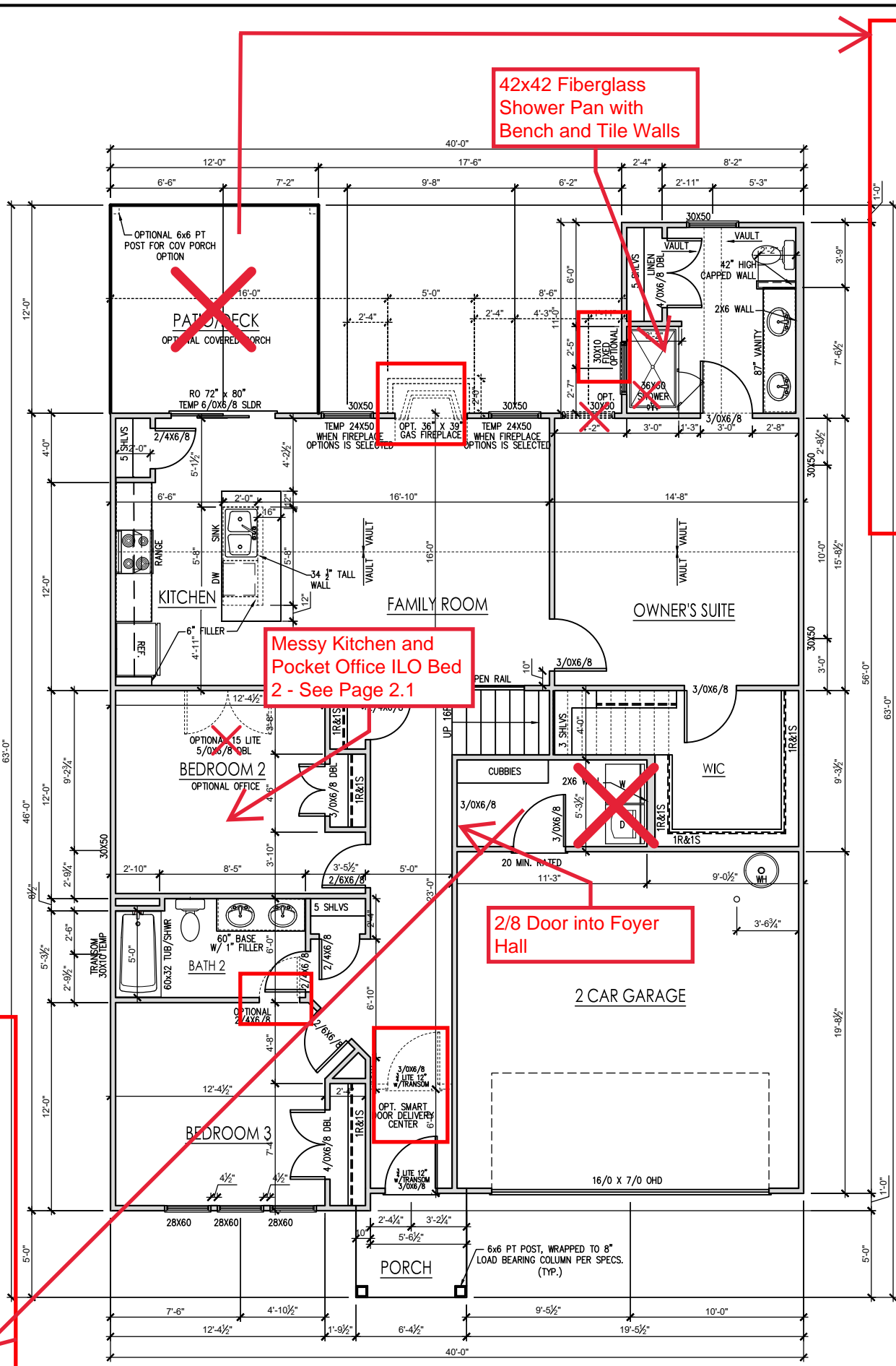
OWNER'S SUITE BATH WITH TUB OPTION
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



OWNER'S SUITE BATH W/ SHOWER W/ SEAT OPTION
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



OPTIONAL LAUNDRY ENTRY FROM OWNER'S SUITE
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

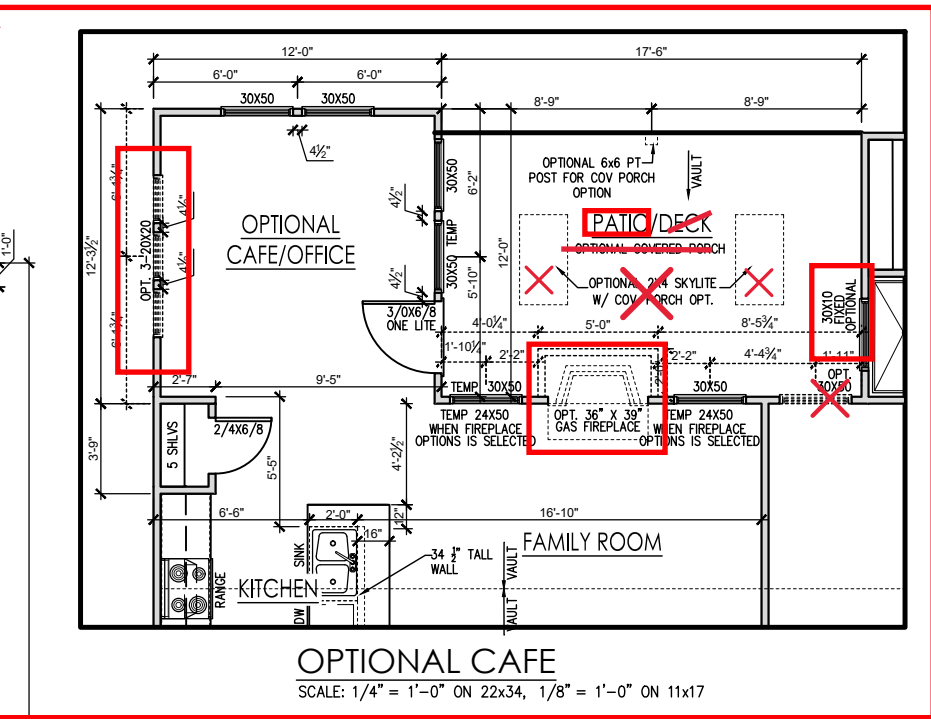


42x42 Fiberglass Shower Pan with Bench and Tile Walls

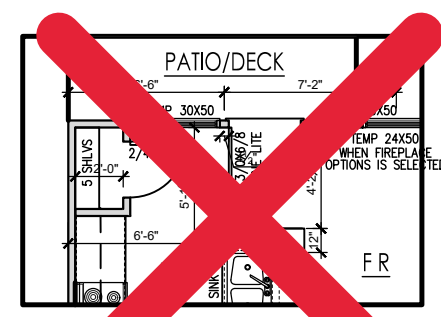
Messy Kitchen and Pocket Office ILO Bed 2 - See Page 2.1

2/8 Door into Foyer Hall

FIRST FLOOR PLAN - TRADITIONAL
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



OPTIONAL CAFE
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

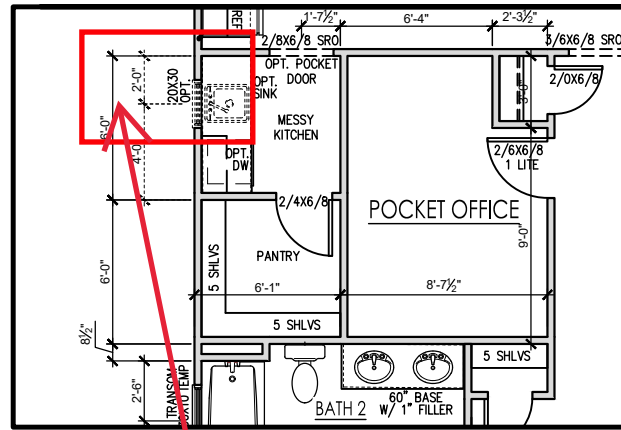


OPTIONAL PATIO DOOR AND WINDOW AT KITCHEN
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

GENERAL FLOOR PLAN NOTES

GENERAL FLOOR PLAN NOTES SHALL APPLY UNLESS NOTED OTHERWISE ON PLAN.

1. WALL HEIGHTS: TYPICALLY 9'-1 1/2" AT FIRST FLOOR AND SECOND FLOOR, AND 9'-1 1/2" AT ATTICS UNL.O. ALL WALLS ARE CONSTRUCTED USING A DOUBLE TOP PLATE. SPLICES AT DOUBLE TOP PLATE DO NOT NEED TO OCCUR AT VERTICAL STUDS BUT MUST BE AT LEAST 24" APART FROM JOINT IN OTHER TOP PLATE LAYER. SPECIAL WALL HEIGHTS ARE NOTED ON PLANS WHERE THEY OCCUR.
2. WALL THICKNESS IS TYPICALLY 3 1/2". 2X6 FRAME SHALL BE USED AT WALLS THAT BACK UP TO PLUMBING FIXTURES. WALLS GREATER THAN 10' HIGH SHALL BE FRAMED WITH 2X6 FRAMING OR GREATER AND WILL BE NOTED AS A SPECIAL CONDITION WHERE IT OCCURS ON PLAN.
3. TYPICAL HEADER HEIGHT SHALL BE 7'-8" AFF AT FIRST FLOOR, AND 7'-4" AFF AT SECOND FLOOR UNL.O.
4. JACKS: OPENINGS UP TO 3'-4" WIDE SHALL HAVE (1) 2X4 JACK STUD SPF ON EACH SIDE. OPENINGS GREATER THAN 3'-4" WIDE SHALL HAVE (2) 2X4 JACK STUDS SPF ON EACH SIDE.
5. SOFFITS, COFFERED CEILINGS, TREY CEILINGS AND OTHER SIGNIFICANT CEILING PLAN ELEMENTS ARE SHOWN ON THE FLOOR PLANS AND ARE DENOTED AS SINGLE DASHED LINES. UNLESS SPECIFICALLY CALL OUT AS INCLUDED, KITCHENS DO NOT INCLUDE SOFFITS OVER WALL CABINERY.
6. DOOR AND WINDOW FRAMES, WHERE OCCURRING NEAR CORNERS, SHALL BE A MINIMUM OF 4 1/2" FROM CORNER. EXCEPT FOR WALK-IN CLOSETS WITH DOORS NEAR A CORNER, DOORS AT CLOSETS SHALL BE CENTERED ON CLOSET.
7. WINDOWS: SHALL HAVE AT LEAST (1) WINDOW IN EACH SLEEPING ROOM, THAT MEETS EGRESS. SHALL BE PROVIDED WITH TEMPERED GLASS AT HAZARDOUS GLAZING AREAS. FALSE WINDOWS SHALL BE INSTALLED WITH OBSCURE GLAZING.
8. CLOSETS FOR CLOTHING OR COAT STORAGE SHALL BE EQUIPPED WITH 1 ROD/SHELF. CLOSETS FOR LINEN SHALL HAVE 4 OPEN EQUAL SHELVES. CLOSETS FOR PANTRIES SHALL HAVE 4 EQUAL WOOD SHELVES, PAINTED.
9. STAIR TREADS SHALL BE A MIN OF 9" DEEP. RISERS SHALL BE A MAXIMUM OF 8 1/4", UNLESS NOTED OTHERWISE, PER THE CURRENT NORTH CAROLINA RESIDENTIAL CODE
10. HANDRAILS AND GUARDS AT STAIRS SHALL BE 34" ABOVE THE FINISHED SURFACE OF THE RAMP SURFACE OF THE STAIR. HANDRAILS AT LANDINGS AND OVERLOOKS OF MULTILEVEL SPACES SHALL BE 36" ABOVE FINISHED FLOOR. GUARDS (PICKETS OR BALLUSTERS) SHALL BE SPACED WITH NO MORE THAN 4" BETWEEN GUARDS.
11. ATTIC ACCESS SHALL BE PROVIDED AT ALL ATTIC AREA WITH A HEIGHT GREATER THAN 30". MINIMUM CLEAR ATTIC ACCESS SHALL BE 20" X 30". PULL DOWN STAIRS AND ACCESS DOORS IN KNEE WALLS MEETING MINIMUM CRITERIA ARE ALSO ACCEPTABLE.
12. GARAGE DOOR TO LIVING SPACE SHALL BE 2'-8" X 6'-8" MINIMUM SIZE AND SHALL BE 20 MINUTE FIRE RATED AND WEATHER SEALED.
13. GARAGE WALLS, AS A MINIMUM, SHALL BE SEPARATED FROM LIVING SPACE BY INSTALLING 1/2" GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL. WITH HABITABLE SPACE ABOVE, THE INSIDE OF ALL GARAGE WALLS REQUIRE 1/2" GWB SUPPORTING 5/8" TYPE "X" GWB ON CEILING.



OPTIONAL POCKET OFFICE, MESSY KITCHEN & POWER PANTRY

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

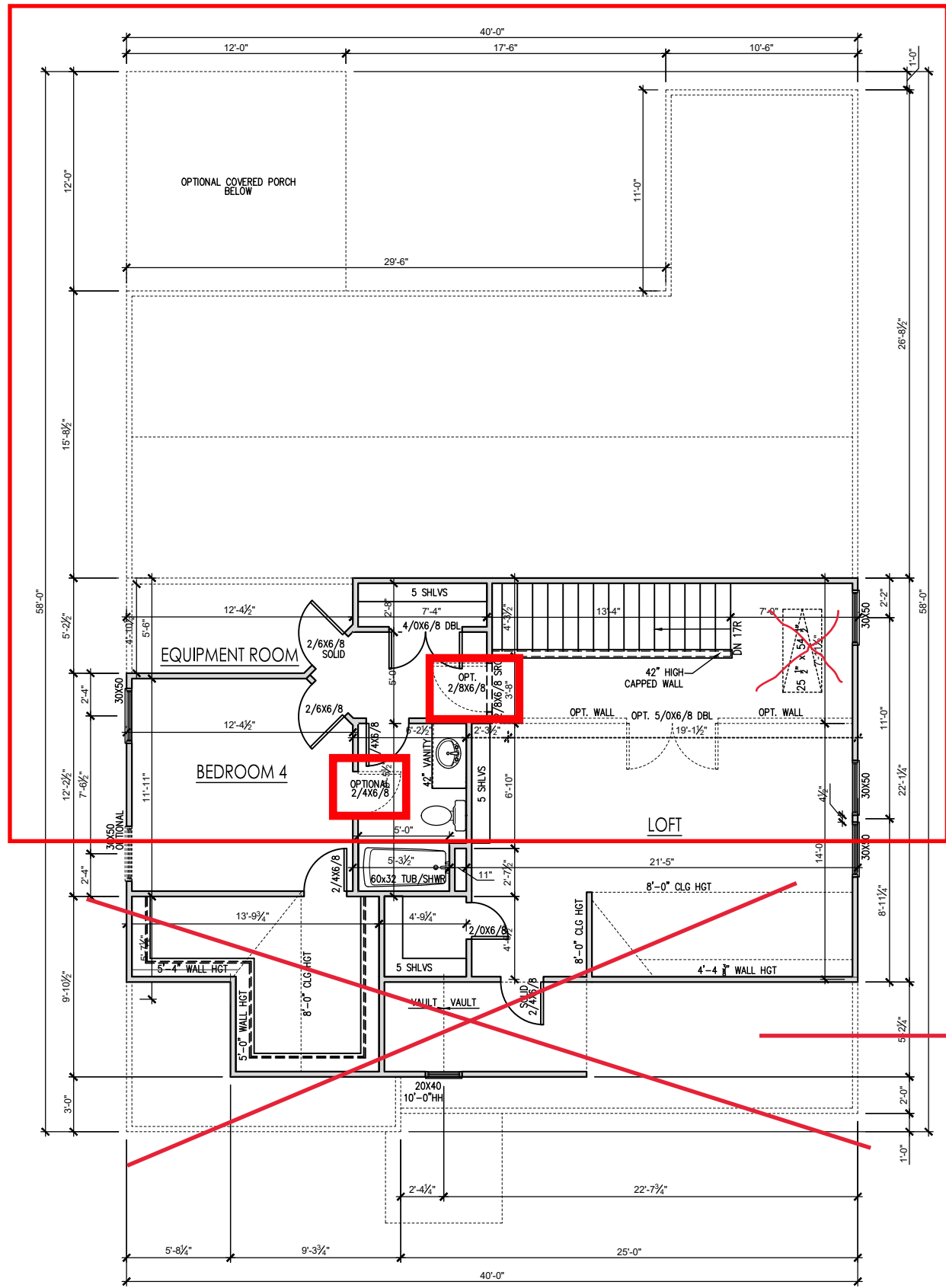
Sink and Window for Messy Kitchen

GENERAL FLOOR PLAN NOTES

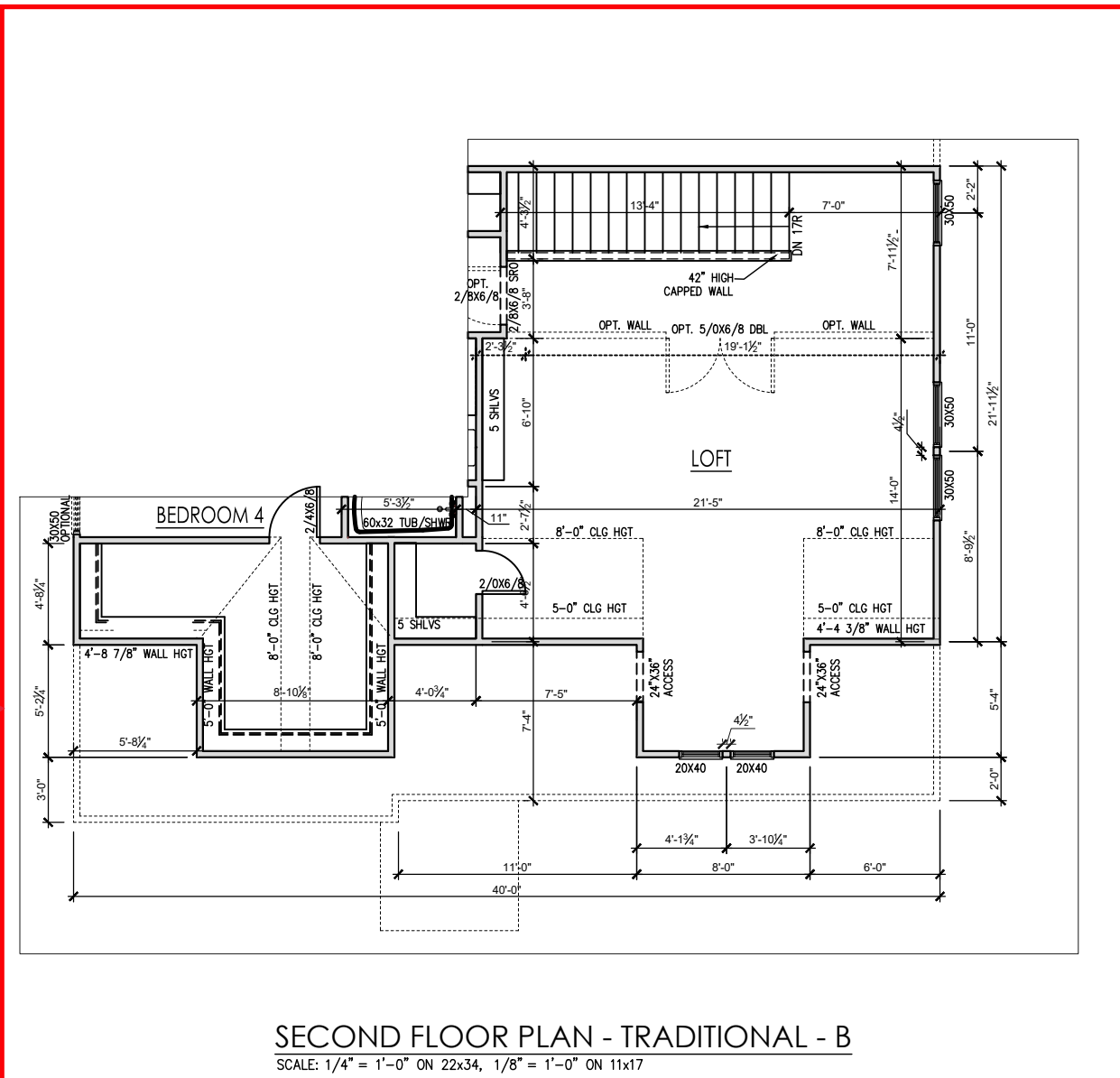
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REV.#	DESCRIPTION	DATE
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SECOND FLOOR PLAN - TRADITIONAL - A
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



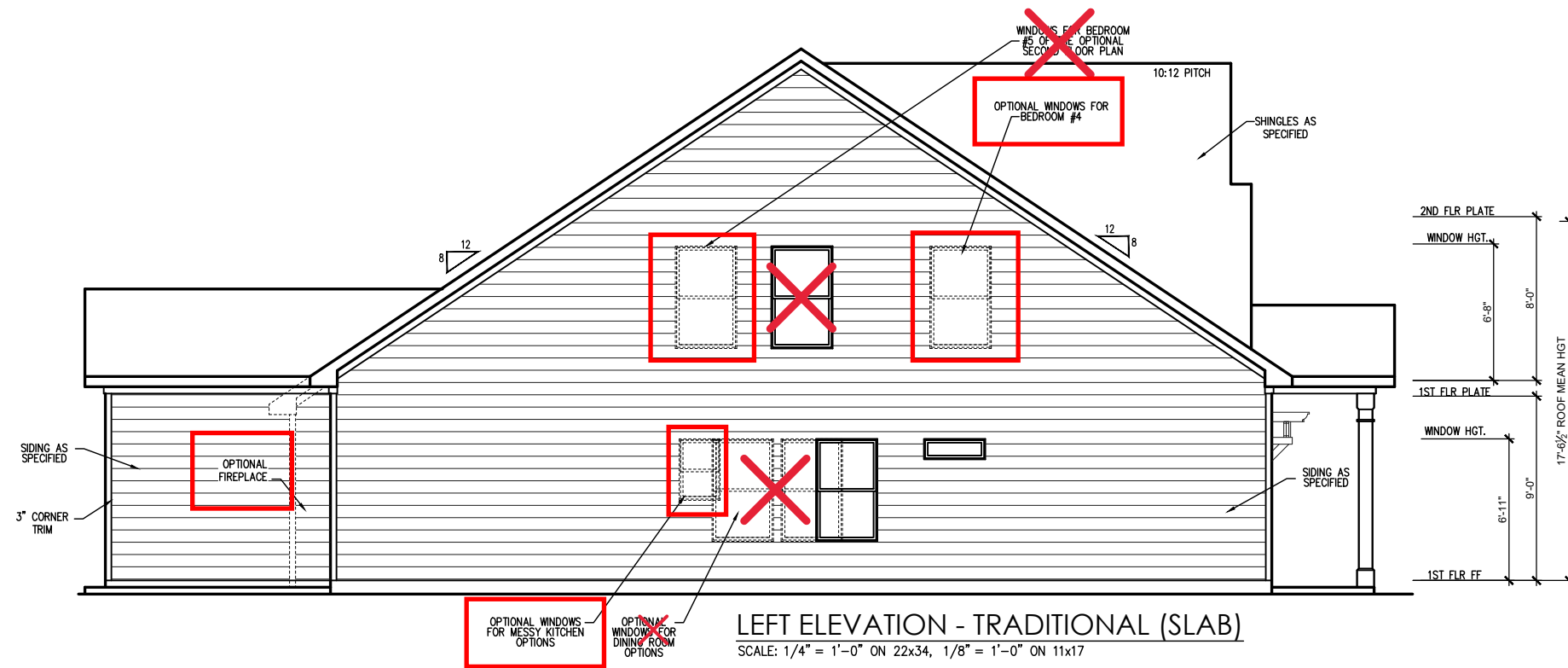
SECOND FLOOR PLAN - TRADITIONAL - B
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

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THE GUILFORD - RH
 First Floor Options

DRAWN BY:
 New Home Inc. - Jennifer Jones
 ISSUE DATE:
 07-25-2023
 CURRENT REVISION DATE:
 09-27-2023

