

GENERAL PLAN NOTES

01 GENERAL CONDITIONS

- STAIRS: ALL STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS ESTABLISHED BY THE CURRENT CODE. STAIR INFORMATION - MAXIMUM STAIR RISER 1 3/4"; MINIMUM STAIR TREAD 10" WITH A 3/4" - 1 1/4" NOSING ON STAIRS WITH SOLID RISER. MINIMUM STAIR HEADROOM 6'-8" CLEAR MEASURED VERTICALLY FROM THE STAIR NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM. MINIMUM CLEAR STAIR OPENING WIDTH SHALL NOT BE LESS THAN 36". STAIRS WITH OPEN RISERS SHALL BE CONSTRUCTED TO PREVENT THE PASSAGE OF A SPHERE OF 4" OR MORE IN DIAMETER THROUGH THE RISER OPENINGS. THE GREATER RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE GREATEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
- HANDRAILS AND GUARDRAILS: HANDRAILS MUST HAVE A MINIMUM AND MAXIMUM HEIGHT OF 34" AND 38", RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREAD, AND SHALL BE PROVIDED ONE AT LEAST ON SIDE OF STAIRWAYS OF FOUR OR MORE RISERS. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. ALL STAIRWAY HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2" MAX. OR APPROVED RAILS OF EQUIVALENT GRASPABILITY. HANDRAILS PROJECTING FROM THE WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. GUARDRAILS NOT LESS THAN 36" IN HEIGHT AND SHALL BE INSTALLED AT ALL PORCHES, BALCONIES, OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR GRADE BELOW WOOD/PLASTIC COMPOSITE DECK BOARDS AND STAIR TREADS, AND HANDRAILS AND GUARDRAIL SYSTEMS SHALL COMPLY TO ASTM D1032-14 AND INCLUDE THE ALLOWABLE LOAD AND MAXIMUM ALLOWABLE SPANS.
- WINDOW SUPPLIER IS TO CERTIFY THAT THE WINDOWS PROVIDED FOR BEDROOMS MEET THE GOVERNING BUILDING CODE EGRESS REQUIREMENTS. IF LARGER WINDOWS ARE REQUIRED THAN THOSE SHOWN ON THE PLANS, THE SUPPLIER SHALL NOTIFY THE BUILDER AND THE BUILDER SHALL SUBSTITUTE THE LARGER WINDOWS FOR THOSE SHOWN ON THE PLANS. THE BUILDER SHALL CONFIRM WINDOW SIZES BY COMPLETING THE ROUGH FRAME OPENINGS BEFORE THE WINDOWS ARE ORDERED. GLAZING AT ALL WINDOWS, DOORS, FIXED GLASS PANELS, SIDELIGHTS, ETC. MUST MEET THE REQUIREMENTS OF THE GOVERNING CODE WITH SPECIAL ATTENTION PAID TO GLAZING AT HAZARDOUS LOCATIONS.
- AT CRAWL OR ATTIC SPACES SHALL BE PROVIDED WITH VENTS TO ALLOW A FLOW OF AIR THROUGH THE SPACE. FREE VENT AREA IS TO BE AS FOLLOWS: CRAWL BENTS SHOULD EQUALS 1/50 OF GROUND AREA, ROOF VENTS 1/300 OF CEILING AREA WITH VENTS DISTRIBUTED PER THE GOVERNING BUILDING CODE. PROVIDE ACCESS OPENINGS TO CRAWL (18"x24" MIN) AND ATTIC (22"x30" MIN. WITH 30" HEADROOM).
- WHERE DRAWINGS OR INFORMATION IS IN CONFLICT WITH OTHER DRAWINGS OR DETAILS, THE BUILDER SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO THE COMMENCEMENT OR CONSTRUCTION IN ORDER THAT A CLARIFICATION NOTICE CAN BE ISSUED.
- ALL COMPONENTS AND CLADDING SHALL BE ATTACHED FOR LOCAL WIND SPEED REQUIREMENTS.

02 SITE WORK

- PRESUMED SOIL BEARING CAPACITY NOTED ON COVER SHEET. ALL FOOTINGS SHALL BE ON UNDISTURBED SOIL OR ENGINEERED FILL.
- THE BOTTOM OF ALL FOOTINGS SHALL BE BELOW THE FROST LINE AS DEFINED BY THESE SPECS, THE DRAWINGS OR THE GOVERNING BUILDING CODE AND/OR 12" MINIMUM.
- FOR BASEMENT CONDITIONS, THE MAXIMUM VERTICAL DISTANCE MEASURED FROM THE TOP OF A BASEMENT FLOOR SLAB TO THE OUTSIDE FINISHED GRADE SHALL NOT EXCEED DISTANCES FOR THE WALL THICKNESS AS SHOWN IN THE INTERNATIONAL RESIDENTIAL CODE, IN IRC TABLES R-404.11 (1-4) FR R-404.12 (1-9) BASED ON WALL TYPE AND SOIL CLASS.
- DO NOT BACKFILL UNTIL WALLS HAVE CURED AND THE BUILDING STRUCTURE ABOVE IS IN PLACE. BACKFILL SHALL BE CLEAN GRANULAR FILL, FREE OF ORGANIC MATERIAL, PLACES IN 8" LAYERS EQUALLY ON ALL SIDES, COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557.
- FINISHED GRADE SHALL SLOPE AWAY FROM THE BUILDING AT A MINIMUM OF 6" FOR A MINIMUM DISTANCE OF 10' FROM THE BUILDING.
- TERMITE TREATMENT - TREAT INTERIOR AND EXTERIOR EARTH AT PERIMETER WITH EPA APPROVED TERMITICIDE. SPRAY BORA-CARE OR EQ. TERMITICIDE AND MOLD TREATMENT ON STUDS 3 FEET ABOVE SLABS PER MANUFACTURER'S RECOMMENDATION. PROVIDE TERMITE SHIELDS WHERE SHOWN ON PLANS.

03 CAST-IN-PLACE CONCRETE

- CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI. EXTERIOR SLABS TO BE MIN. 5% AND MAX. 1% AIR ENTRAINED CONCRETE WITH MAX. SLUMP TO BE 5".
- CONCRETE PLACEMENT SHALL COMPLY WITH RECOMMENDATIONS OF ACI 318-14.
- CONCRETE SLABS SHALL HAVE POLYPROPYLENE FIBER ADDITIVE (15 LB/CY) OR WUF REINFORCEMENT 6x6, W4x4@4 PER ASTM D2103 LOCATED MIDWAY THROUGH THE SLAB THICKNESS.
- REINFORCEMENT STEEL WHERE SHOWN ON PLANS SHALL CONFORM TO ASTM A706/A706M, GRADE 60 MIN.
- PROVIDE A 6 MIL POLYETHYLENE MOISTURE BARRIER MEMBRANE UNDER INTERIOR CONCRETE SLABS AND WHERE INDICATED ON THE DRAWINGS, LAP SHEETS 6" MIN. AT JOINTS. VAPOR BARRIER TO BE BETWEEN SLAB AND SUBGRADE.
- COVERED PORCH SLABS SHALL SLOPE AT A MINIMUM OF 1/8" PER FOOT TO DRAIN WATER AWAY FROM EXTERIOR WALLS. PATIO SLABS SHALL SLOPE 1/4" PER FOOT.

04 MASONRY

- CONCRETE MASONRY UNITS (CMU) SHALL CONFORM TO ASTM C90-14, GRADE N, WEIGHT UNITS.
- MORTAR TO BE TYPE M WITH A 28 DAY COMPRESSIVE STRENGTH OF 2000 PSI. PROVIDE CONTINUOUS HORIZONTAL JOINT REINFORCEMENT EVERY OTHER COURSE. MORTAR TO MEET ASTM C210-14A STANDARDS.
- GROUT SHALL MEET THE REQUIREMENTS OF ASTM C416 WITH A 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI. GROUT ALL CELLS RECEIVING ANCHORS AND THE TOP COURSE OF ALL BEARING WALLS.
- FACE BRICK SHALL BE STANDARD SIZE AND COMPLY WITH ASTM C216-15. RUNNING BOND WITH TOOLED JOINT APPLICATION. SECURE BRICK VENEER TO WALL STUDS WITH GALV. METAL TIES AS SHOWN ON PLANS.
- APPLY A CEMENTITIOUS PARING COAT TO THE EXTERIOR OF ALL BASEMENT WALLS.
- MANUFACTURED STONE SHALL BE INSTALLED IN ACCORDANCE WITH THE MASONRY VENEER MANUFACTURERS ASSOCIATION (MMA) "INSTALLATION GUIDE AND DETAILING OPTIONS FOR COMPLIANCE WITH ASTM C1180 FOR ADHERED MANUFACTURED STONE VENEER."

05 STRUCTURAL STEEL

- STEEL BEAMS AND PLATES SHALL CONFORM WITH ASTM SPECIFICATION A-36. STEEL COLUMNS SHALL CONFORM TO ASTM A53/ASTM53M-12.
- ALL STRUCTURAL STEEL SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT AISC SPECIFICATIONS AND "CODE OF STANDARD PRACTICES." ALL PIPE COLUMNS SHALL BE STANDARD WEIGHT STEEL COLUMNS IN ACCORDANCE WITH ASTM A 501, FY = 50 KSI, UNLESS NOTED OTHERWISE. STEEL COLUMNS SHALL BE SECURED TO STEEL BEAMS WITH WRAP AROUND STEEL CLAMPS, BOLT AND NUTS OR BE TACK WELDING BEARING PLATE TO THE BEAM. STEEL COLUMNS AT BASEMENT LOCATIONS SHALL PENETRATE THE BASEMENT SLAB DOWN TO THE TOP OF THE COLUMN FOOTING BELOW SLAB.

06 WOOD

- FRAMING LUMBER SPACES SHALL BE PER STRUCTURAL DRAWINGS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "AMERICAN WOOD COUNCIL" (AWC), "WOOD FRAME CONSTRUCTION MANUAL" (WFCM-2018) AND SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE, R301.
- THE DESIGN LOADS FOR WOOD TRUSSES ARE PER STRUCT. SPECS, THE GOVERNING BUILDING CODE, TP11-2014 AND AMERICAN WOOD COUNCIL NDS-2018. THE TRUSS MANUF. SHALL PROVIDE SHOP DRAWINGS, SEALED BY A STATE-LICENSED DESIGN PROFESSIONAL FOR APPROVAL PRIOR TO FABRICATION. INSTALL TRUSSES AND ENGINEERED LUMBER IN STRICT ACCORDANCE WITH THE SHOP DRAWINGS AND UTCA-B1 AND UTCA-B2/ ALL POINT LOADS, PARTIAL UNIFORM LOADS OR COMBINATIONS THEREOF SHALL BE DETERMINED BY THE TRUSS MANUFACTURER AND ACCOUNTED FOR IN THE DESIGN OF THE TRUSSES.
- PREFABRICATED WOOD-I-JOISTS SHALL BE RATED PER ASTM D5055-13. STRUCTURAL COMPOSITE LUMBER SHALL BE RATED PER ASTM D5456-18.
- HANGERS, ANCHORS AND FASTENERS, WHEN CALLED FOR IN SHOP DRAWINGS OR THESE DRAWINGS, SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS. USE FASTENERS RECOMMENDED OR PROVIDED BY THE MANUFACTURER. ALL HANGERS, FRAMING ANCHORS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD TO BE STAINLESS STEEL OR GALVANIZED PER G-185 RATING - "Z-MAX" COATING BY SIMPSON OR TRIPLE ZINC BY USP.
- BEAMS AND HEADERS ARE TO BE ON JACK STUDS AS NOTED ON THE PLANS, SHOP DRAWINGS, OR PER CODE. PROVIDE SOLID BLOCKING BELOW ALL JACK STUDS FORMING A CONTINUOUS BEARING LINE TO THE FOUNDATION.
- ALL LUMBER IN CONTACT WITH EARTH, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. FIELD TREAT SAILED, DRILLED OR NOTCHED LUMBER PER ALPA M4-15.
- PROVIDE STRUCTURAL SHEATHING WHERE NOTED ON PLANS. ALL WOOD STRUCTURAL PANELS SHALL BE APA RATED FOR INTENDED USE AND SUPPORT SPANS. INSTALL ROOF SHEATHING WITH "H" CLIPS BETWEEN TRUSSES.
- INSTALL FIRE BLOCKING TO CUT OFF DRAFT OPENING AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, BETWEEN STORIES, AND BETWEEN THE TOP STORY AND ROOF.
- EXTERIOR WALLS SHALL BE INSTALLED PER THE INTERNATIONAL RESIDENTIAL CODE, TABLE R602.3
- ALL NOTCHES AND CUTS IN FRAMING SHALL NOT EXCEED MAX. DIMENSION AS DEFINED IN THE IRC. PROTECT PLUMBING AND ELECTRICAL AD REINFORCE STUD WALL NOTCHES WITH 16 GA. METAL PLATES.

07 THERMAL AND MOISTURE PROTECTION

- PROVIDE AND INSTALL MATERIALS WITH VALUES AS SHOWN ON THE DRAWINGS. FIT INSULATION TIGHT INTO SPACES AND LEAVE NO GAPS OR VOIDS. PROVIDE RIGID INSULATION WHERE SHOWN ON PLANS. AT WALLS TAPE JOINTS OR PROVIDE WEATHER-RESISTANT SHEATHING PAPER OVER.
- INSTALL FIBER GLASS/ASPHALT ROOF SHINGLES IN ACCORDANCE WITH MANUF. INSTRUCTIONS AND ASPHALT ROOFING MANUFACTURERS ASSOC. "ASPHALT ROOFING RESIDENTIAL MANUAL." SHINGLES ARE TO BE CERTIFIED MINIMUM CLASS C FIRE RESISTANCE PER ASTM E108-2011 OR UL 790 AND WIND RESISTANCE PER ASTM D1568/D1581-2019. INSTALL UNDERLAYMENT PER ROOF SLOPE AND CONFORMING TO ASTM D226/D226M-2011 TYPE 1, ASTM D4896/D4896M-2016, TYPE 1 OR ASTM D6751-2018.
- INSTALL FLASHING, SHEET METAL, GUTTERS, AND DOWNSPOUTS IN COMPLIANCE WITH "ASPHALT ROOFING RESIDENTIAL MANUAL" AND "ARCHITECTURAL SHEET METAL MANUAL" BY SMOCA. INSTALL FLASHING AT ALL ROOF TO WALL CONDITIONS, EXTERIOR OPENINGS AND ELSEWHERE WHERE REQUIRED.
- INSTALL A WATER-RESISTIVE BARRIER ON ALL WALLS PER ASTM D226/D226M-2011. HOUSEWRAPS SHOULD MEET ASTM D5034 FOR DURABILITY DT19 FOR WATER RESISTANCE AND E96 FOR PERMEABILITY. INSTALL PER MANUFACTURER'S INSTRUCTIONS FOR LAPPING OR 2" HORIZONTAL AND 6" VERTICAL.
- INSTALL HORIZONTAL SIDING AND ACCESSORY COMPONENTS IN STRICT ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS FOR INSTALLATION PRACTICES. WIND PRESSURE RESISTANCE TO BE DETERMINED BY ASTM E330/E330M-14.

