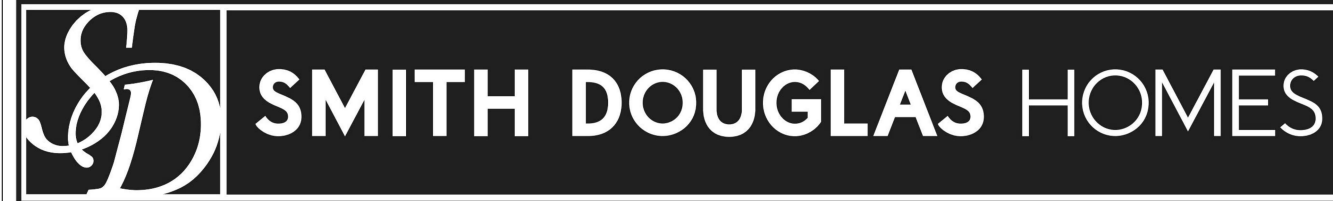


# COLEMAN

HARRINGTON PLACE  
LOT 0021

PLAN ID 060121.1201



QUALITY | INTEGRITY | VALUE

110 VILLAGE TRAIL SUITE 215  
WOODSTOCK, GA. 30188

## DRAWING INDEX

A0.0	COVER SHEET
A1.1	FRONT ELEVATIONS
A2.1	SIDE & REAR ELEVATIONS
A3.1	SLAB FOUNDATION
A5.1	FIRST FLOOR PLANS & DETAILS
A5.2	SECOND FLOOR PLANS & DETAILS
A6.1	ROOF PLANS
A7.2-A7.3	ELECTRICAL PLANS

AREA TABULATION	
FIRST FLOOR	838
SECOND FLOOR	1215
TOTAL	2053
GARAGE	438
FRONT PORCH (COVERED)	84
REAR PAD	9

## PLAN REVISIONS

DATE	BY	REVISION	PAGE #
10/30/2021	AW	Prototype walk revisions - see revision sheet	ALL
4/1/2022	AW	Final walk revisions - see revision sheet	A5.2, A5.2, A7.3
11/1/2022	AW	PCR #4985 Change 2x6 wall in laundry to 2-2x4s - takes 1.5" out of hall/linen	A5.2, A7.3
12/1/2022	AW	PCR #5030 Added 8" in depth to kitchen (pantry & around island) - reduced Dining/Study 8" in depth	A3.1, A5.1, A7.2, A8.1
9/21/2023	BB	REMOVED SHOWER AND TUB SIZES FROM ALL AFFECTED PAGES	A3.1, A5.1, A7.3