SCALE:
 1/8" = 1'-0"
 SHEET
2.2



REV.#	DESCRIPTION	DATE
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THE GUILFORD - RH
Side Elevations - Traditional (Slab)

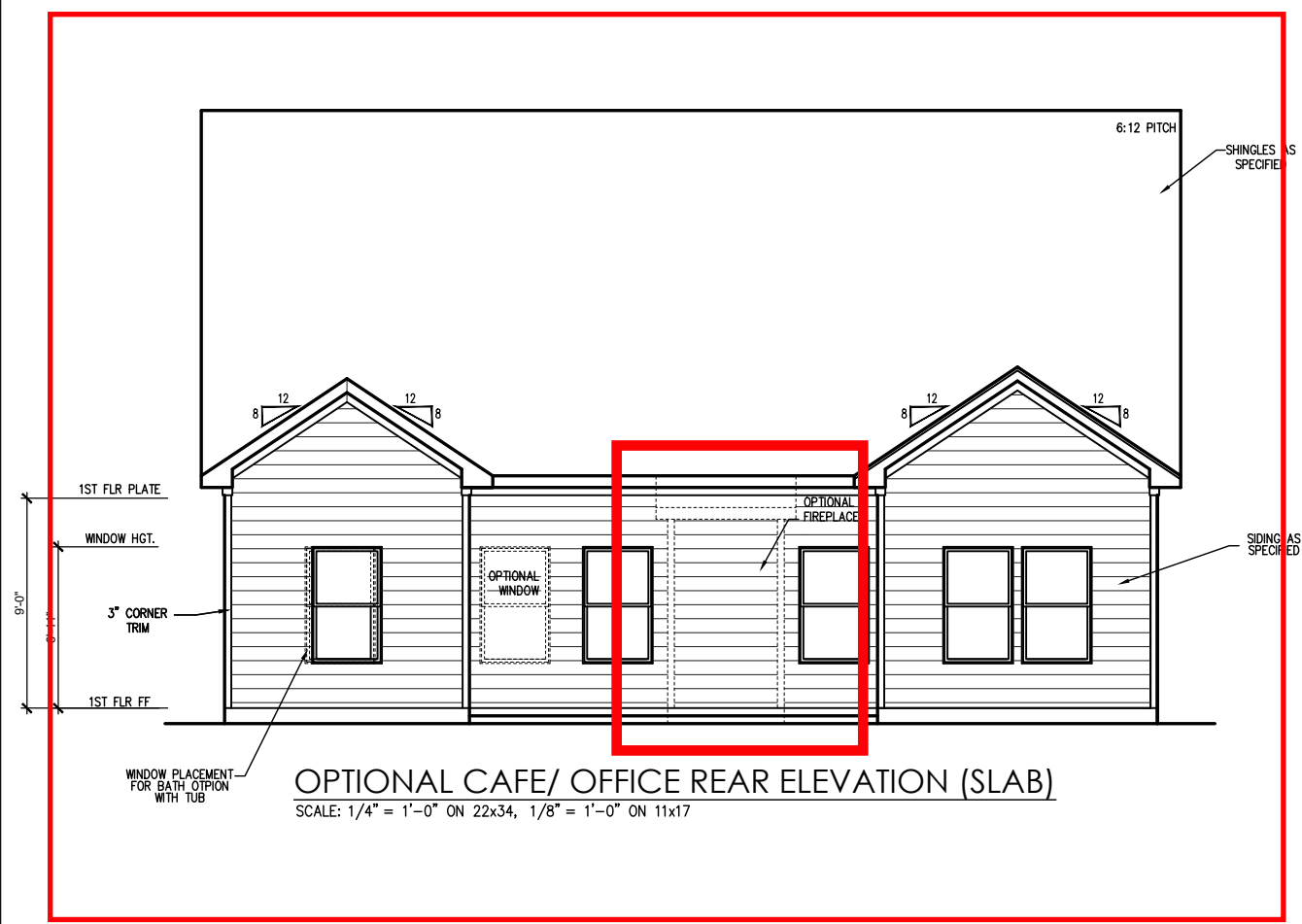
DRAWN BY:
New Home Inc. - Jennifer Jones

ISSUE DATE:
07-25-2023

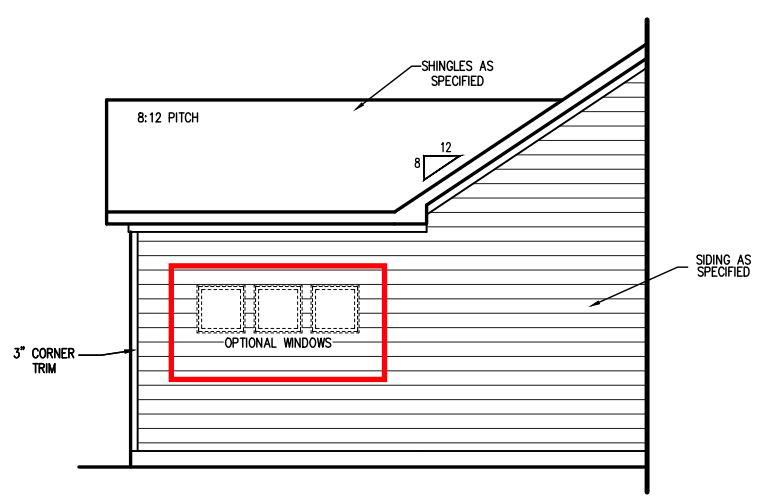
CURRENT REVISION DATE:
09-27-2023

SCALE:
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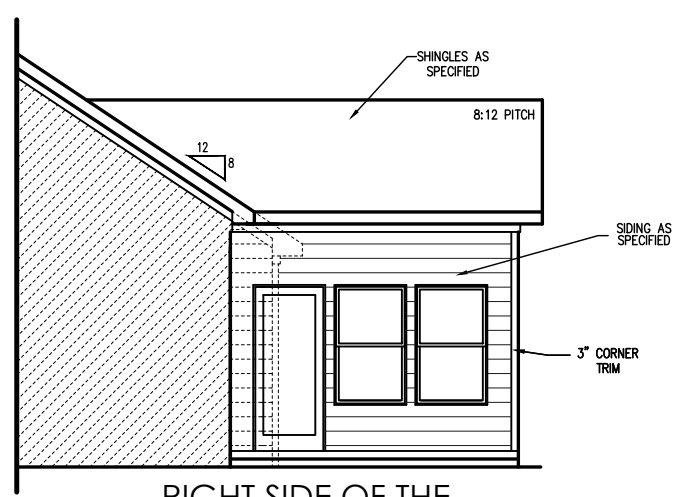
SHEET
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OPTIONAL CAFE/ OFFICE REAR ELEVATION (SLAB)
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



OPT. CAFE/ OFFICE LEFT ELEVATION (SLAB)
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

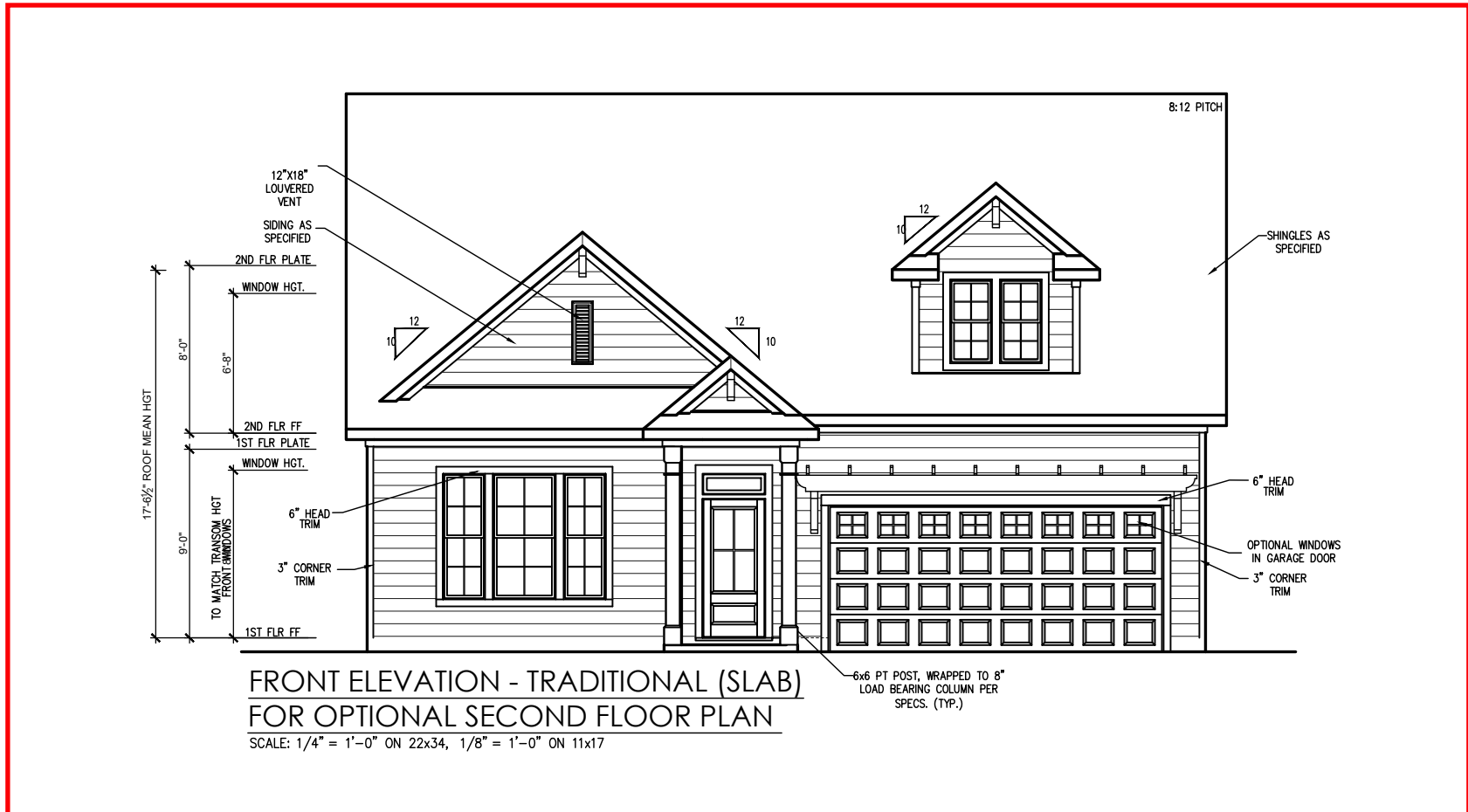


**RIGHT SIDE OF THE
 OPTIONAL CAFE/ OFFICE (SLAB)**
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

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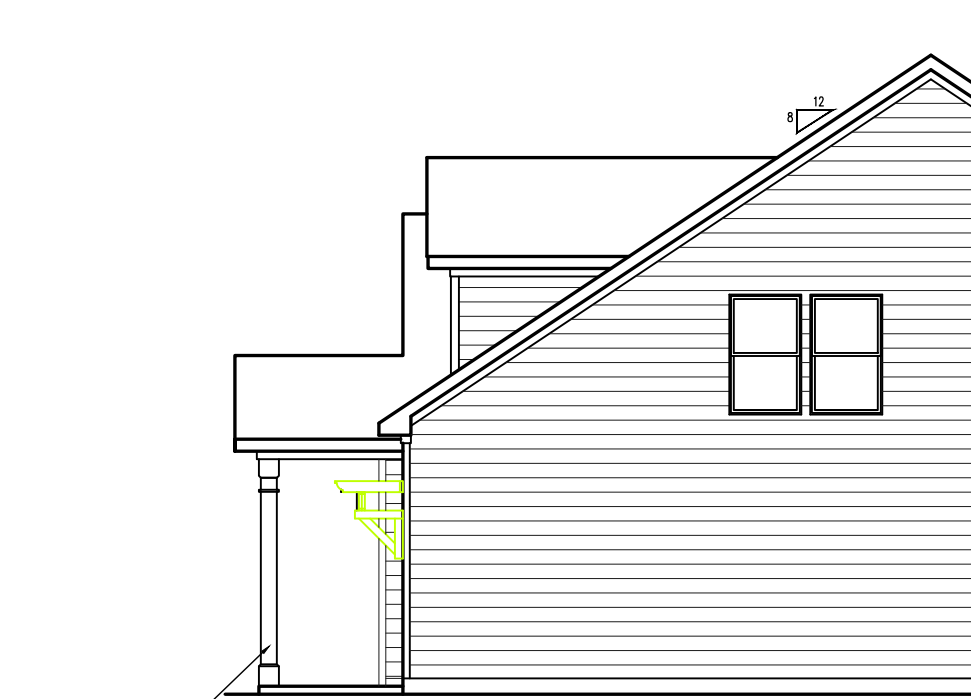
THE GUILFORD - RH
 Elevation Options (Slab)

DRAWN BY:
 New Home Inc. - Jennifer Jones
 ISSUE DATE:
 07-25-2023
 CURRENT REVISION DATE:
 09-27-2023
 SCALE:
 1/8" = 1'-0"
 SHEET
3.2



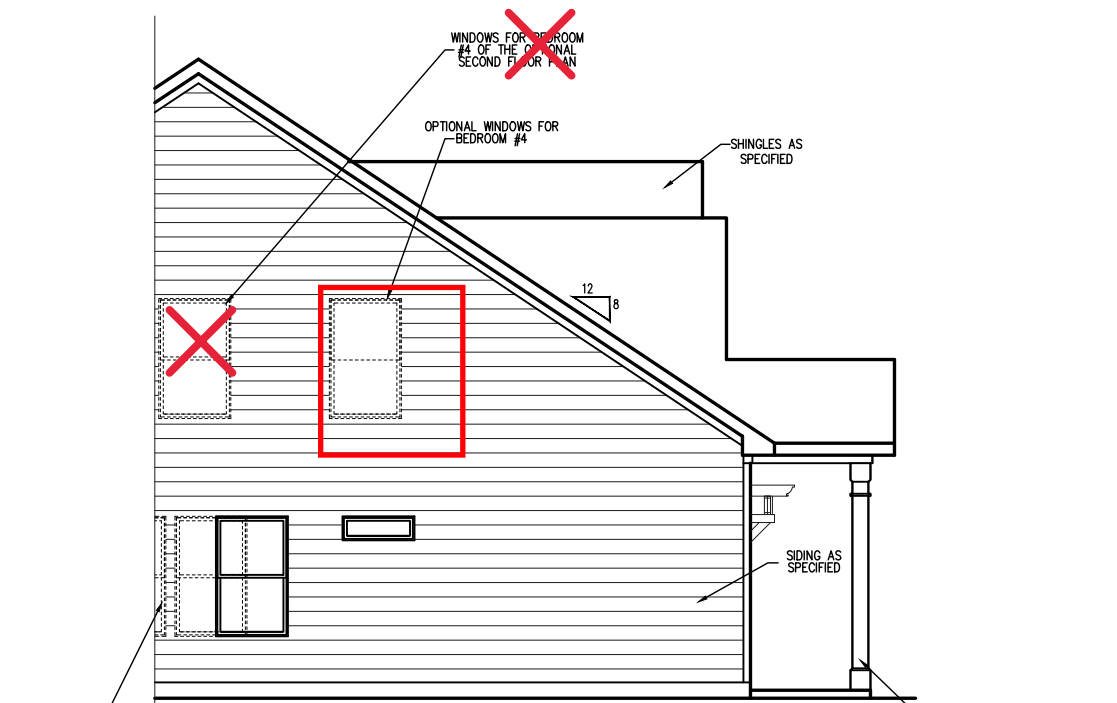
**FRONT ELEVATION - TRADITIONAL (SLAB)
FOR OPTIONAL SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**RIGHT ELEVATION - TRADITIONAL (SLAB)
FOR OPTIONAL SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**LEFT ELEVATION - TRADITIONAL (SLAB)
FOR OPTIONAL SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

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THE GUILFORD - RH
Elevations for Optional
Second Floor Plan (Slab)

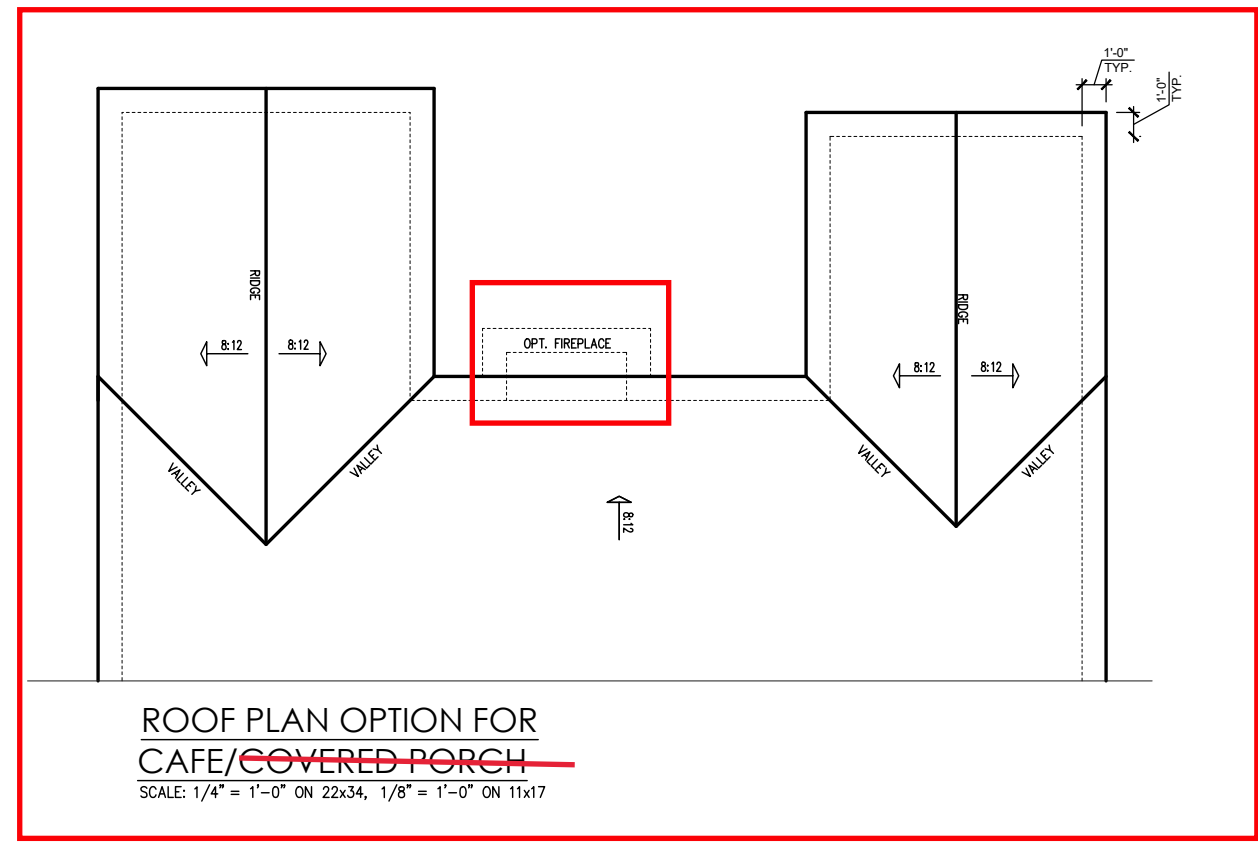
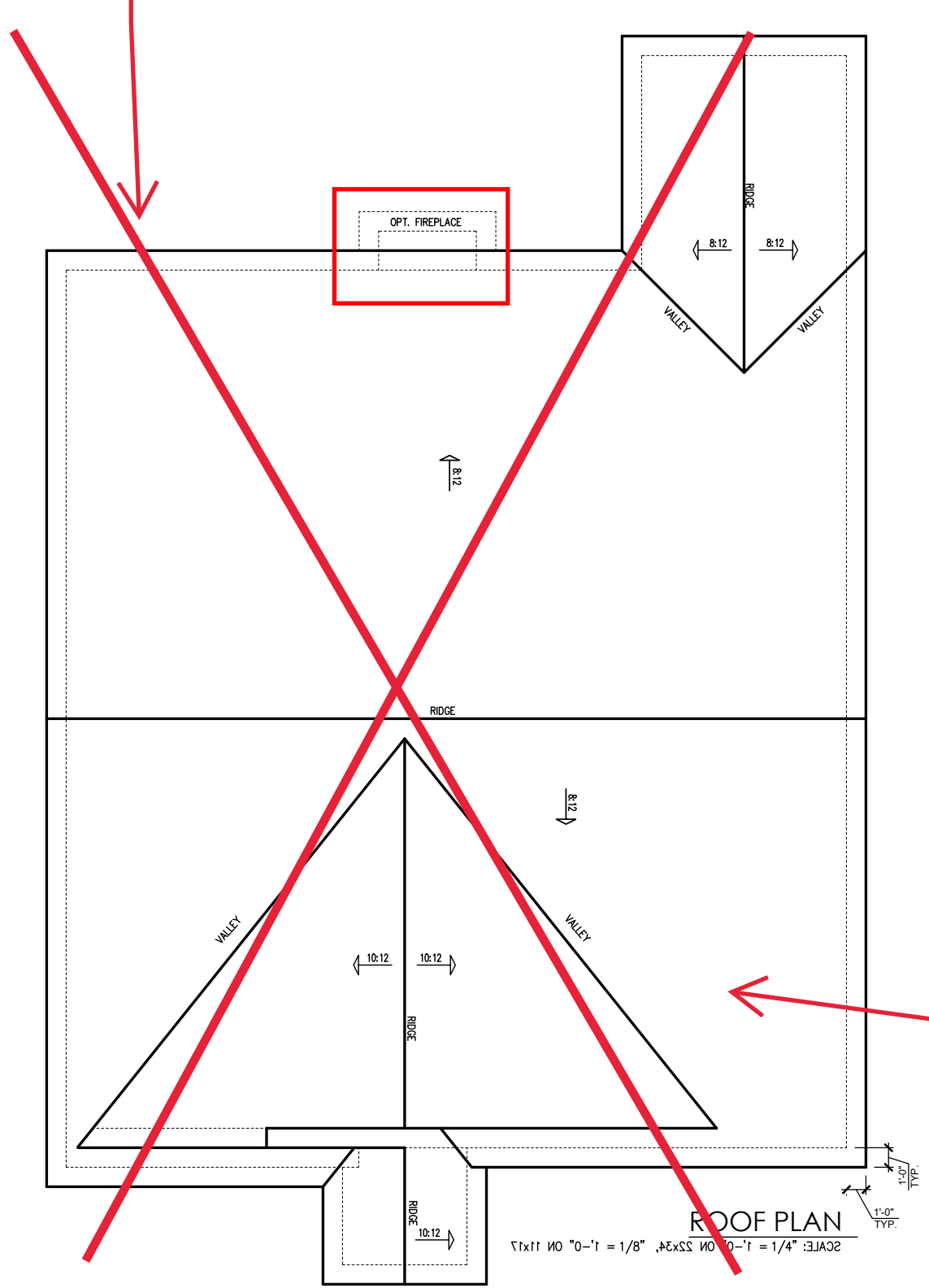
DRAWN BY:
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SCALE:
1/8" = 1'-0"