08 DOORS, WINDOWS AND GLASS

- DOORS SHALL CONFORM TO AAMA/WDMA MINIMUM STANDARDS AS APPLICABLE FOR DOOR TYPES SHOWN ON DRAWINGS. INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTALLATION RECOMMENDATIONS.
- ALL ALUMINUM AND/OR VINYL (PVC) AND/OR WOOD WINDOWS AND DOORS SHALL CONFORM TO THE R-40 SPECIFICATION(S) IN AAMA/WDMA/CSA 1011.52/A440-11 PER THE APPLICABLE WINDOW AND DOOR TYPES SHOWN ON THE DRAWINGS. INSTALL TEMPERED GLASS WHERE NOTED ON PLANS OR AS REQUIRED BY CODE. THERMAL TRANSMITTANCE TO BE 0.25 MAX. AND SHGC TO BE 0.30 MAX. PER NFRC 100 AND NFRC 200 RESPECTIVELY.
- INSTALLATION OF WINDOWS TO BE IN ACCORDANCE WITH FMA/AAMA 100-12 AND DOORS WITH AAMA 300-12. INSECT SCREEN TO BE IN ACCORDANCE WITH ANSI/SMA 1201, ANSI-SMA 2006 OR ANSI/SMA 3001.
- PROVIDE AND INSTALL HARDWARE PER BUILDER'S SCHEDULE.
- GLAZED OPENINGS TO COMPLY WITH WINDBORNE DEBRIS PROTECTION REQUIREMENTS PER IRC R301.212 WHEN LOCATED IN WINDBORNE DEBRIS REGIONS. GLAZED OPENINGS TO MEET REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E1996 AND OF ASTM E1886 OR BE PROTECTED BY WOOD STRUCTURAL PANELS PER R301.212, IRC.
- GARAGE DOORS SHALL BE IN ACCORDANCE WITH ASTM E330 AND SHALL MEET THE CRITERIA OF ANSI/DASMA 100 FOR THE APPLICABLE WIND LOAD PRESSURES.

9 FINISHES

- GYPHUM WALL BOARD, GYPSUM SHEATHING MATERIALS AND ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE WITH IRC R102.3 AND IN ACCORDANCE WITH GA 253-2018 "APPLICATION OF GYPSUM SHEATHINGS" PUBLISHED BY THE GYPSUM ASSOCIATION FOR THE APPLICABLE PRODUCT TO BE INSTALLED.
- INSTALL VINYL, TILE, CARPET, AND COMPOSITE FLOOR MATERIALS IN ACCORDANCE WITH MANUF. WRITTEN INSTALLATION INSTRUCTIONS WITH UNDERLAYMENTS AS REQUIRED.

10 SPECIALTIES

- PROVIDE BATH ACCESSORIES, FIREPLACE, TRIM, HARDWARE AND MISC. ITEMS PER BUILDER'S SCHEDULE. ALL ITEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S PUBLISHED INSTRUCTIONS AND INSTALLATION DRAWINGS. FACTORY BUILT FIREPLACES TO BE UL LISTED AND COMPLY WITH UL 121-2011.

11-14 N/A

15 MECHANICAL

- INSTALL PLUMBING, RELATED FIXTURES, VENTILATORS, HEATING AND AIR CONDITIONING SYSTEMS AS SHOWN. SIZE ALL EQUIPMENT PER ACCA MANUAL J AND INSTALL FOR FUTURE ACCESS SERVICE AND REMOVAL. PROVIDE COMBUSTION AIR WHEN REQUIRED PER M101. ALL NOTCHES AND CUTS IN FRAMING SHALL NOT EXCEED MAX. DIMENSIONS AS DEFINED IN THE BUILDING CODE OR MANUFACTURER'S LITERATURE. PROTECT PLUMBING AND REINFORCE STUD WALL NOTCHES WITH 16 GA. METAL PLATES. ALL DUCT WORK AND PIPING LOCATED IN UNCONDITIONED SPACES SHALL BE INSULATED PER CODE. INSTALL DRYER DUCT TO OUTSIDE WITH SMOOTH METAL DUCTING WITHOUT SCREWS AND WITH MINIMUM BENDS, MAXIMUM DUCT LENGTH PER M1502.
 - VENTING: ALL DRYERS, AND BATH EXHAUSTS, MUST BE VENTED DIRECT TO THE EXTERIOR OF THE STRUCTURE IN ACCORDANCE WITH THE CURRENT CODE AND HAVE AUTOMATIC OR GRAVITY DAMPERS INSTALLED.
 - INSTALL PROGRAMMABLE THERMOSTATS AS REQUIRED BY CODE.
- ## 16 ELECTRICAL
- TERMINAL HOOK UP IS REQUIRED FOR ALL FIXTURES, APPLIANCES, MOTORS, FANS AND CONTROLS. LOCATION OF OUTLETS AND EQUIPMENT ON PLANS IS APPROXIMATE, EXACT ROUTING OF WIRING AND OUTLETS SHALL BE GOVERNED BY STRUCTURAL CONDITIONS AND OBSTRUCTIONS. WIRING FOR EQUIPMENT REQUIRING MAINTENANCE AND INSPECTION SHALL BE ACCESSIBLE.
 - ALL ELECTRICAL BREAKERS AND CONTROLS SHALL BE PROPERLY LABELED. INSTALL GFCI PROTECTED OUTLETS WHERE SHOWN ON PLANS OR AS REQUIRED BY CODE. MATERIAL AND EQUIPMENT SHALL BE NEW AND BEAR A UL LABEL. LIGHT FIXTURES MUST MEET CLEARANCES STATED IN THE NEC. INSTALL LIGHT SWITCHES AT 3'-6" AFF. AND OUTLETS 12" AFF. TO CENTERLINE UNO.
 - INSTALL ELECTRIC SMOKE DETECTOR, CARBON MONOXIDE/ALARMS WHERE SHOWN ON PLANS. ALL DETECTORS MUST BE INTER-CONNECTED AND INCORPORATE A BATTERY BACK-UP. INSTALL PER NFPA 72 REQUIREMENTS. CO ALARMS TO COMPLY WITH UL 7203 AND NFPA 720.
 - THE PERCENTAGE OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY. PER THE CURRENT ENERGY CODE.
 - EACH GARAGE DOOR SHALL USE ONE PHOTOVOLTAIC LIGHT FIXTURE.



JOB NUMBER	B-1843339 *
CAD FILE NAME	PLAN 750H-R
ISSUED	10-19-22
REVISED	10-24-22
	01-13-23
	02-01-23

HOUSING DESIGN MATTERS
11512 Leno Road, Suite 1010
Jacksonville, FL 32256
904-572-1505 main office
904-770-4043 direct

DRAWINGS ON 11"x11"
SHEET ARE ONE HALF
THE SCALE NOTED

COMMUNITY
PLAN 750 H
GARAGE RIGHT

750 H

TITLE
GENERAL NOTES

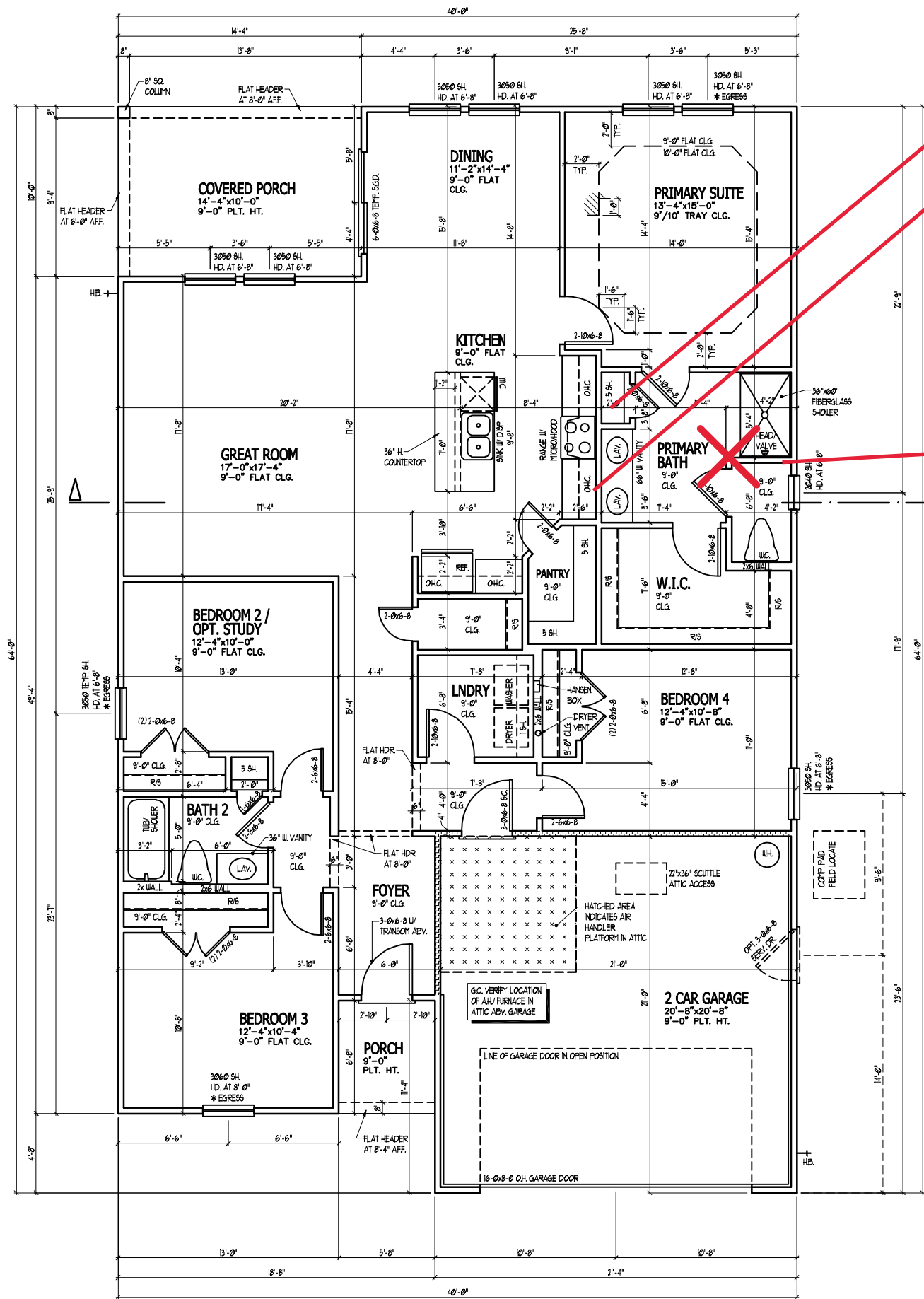
SHEET
0

COMMUNITY PLAN 750 H GARAGE RIGHT

750 H

TITLE
 FLOOR PLAN

SHEET
2A



Gas Line

Vented Microwave

Optional Primary Bath
 (see next page)

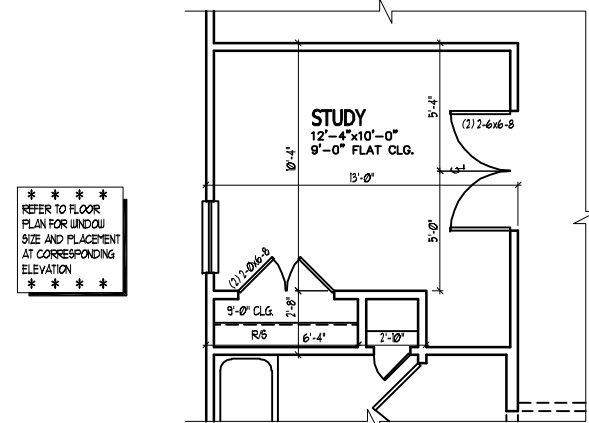
HATCHING LEGEND

LOAD BEARING WALL	[Hatched pattern]
INSULATE WALL	[Cross-hatched pattern]

ELEVATION "A"

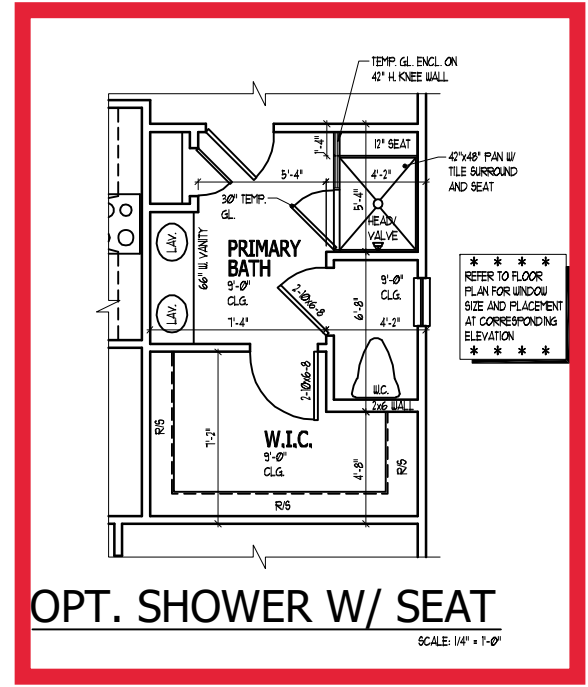
LIVING	1841 SF.
GARAGE	445 SF.
COVERED PORCH	143 SF.
PORCH	38 SF.
TOTAL SQ. FT.	2473 SF.