## GOVERNMENTAL CODES & STANDARDS

HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

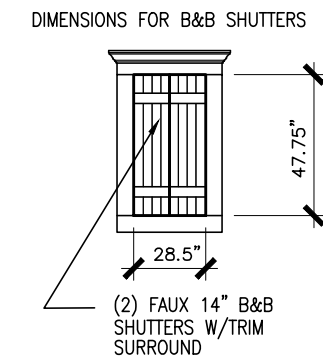
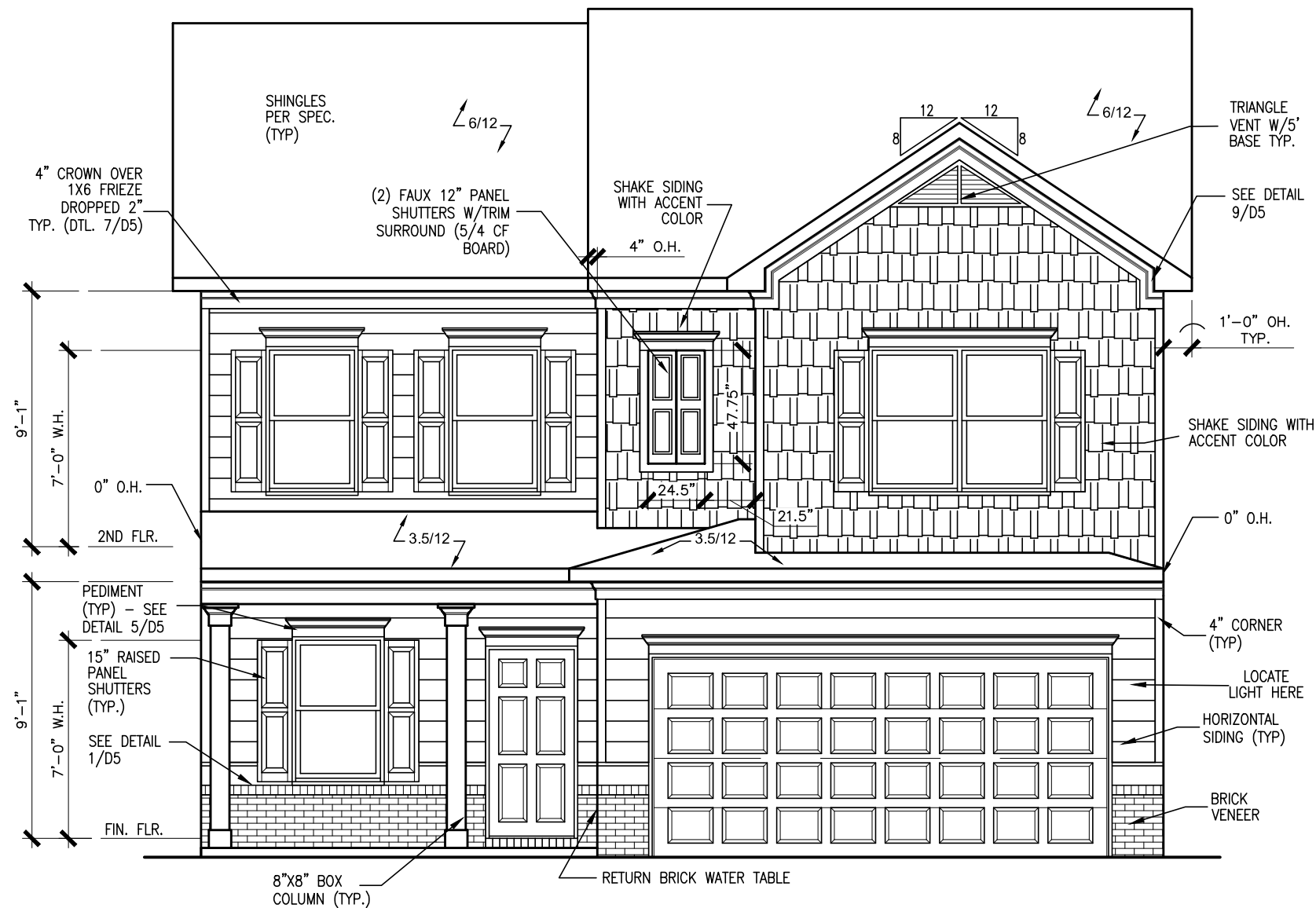
## BUILDING CODE ANALYSIS / DESIGN CRITERIA

HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

# HARRINGTON PLACE LOT 0021



## FRONT ELEVATION "B"

SCALE: 3/16"=1'-0"