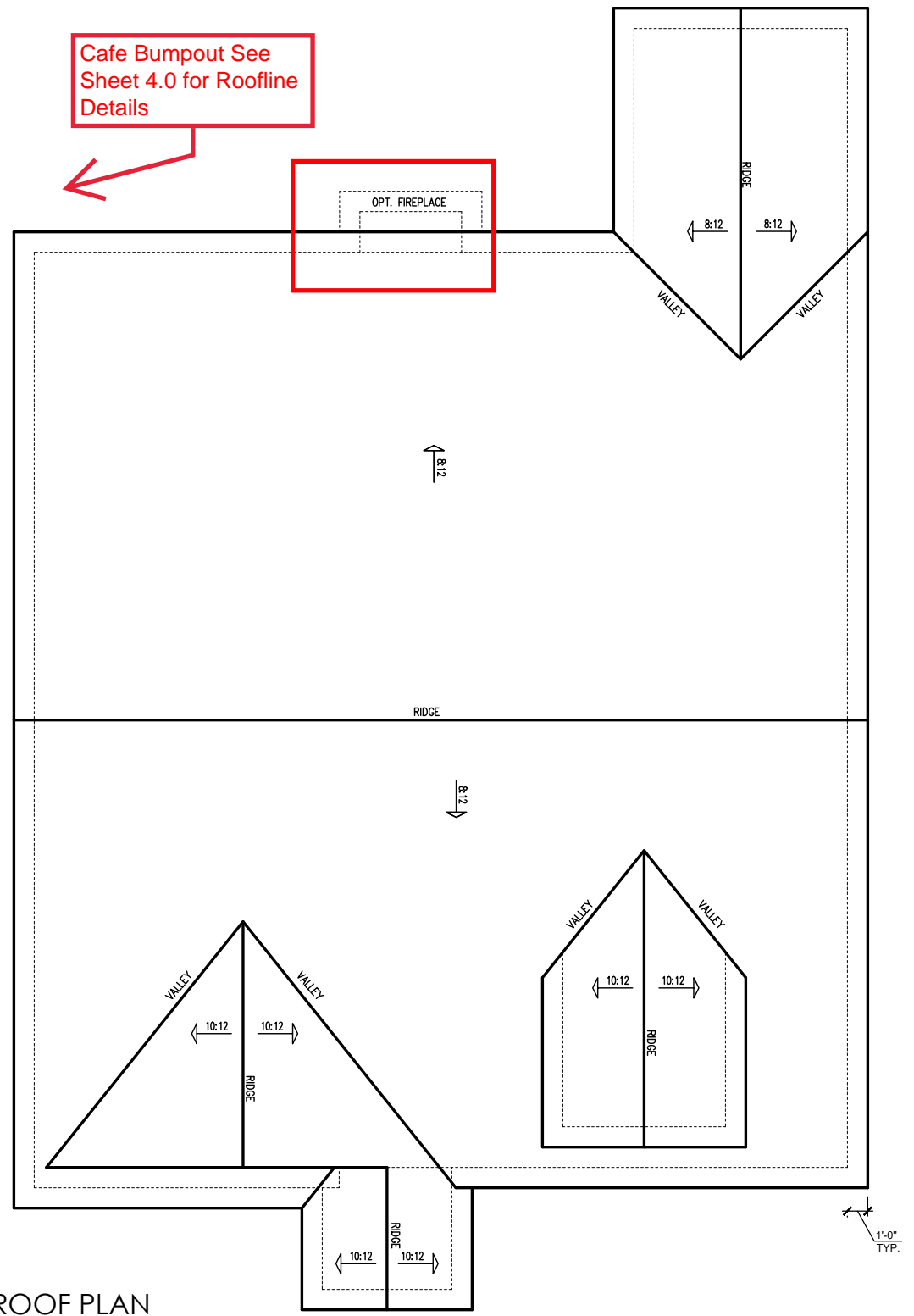
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Optional Cafe Bump Out



Traditional Elevation B
With Dormer See
Sheet 4.0.1



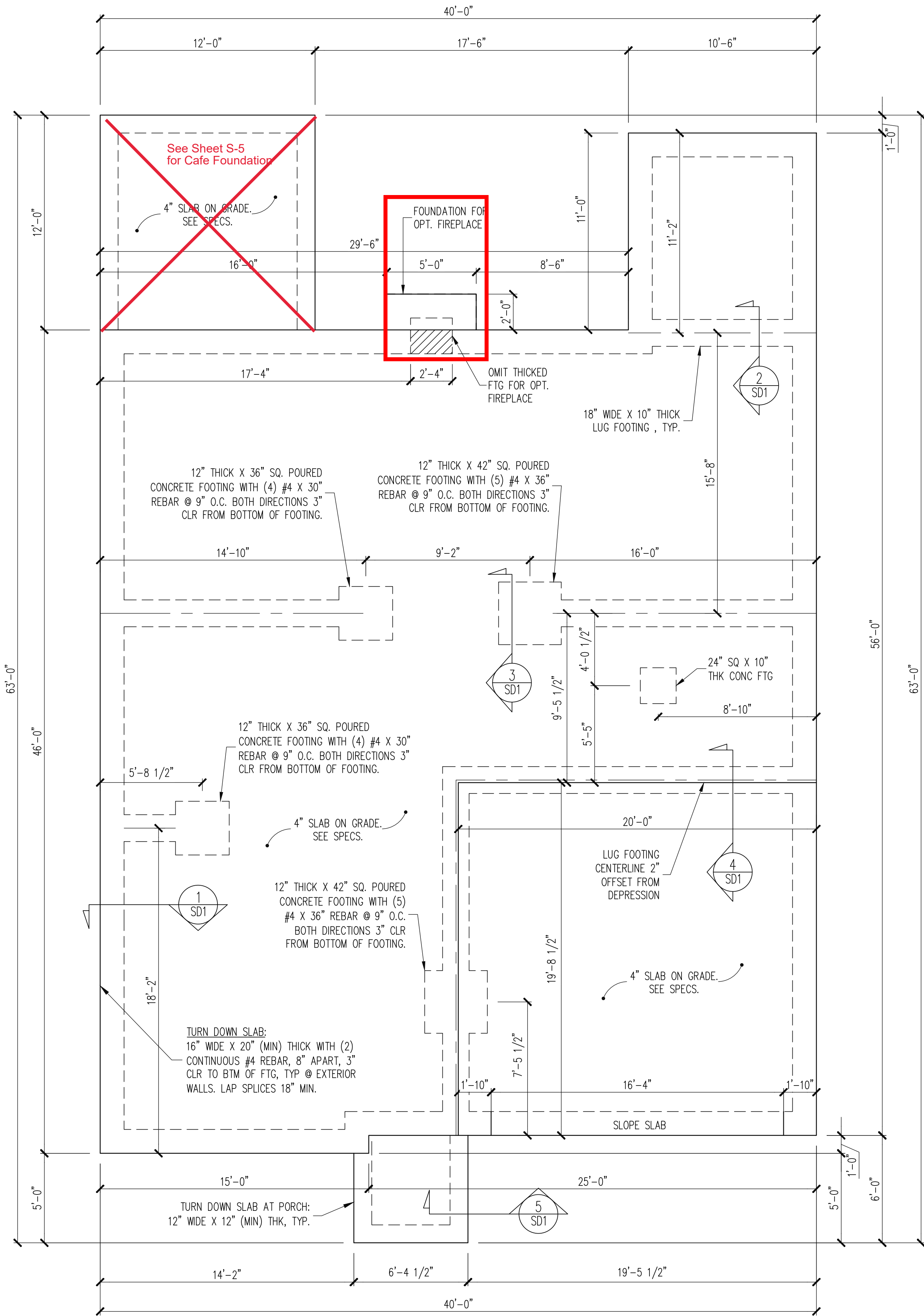
ROOF PLAN
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

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THE GUILFORD - RH

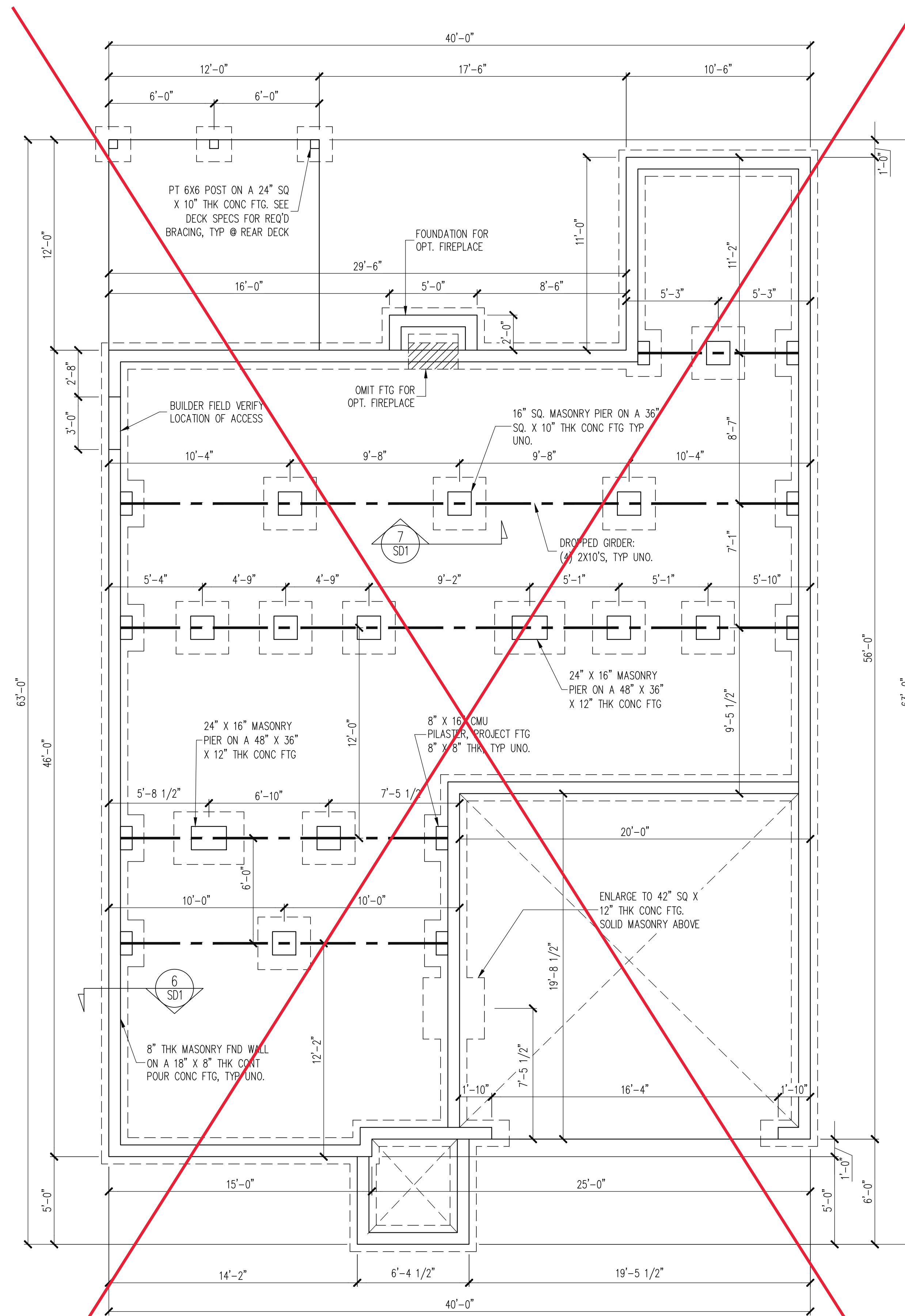
Roof for Optional Second Floor - Traditional

DRAWN BY: New Home Inc. - Jennifer Jones
ISSUE DATE: 07-25-2023
CURRENT REVISION DATE: 09-27-2023
SCALE: 1/8" = 1'-0"
SHEET 4.0.1



MONO SLAB FOUNDATION PLAN
ELEVATION A & B

1/4" = 1'-0"



CRAWLSPACE FOUNDATION PLAN
ELEVATION A & B

1/4" = 1'-0"

CONSTRUCTION SPECIFICATIONS
INSTANT REFERENCES

REFER TO THE CONSTRUCTION SPECIFICATIONS SECTIONS FOR THE FOLLOWING INFORMATION:

PART 1.01: CURRENT GOVERNING CODE

PART 14: STUD SUPPORT FOR BEAMS

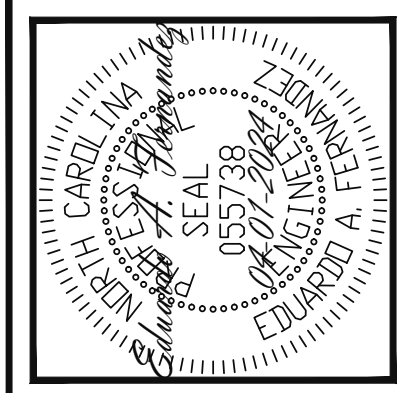
PART 17: KING STUDS FOR EXTERIOR WALLS

SEE DETAIL / CONSTRUCTION SPECIFICATIONS SHEETS FOR I-JOISTS ALLOWABLE SUBSTITUTIONS

NOTES:

- HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION. REINFORCEMENT AND GROUTING SHALL BE DETERMINED BY FINAL SITE CONDITIONS.
- BUILDER TO FIELD LOCATE CRAWLSPACE ACCESS OPENING WITH MINIMUM DIMENSIONS OF 18X24. DO NOT LOCATE ACCESS OPENING BELOW POINT LOADS FROM ABOVE WITHOUT ENGINEER APPROVAL.
- PLUMBING SHOWN FOR REFERENCE ONLY. BUILDER VERIFY FINAL FIXTURE LOCATIONS, SIZES AND REQUIREMENTS PRIOR TO INSTALLATION.

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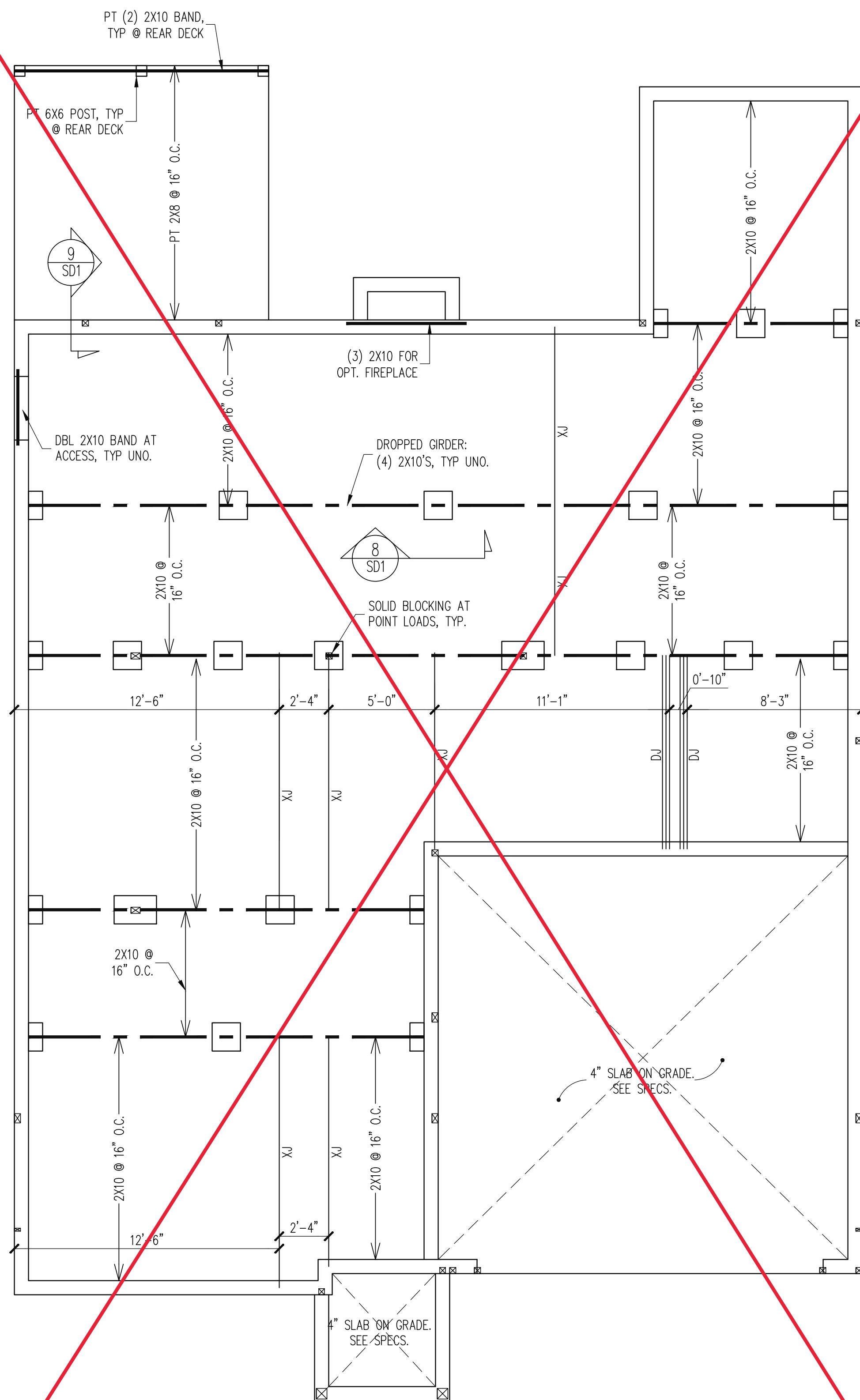
Engineering Tech Associates, P.A.
STRUCTURAL ENGINEERS
License No. C-3870
318 W Millbrook Rd. Unit 201
Raleigh, North Carolina 27609
Phone (919) 844-1661

NEW HOMES INC	STRUCTURAL ADDENDUM	REV #	REF PROJ #	DATE
	SCOPE: CUILFORD MASTER PLANS	1	24-66-123	04-02-2024
THE TRADITIONAL- RH				

ENG: EAF
DATE: 10-31-2023

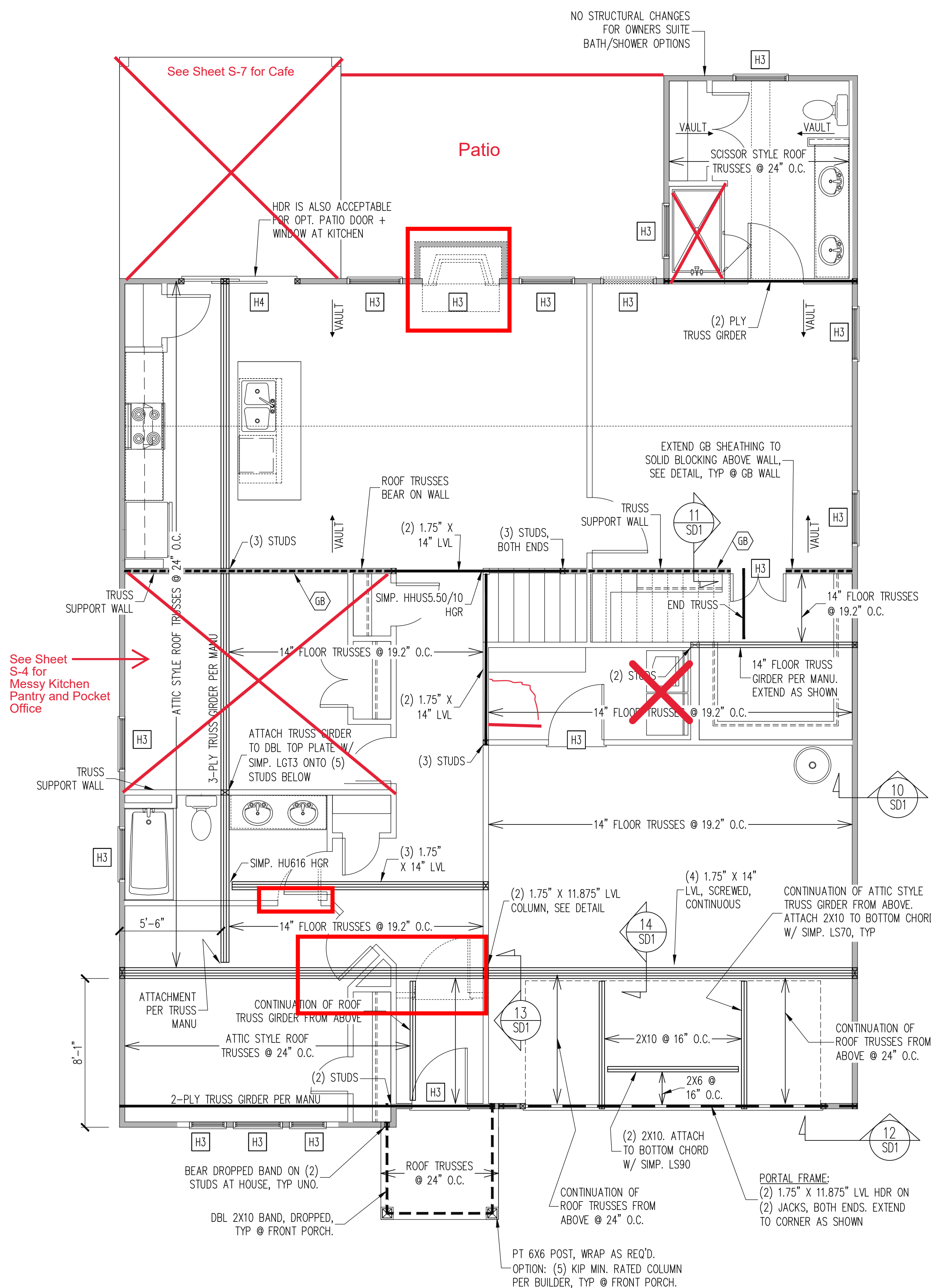
PROJECT NO.
23-65-205_123R

SHEET NO.
S1B



CRAWL SPACE FRAMING PLAN
ELEVATION A & B

1/4" = 1'-0"



1ST FLOOR FRAMING PLAN
ELEVATION B

WALLS AND CEILING - 1/4" = 1'-0"

WALL BRACING

SHADED WALLS:

ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

WSP - ONE SIDE OF INTERIOR WALL OR INSIDE OF EXTERIOR WALL WITH 3/8" MIN. THICKNESS WOOD STRUCTURAL PANELING. ATTACH WSP TO STUD WALL WITH 8d NAILS @ 4" O.C. AT PANEL EDGES, 8" O.C. IN PANEL FIELD.

GB - INTERIOR BRACED WALL. 1/2" GB SECURED PER TABLE R602.10.2 OF THE 2018 NCRBC. (FASTENERS @ 7" O.C.) BOTH SIDES OF WALL, OR (FASTENERS @ 4" O.C.) ONE SIDE OF WALL AT STAIRS (BUILDER PERMITTED TO SUBSTITUTE "WSP" FOR ANY "GB" WALL)

NOTES:
PROVIDED CONTINUOUS SHEATHING = 192" MIN.

REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.