FLOOR PLAN
 ELEVATION "A" SHOWN SCALE 1/4" = 1'-0"



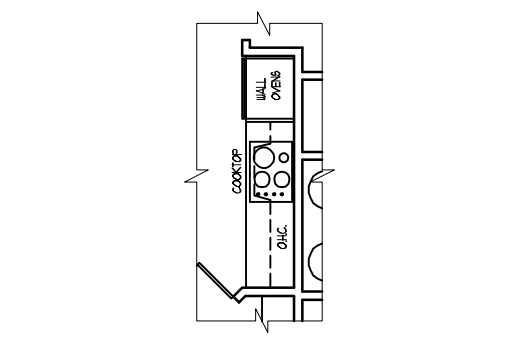
OPT. STUDY I.L.O. BEDROOM 2

SCALE: 1/4" = 1'-0"



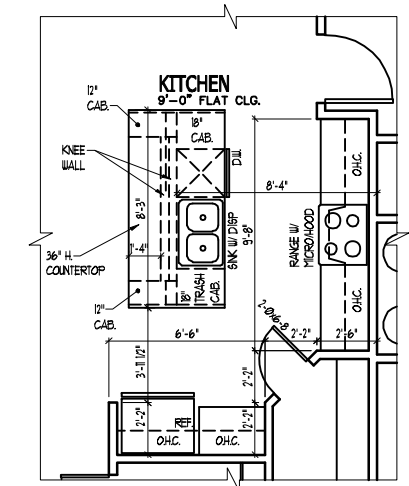
OPT. SHOWER W/ SEAT

SCALE: 1/4" = 1'-0"



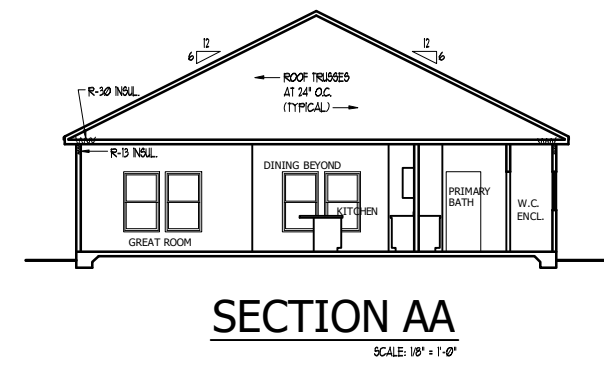
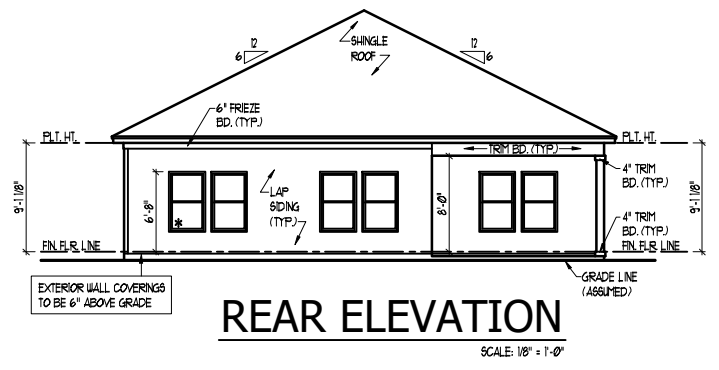
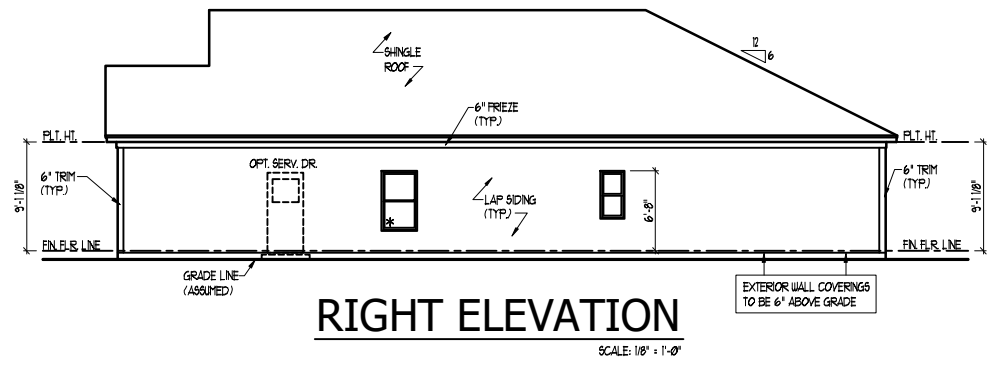
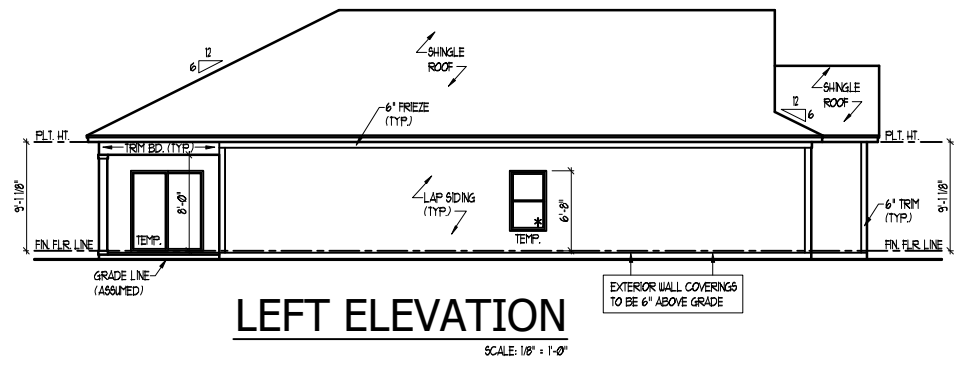
OPT. GOURMET KITCHEN

SCALE: 1/4" = 1'-0"

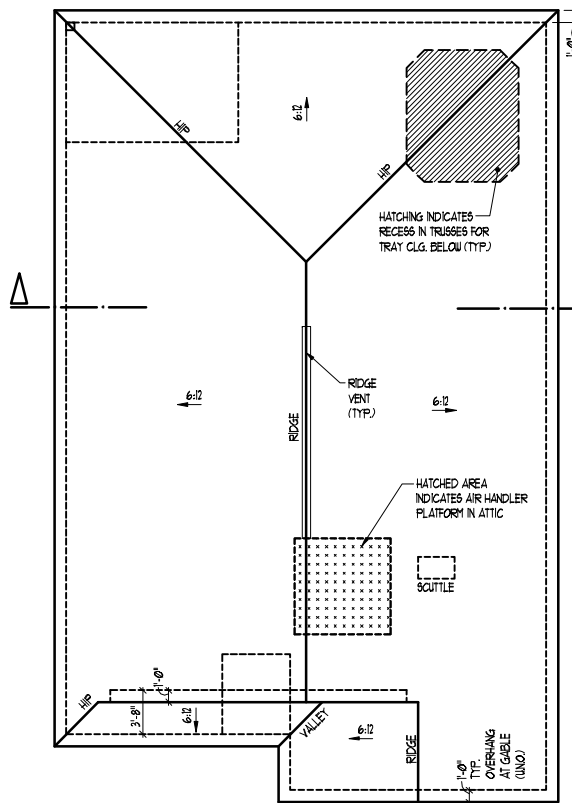


OPT. GOURMET ISLAND

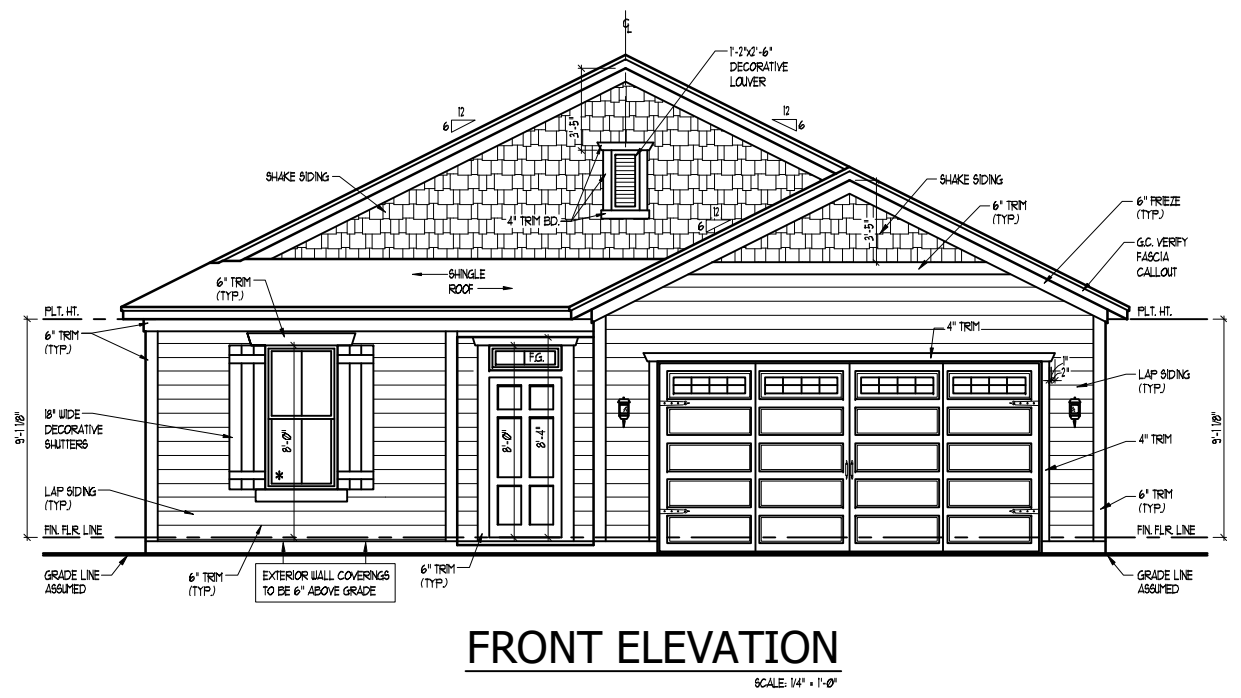
SCALE: 1/4" = 1'-0"



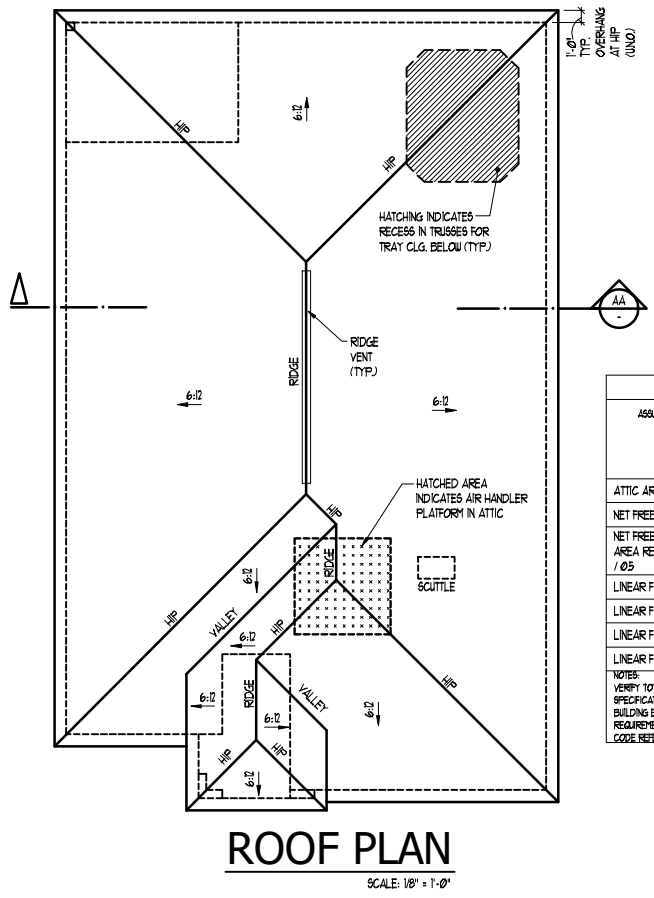
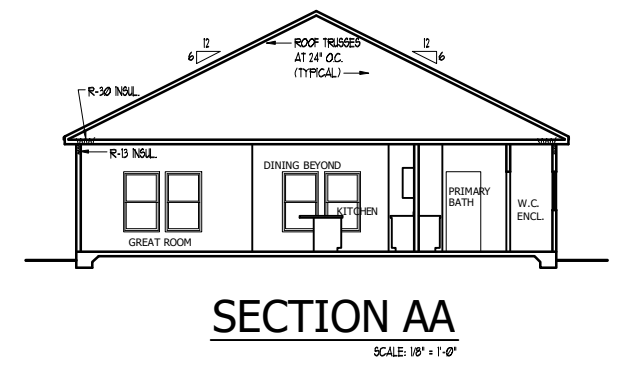
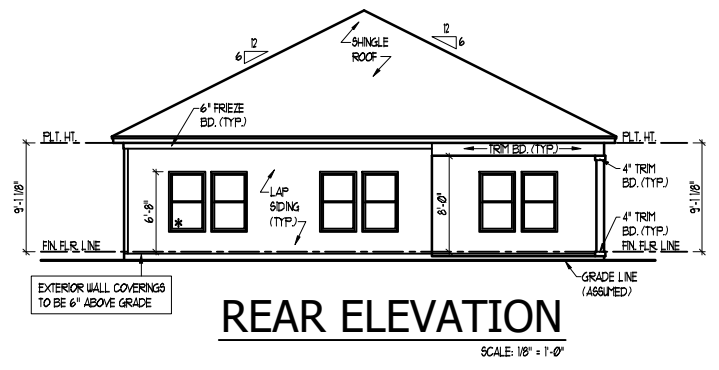
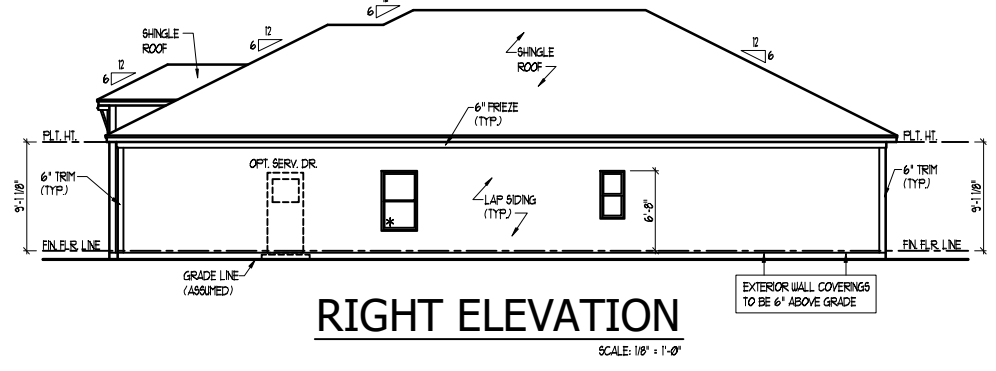
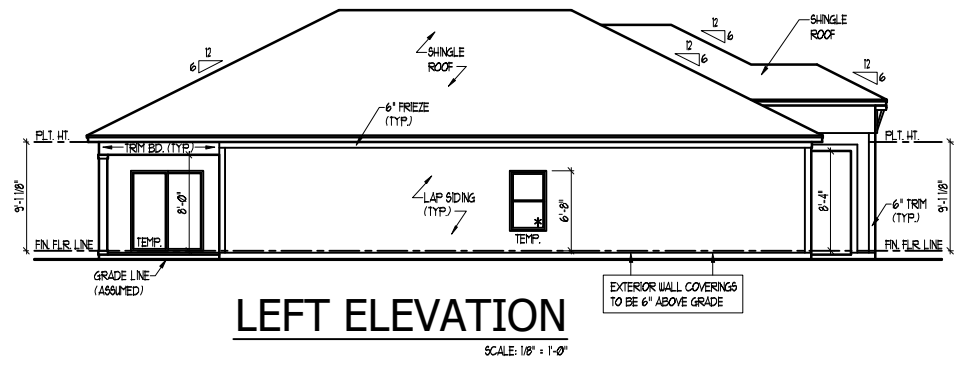
*** EGRESS NOTE:**
 EACH BEDROOM MUST HAVE ONE WINDOW THAT COMPLIES WITH EGRESS CODES, IF THERE IS NO ACCESS TO EXTERIOR THROUGH A DOOR THE WINDOW MUST HAVE A MAXIMUM OPENING HEIGHT OF 44" ABOVE FINISH FLOOR LINE OF THAT PARTICULAR ROOM