BY	REVISION	DATE
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



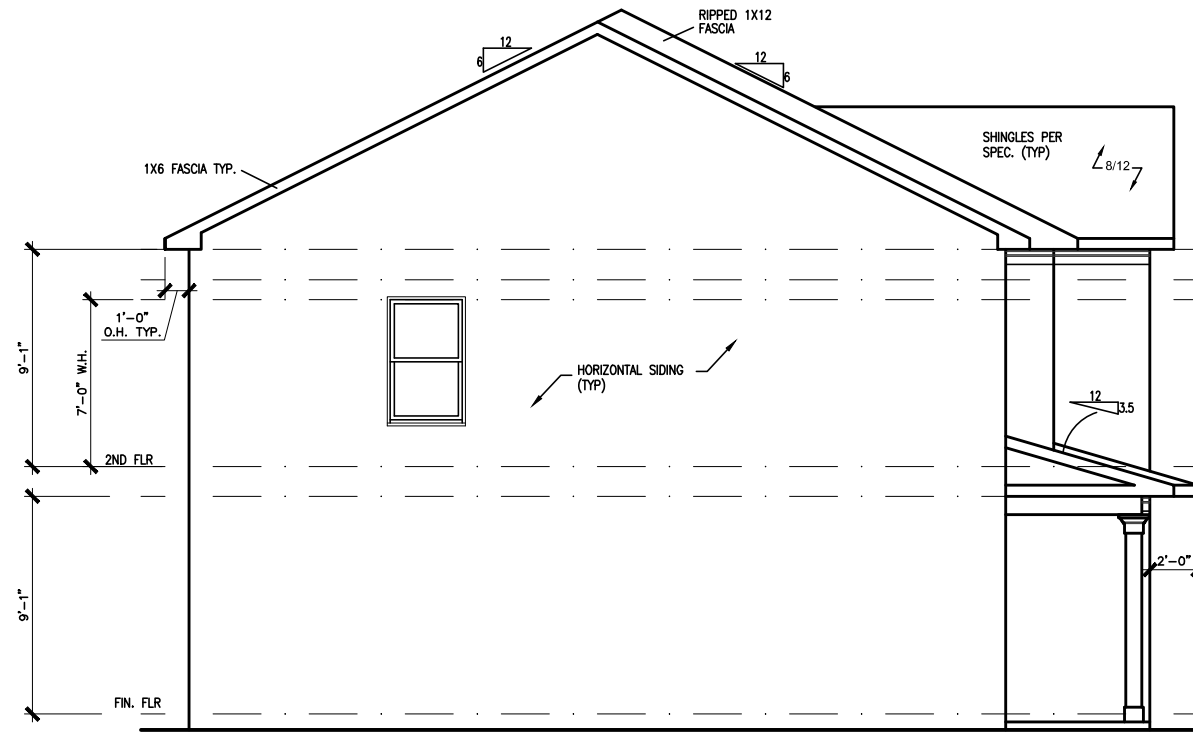
ELEVATIONS  
FRONT ELEVATION  
COLEMAN B

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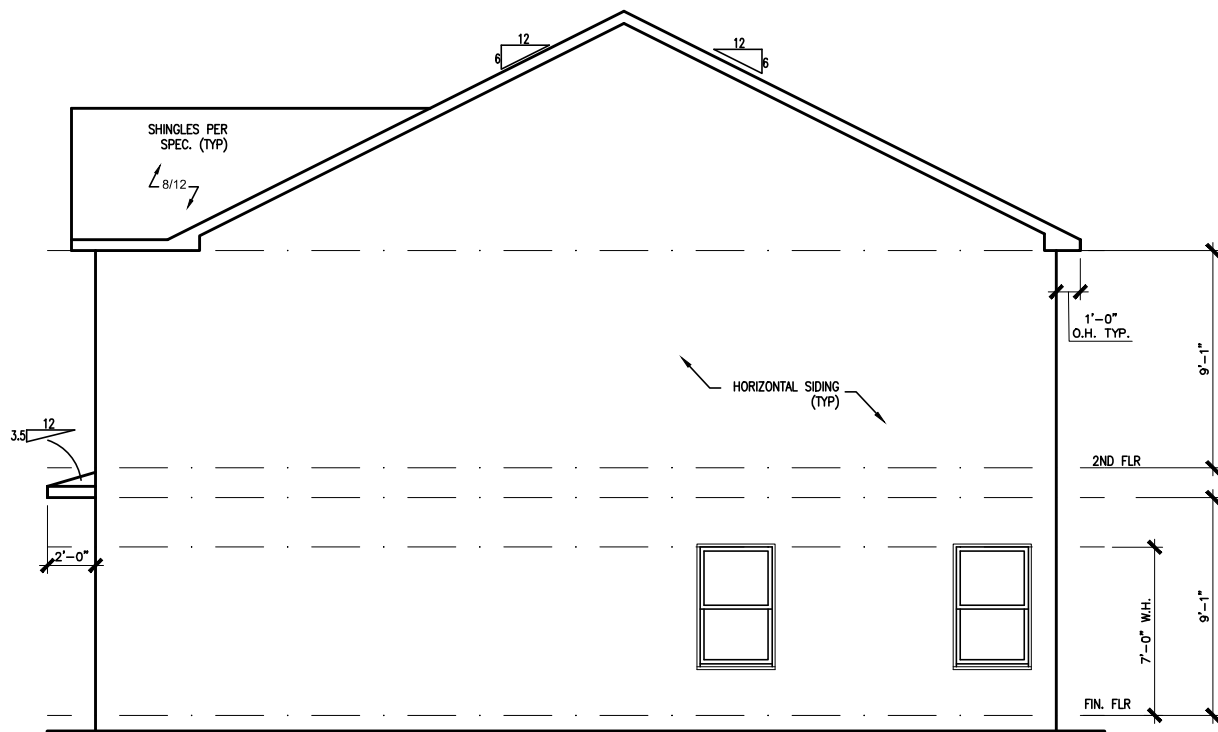
BY: TJJ	CH: AW
DATE: 03/04/2024	
FACADE OPT: B	
PLAN ID:	
FND: ALL	ELEV: B
PAGE NO: A1.1	