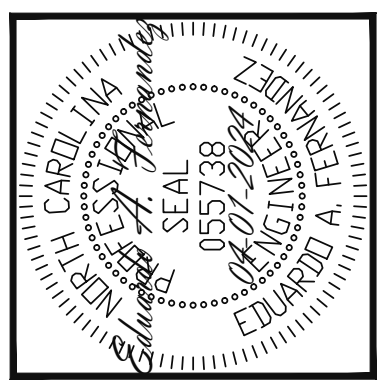
HEADER SCHEDULE

- H1 SINGLE 2X4 TURNED FLAT (A)
- H2 (2) 2X4'S ON SINGLE JACKS (B)
- H3 (2) 2X10'S ON SINGLE JACKS (C)
- H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
- H5 (3) 2X10'S ON SINGLE JACKS

- (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
- (B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
- (C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

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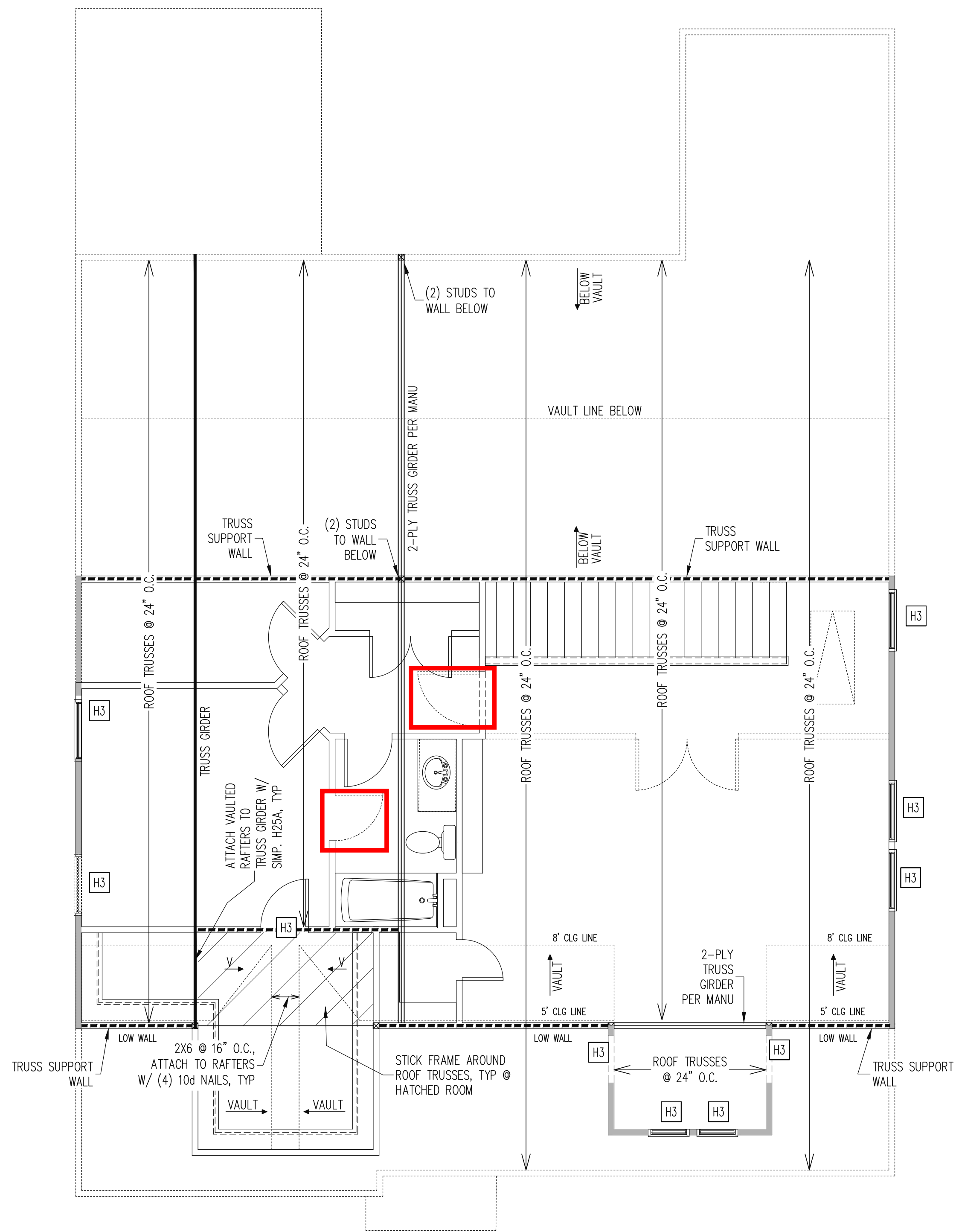
NEW HOMES INC	REV #	REF PROJ #	DATE
STRUCTURAL ADDENDUM	1	24-66-123	04-02-2024
SCOPE:	CUILFORD MASTER PLANS		
LOC:	THE TRADITIONAL- RH		

ENG: EAF
DATE: 10-31-2023

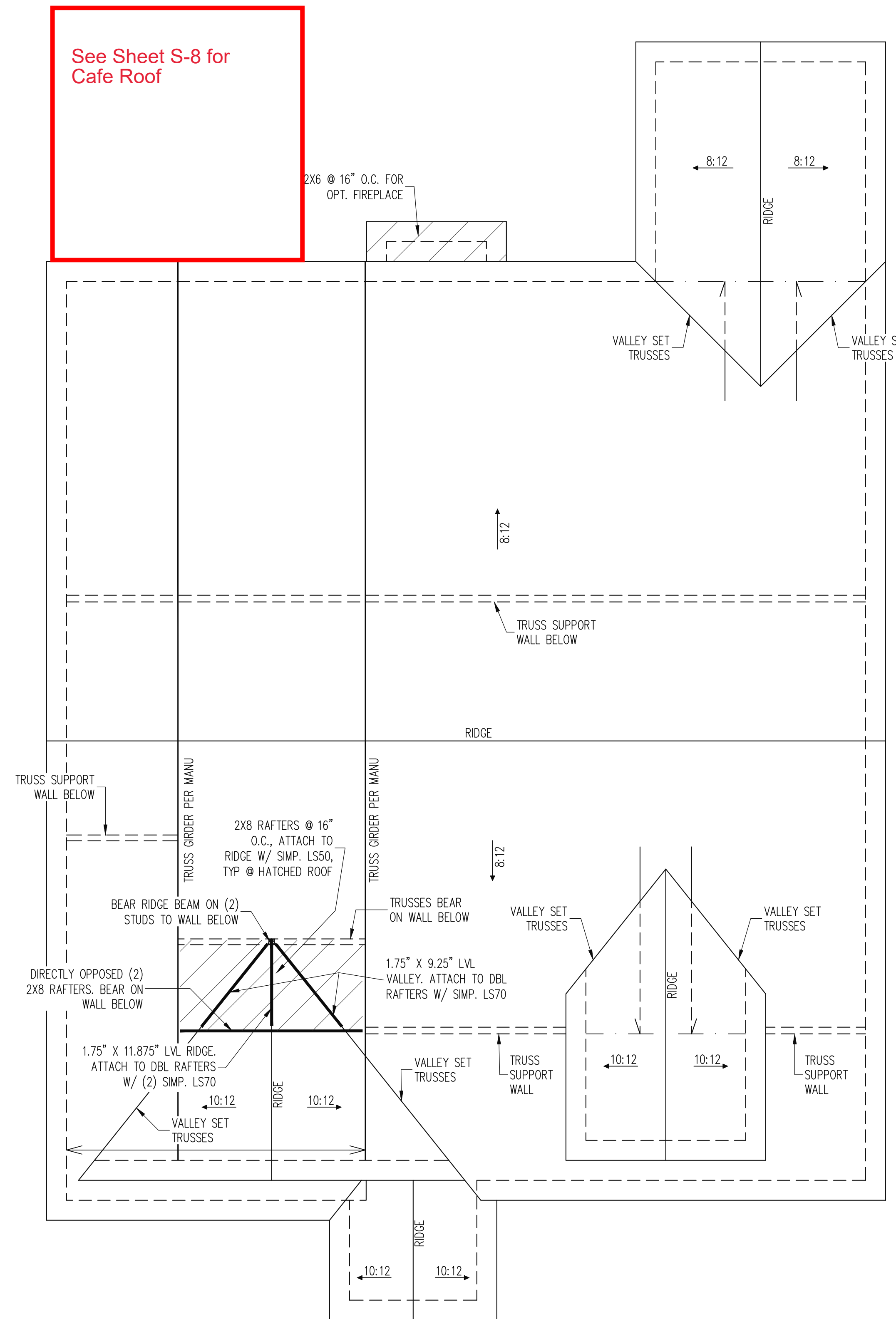
PROJECT NO.
23-65-205_123R

SHEET NO.
S2B

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2ND FLOOR FRAMING PLAN
ELEVATION B
WALLS AND CEILING - 1/4" = 1'-0"



ROOF FRAMING PLAN
ELEVATION B
1/4" = 1'-0"

TRUSS UPLIFT CONNECTORS
EXPOSURE B, 115 MPH, ANY PITCH
24" O.C. MAX ROOF TRUSS SPACING

TRUSSES SHALL BE ATTACHED TO SUPPORT WALL FOR UPLIFT RESISTANCE. CONTINUOUS OSB SHEATHING BELOW PROVIDES CONTINUOUS UPLIFT RESISTANCE TO FOUNDATION. ALL TRUSSES SUPPORTED BY INTERMEDIATE SUPPORT WALLS, KNEEWALLS OR BEAMS SHALL BE ATTACHED TO SUPPORTING MEMBER PER SCHEDULE BELOW.

ROOF SPAN IS MEASURED HORIZONTALLY BETWEEN FURTHEST SUPPORT POINTS.

ROOF SPAN	CONNECTOR
UP TO 28'	NAILING PER TABLE 602.3(1) NCRBC 2018 EDITION
OVER 28'	(1) SIMPSON H2.5A HURRICANE CLIP TO DBL TOP PLATE OR BEAM

FRAMING NOTES
ROOF ONLY

- COMMON RAFTERS 2X8 @ 16" O.C. TYP. U.N.O.
- COLLAR TIES 2X4 EVERY 3RD SET OF RAFTERS TYP. U.N.O.
- ROOF PITCHES 12:12 TYP. U.N.O.

-VERIFY ROOF PITCHES, OVERHANG LENGTHS, AND KNEEWALL FRAMING HGTS WITH ARCHITECTURAL DRAWINGS, TYPICAL.

WALL BRACING

SHADED WALLS:

ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

NOTES:
PROVIDED CONTINUOUS SHEATHING = 3/4" MIN.

REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.

HEADER SCHEDULE

H1	SINGLE 2X4 TURNED FLAT (A)
H2	(2) 2X4'S ON SINGLE JACKS (B)
H3	(2) 2X10'S ON SINGLE JACKS (C)
H4	(2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5	(3) 2X10'S ON SINGLE JACKS

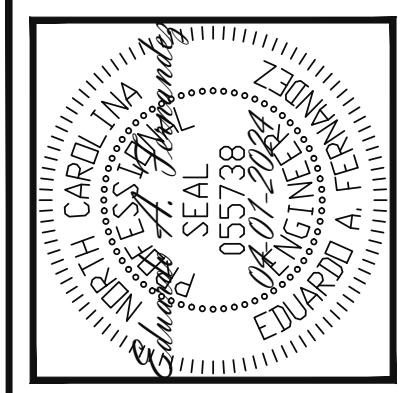
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(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.

(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

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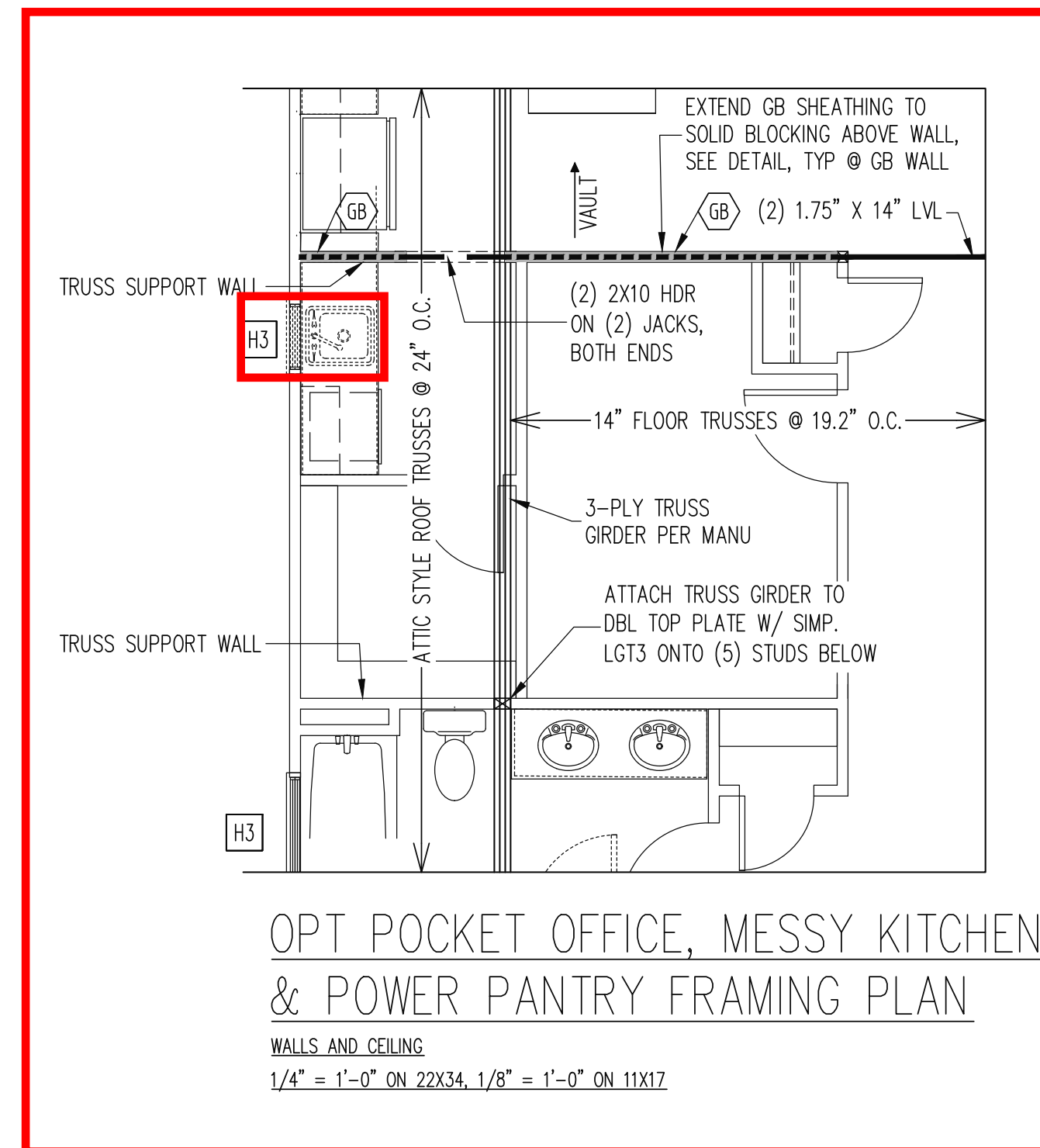
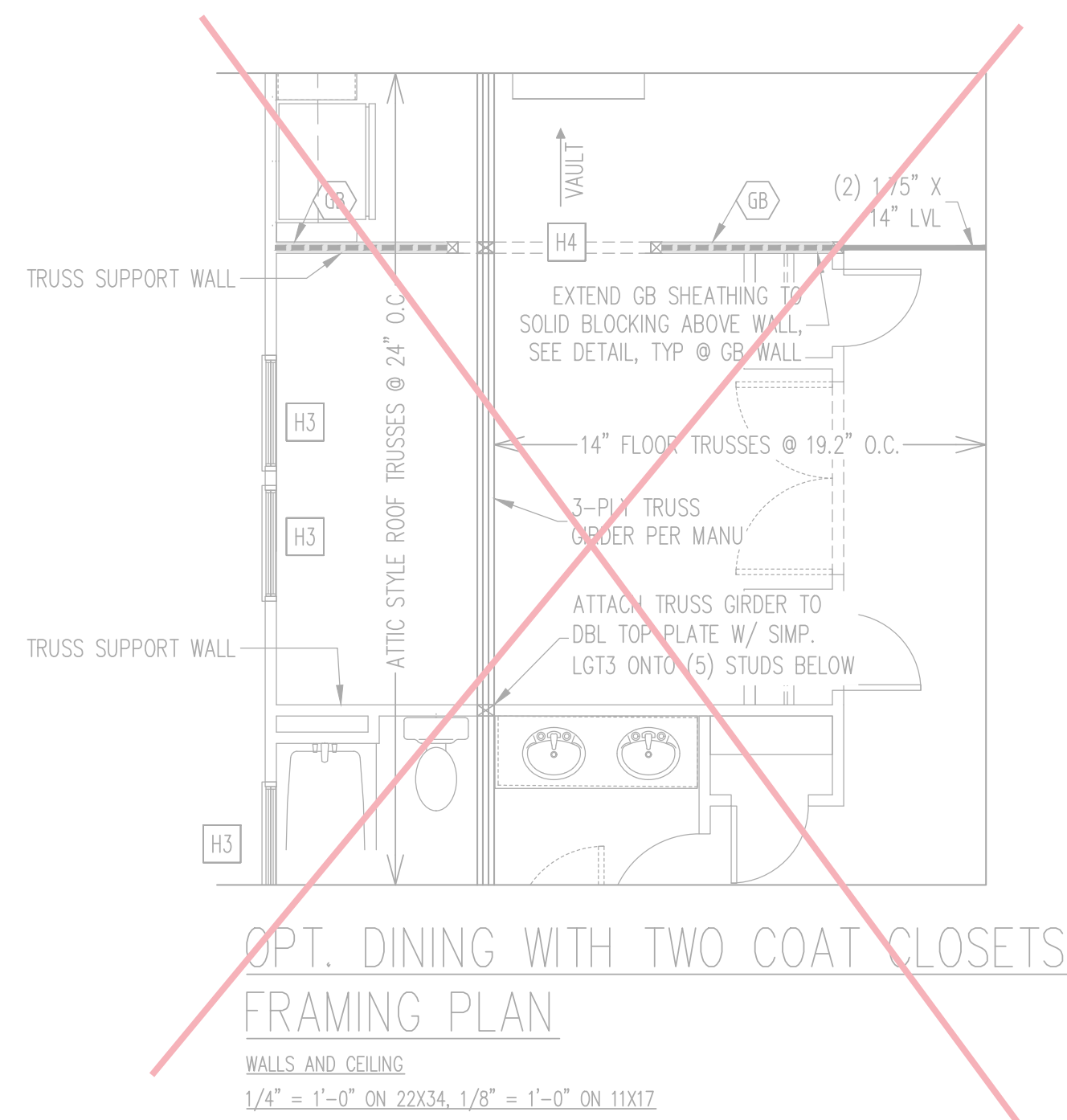
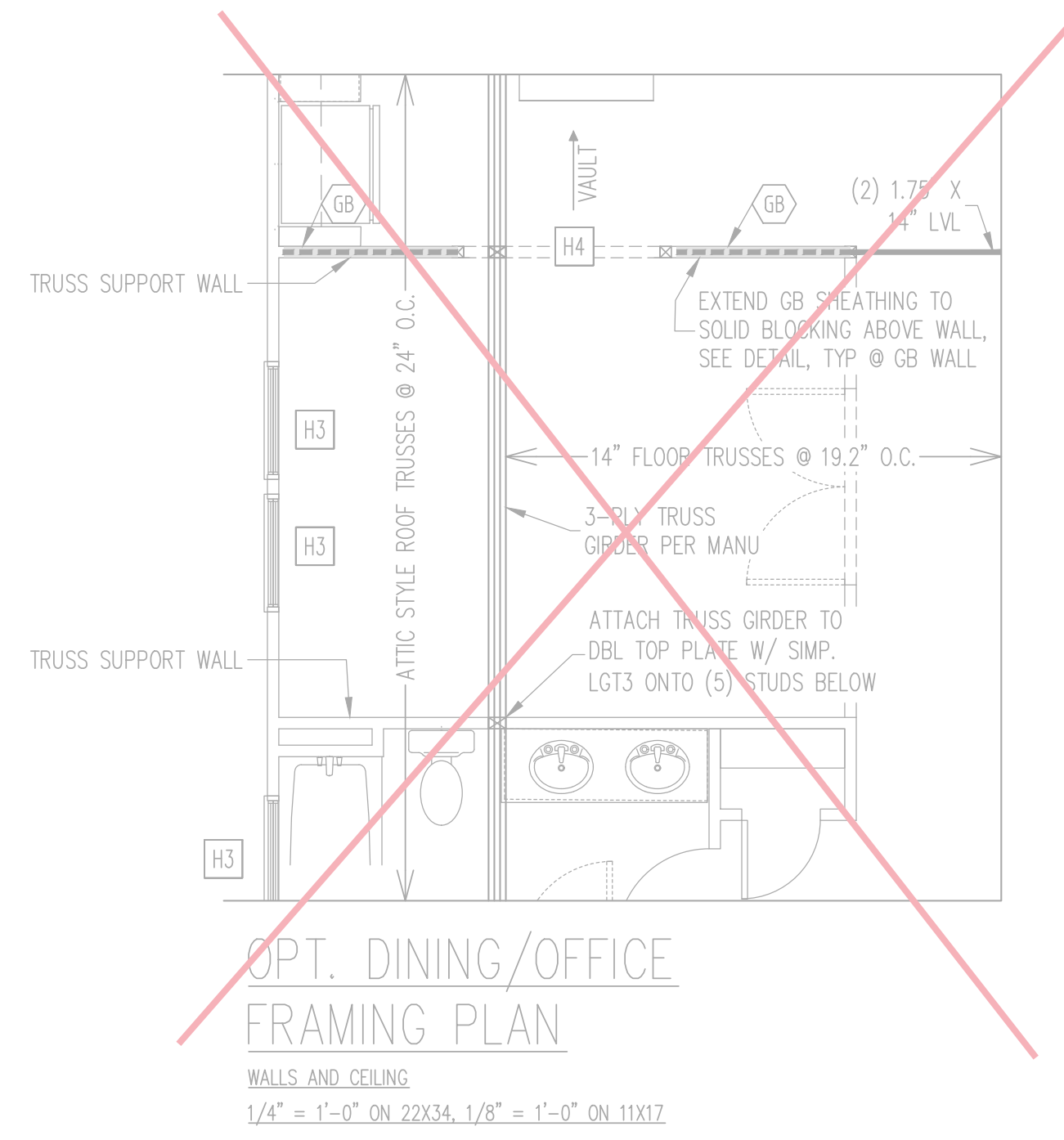
Engineering Tech Associates, P.A.

SCOPE:	NEW HOMES INC	
	STRUCTURAL ADDENDUM	
LOC:	CUILFORD MASTER PLANS	
THE TRADITIONAL- RH		
REV #	REF PROJ #	DATE
1	24-66-123	04-02-2024