ROOF VENT CALCULATIONS		
ASSUMED NET FREE AREA PER VENT	50 SQ. IN. PER LIN. FT. RIDGE VENT	MAIN ROOF
	5 SQ. IN. PER LIN. FT. SOFFIT VENT	
ATTIC AREA	2611 SQ. FT.	
NET FREE VENT. AREA REQ'D (AREA/300)	870 SQ. IN.	
NET FREE VENT. AREA REQUIRED / 0.5	1740 SQ. IN.	
NEAR RIDGE	642 SQ. IN.	
NEAR SOFFIT	642 SQ. IN.	
LINEAR FT. OF RIDGE VENT REQUIRED	13	
LINEAR FT. OF RIDGE VENT PROVIDED	11	
LINEAR FT. OF SOFFIT VENT REQUIRED	12	
LINEAR FT. OF SOFFIT VENT PROVIDED	163	
NOTES: VERIFY TOTAL ROOF VENTS REQUIRED WITH MANUFACTURER'S SPECIFICATIONS OF NET FREE AREA PER VENT BUILDING ELEMENTS ARE TO BE APPLIED TO MEET WIND LOAD REQUIREMENTS CODE REFERENCE: 2009 IBC, SEC. 1508.2		

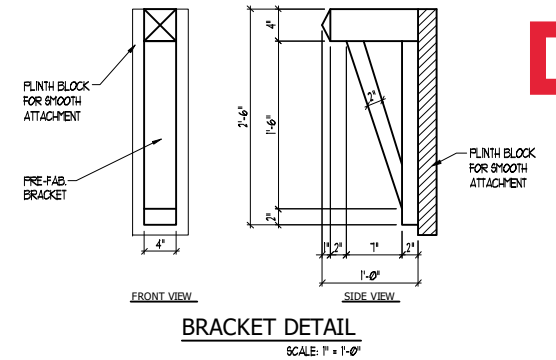


ELEVATION "A"

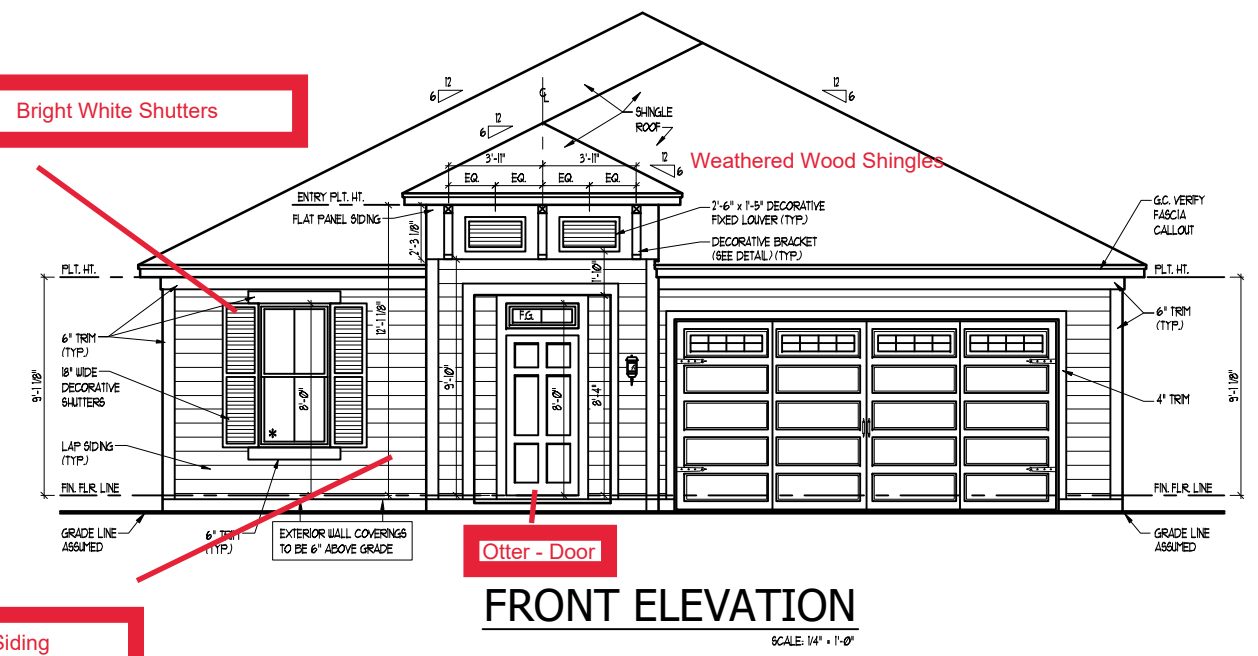


ROOF VENT CALCULATIONS		MAIN ROOF
ASSUMED NET FREE AREA PER VENT	50 SQ. IN. PER LIN. FT. RIDGE VENT	
ATTIC AREA	2,128 SQ. FT.	
NET FREE VENT. AREA REQ'D (AREA/300)	709 SQ. IN.	
NET FREE VENT. AREA REQUIRED / 0.5	1,418 SQ. IN.	
LINEAR FT. OF RIDGE VENT REQUIRED	14	
LINEAR FT. OF RIDGE VENT PROVIDED	11	
LINEAR FT. OF SOFFIT VENT REQUIRED	13	
LINEAR FT. OF SOFFIT VENT PROVIDED	209	

NOTES:
 VERIFY TOTAL ROOF VENTS REQUIRED WITH MANUFACTURER'S SPECIFICATIONS OF NET FREE AREA PER VENT
 BUILDING ELEMENTS ARE TO BE APPLIED TO MEET WIND LOAD REQUIREMENTS
 CODE REFERENCE: 2009 IBC, SEC. 1508.6.2



*** EGRESS NOTE:**
 EACH BEDROOM MUST HAVE ONE WINDOW THAT COMPLIES WITH EGRESS CODES, IF THERE IS NO ACCESS TO EXTERIOR THROUGH A DOOR THE WINDOW MUST HAVE A MAXIMUM OPENING HEIGHT OF 44" ABOVE FINISH FLOOR LINE OF THAT PARTICULAR ROOM



Mountain Fern Siding

Bright White Shutters

Otter - Door

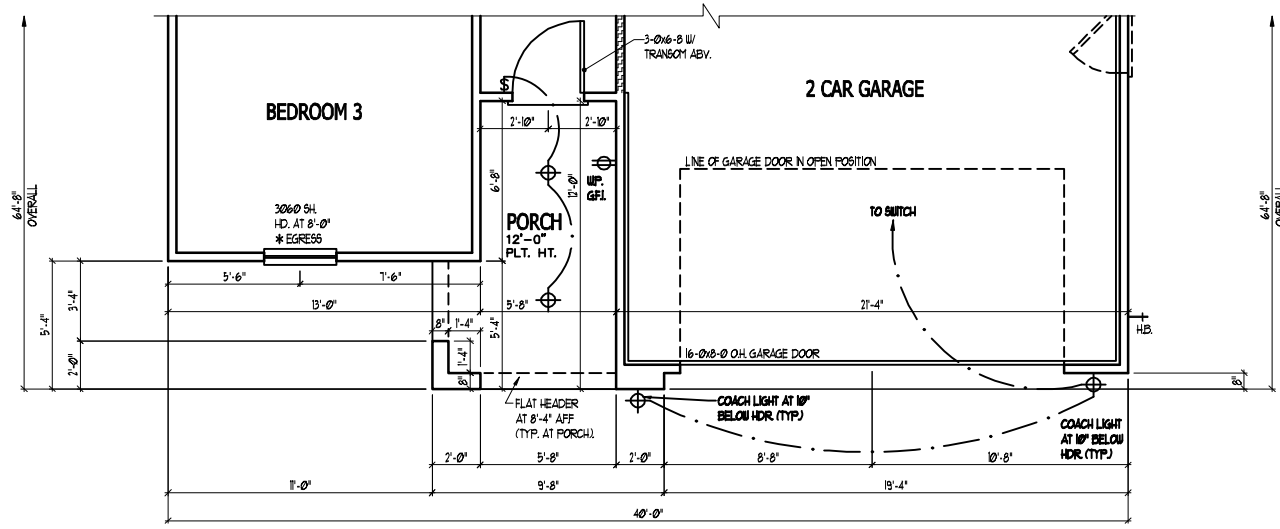
ELEVATION "B"

ELECTRICAL KEY

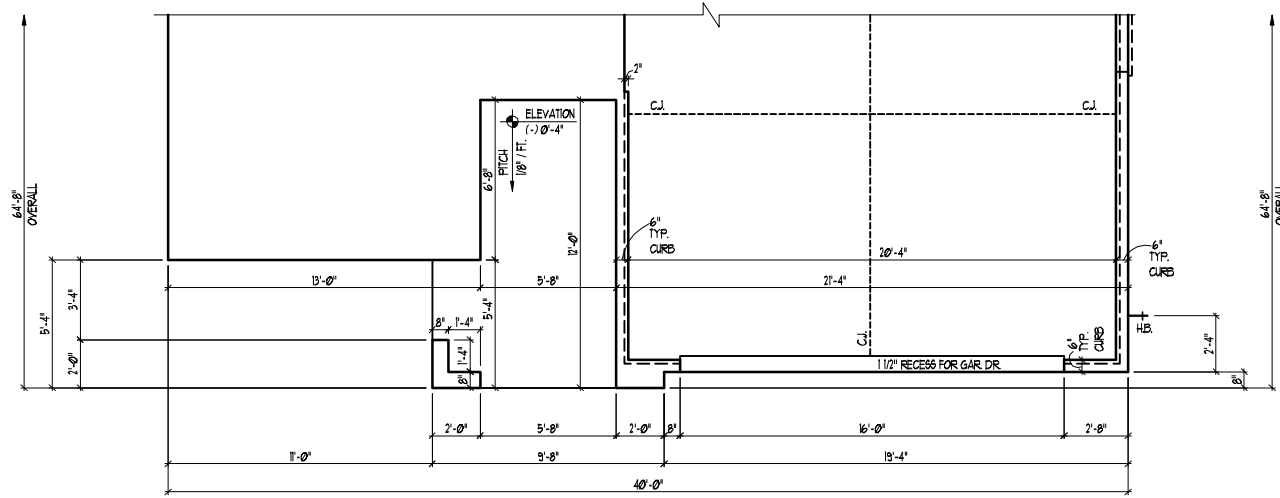
- ⊕ DUPLEX CONVENIENCE OUTLET
- ⊕ DUPLEX OUTLET ABOVE COUNTER
- ⊕ WEATHERPROOF DUPLEX OUTLET
- ⊕ GROUND FAULT INTERRUPTER DUPLEX OUTLET
- ⊕ HALF-SWITCHED DUPLEX OUTLET
- ⊕ SPECIAL PURPOSE OUTLET
- ⊕ DUPLEX OUTLET IN FLOOR
- ⊕ 200 VOLT OUTLET
- ⊕ WALL SWITCH
- ⊕ THREE-WAY SWITCH
- ⊕ FOUR-WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ RECESSED LIGHT FIXTURE
- ⊕ LED "PLUCK" LIGHT FIXTURE
- ⊕ LIGHT FIXTURE WITH FULL CHAIN
- ⊕ TRACK LIGHT
- ⊕ FLUORESCENT LIGHT FIXTURE
- ⊕ JUNCTION BOX (CAPPED)
- ⊕ CENTRAL VACUUM PORT
- ⊕ CENTRAL VACUUM MOTOR
- ⊕ CAMERA
- ⊕ ALARM PANEL
- ⊕ SECURITY KEYPAD
- ⊕ MOTION DETECTOR
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN/LIGHT COMBINATION
- ⊕ ELECTRIC DOOR OPERATOR
- ⊕ CHIMES
- ⊕ PUSHBUTTON SWITCH
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ SMOKE DETECTOR (ARC-FAULT)
- ⊕ SMOKE / CARBON MONO. COMBO DETECTOR (ARC-FAULT)
- ⊕ TELEPHONE
- ⊕ TELEVISION
- ⊕ THERMOSTAT
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PANEL
- ⊕ DISCONNECT SWITCH
- ⊕ SPEAKER
- ⊕ ROUGH-IN FOR OPT. CEILING FAN
- ⊕ CEILING MOUNTED LIGHT FIXTURE W/ ROUGH-IN FOR OPT. CEILING FAN

NOTES:

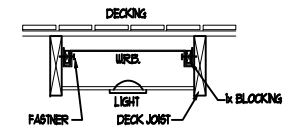
1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATED.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR: SWITCHES... 42" OUTLETS... 18" TELEPHONE... 34" (UNLESS ABV COUNTERTOP) TELEVISION... 34" KIT. SPL. OUT. 31" BATH HTR... 42"
3. ALL SMOKE DETECTORS SHALL BE HARDCWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL 15A AND 20A RECEPTACLES IN KITCHENS, SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BATHROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, UTILITY ROOMS AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER-PROOF RECEPTACLES PER NEC 2011 406.2 AND 406.3
5. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NFPA 70, NEC 2011, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING UNLESS SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.



PARTIAL FLOOR AND ELEC PLAN
SCALE: 1/4" = 1'-0"



PARTIAL SLAB INTERFACE PLAN
SCALE: 1/4" = 1'-0"



W.R.B. DETAIL AT UNDER DECK MOUNTED LIGHT FIXTURE
SCALE: N/A

ELEVATION "B"	
LIVING	1847 SF.
GARAGE	445 SF.
COVERED PORCH	143 SF.
PORCH	80 SF.
TOTAL SQ. FT.	2515 SF.