# HARRINGTON PLACE LOT 0021



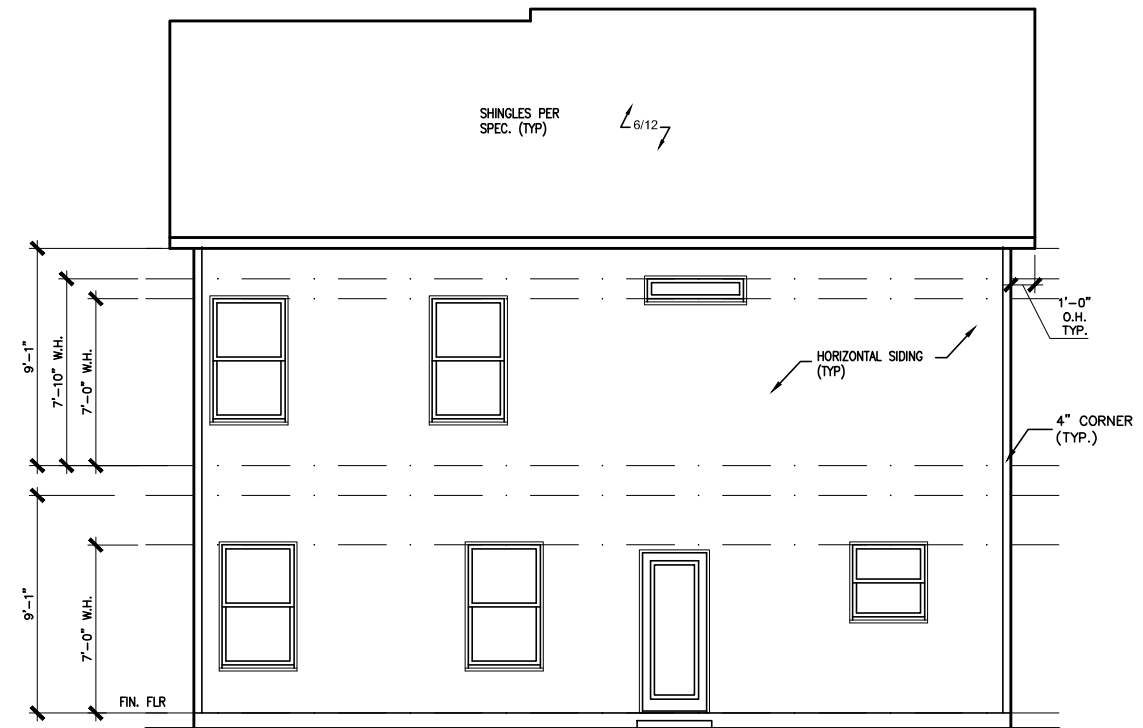
LEFT ELEVATION "B"

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION "B"

SCALE: 1/8" = 1'-0"



REAR ELEVATION "B"

SCALE: 1/8" = 1'-0"