ENG: EAF
DATE: 10-31-2023

PROJECT NO.
23-65-205_123R

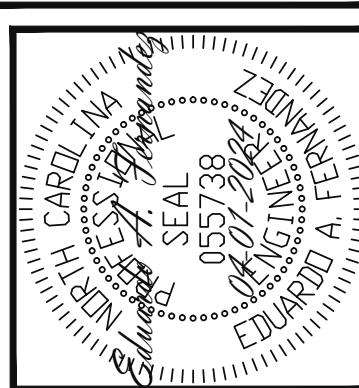
SHEET NO.
S3B
3 of 10



ELEVATION A & B
W/ TYP 2ND LEVEL
FLOOR PLAN

NO FOUNDATION CHANGES FOR
OFFICE OR DINING ROOM OPTIONS

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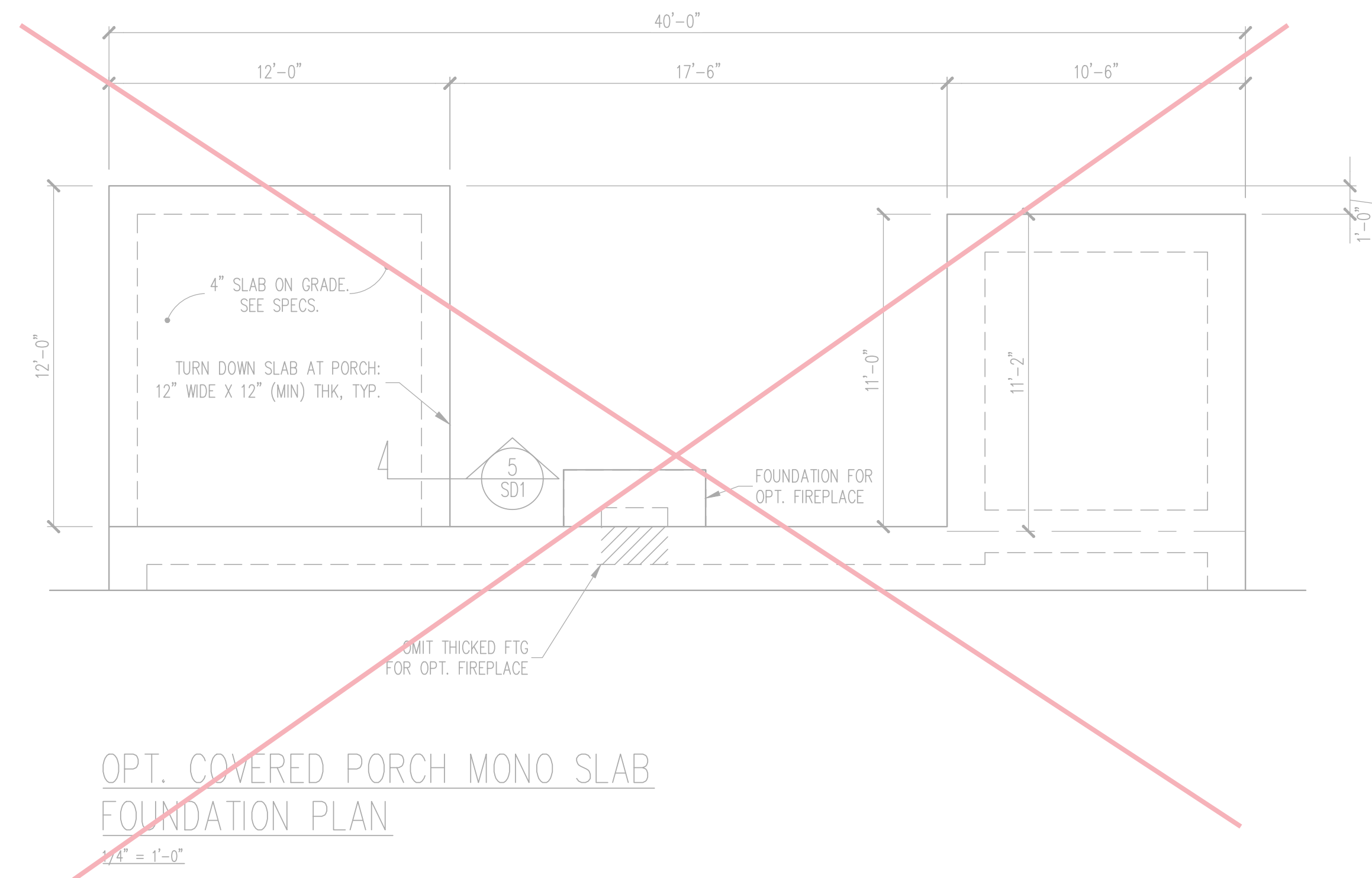
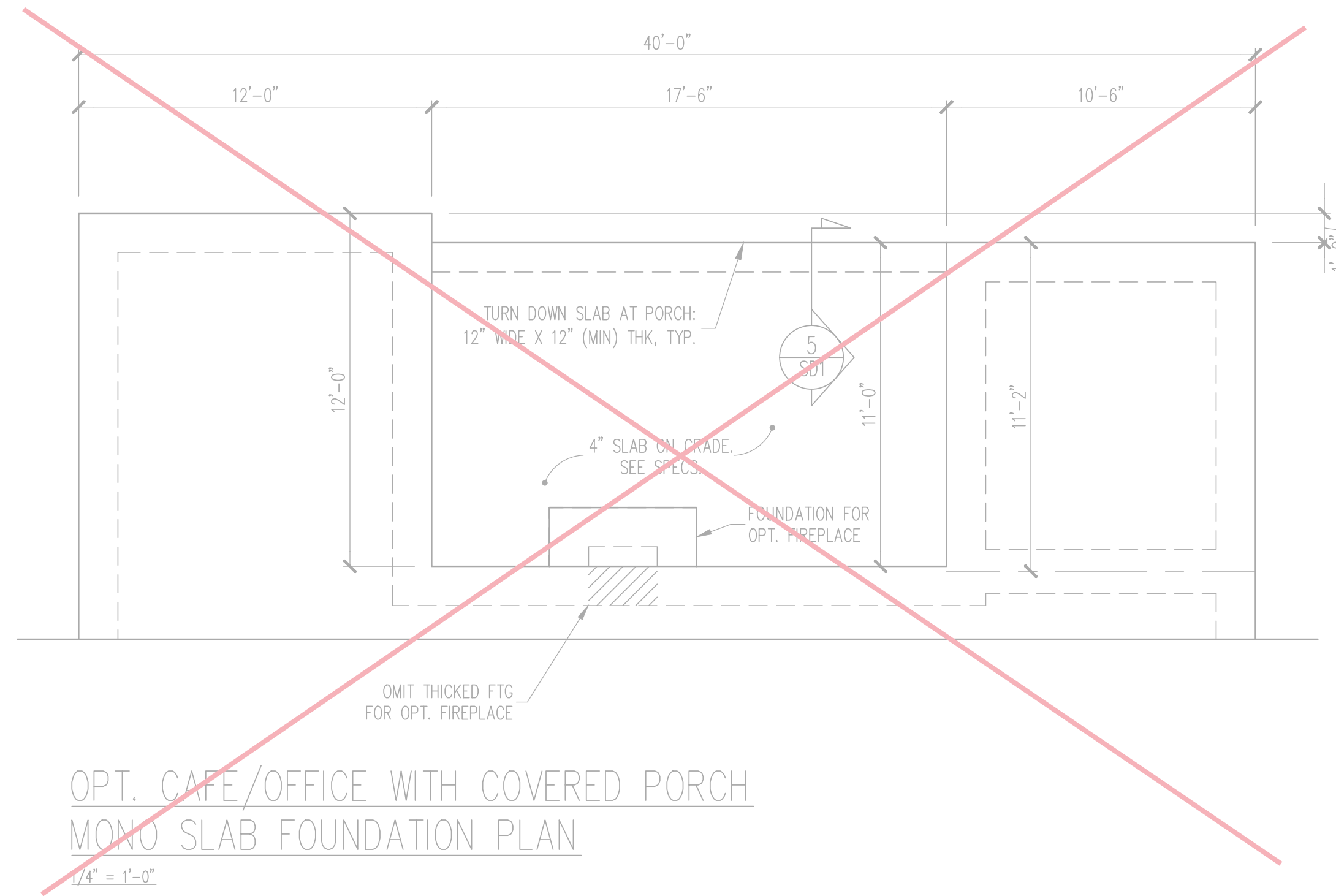
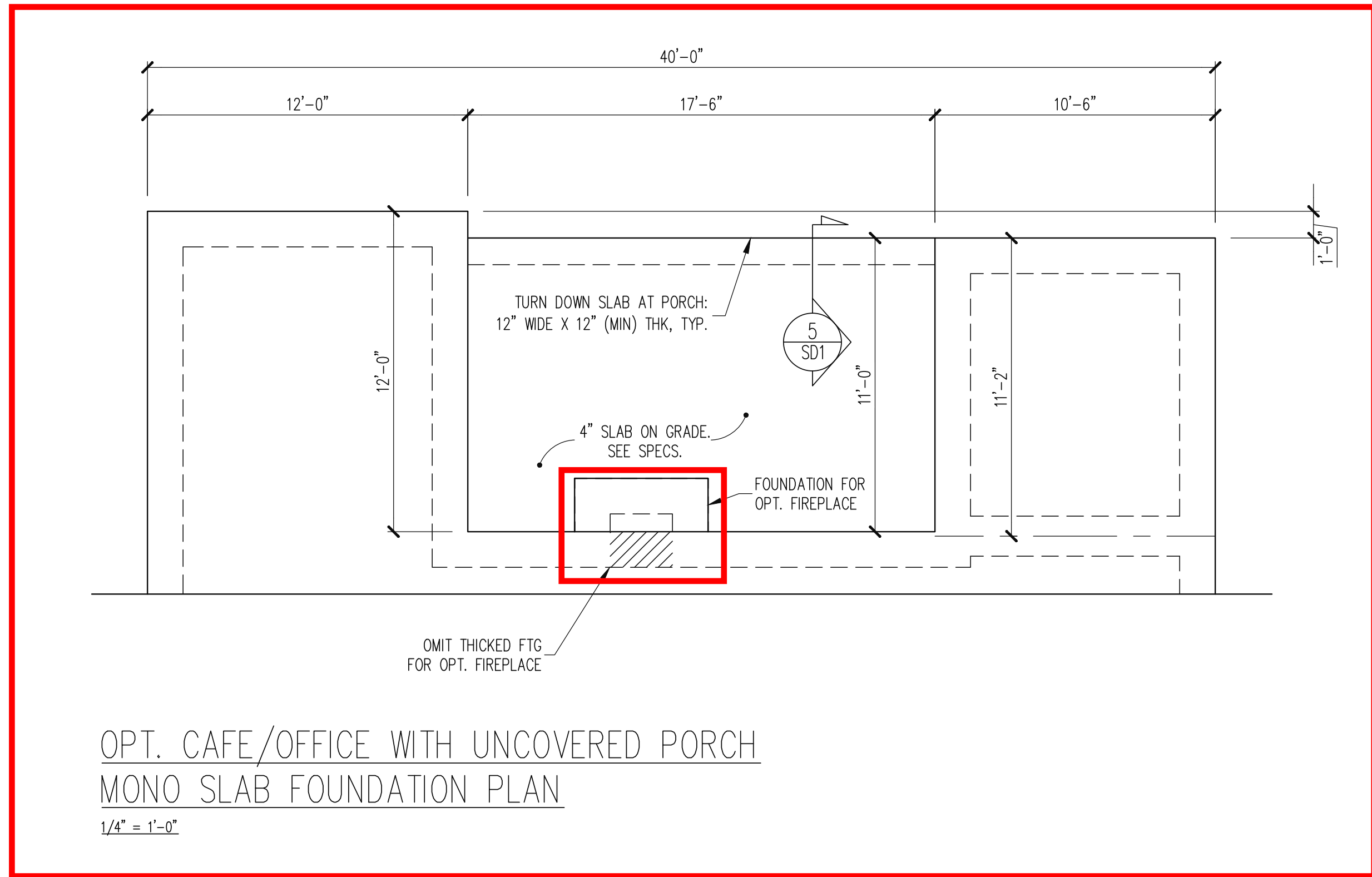
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NEW HOMES INC	REV #	REF PROJ #	DATE
STRUCTURAL ADDENDUM	1	24-66-123	04-02-2024
SCOPE:	CUILFORD MASTER PLANS		
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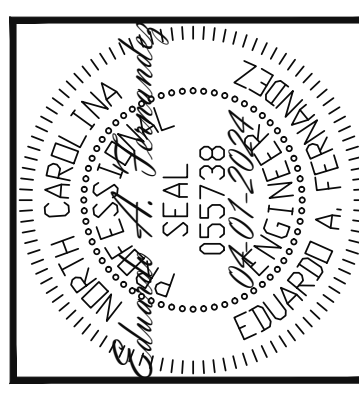
ENG: EAF
DATE: 10-31-2023

PROJECT NO.
23-65-205_123R

SHEET NO.
S4
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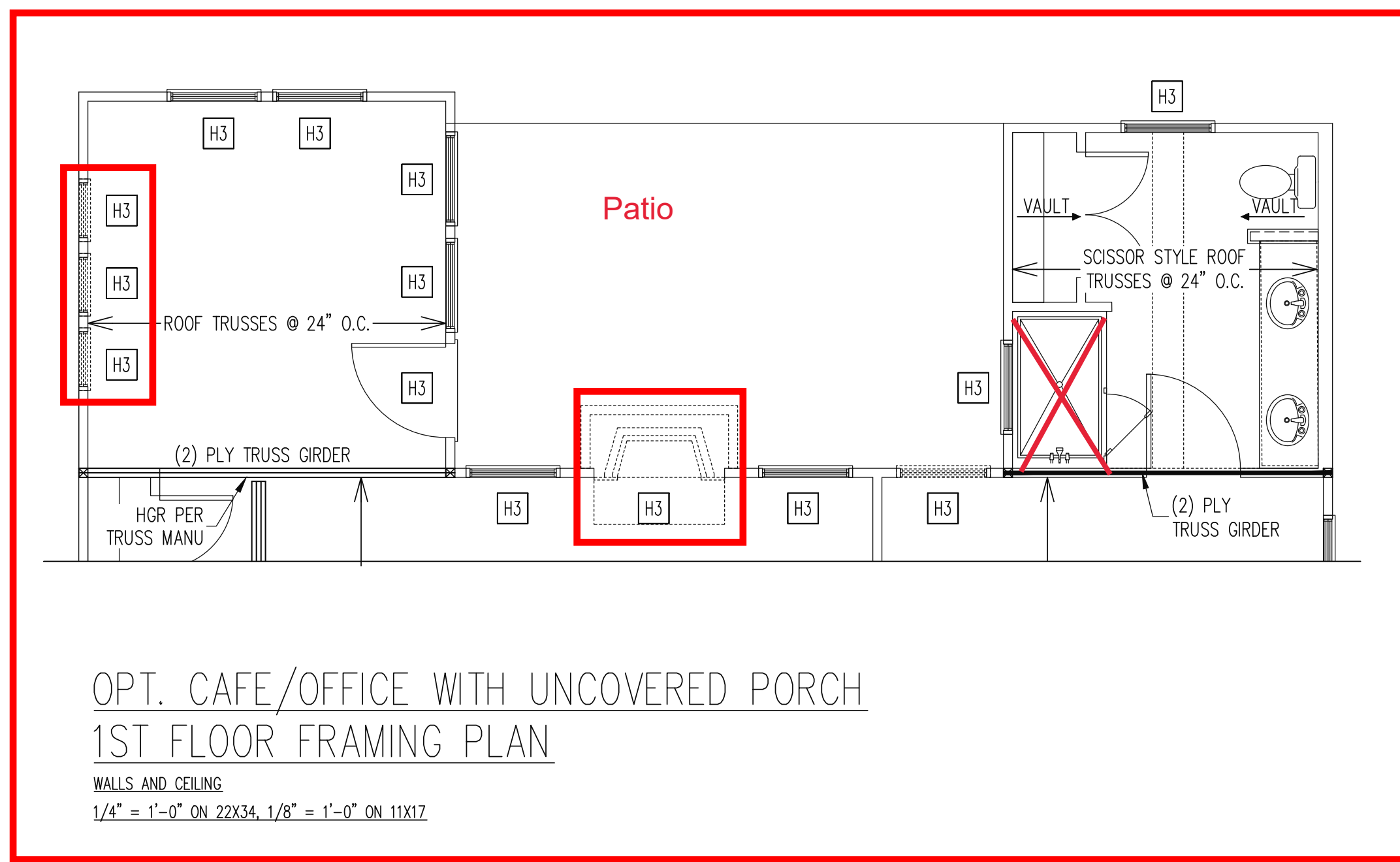
NEW HOMES INC	
SCOPE:	STRUCTURAL ADDENDUM
LOC:	CUILFORD MASTER PLANS THE TRADITIONAL- RH
REV #	REF PROJ #
1	24-66-123
DATE	04-02-2024

ENG: EAF
 DATE: 10-31-2023

PROJECT NO.
 23-65-205_123R

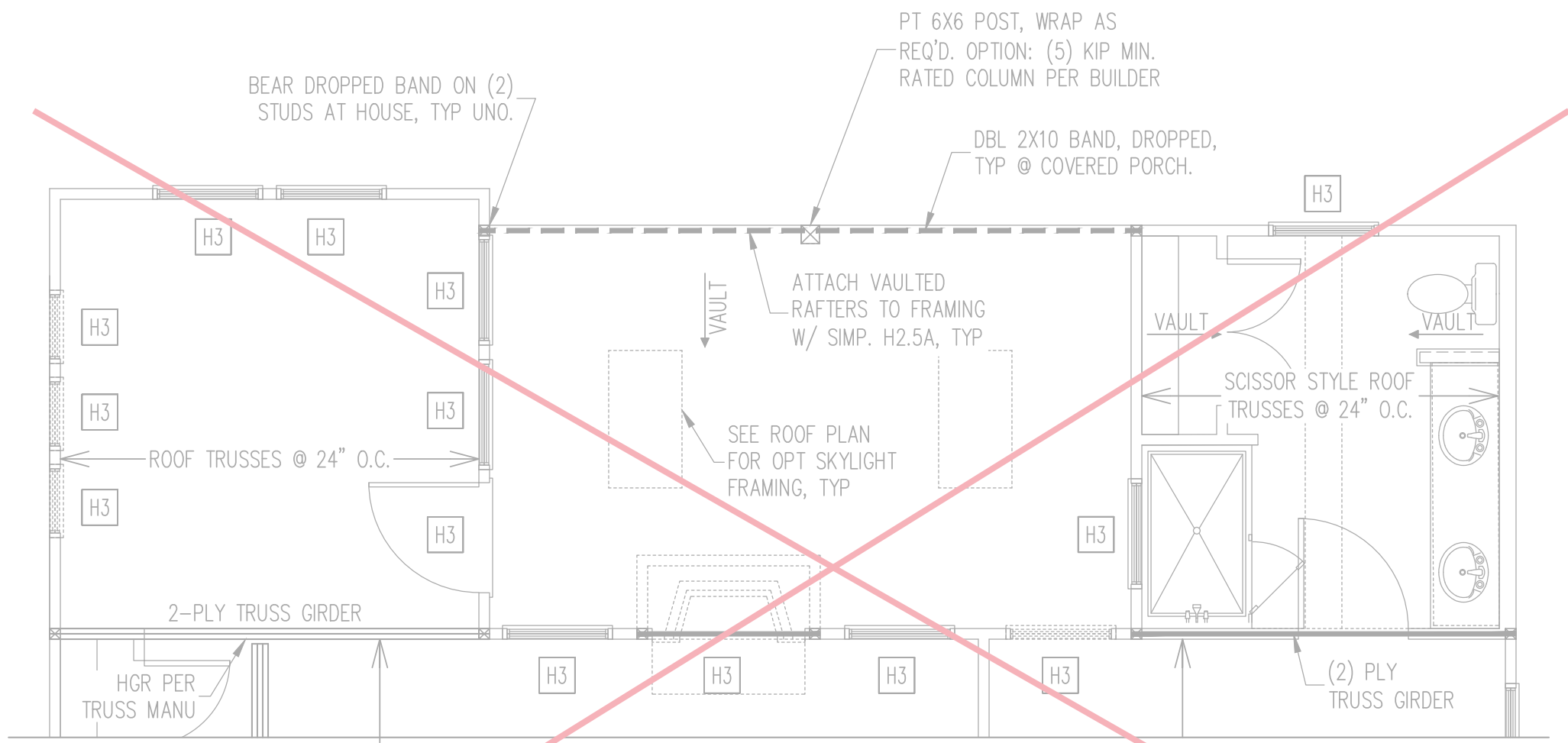
SHEET NO.
 S5

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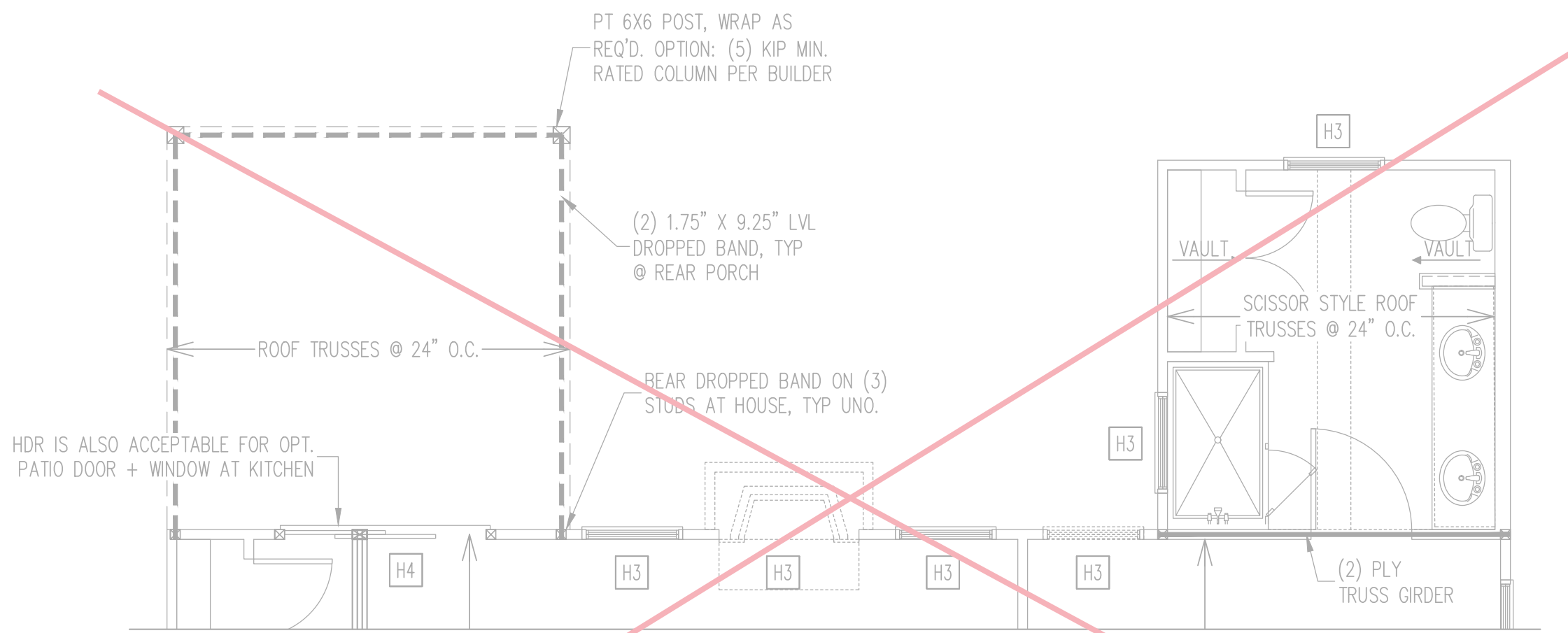
OPT. CAFE/OFFICE WITH UNCOVERED PORCH
1ST FLOOR FRAMING PLAN

WALLS AND CEILING
1/4" = 1'-0" ON 22X34, 1/8" = 1'-0" ON 11X17



OPT. CAFE/OFFICE WITH COVERED PORCH
1ST FLOOR FRAMING PLAN

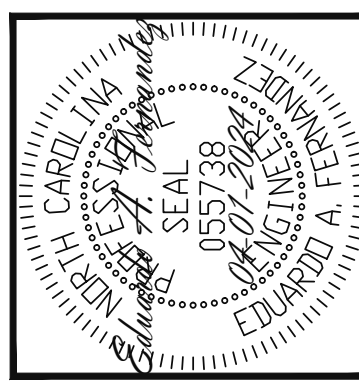
WALLS AND CEILING
1/4" = 1'-0" ON 22X34, 1/8" = 1'-0" ON 11X17