PARTIAL PLANS AT ELEVATION "B" - COASTAL



JOB NUMBER	B-1843339
CAD FILE NAME	PLAN 750H-R
ISSUED	10-19-22
REVISED	10-24-22
	01-13-23
	02-01-23

HOUSING DESIGN MATTERS
11512 Loch Mead Avenue Unit 102
Jacksonville, FL 32256
904-572-1505 main office
904-770-4043 direct

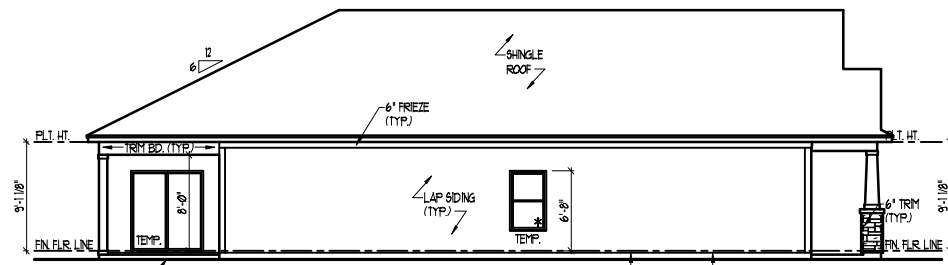
DRAWINGS ON 11"x11" SHEET ARE ONE HALF THE SCALE NOTED

COMMUNITY PLAN 750 H GARAGE RIGHT

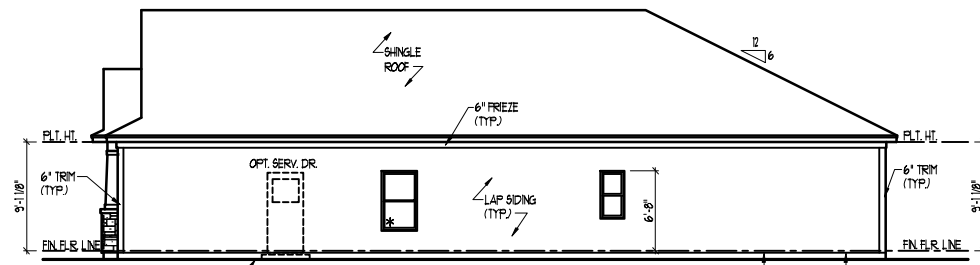
750 H

TITLE
PARTIAL PLANS AT ELEVATION "B"

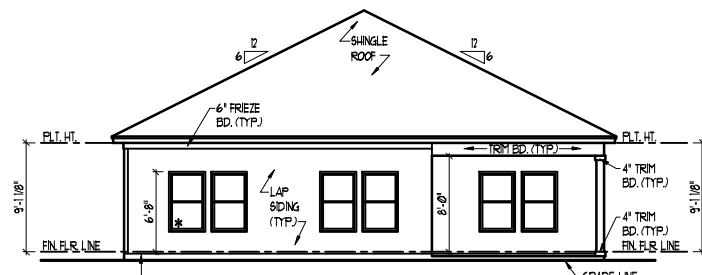
SHEET
3B2



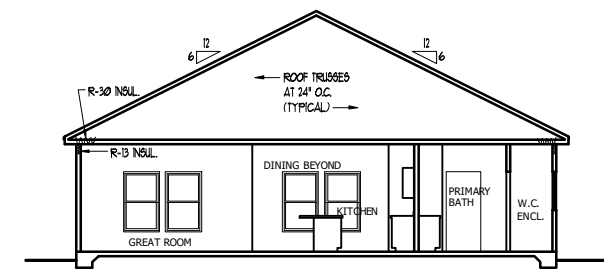
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



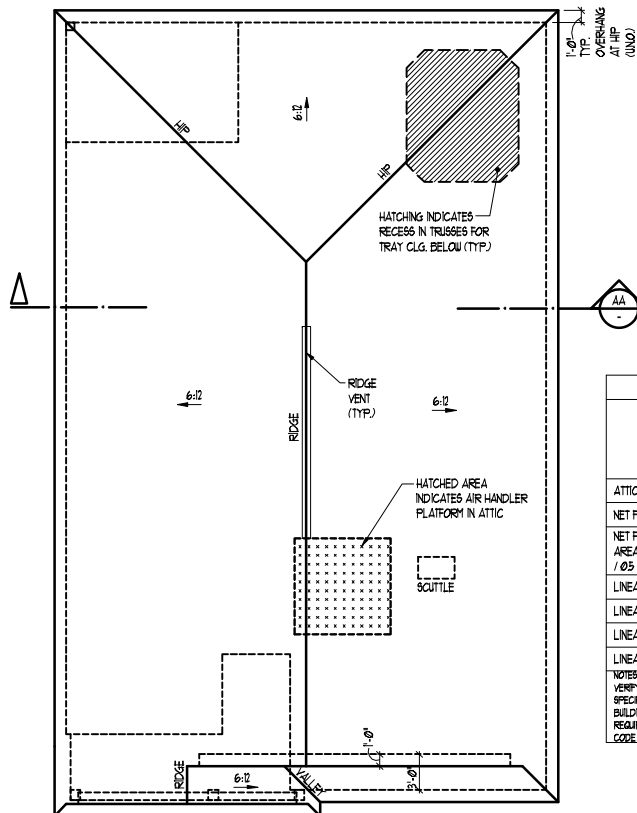
RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



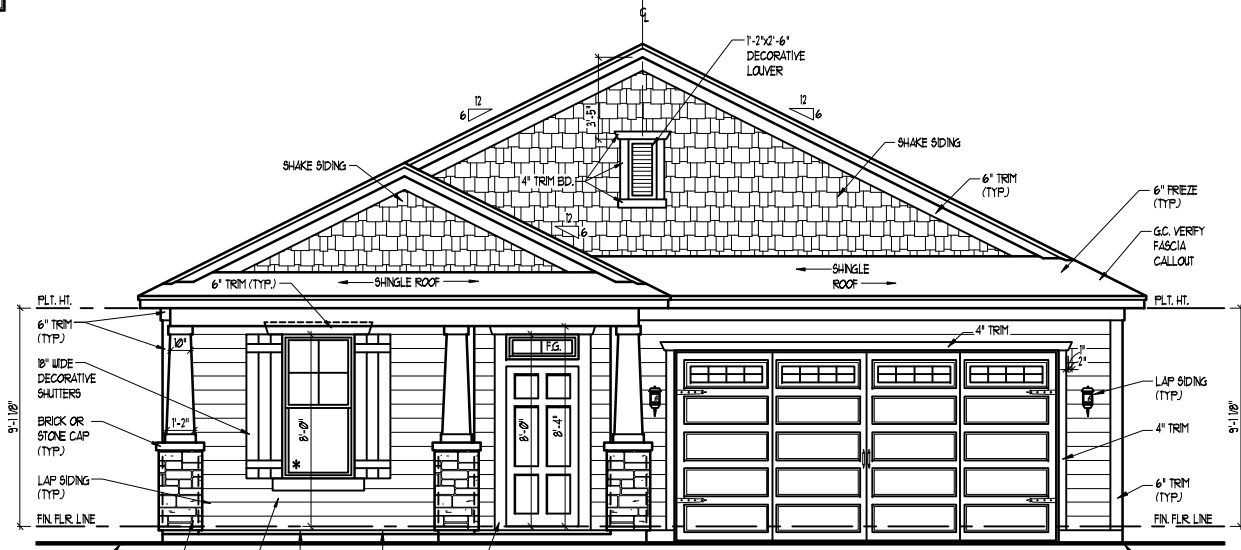
SECTION AA
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

ROOF VENT CALCULATIONS	
ASSUMED NET FREE AREA PER VENT 50 SQ. IN. PER LIN. FT. RIDGE VENT	MAIN ROOF
5 SQ. IN. PER LIN. FT. SOFFIT VENT	
ATTIC AREA	2611 SQ. FT.
NET FREE VENT. AREA REQ'D (AREA/300)	1285 SQ. IN.
NET FREE VENT. AREA REQUIRED / 05	642 SQ. IN.
LINEAR FT. OF RIDGE VENT REQUIRED	13
LINEAR FT. OF RIDGE VENT PROVIDED	11
LINEAR FT. OF SOFFIT VENT REQUIRED	12
LINEAR FT. OF SOFFIT VENT PROVIDED	163
NOTES: VERIFY TOTAL ROOF VENTS REQUIRED WITH MANUFACTURER'S SPECIFICATIONS OF NET FREE AREA PER VENT BUILDING ELEMENTS ARE TO BE APPLIED TO MEET WIND LOAD REQUIREMENTS CODE REFERENCE: 2009 IBC, SEC. 1508.6.2	

*** EGRESS NOTE:**
EACH BEDROOM MUST HAVE ONE WINDOW THAT COMPLIES WITH EGRESS CODES, IF THERE IS NO ACCESS TO EXTERIOR THROUGH A DOOR THE WINDOW MUST HAVE A MAXIMUM OPENING HEIGHT OF 44" ABOVE FINISH FLOOR LINE OF THAT PARTICULAR ROOM



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



JOB NUMBER B-1843339
CAD FILE NAME PLAN 750H-R
ISSUED 10-19-22
REVISED 10-24-22
01-13-23
02-01-23

HOUSING DESIGN MATTERS
11512 Lone Wood Avenue Unit 102
Jacksonville, FL 32256
904-572-1805 main office
904-770-4043 direct

DRAWINGS ON 11"x11" SHEET ARE ONE HALF THE SCALE NOTED

COMMUNITY PLAN 750 H GARAGE RIGHT

750 H

TITLE
ELEVATIONS
ROOF PLAN
BUILDING SECTION
DETAILS

SHEET
3D1

ELEVATION "D"

ELECTRICAL KEY

- ⊕ DUPLEX CONVENIENCE OUTLET
- ⊕ DUPLEX OUTLET ABOVE COUNTER
- ⊕ WEATHER-PROOF DUPLEX OUTLET
- ⊕ GROUND FAULT INTERRUPTER DUPLEX OUTLET
- ⊕ HALF-SWITCHED DUPLEX OUTLET
- ⊕ SPECIAL PURPOSE OUTLET
- ⊕ DUPLEX OUTLET IN FLOOR
- ⊕ 220 VOLT OUTLET
- ⊕ WALL SWITCH
- ⊕ THREE-WAY SWITCH
- ⊕ FOUR-WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ RECESSED LIGHT FIXTURE
- ⊕ LED, TRUCK LIGHT FIXTURE
- ⊕ LIGHT FIXTURE WITH PULL CHAIN
- ⊕ TRACK LIGHT
- ⊕ FLUORESCENT LIGHT FIXTURE
- ⊕ JUNCTION BOX (CAFFED)
- ⊕ CENTRAL VACUUM PORT
- ⊕ CENTRAL VACUUM MOTOR
- ⊕ CAMERA
- ⊕ ALARM PANEL
- ⊕ SECURITY KEYPAD
- ⊕ MOTION DETECTOR
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN/LIGHT COMBINATION
- ⊕ ELECTRIC DOOR OPERATOR
- ⊕ CHIMES
- ⊕ FUMIGATION SWITCH
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ SMOKE DETECTOR (ARC-FAULT)
- ⊕ SMOKE / CARBON MONOXIDE COMBO DETECTOR (ARC-FAULT)
- ⊕ TELEPHONE
- ⊕ TELEVISION
- ⊕ THERMOSTAT
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PANEL
- ⊕ DISCONNECT SWITCH
- ⊕ BREAKER
- ⊕ ROUGH-IN FOR OPT. CEILING FAN
- ⊕ CEILING MOUNTED LIGHT FIXTURE W/ ROUGH-IN FOR OPT. CEILING FAN

- NOTES:**
1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
 2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
 - SWITCHES... 4'
 - OUTLETS... 1'
 - TELEPHONE... 1' (UNLESS ABV COUNTERTOP)
 - TELEVISION... 1'
 - KIT. SPL. OUT. 3'
 - BATH MTR... 4'
 3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
 4. ALL BA AND 20A RECEPTACLES IN KITCHENS, SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DECK, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, UTILITY ROOMS AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER-PROOF RECEPTACLES PER NEC 2017 406.2 AND 406.3.
 5. ALL BA AND 20A 200V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
 6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NFPA 70, NEC 2017, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
 7. EVERY BUILDING HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
 8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING UNLESS SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.



JOB NUMBER	B-1843339
CAD FILE NAME	PLAN 750H-R
ISSUED	10-19-22
REVISED	10-24-22
	07-13-23
	02-01-23

HOUSING DESIGN MATTERS
 11512 Lone Wood Avenue Unit 102
 Jacksonville, FL 32256
 904-572-1505 main office
 904-770-4043 direct

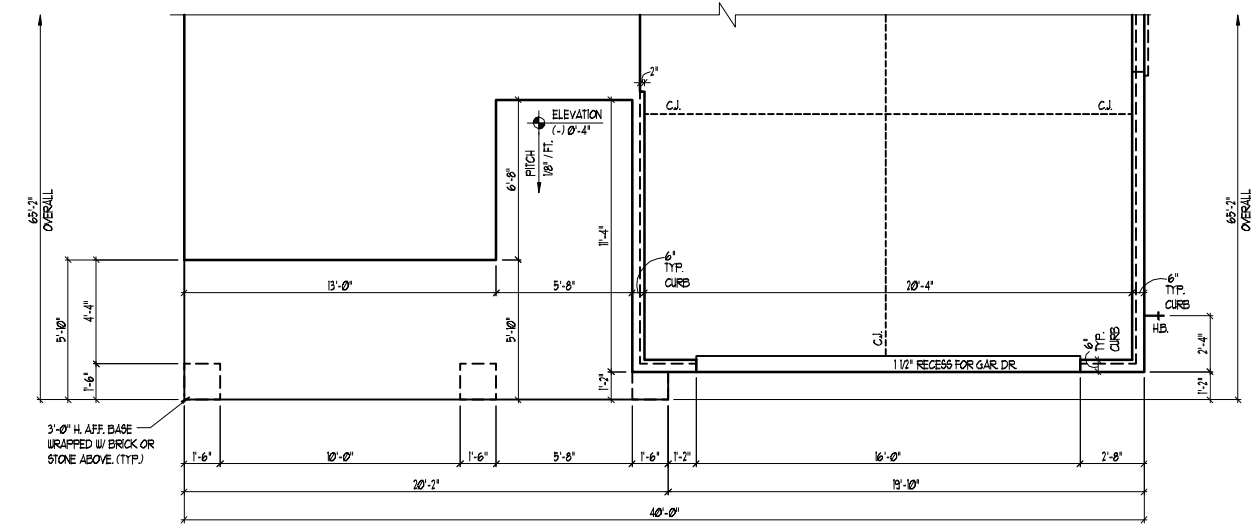
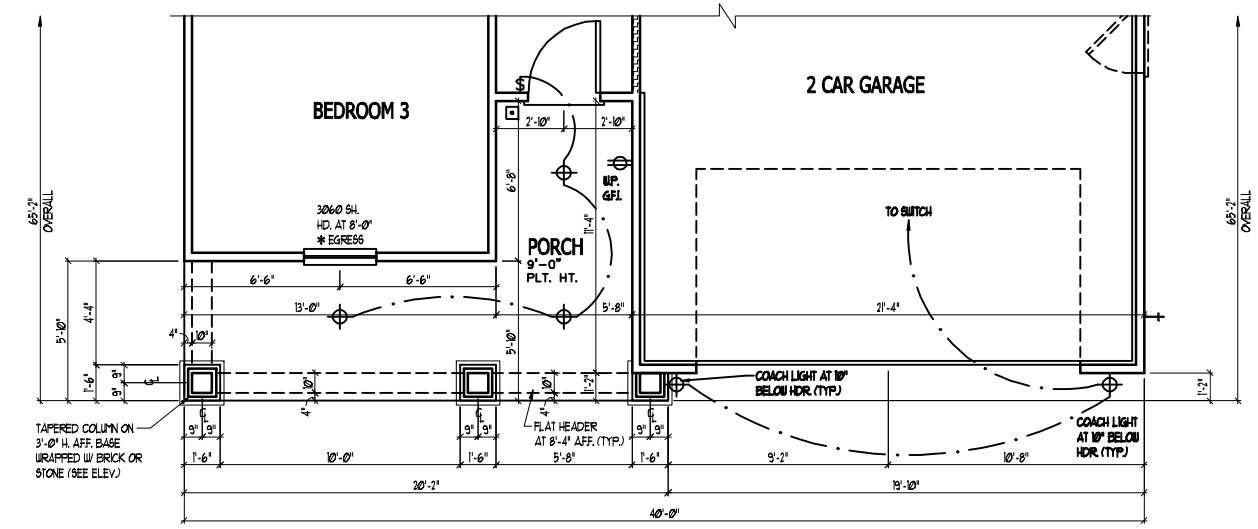
DRAWINGS ON 11"x11" SHEET ARE ONE HALF THE SCALE NOTED