BY	REVISION	DATE
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



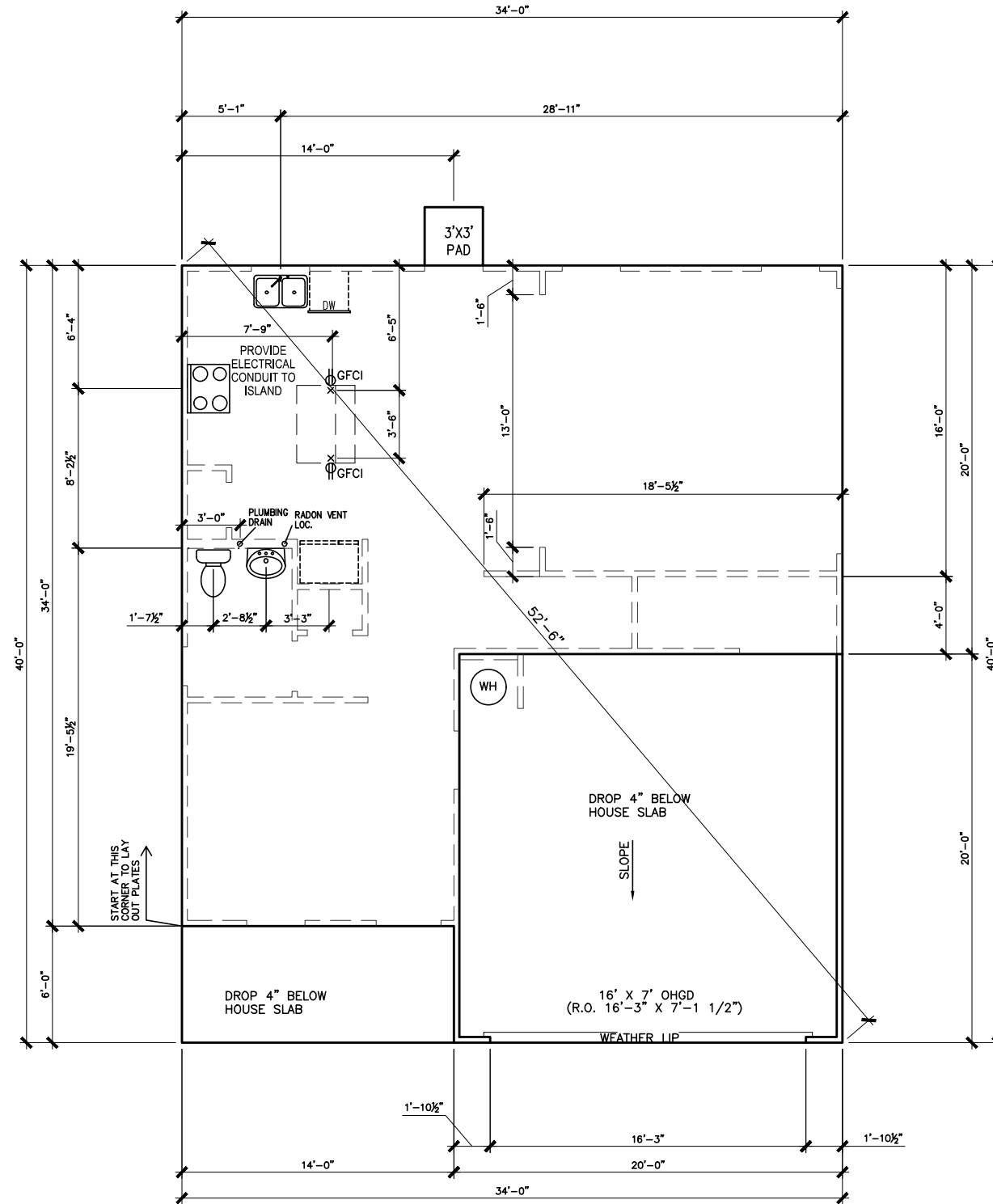
ELEVATIONS  
SIDES AND REAR  
COLEMAN B

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FACADE OPT: B	
PLAN ID:	
PND: ALL	ELEV: B
PAGE NO: A2.1	

# HARRINGTON PLACE LOT 0021



SLAB PLAN

SCALE: 1/8" = 1'-0"