OPT. COVERED PORCH 1ST FLOOR FRAMING PLAN

WALLS AND CEILING
1/4" = 1'-0" ON 22X34, 1/8" = 1'-0" ON 11X17

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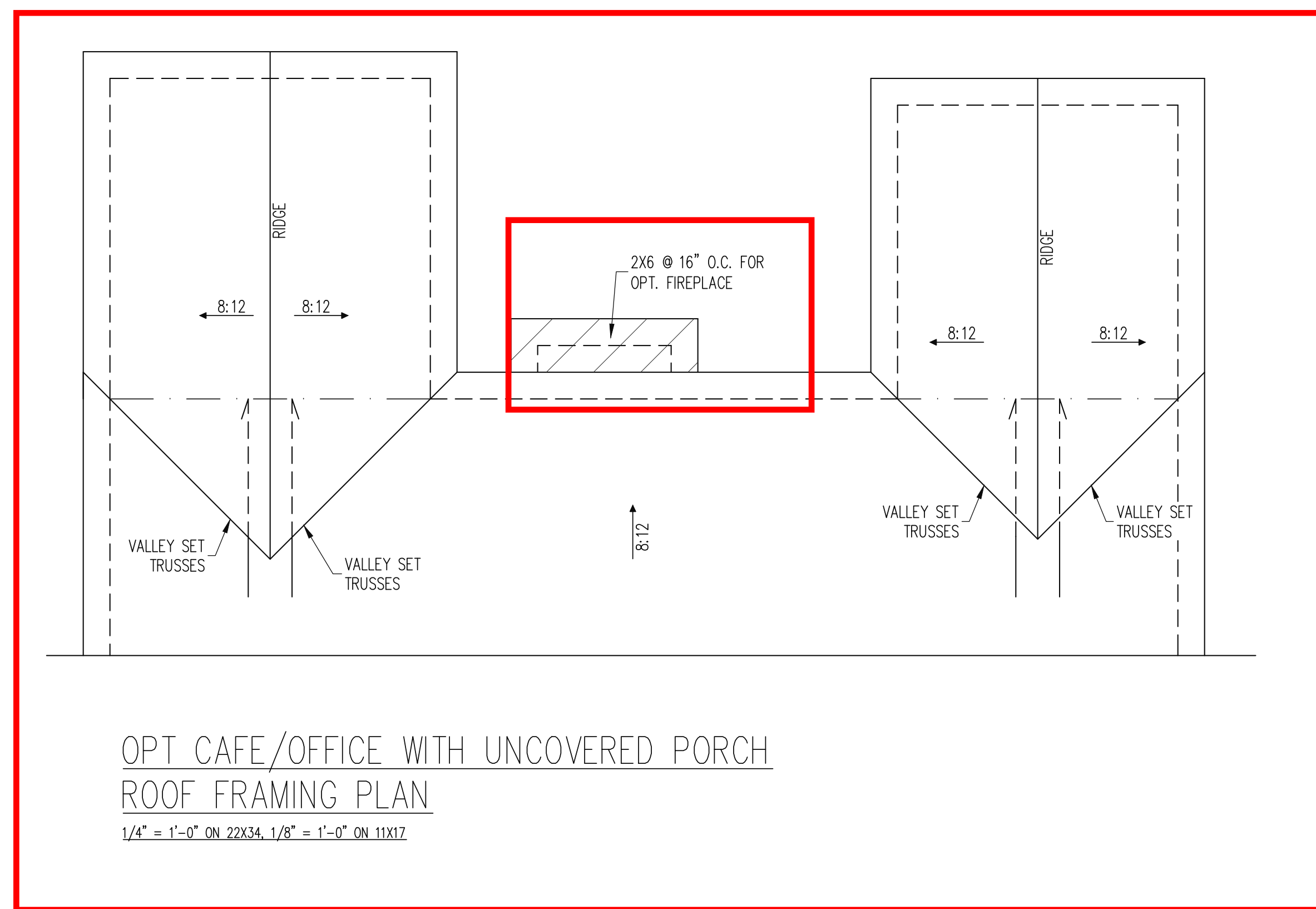
NEW HOMES INC	
SCOPE:	STRUCTURAL ADDENDUM
LOC:	THE TRADITIONAL- RH
REV #	REF PROJ #
1	24-66-123
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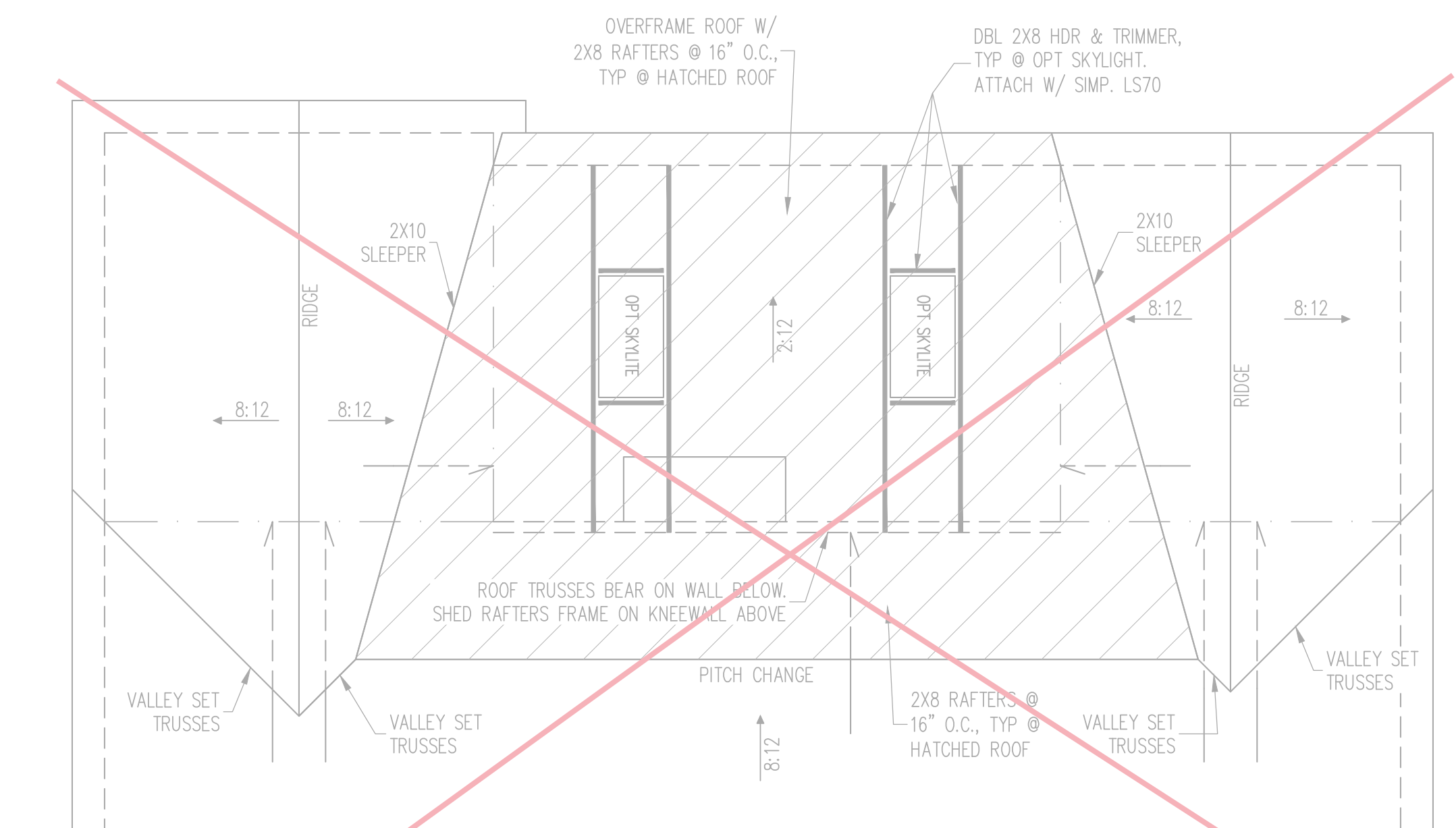
SHEET NO.
S7

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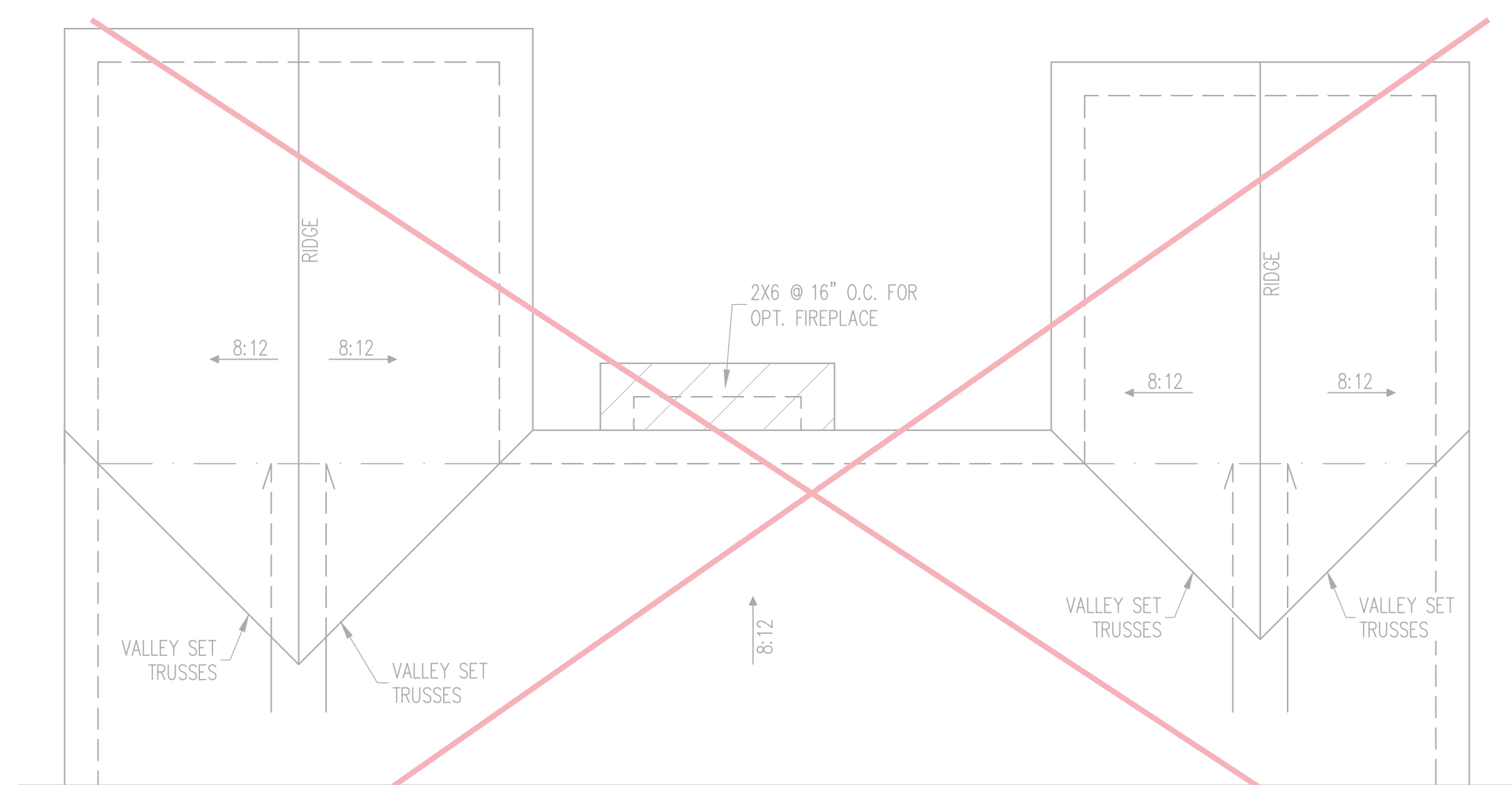
OPT CAFE/OFFICE WITH UNCOVERED PORCH
ROOF FRAMING PLAN

1/4" = 1'-0" ON 22X34, 1/8" = 1'-0" ON 11X17



OPT CAFE/OFFICE WITH COVERED PORCH
ROOF FRAMING PLAN

1/4" = 1'-0" ON 22X34, 1/8" = 1'-0" ON 11X17



OPT COVERED PORCH ROOF FRAMING PLAN

1/4" = 1'-0" ON 22X34, 1/8" = 1'-0" ON 11X17

TRUSS UPLIFT CONNECTORS

EXPOSURE B, 115 MPH, ANY PITCH
24" O.C. MAX ROOF TRUSS SPACING

TRUSSES SHALL BE ATTACHED TO SUPPORT WALL FOR UPLIFT RESISTANCE. CONTINUOUS OSB WALL SHEATHING BELOW PROVIDES CONTINUOUS UPLIFT RESISTANCE TO FOUNDATION. ALL TRUSSES SUPPORTED BY INTERMEDIATE SUPPORT WALLS, KNEEWALLS OR BEAMS SHALL BE ATTACHED TO SUPPORTING MEMBER PER SCHEDULE BELOW.

ROOF SPAN IS MEASURED HORIZONTALLY BETWEEN FURTHEST SUPPORT POINTS.

ROOF SPAN	CONNECTOR
UP TO 28'	NAILING PER TABLE 602.3(1) NCRBC 2018 EDITION
OVER 28'	(1) SIMPSON H2.5A HURRICANE CLIP TO DBL TOP PLATE OR BEAM

FRAMING NOTES

ROOF ONLY

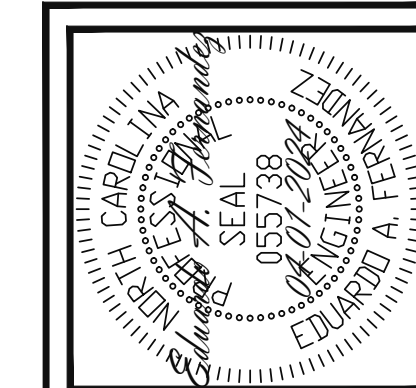
- COMMON RAFTERS 2X8 @ 16" O.C. TYP U.N.O.
- COLLAR TIES 2X4 EVERY 3RD SET OF RAFTERS TYP U.N.O.
- ROOF PITCHES 12:12 TYP U.N.O.
- VERIFY ROOF PITCHES, OVERHANG LENGTHS, AND KNEEWALL FRAMING HGTS WITH ARCHITECTURAL DRAWINGS, TYPICAL.

FRAMING SCHEDULE

ROOF ONLY

AN	SUPPORT BRICK VENEER WITH ANGLE ATTACHED TO MODIFIED STUD WALL
BR	SUPPORT BRICK VENEER PER SECT. R703.8.2 OF THE NCR, LATEST EDITION.
DR	DOUBLE RAFTER
OV	OVERFRAME VALLEY (2X10 SLEEPER)
SB	SUPPORT/SPLICE RAFTERS ON BEAM BELOW
SK	DBL 2X4 STIFF KNEE
SS	SUPPORT/SPLICE RAFTERS ON KNEEWALL BELOW