COMMUNITY PLAN 750 H GARAGE RIGHT

750 H

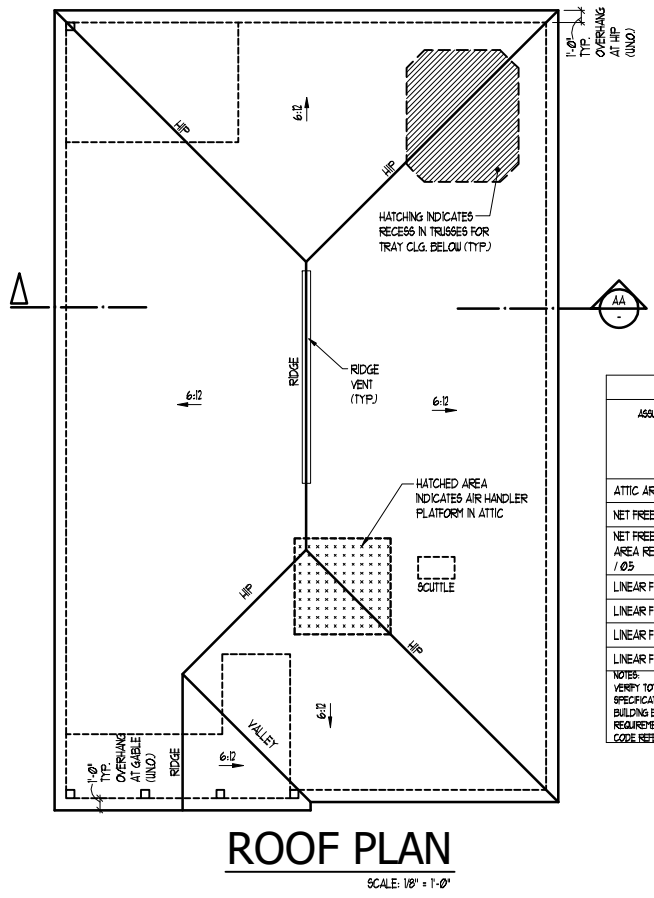
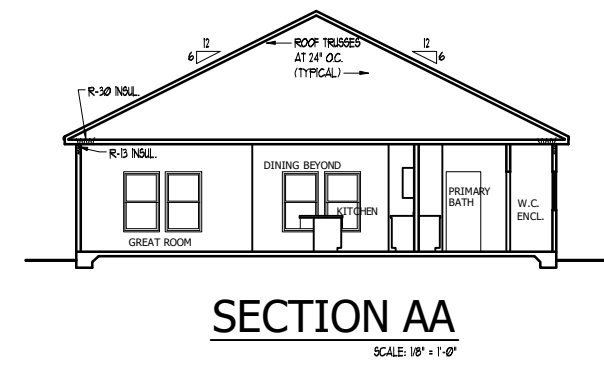
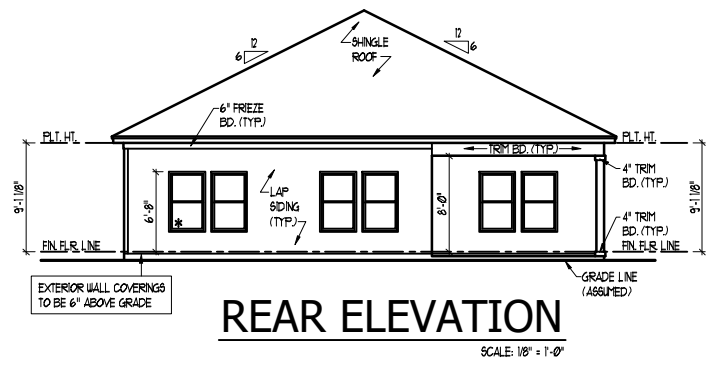
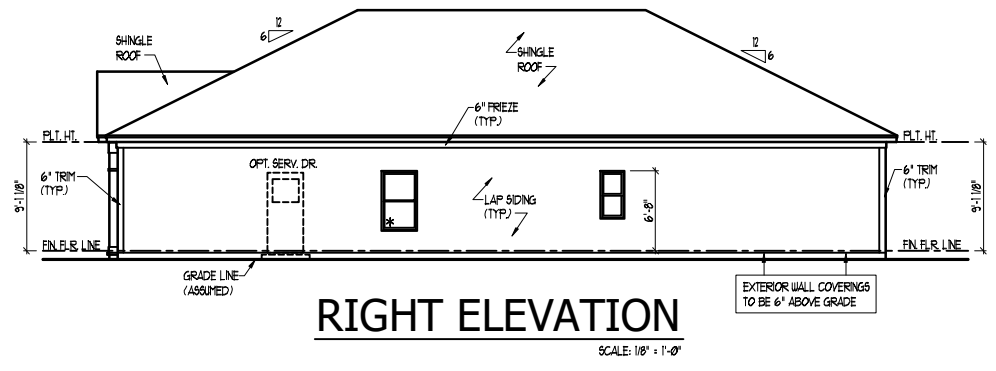
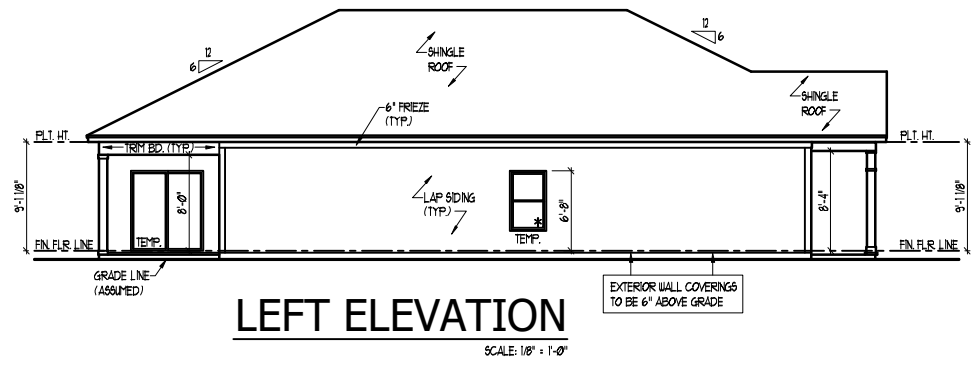
TITLE
 PARTIAL PLANS AT ELEVATION "F"

SHEET
3D2



ELEVATION "D"	
LIVING	1841 SF.
GARAGE	445 SF.
COVERED PORCH	143 SF.
PORCH	148 SF.
TOTAL SQ. FT.	2583 SF.

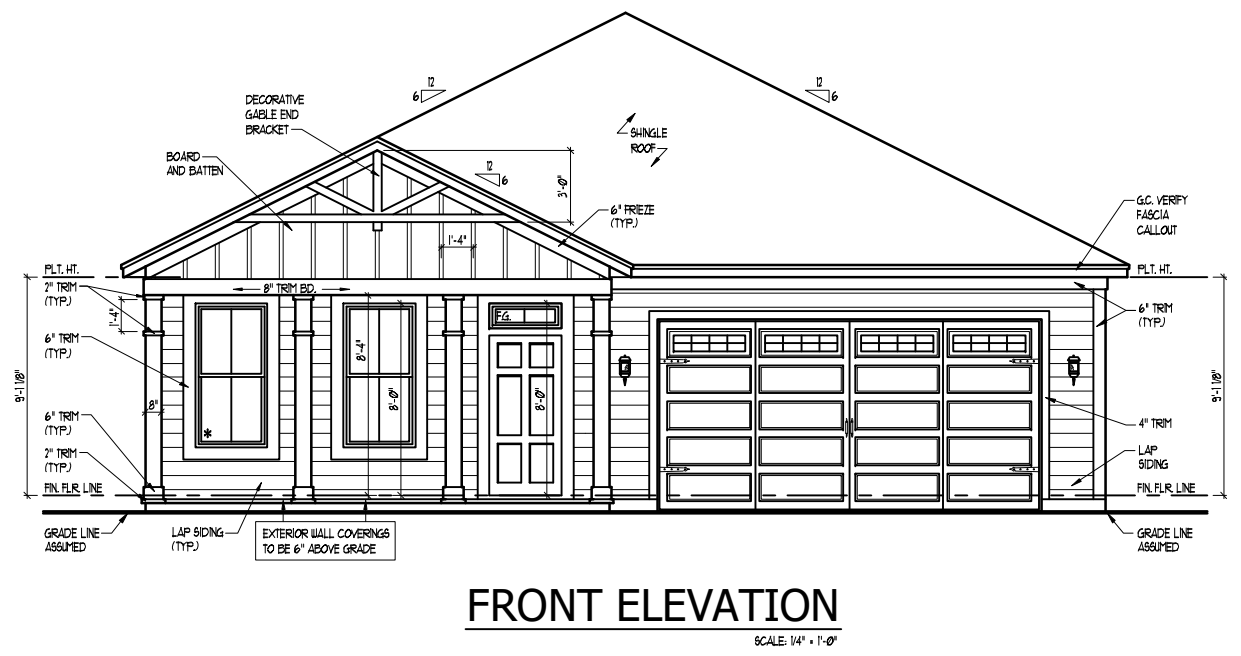
PARTIAL PLANS AT ELEVATION "D" - CRAFTSMAN



ROOF VENT CALCULATIONS		MAIN ROOF
ASSUMED NET FREE AREA PER VENT	50 SQ. IN. PER LIN. FT. RIDGE VENT	
	5 SQ. IN. PER LIN. FT. SOFFIT VENT	
ATTIC AREA		2,186 SQ. FT.
NET FREE VENT. AREA REQ'D (AREA/300)		729 SQ. IN.
NET FREE VENT. AREA REQUIRED / 05		669 SQ. IN.
LINEAR FT. OF RIDGE VENT REQUIRED		14
LINEAR FT. OF RIDGE VENT PROVIDED		11
LINEAR FT. OF SOFFIT VENT REQUIRED		15
LINEAR FT. OF SOFFIT VENT PROVIDED		129

NOTES:
 VERIFY TOTAL ROOF VENTS REQUIRED WITH MANUFACTURER'S SPECIFICATIONS OF NET FREE AREA PER VENT
 BUILDING ELEMENTS ARE TO BE APPLIED TO MEET WIND LOAD REQUIREMENTS
 CODE REFERENCE: 2009 IBC, SEC. 1502.2

*** EGRESS NOTE:**
 EACH BEDROOM MUST HAVE ONE WINDOW THAT COMPLIES WITH EGRESS CODES, IF THERE IS NO ACCESS TO EXTERIOR THROUGH A DOOR THE WINDOW MUST HAVE A MAXIMUM OPENING HEIGHT OF 44" ABOVE FINISH FLOOR LINE OF THAT PARTICULAR ROOM



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ISSUED	10-19-22
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	02-01-23

HOUSING DESIGN MATTERS
 11512 Loma Meach Avenue Unit 102
 Jacksonville, FL 32256
 904-572-1805 main office
 904-770-4043 direct

DRAWINGS ON 11"x11" SHEET ARE ONE HALF THE SCALE NOTED

COMMUNITY PLAN 750 H GARAGE RIGHT

750 H

TITLE
 ELEVATIONS
 ROOF PLAN
 BUILDING SECTION
 DETAILS

SHEET
3F1

ELEVATION "F"

ELECTRICAL KEY

- ⊕ DUPLEX CONVENIENCE OUTLET
- ⊕ DUPLEX OUTLET ABOVE COUNTER
- ⊕ WEATHER-PROOF DUPLEX OUTLET
- ⊕ GROUND FAULT INTERRUPTER DUPLEX OUTLET
- ⊕ HALF-SWITCHED DUPLEX OUTLET
- ⊕ SPECIAL PURPOSE OUTLET
- ⊕ DUPLEX OUTLET IN FLOOR
- ⊕ 220 VOLT OUTLET
- ⊕ WALL SWITCH
- ⊕ THREE-WAY SWITCH
- ⊕ FOUR-WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ RECESSED LIGHT FIXTURE
- ⊕ LED, TRUCK LIGHT FIXTURE
- ⊕ LIGHT FIXTURE WITH PULL CHAIN
- ⊕ TRACK LIGHT
- ⊕ FLUORESCENT LIGHT FIXTURE
- ⊕ JUNCTION BOX (CAPPED)
- ⊕ CENTRAL VACUUM PORT
- ⊕ CENTRAL VACUUM MOTOR
- ⊕ CAMERA
- ⊕ ALARM PANEL
- ⊕ SECURITY KEYPAD
- ⊕ MOTION DETECTOR
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN/LIGHT COMBINATION
- ⊕ ELECTRIC DOOR OPERATOR
- ⊕ CHIMES
- ⊕ FUMIGATION SWITCH
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ SMOKE DETECTOR (ARC-FAULT)
- ⊕ SMOKE / CARBON MONOXIDE COMBO DETECTOR (ARC-FAULT)
- ⊕ TELEPHONE
- ⊕ TELEVISION
- ⊕ THERMOSTAT
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PANEL
- ⊕ DISCONNECT SWITCH
- ⊕ SPEAKER
- ⊕ ROUGH-IN FOR OPT. CEILING FAN
- ⊕ CEILING MOUNTED LIGHT FIXTURE W/ ROUGH-IN FOR OPT. CEILING FAN

- NOTES:**
1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
 2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR: SWITCHES... 4' OUTLETS... 1' TELEPHONE... 1' (UNLESS ABV COUNTERTOP) TELEVISION... 1' KIT. SPL. OUT. 3' BATH MFR... 4'
 3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
 4. ALL BA AND 20A RECEPTACLES IN KITCHENS, SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DECK, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, UTILITY ROOMS AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER-PROOF RECEPTACLES PER NEC. 2017 406.2 AND 406.3
 5. ALL BA AND 20A 20A RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
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 7. EVERY BUILDING HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
 8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.



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ISSUED	10-19-22
REVISED	10-24-22
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HOUSING DESIGN MATTERS
 11512 Lone Wood Avenue Unit 102
 Jacksonville, FL 32256
 904-572-1505 main office
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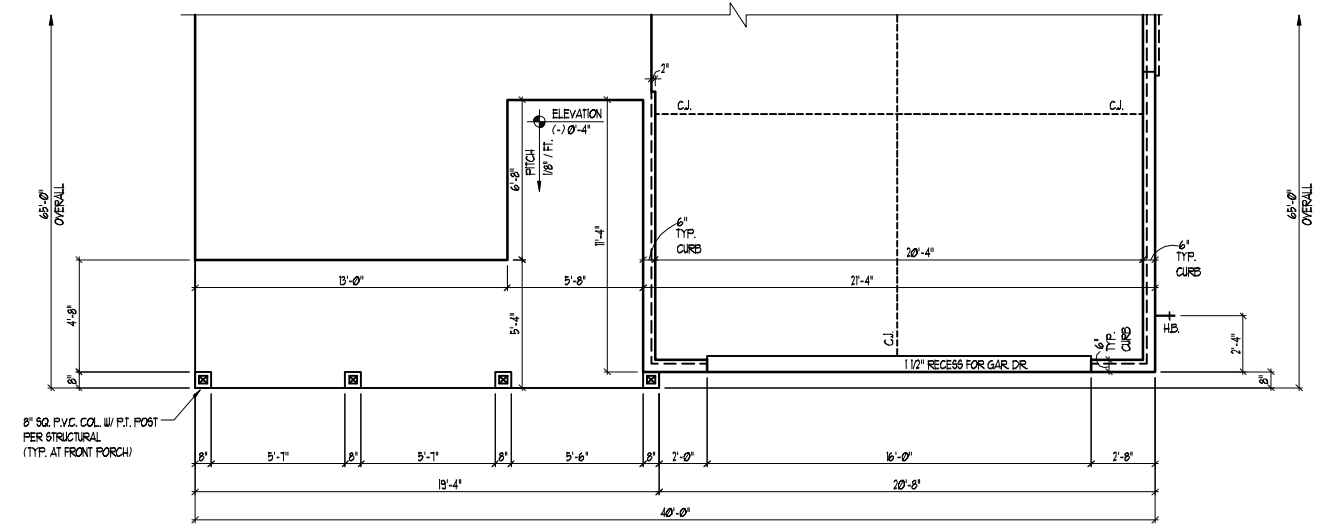
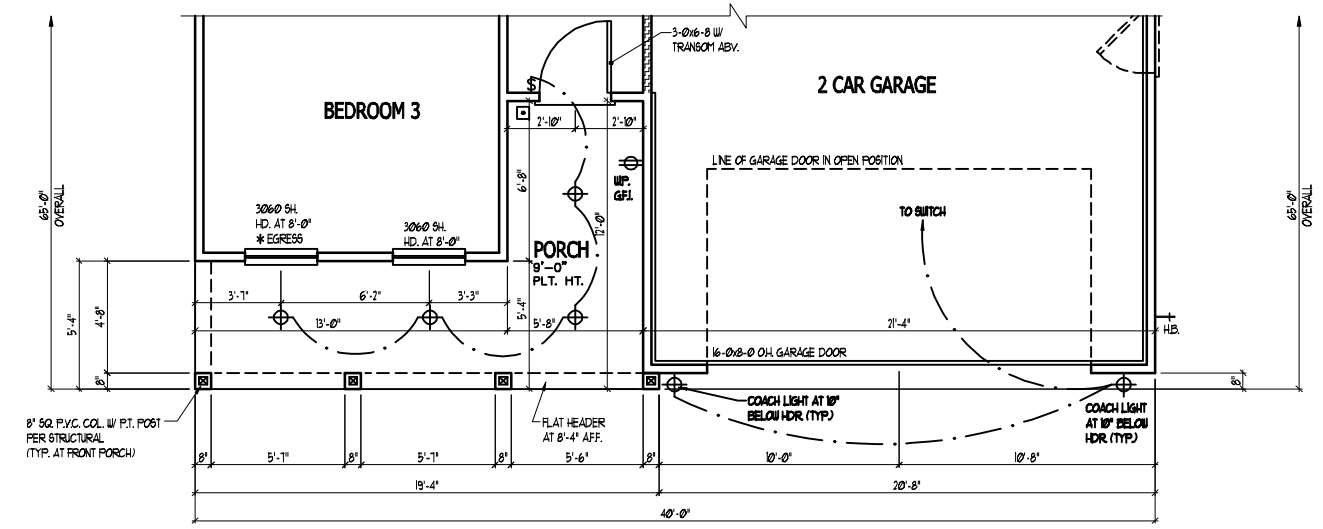
DRAWINGS ON 11"x11" SHEET ARE ONE HALF THE SCALE NOTED

COMMUNITY PLAN 750 H GARAGE RIGHT

750 H

TITLE
 PARTIAL PLANS AT ELEVATION "F"

SHEET
3F2



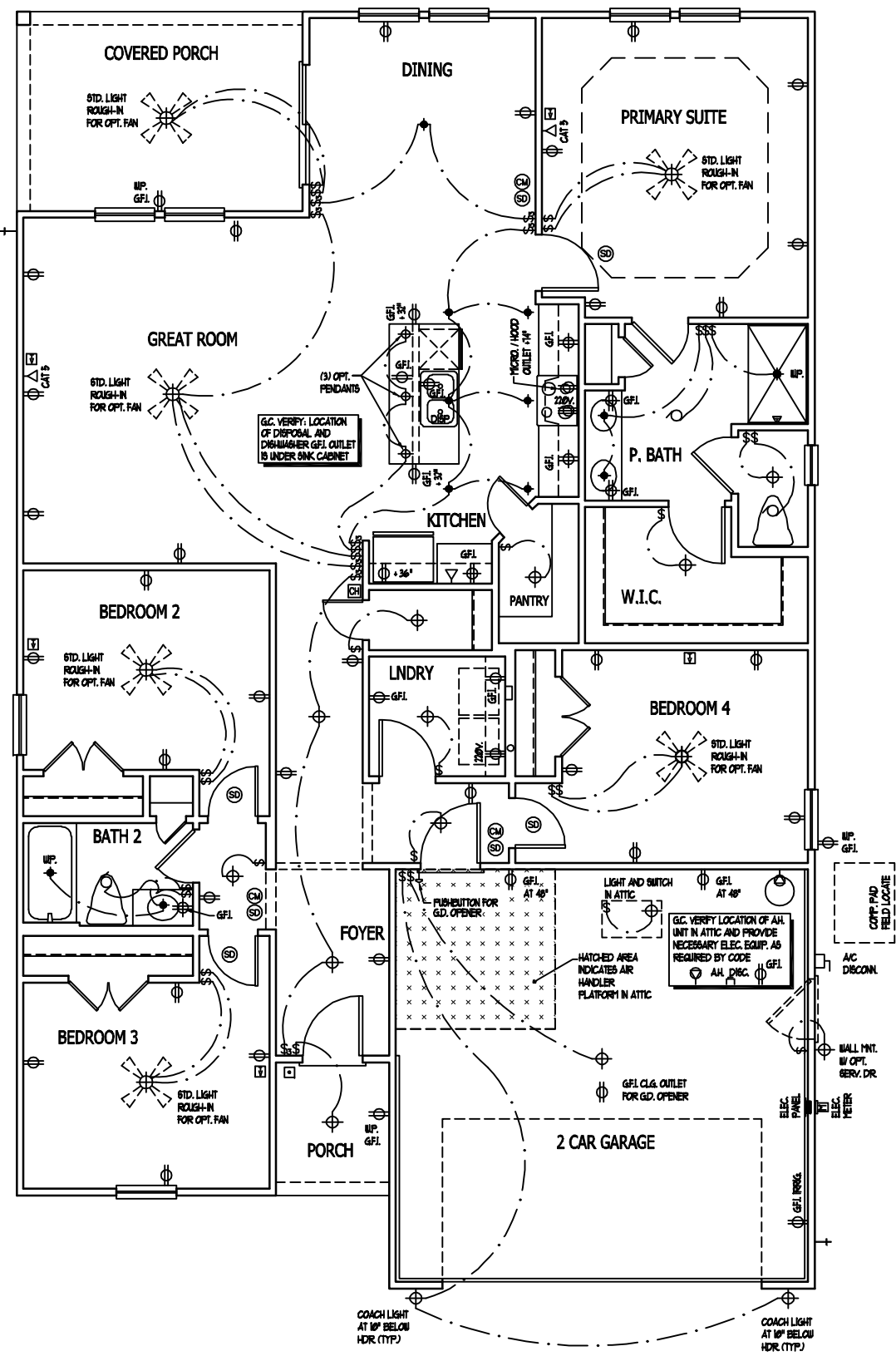
ELEVATION "F"	
LIVING	1841 SF.
GARAGE	445 SF.
COVERED PORCH	143 SF.
PORCH	138 SF.
TOTAL SQ. FT.	2573 SF.

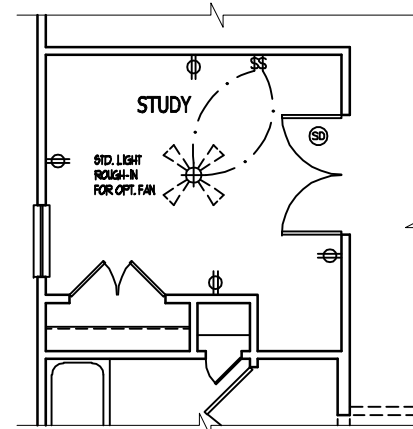
PARTIAL PLANS AT ELEVATION "F" - FARMHOUSE

ELECTRICAL KEY

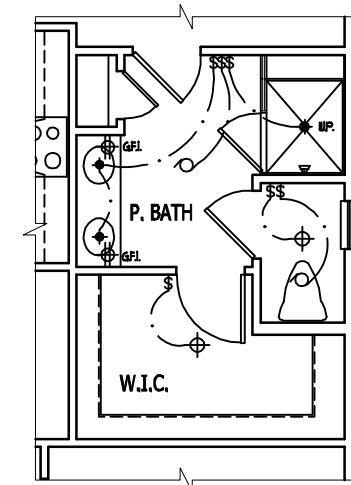
- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- SPECIAL PURPOSE OUTLET
- DUPLEX OUTLET IN FLOOR
- 200 VOLT OUTLET
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- LED TRACK LIGHT FIXTURE
- LIGHT FIXTURE WITH PULL CHAIN
- TRACK LIGHT
- FLUORESCENT LIGHT FIXTURE
- JUNCTION BOX (CAPPED)
- CENTRAL VACUUM PORT
- CENTRAL VACUUM MOTOR
- CAMERA
- ALARM PANEL
- SECURITY KEYPAD
- MOTION DETECTOR
- EXHAUST FAN
- EXHAUST FAN/LIGHT COMBINATION
- ELECTRIC DOOR OPERATOR
- CHIMES
- PUSHBUTTON SWITCH
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR (ARC-FAULT)
- SMOKE / CARBON MONO. COMBO DETECTOR (ARC-FAULT)
- TELEPHONE
- TELEVISION
- THERMOSTAT
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SPEAKER
- ROUGH-IN FOR OPT. CEILING FAN
- CEILING MOUNTED LIGHT FIXTURE w/ ROUGH-IN FOR OPT. CEILING FAN

- NOTES:**
1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
 2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
 SWITCHES... 4"
 OUTLETS... 18"
 TELEPHONE... 36"
 KIT. SPL. OUT. 3"
 BATH MR... 48"
 ABV COUNTERTOP:
 TELEVISION... 36"
 KIT. SPL. OUT. 3"
 BATH MR... 48"
 3. ALL SMOKE DETECTORS SHALL BE HARDCWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
 4. ALL 15A AND 20A RECEPTACLES IN KITCHENS, LIVING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, UTILITY ROOMS AND SIMILAR AREAS SHALL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER-PROOF RECEPTACLES PER NEC 2011 406.2 AND 406.3
 5. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
 6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NFPA 70, NEC 2011, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
 7. EVERY BUILDING HAVING A FOSSIL FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
 8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE-CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

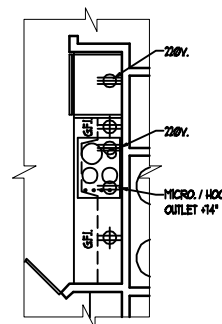




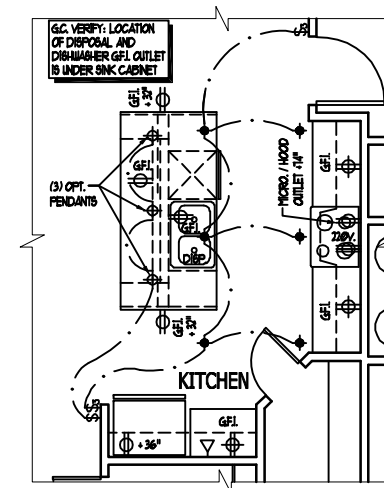
OPT. STUDY I.L.O. BEDROOM 2



OPT. SHOWER W/ SEAT



OPT. GOURMET KITCHEN



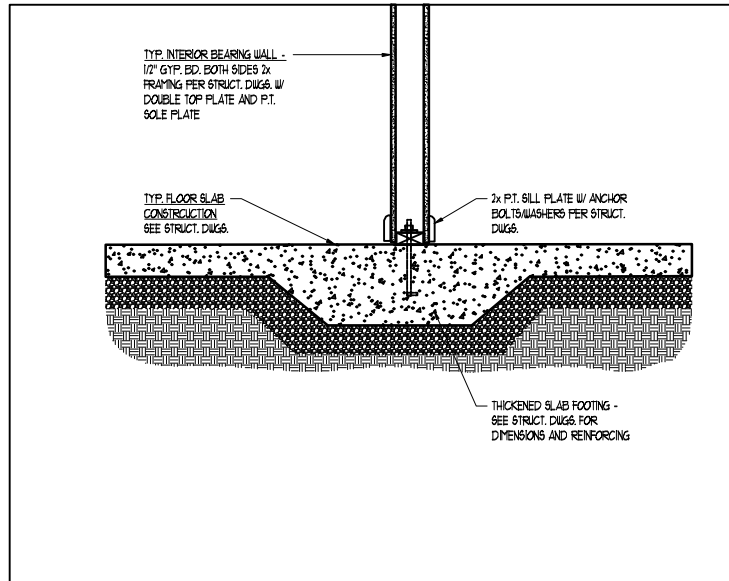
OPT. GOURMET ISLAND

ELECTRIC AT
PLAN OPTIONS

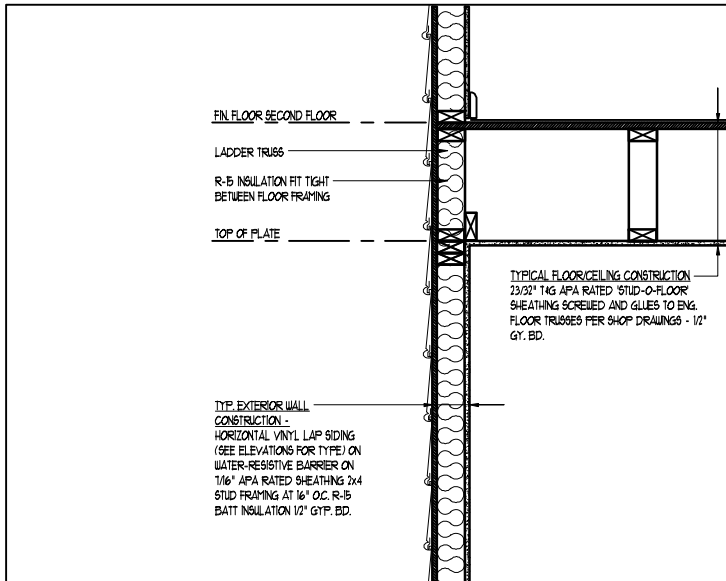
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CAD FILE NAME	PLAN 750H-R
ISSUED	10-19-22
REVISED	10-24-22
	07-13-23
	02-01-23

HOUSING DESIGN MATTERS
 11512 Lone Wood Avenue Unit 102
 Jacksonville, FL 32256
 904-572-1505 main office
 904-770-4043 direct