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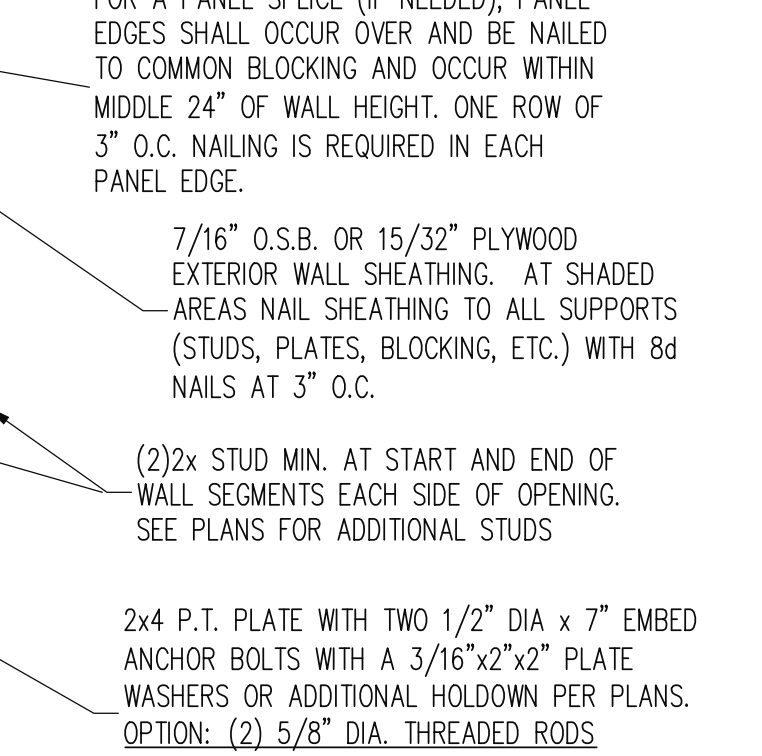
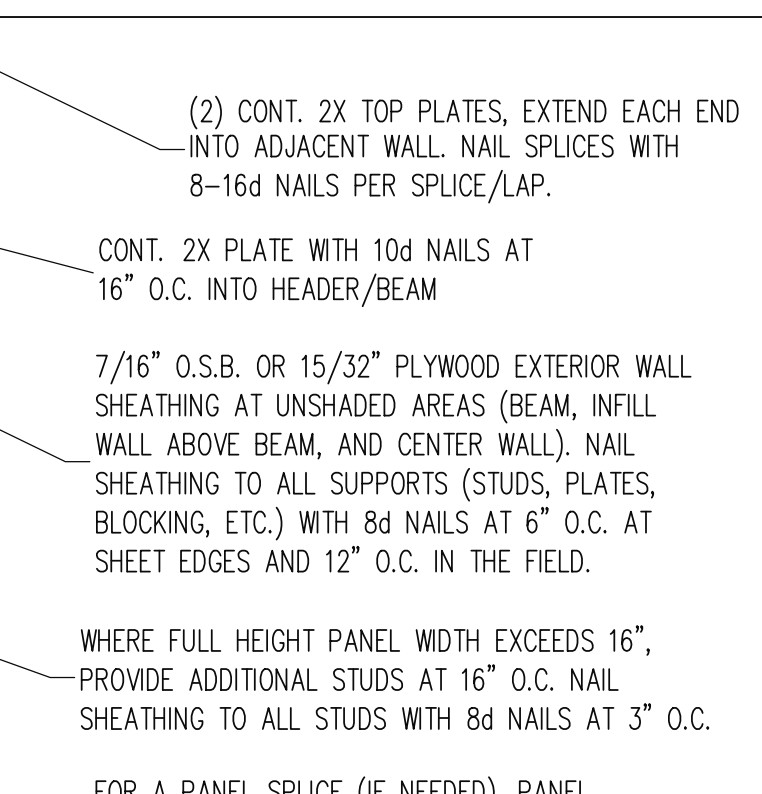
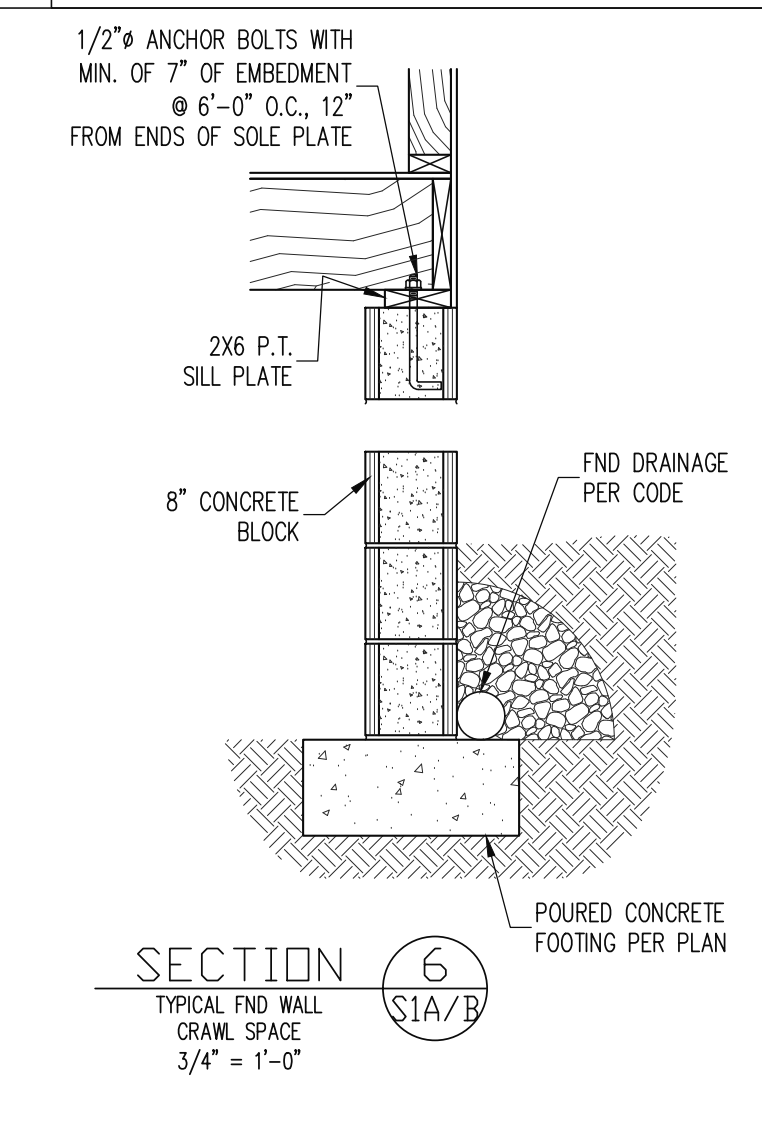
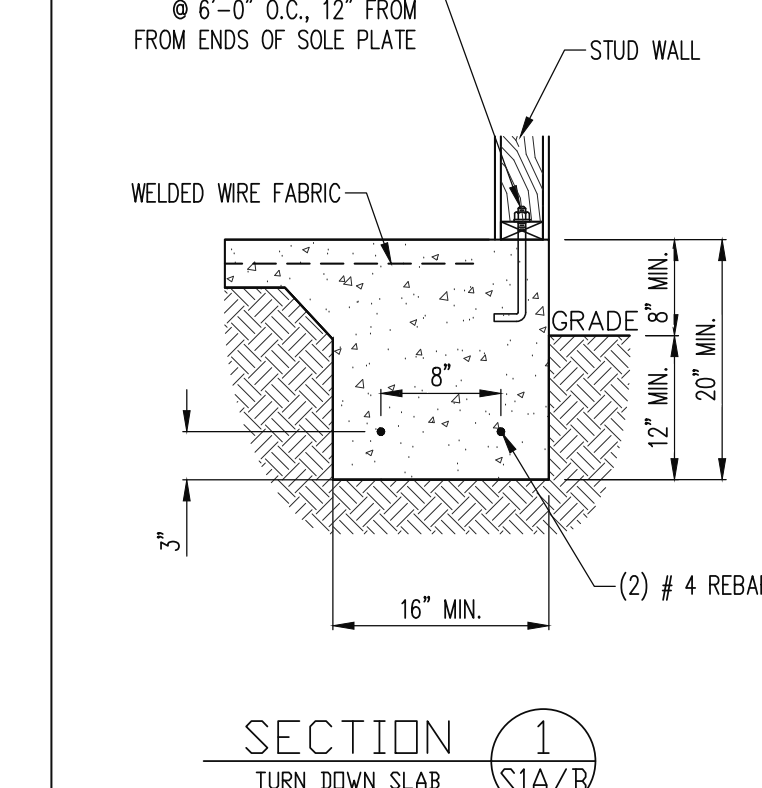
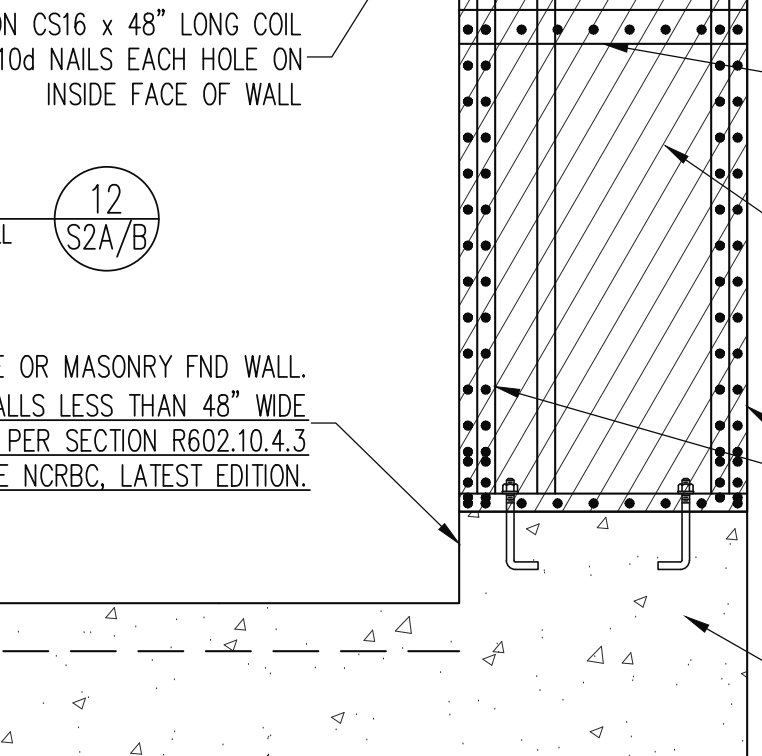
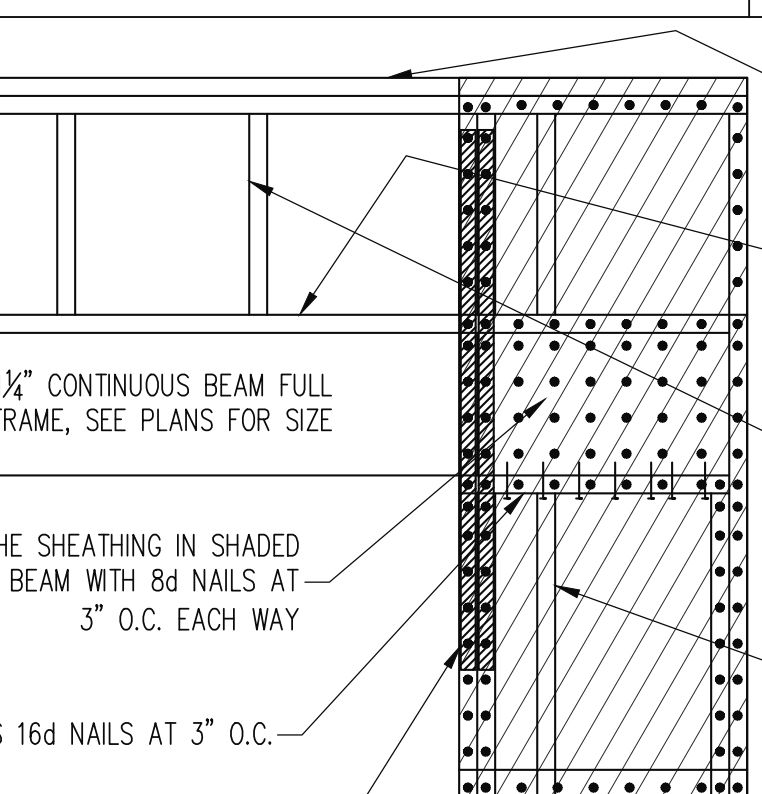
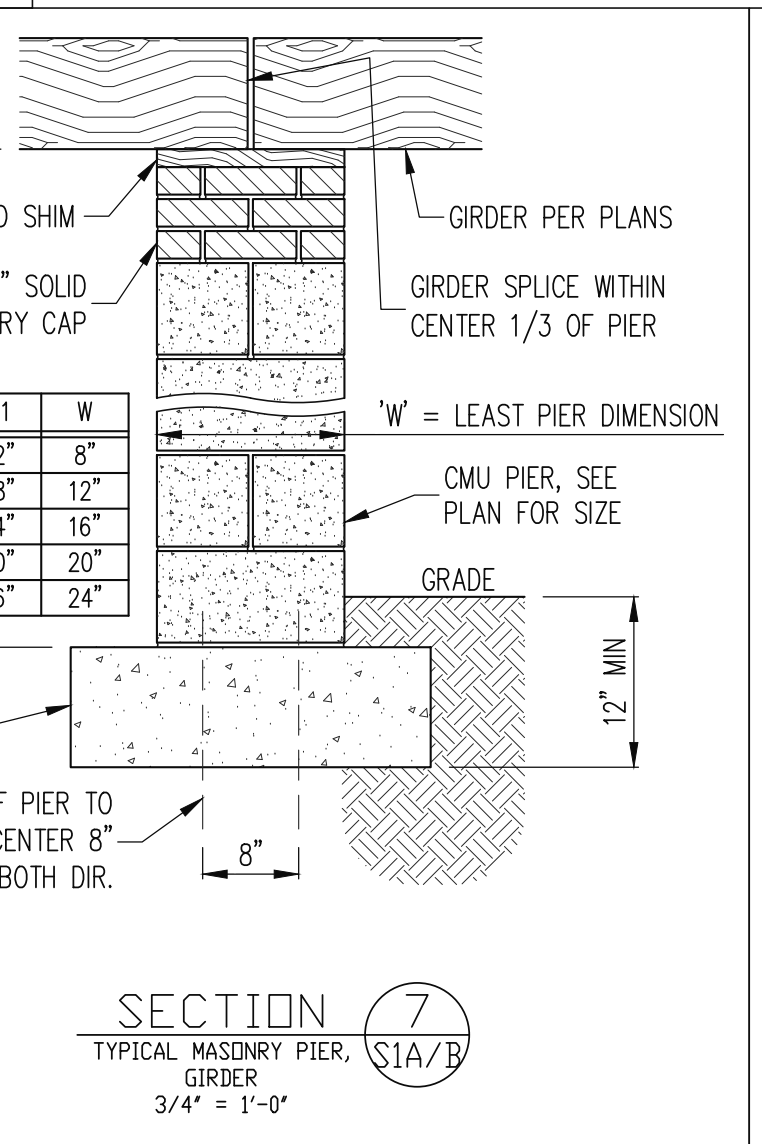
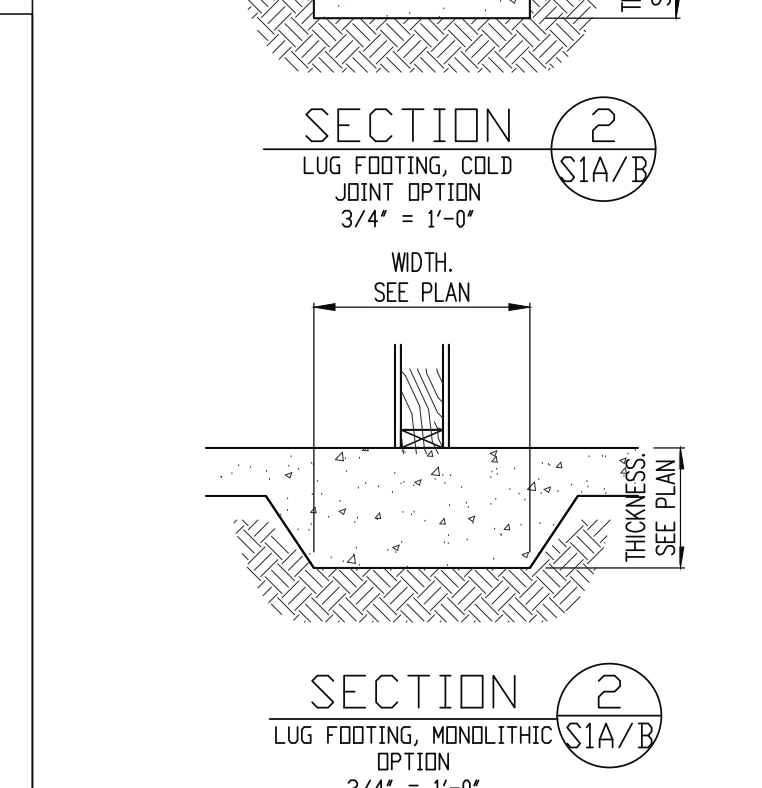
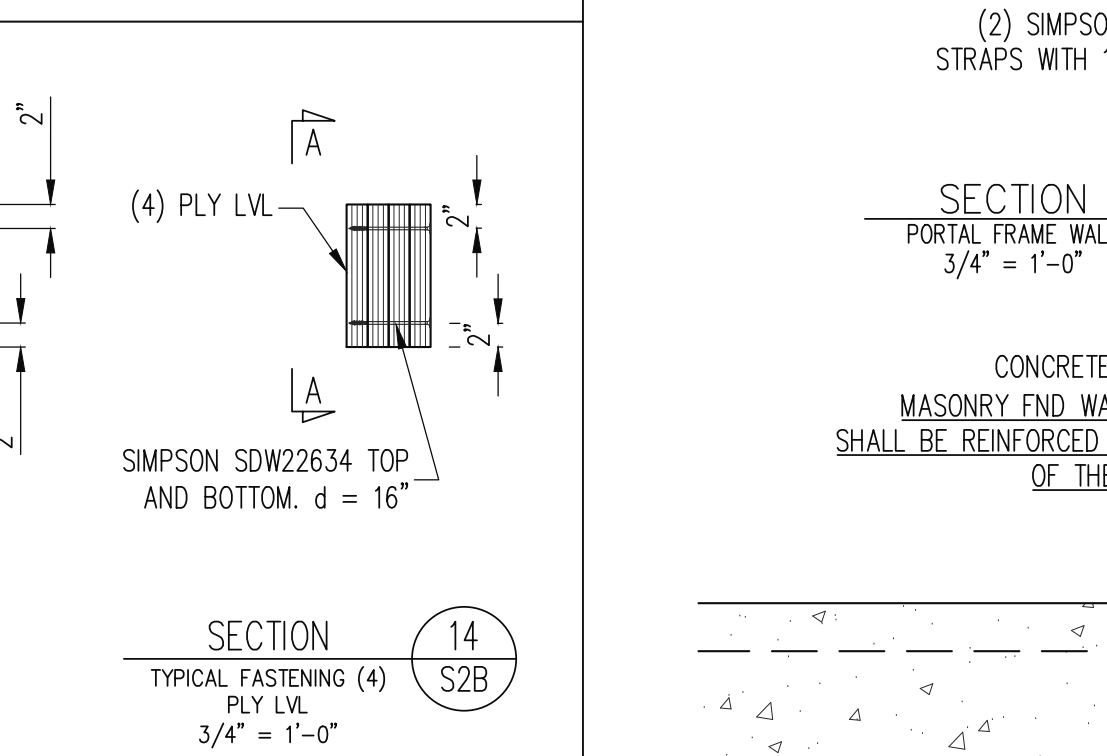
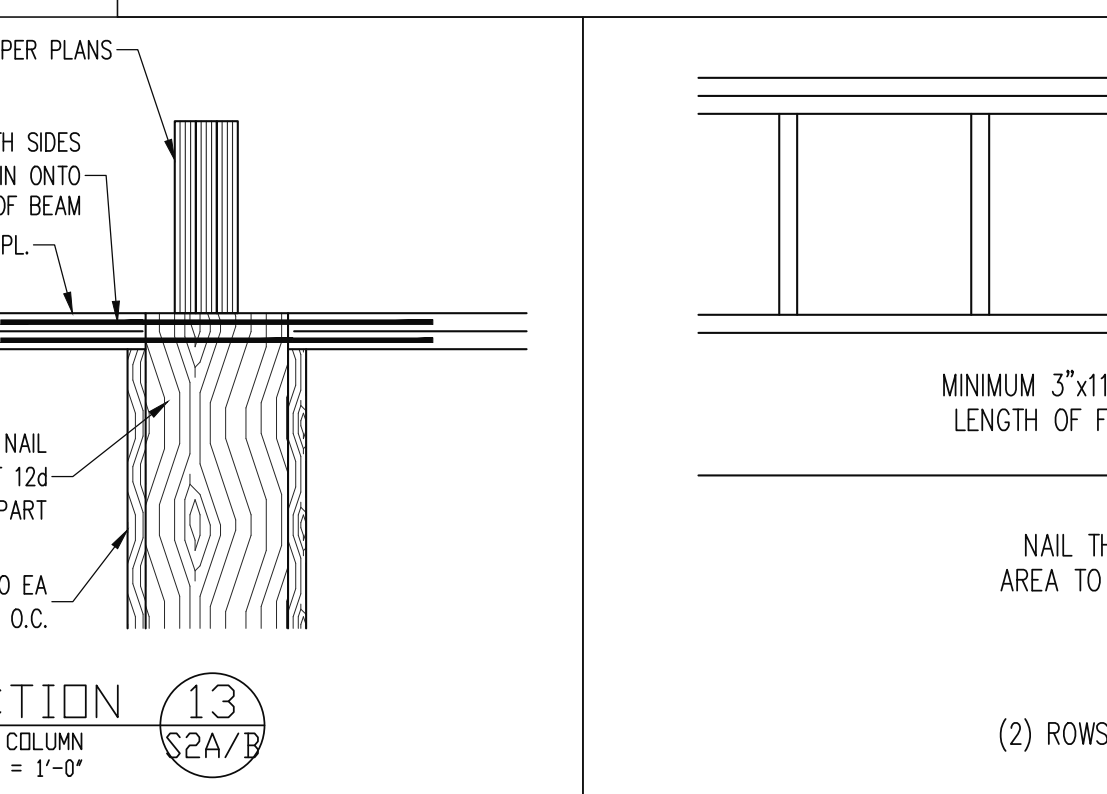
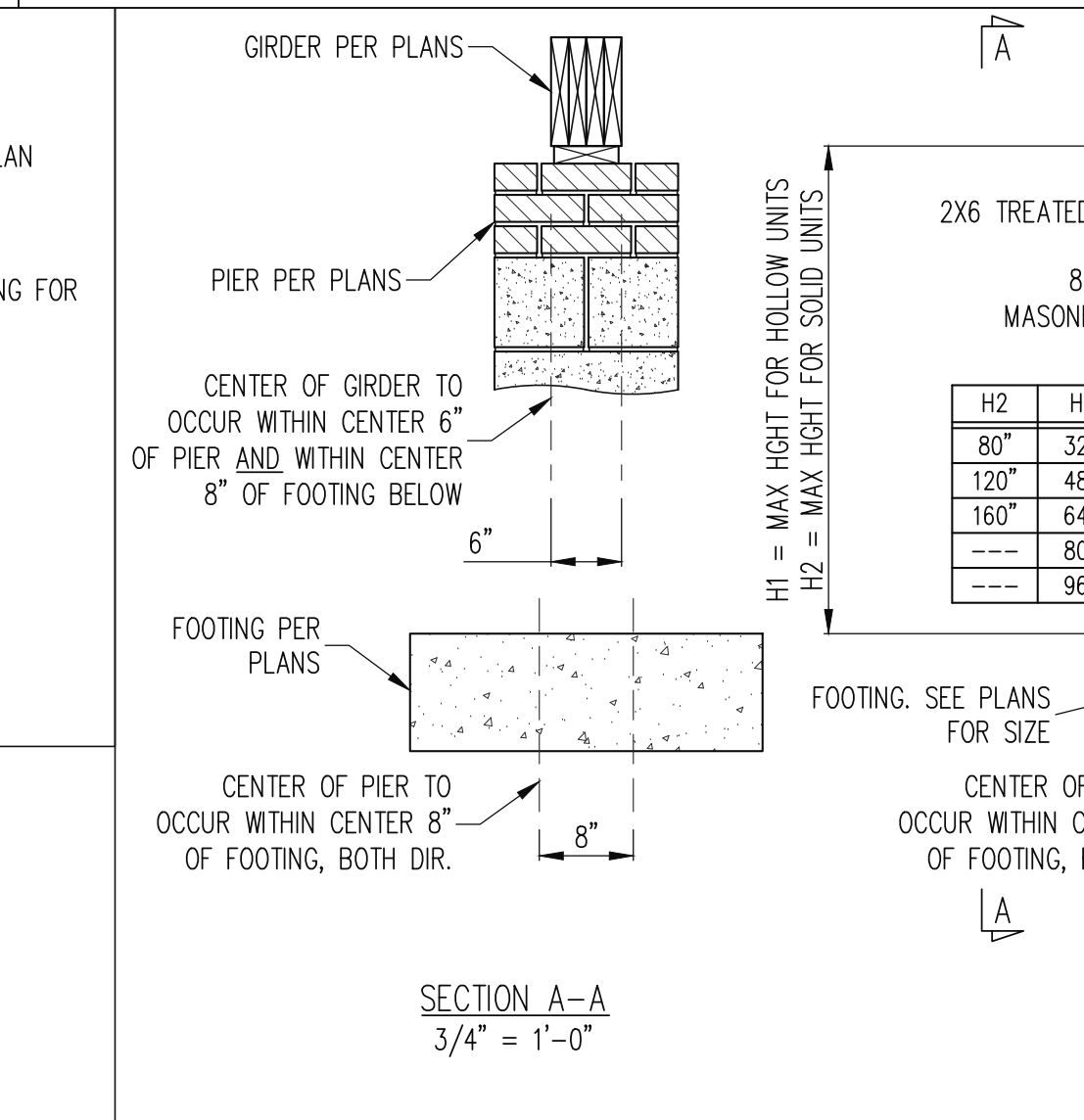
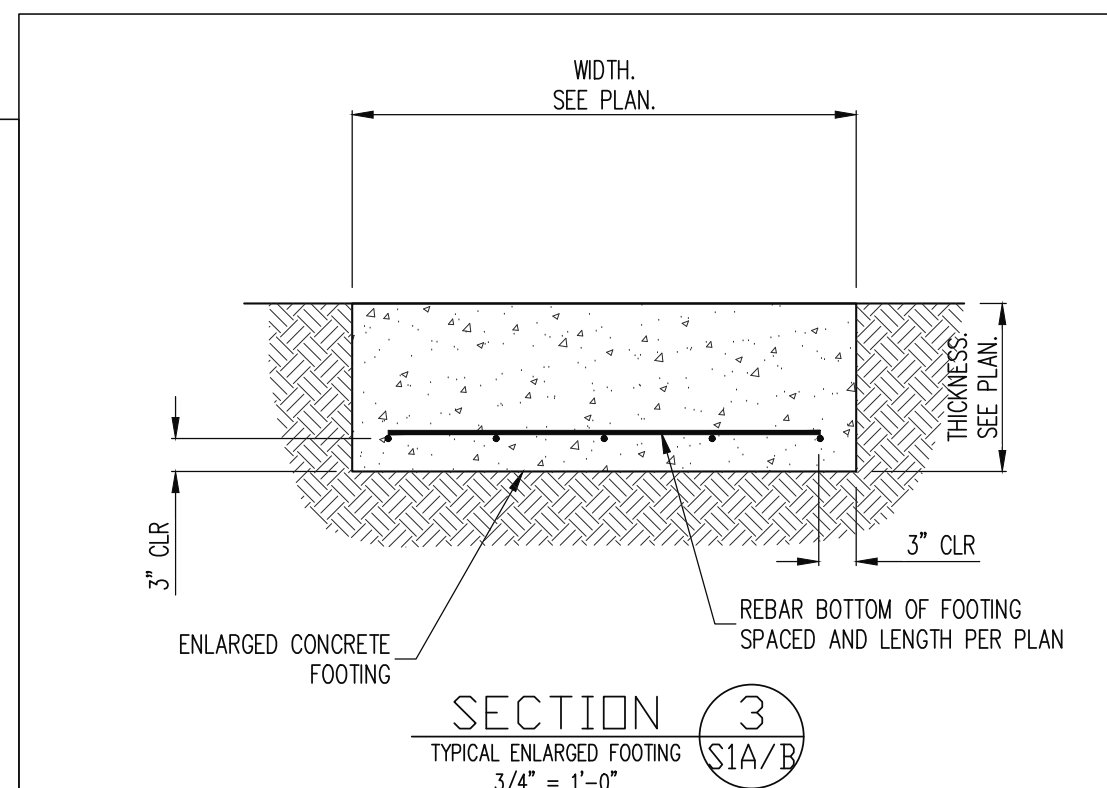
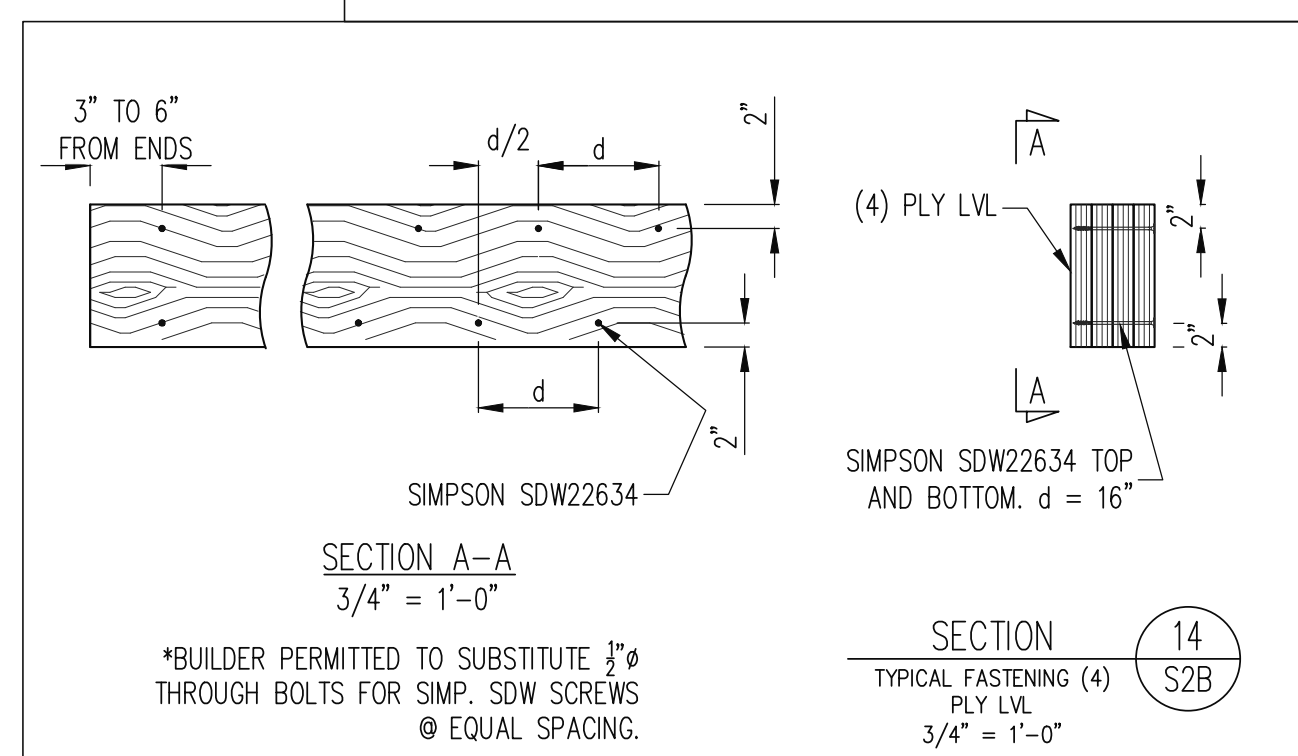
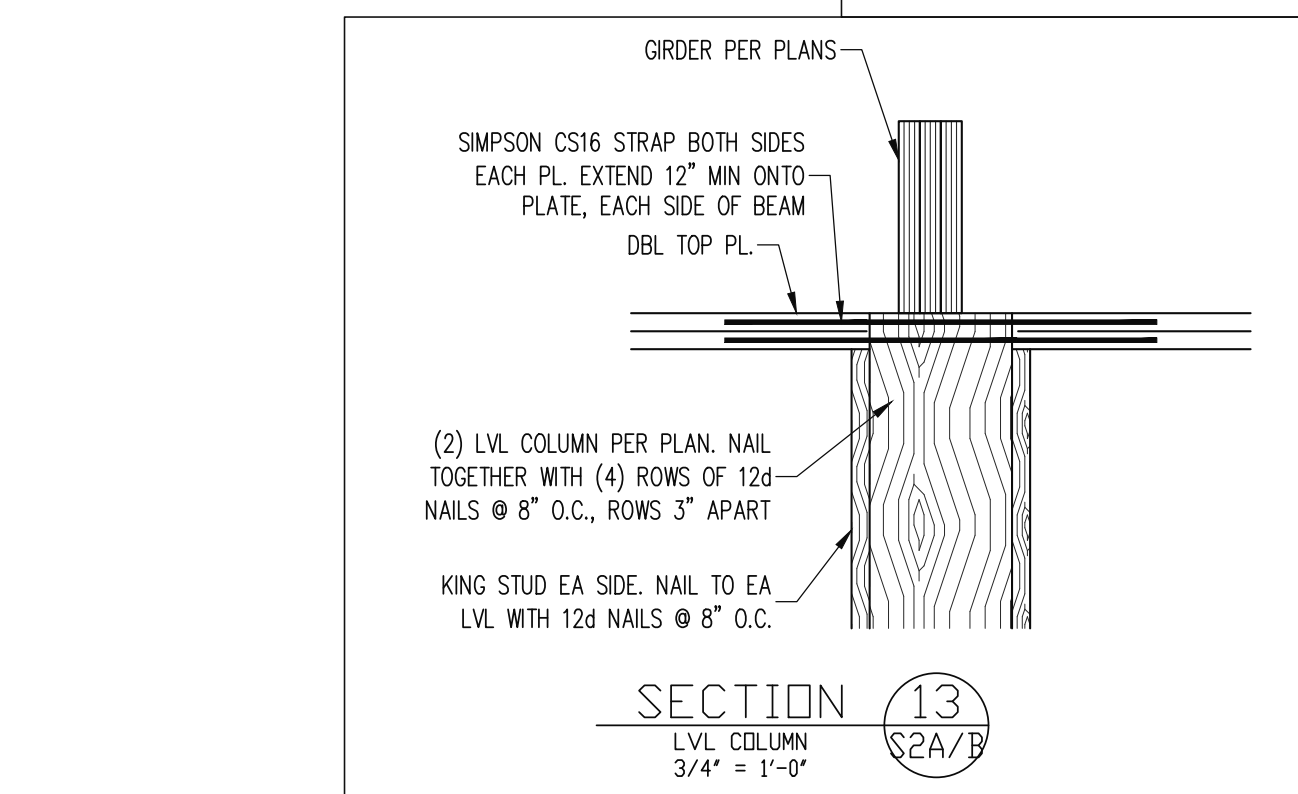
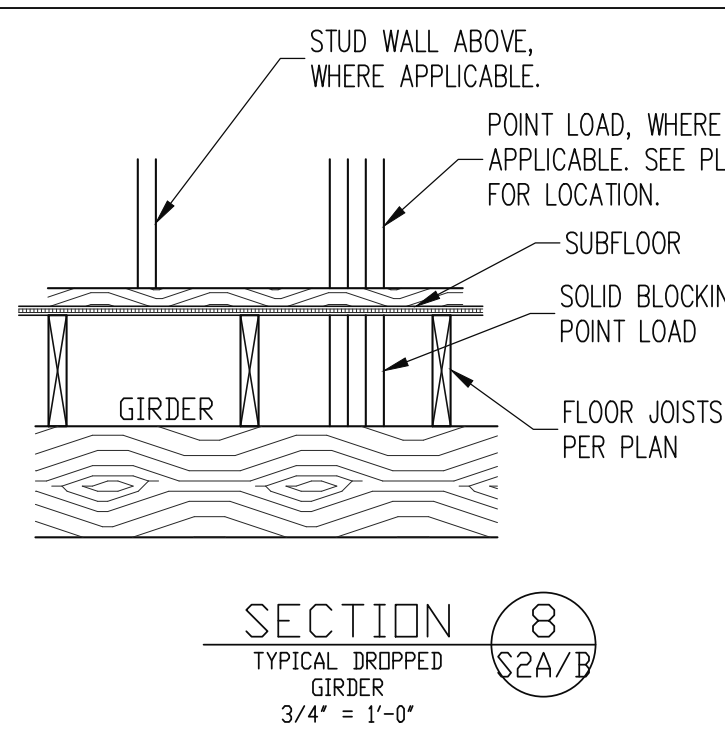
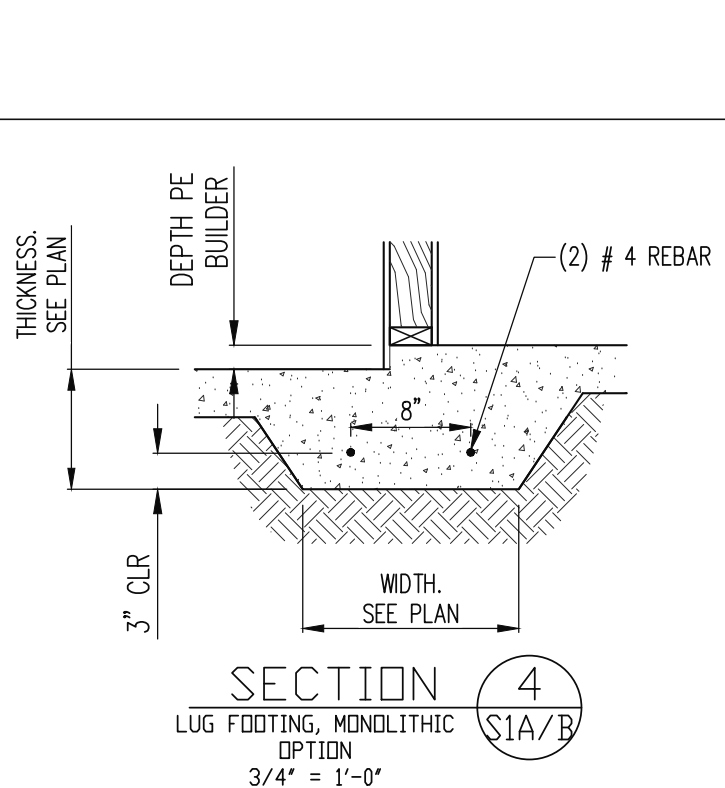
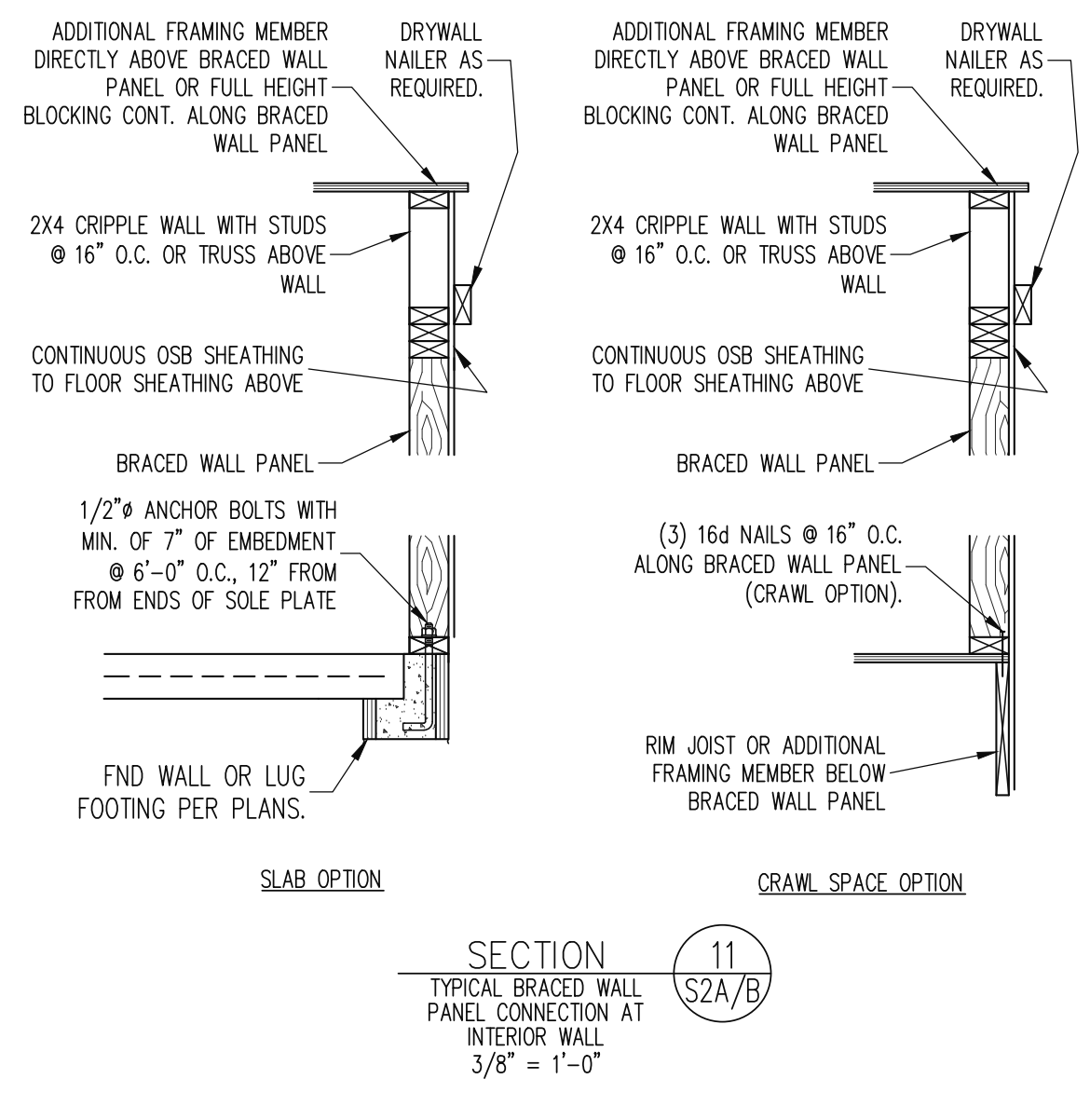
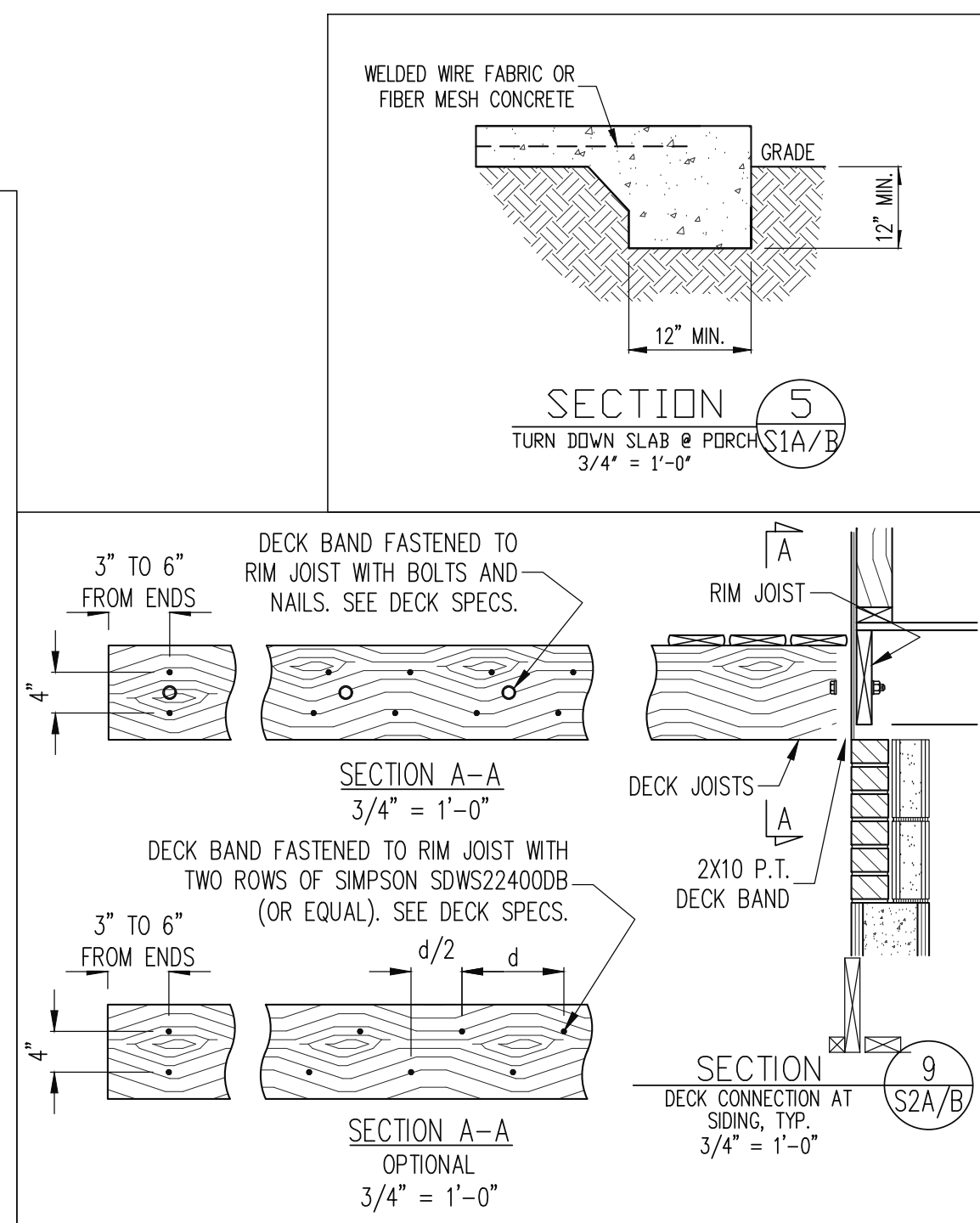
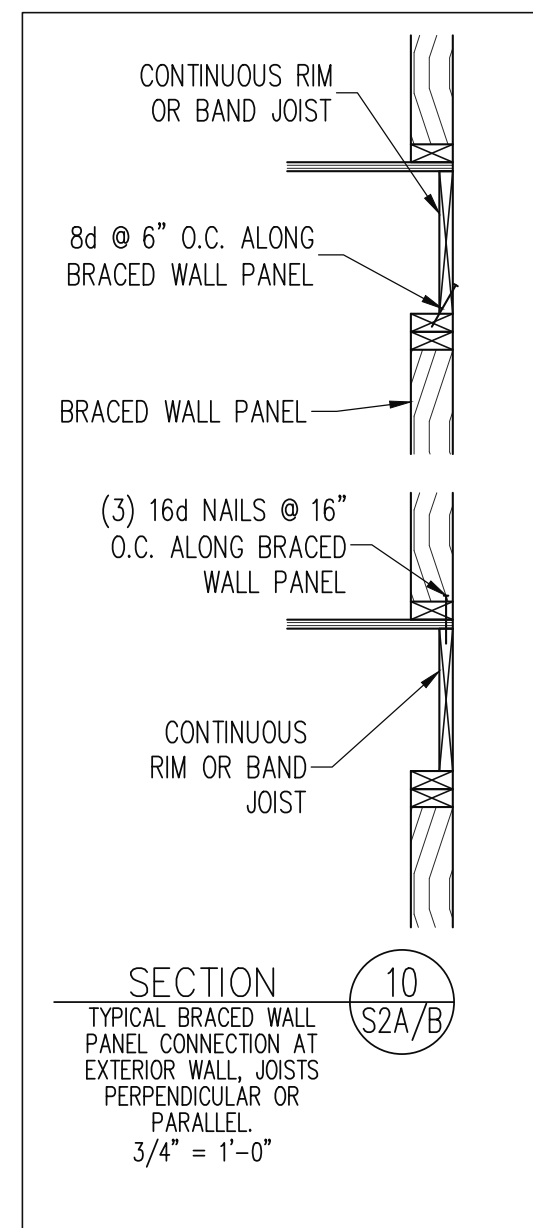
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NEW HOMES INC	
SCOPE:	STRUCTURAL ADDENDUM
LOC:	CUILFORD MASTER PLANS THE TRADITIONAL- RH
REV #	REF PROJ #
1	24-66-123
DATE	04-02-2024

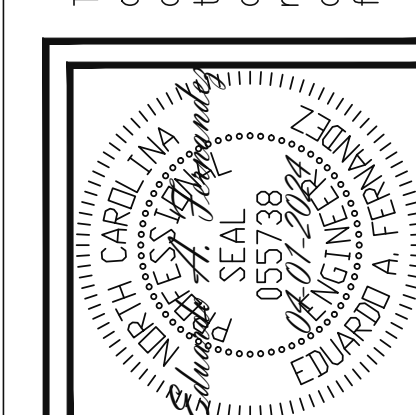
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SHEET NO.
S8
8 of 10



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NEW HOMES INC	SCOPE:	STRUCTURAL ADDENDUM
QUILFORD MASTER PLANS	LOC:	THE TRADITIONAL- RH
REV #	REF	PROJ #
1	24-66-123	04-02-2024

ENG: EAF
 DATE: 10-31-2023

PROJECT NO.
 23-65-205_123R

SHEET NO.
 SD1
 9 of 10

CONSTRUCTION SPECIFICATIONS

PART 1: GENERAL
1.01 CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
1.02 DIMENSIONS SHOWN SHALL GOVERN OVER SCALE ON THESE DRAWINGS.
1.05 METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR...
PART 2: DESIGN LOADS
2.01 DESIGN LOADS SHALL CONFORM WITH THE TABLE BELOW:
USE LIVE LOAD (PSF) DEAD LOAD (PSF)
BALCONIES, DECKS, ATTICS WITH FIXED STAIR ACCESS...
PART 3: STRUCTURAL STEEL
3.01 WIDE FLANGE BEAMS AND TEE SECTIONS SHALL CONFORM TO ASTM A992 MINIMUM GRADE...
PART 4: WELDING
4.01 WELDING ELECTRODES SHALL BE E70XX AND ALL WELDING SHALL BE PERFORMED BY AN AWS CERTIFIED WELDER...
PART 5: CONCRETE AND SLABS ON GRADE
5.01 CAST IN PLACE CONCRETE SHALL BE OF NORMAL WEIGHT, 6% AIR ENTRAINMENT, AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS TYP UNO...
PART 6: REBAR AND WIRE REINFORCEMENT
6.01 REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60 TYP UNO...
PART 7: MASONRY
7.01 CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90 AND C55, NORMAL WEIGHT, 1M = 1,500 PSI MIN...
PART 8: BOLTS AND LAG SCREWS
8.01 BOLTS SHALL CONFORM TO ASTM A307 MINIMUM GRADE TYP UNO...
PART 9: DRIVEN FASTENERS
9.01 NAILS, SPIKES AND STAPLES SHALL CONFORM TO ASTM F 1667-05...
PART 10: DIMENSIONAL LUMBER
10.01 SOLID SAWN WOOD FRAMING DESIGN IS BASED ON NO. 2 SPRUCE PINE FIR OR SYP #2 FOR JOISTS, RAFTERS, GIRDERS, BEAMS, STUDS, ETC.
PART 11: ENGINEERED LUMBER
11.01 LVL OR PSL MINIMUM ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS: E = 1.9 X 10^6 PSI, Fb = 2600 PSI, Fv = 285 PSI, Fc = 750 PSI...

NOTES

11.02 LVL OR PSL MEMBERS MAY BE RIPPED FROM DEEPER MEMBERS TO MATCH THE MEMBER DEPTH SPECIFIED IN THE PLANS
PART 12: PRESSURE TREATED LUMBER
12.01 LUMBER IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AMPA STANDARD C-15...
PART 13: STEEL FLUTCH PLATE BEAMS
13.01 FLUTCH PLATE BEAMS SHALL CONSIST OF A CONTINUOUS STEEL PLATE BOLTED BETWEEN TWO PIECES OF CONTINUOUS LUMBER AS SIZED ON THE PLANS...
PART 14: STUD SUPPORTS FOR BEAMS
14.01 STEEL ENGINEERED LUMBER, AND FLUTCH PLATE BEAMS BEARING ON A STUD WALL SHALL BEAR AS FOLLOWS:
1-WHEN THE BEAM IS PERPENDICULAR TO, OR SKEWED RELATIVE TO THE WALL, THE BEAM SHALL BEAR FULL WIDTH ON THE SUPPORTING WALL...
PART 15: NAILING OF MULTI-PLY WOOD BEAMS
15.01 SOLID SAWN LUMBER JOISTS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM NAILED TOGETHER WITH THREE ROWS OF 10d NAILS...
PART 16: WALL FRAMING AND BRACING
16.01 STUD WALLS SHALL CONSIST OF 2X4 STUDS SPACED AT 16" O.C. UNO...
PART 17: KING STUDS
17.01 KING STUDS FOR OPENINGS IN EXTERIOR WALLS SHALL BE AS FOLLOWS:
NUMBER OF KING STUDS
MAX OPENING WIDTH 5'-0" 9'-0" 13'-0" 17'-0" 21'-0"
STUD SIZE 2X4 1 2 3 4 5
2X6 1 1 2 2 2
2X8 1 1 1 1 2
PART 18: SUBSTITUTIONS
18.01 MATERIAL OR MEMBER SIZE SUBSTITUTIONS OR PLAN DEVIATIONS REQUIRE THE WRITTEN AUTHORIZATION OF THE DESIGNERS...
PART 19: OWNERSHIP OF STRUCTURAL DESIGN
19.01 THE STRUCTURAL DESIGN OF THIS PLAN IS THE PROPERTY OF ENGINEERING TECH ASSOCIATES (ETA)...

ABBREVIATIONS

ABV ABOVE
B. BOTH ENDS
B.E. BETWEEN
BTM BOTTOM
CP CAST IN PLACE
CONC CONCRETE
CS CONTINUOUS SHEATHING
DIA DIAMETER
EQ EQUAL
EA EACH
FLG FLANGE
FL FLUTCH PLATE
FLR FLOOR
FND FOUNDATION
FTG FOOTING
HDC HOT DIPPED
HGR HANGER
LVL LAMINATED VENEER LUMBER
NLS NOT TO SCALE
O.C. ON CENTER
PSL PARALLEL STRAND LUMBER
PT PRESSURE TREATED
QJ QUAD JOIST
SP STUD POCKET
SQ SQUARE
TJ TRIPLE JOIST
TYP TYPICAL
TRPL TRIPLE
TSP TRIPLE STUD POCKET
UNO UNLESS NOTED OTHERWISE
XJ EXTRA JOIST

ALLOWABLE I-JOIST SUBSTITUTION

Table with columns: MANUFACTURER, DEPTH, SERIES, SIMPSON FACE MOUNT HGR, SIMPSON TOP FLANGE HGR. Includes entries for BLUELINX, BOISE CASCADE, LP CORP, NORDIC, ROSEBURG, WEYERHAEUSER.

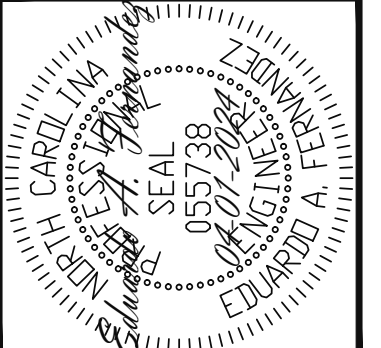
DECK SPECIFICATIONS

1. A DECK IS AN EXPOSED EXTERIOR WOOD FLOOR STRUCTURE WHICH MAY BE ATTACHED TO A STRUCTURE OR BE FREE STANDING, ROOFED PORCHES, OPEN OR SCREENED IN, MAY BE CONSTRUCTED USING THESE PROVISIONS.
2. SUPPORT POSTS SHALL BE SUPPORTED BY A FOOTING.
3. WHEN ATTACHED TO A STRUCTURE, THE STRUCTURE TO WHICH ATTACHED SHALL HAVE A TREATED WOOD BAND FOR THE LENGTH OF THE DECK...
4. WHEN THE DECK IS SUPPORTED AT THE STRUCTURE BY ATTACHING THE DECK TO THE STRUCTURE, THE FOLLOWING ATTACHMENT SCHEDULES SHALL APPLY...
A. ALL STRUCTURES EXCEPT BRICK STRUCTURES
JOIST LENGTH
UP TO 8' MAX. UP TO 16' MAX.
REQUIRED FASTENERS ONE- 5/8" # BOLT @ 42" O.C. AND TWO ROWS OF 12d NAILS @ 8" O.C. OR TWO ROWS OF SIMPSON SDWSZ24008 @ 32" O.C. STAGGERED
B. BRICK VENEER STRUCTURES
JOIST LENGTH
UP TO 8' MAX. UP TO 16' MAX.
REQUIRED FASTENERS ONE- 5/8" # BOLT @ 28" O.C. ONE- 5/8" # BOLT @ 16" O.C.
5. IF THE DECK BAND IS SUPPORTED BY A 1/2" MINIMUM MASONRY LEDGE ALONG THE FOUNDATION WALL...
6. OTHER MEANS OF SUPPORT, SUCH AS JOIST HANGERS, MAY BE USED TO CONNECT DECK JOISTS TO A TREATED STRUCTURE BAND.
7. GIRDERS SHALL BEAR DIRECTLY ON POSTS OR BE CONNECTED TO THE SIDES OF POSTS WITH 2 - 5/8" # BOLTS
8. FLOOR DECKING SHALL BE NO. 2 GRADE TREATED SOUTHERN PINE OR EQUIVALENT. THE MINIMUM FLOOR DECKING THICKNESS SHALL BE AS FOLLOWS:

Tables for JOIST SPAN vs DECKING, POST SIZE vs MAX POST HEIGHT, and POST SIZE vs TRIBUT. AREA vs POST HEIGHT vs EMB. DEPTH vs CONC. DIAM. Includes notes on joist span and post height.

NOTES

1) THIS TABLE IS BASED ON NO. 2 TREATED SOUTHERN PINE POSTS.
2) THIS TABLE IS BASED ON A MAXIMUM TRIBUTARY AREA OF 128 SQ. FT.
3) POST HEIGHT IS FROM TOP OF FOOTING TO BOTTOM OF GIRDER.
10. DECKS SHALL BE BRACED TO PROVIDE LATERAL STABILITY BY ONE OF THE FOLLOWING METHODS:
A. WHEN THE DECK FLOOR HEIGHT IS LESS THAN 4'-0" AND THE DECK IS ATTACHED TO THE STRUCTURE IN ACCORDANCE WITH SECTION 4, LATERAL BRACING IS NOT REQUIRED.
B. 4X4 WOOD KNEE BRACES MAY BE PROVIDED ON EACH COLUMN IN BOTH DIRECTIONS...
C. FOR FREE STANDING DECKS WITHOUT KNEE BRACES OR DIAGONAL BRACING...
D. 2X6 DIAGONAL VERTICAL CROSS BRACING SHALL BE PROVIDED IN TWO PERPENDICULAR DIRECTIONS FOR FREE STANDING DECKS...
JOISTS NOT LISTED IN THE ABOVE TABLE MAY BE USED PROVIDED THEY MEET OR EXCEED THE PROPERTIES OF THOSE LISTED...



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Project Information Table with columns: SCOPE, LOC, REV #, REF PROJ #, DATE. Includes project name NEW HOMES INC STRUCTURAL ADDENDUM and revision details.

ENG: EAF
DATE: 10-31-2023

PROJECT NO.
23-65-205_123R

SHEET NO.
SPECS
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