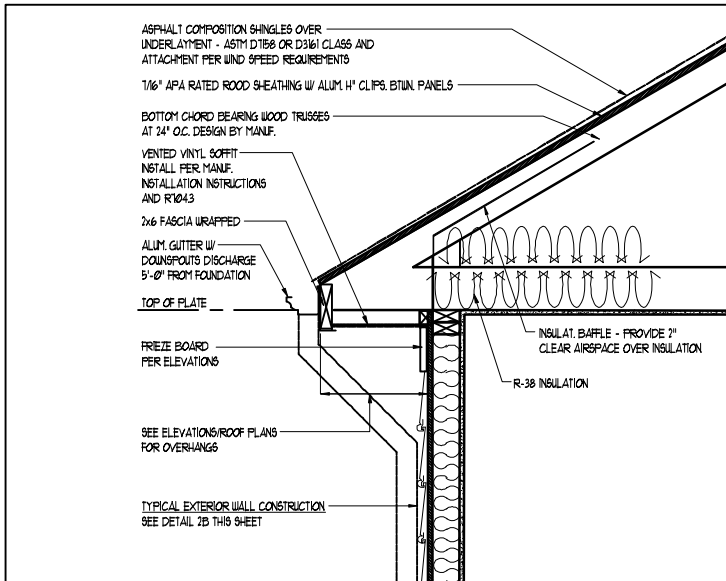
DRAWINGS ON 11"x11" SHEET ARE ONE HALF THE SCALE NOTED



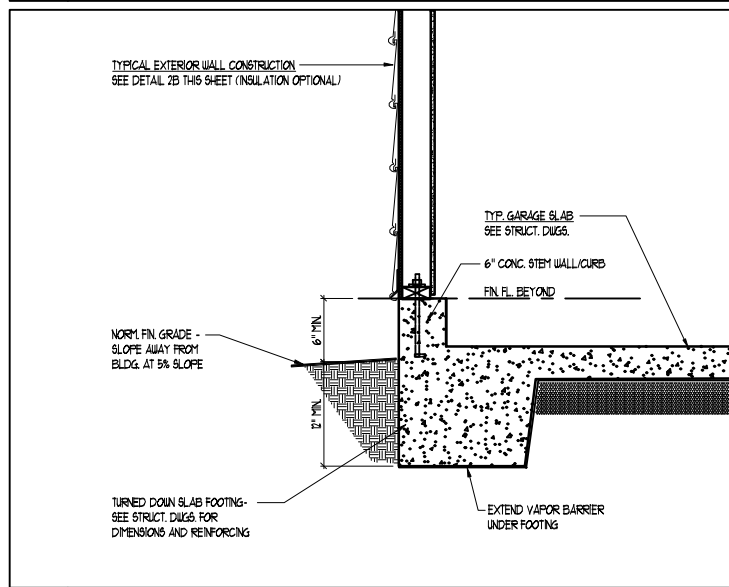
3B FOUND. DETAIL AT INTERIOR THICKENED SLAB
 SCALE: 1" = 1'-0"



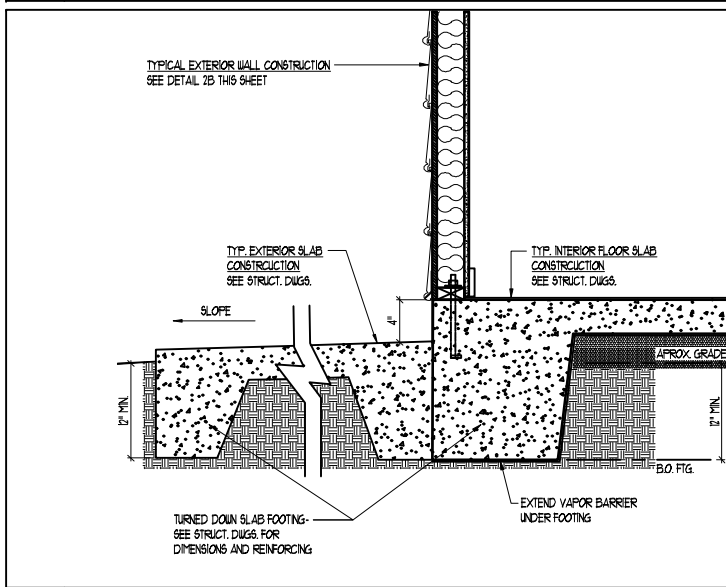
2B TYPICAL FLOOR/WALL DETAIL AT SECOND FLOOR
 SCALE: 1" = 1'-0"



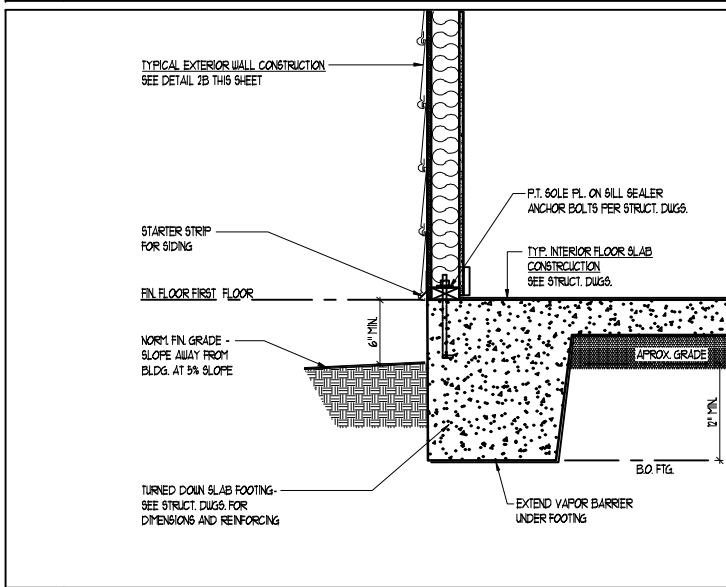
1B TYPICAL SOFFIT DETAIL
 SCALE: 1" = 1'-0"



3A FOUND. DETAIL AT GARAGE EXTERIOR WALL
 SCALE: 1" = 1'-0"



2A FOUND. DETAIL AT PATIO OR COVERED PORCH
 SCALE: 1" = 1'-0"



1A FOUND. DETAIL AT EXTERIOR WALL
 SCALE: 1" = 1'-0"

COMMUNITY PLAN 750 H GARAGE RIGHT

750 H

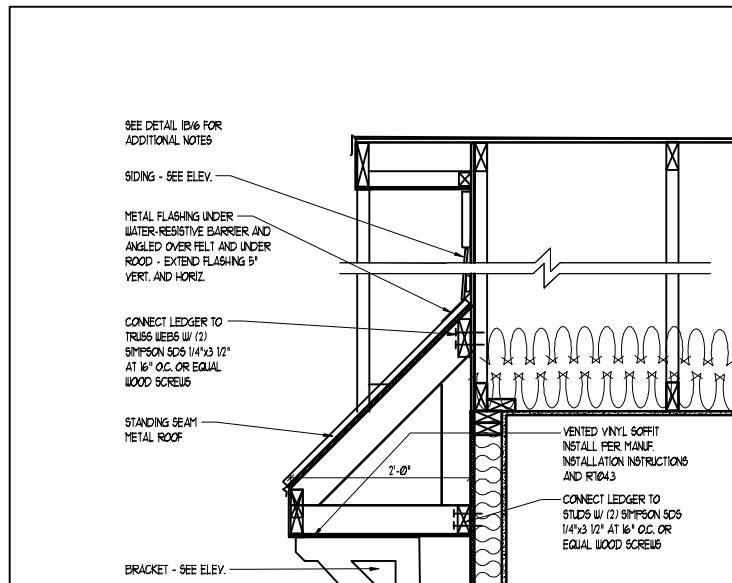
TITLE
 PLAN DETAILS

SHEET
6.0

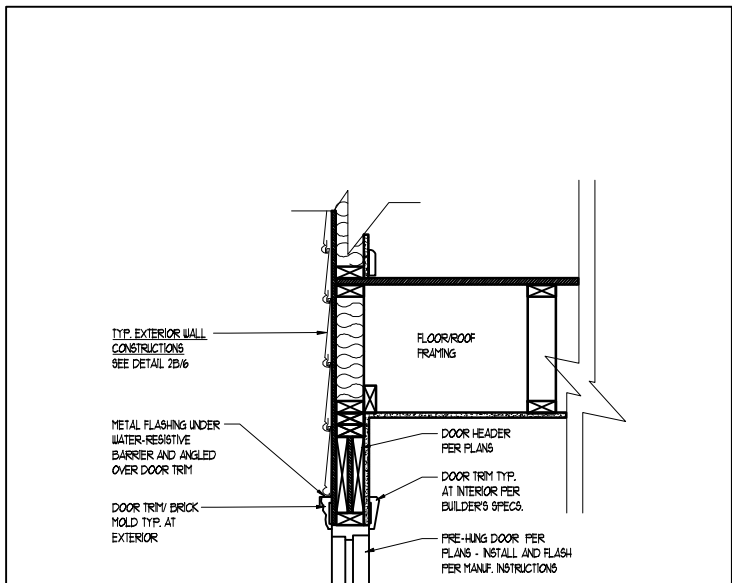
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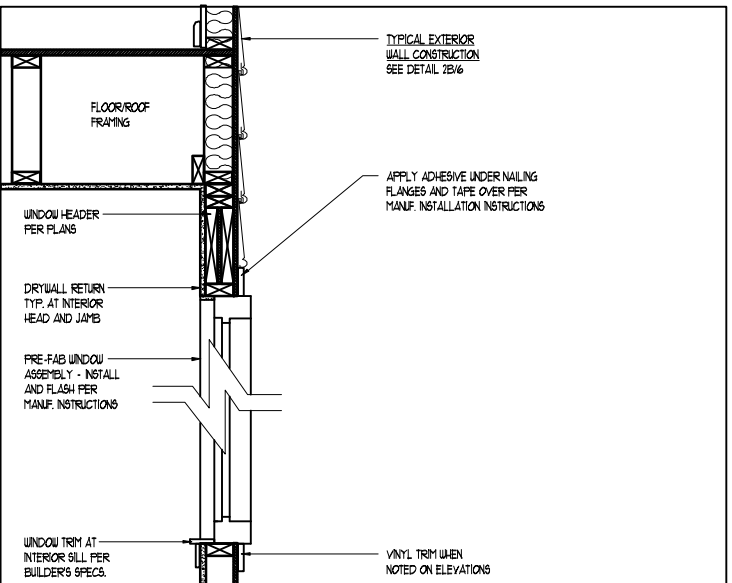
DRAWINGS ON 11"x11" SHEET ARE ONE HALF THE SCALE NOTED



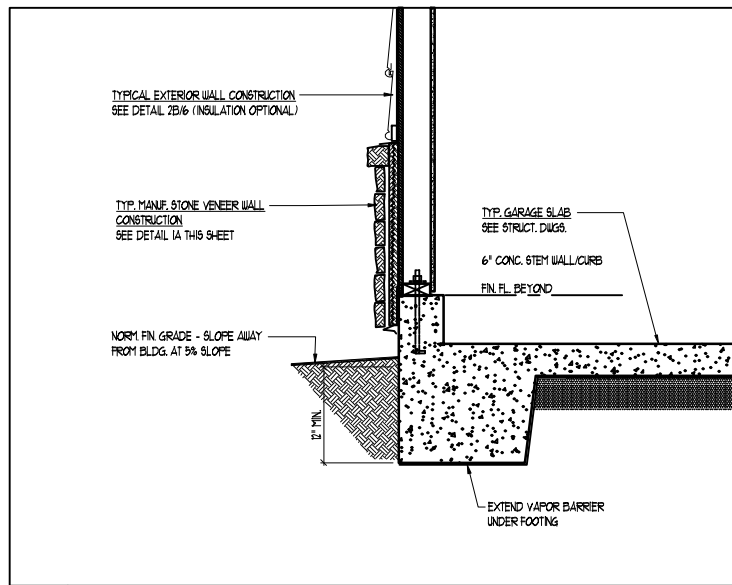
3B DETAIL AT SHED ROOF AT EXT. WALL SCALE: 1" = 1'-0"



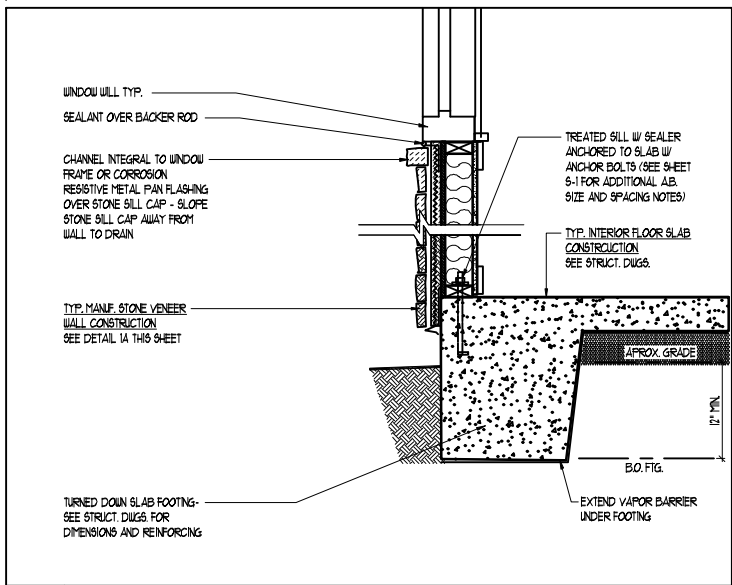
2B DOOR HEAD TRIM AND FLASHING DETAIL SCALE: 1" = 1'-0"



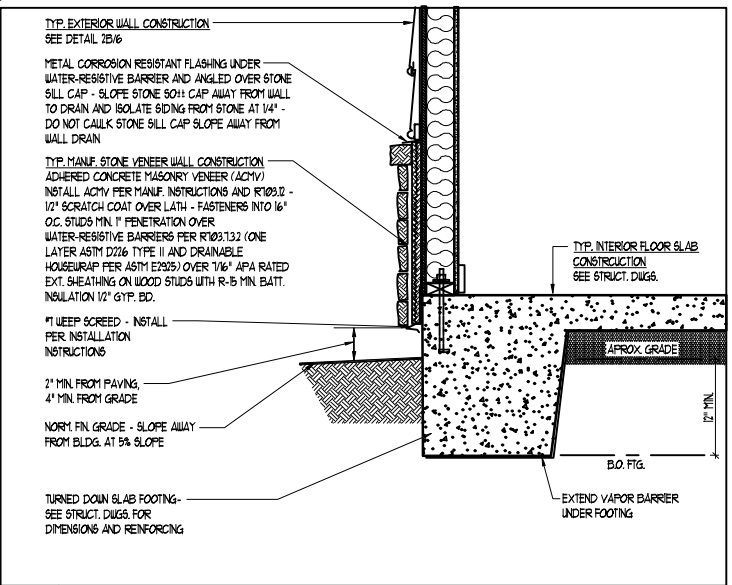
1B WINDOW TRIM AND FLASHING DETAIL SCALE: 1" = 1'-0"



3A DETAIL AT GARAGE EXT. WALL W/ STONE WAINSCOT VENEER SCALE: 1" = 1'-0"



2A STONE WAINSCOT VENEER AT WINDOW SCALE: 1" = 1'-0"



1A DETAIL AT EXT. WALL W/ STONE WAINSCOT VENEER SCALE: 1" = 1'-0"