\*RADON VENT PROVIDED  
PER LOCAL CODE

REFER TO DETAIL 3/D1  
FOR BRICK LEDGE  
DETAIL WHEN BRICK  
VENEER IS CHOSEN

DATE	REVISION	BY



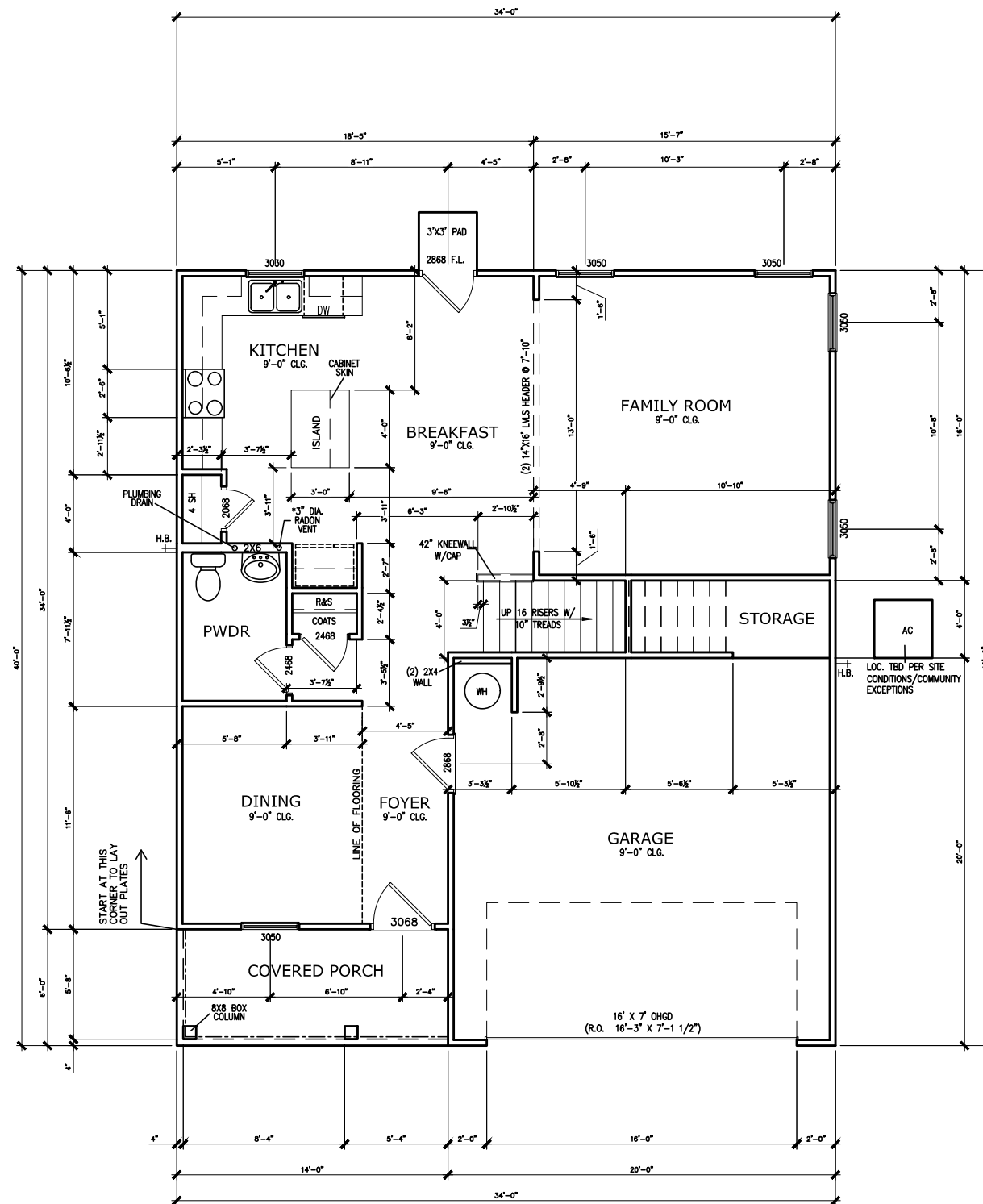
FOUNDATION PLAN  
SLAB PLAN  
COLEMAN B

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PLAN ID:	
FND: ALL	ELEV: B
PAGE NO: A3.1	

# HARRINGTON PLACE LOT 0021



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

\*RADON VENT PROVIDED  
PER LOCAL CODE

DATE	REVISION	BY



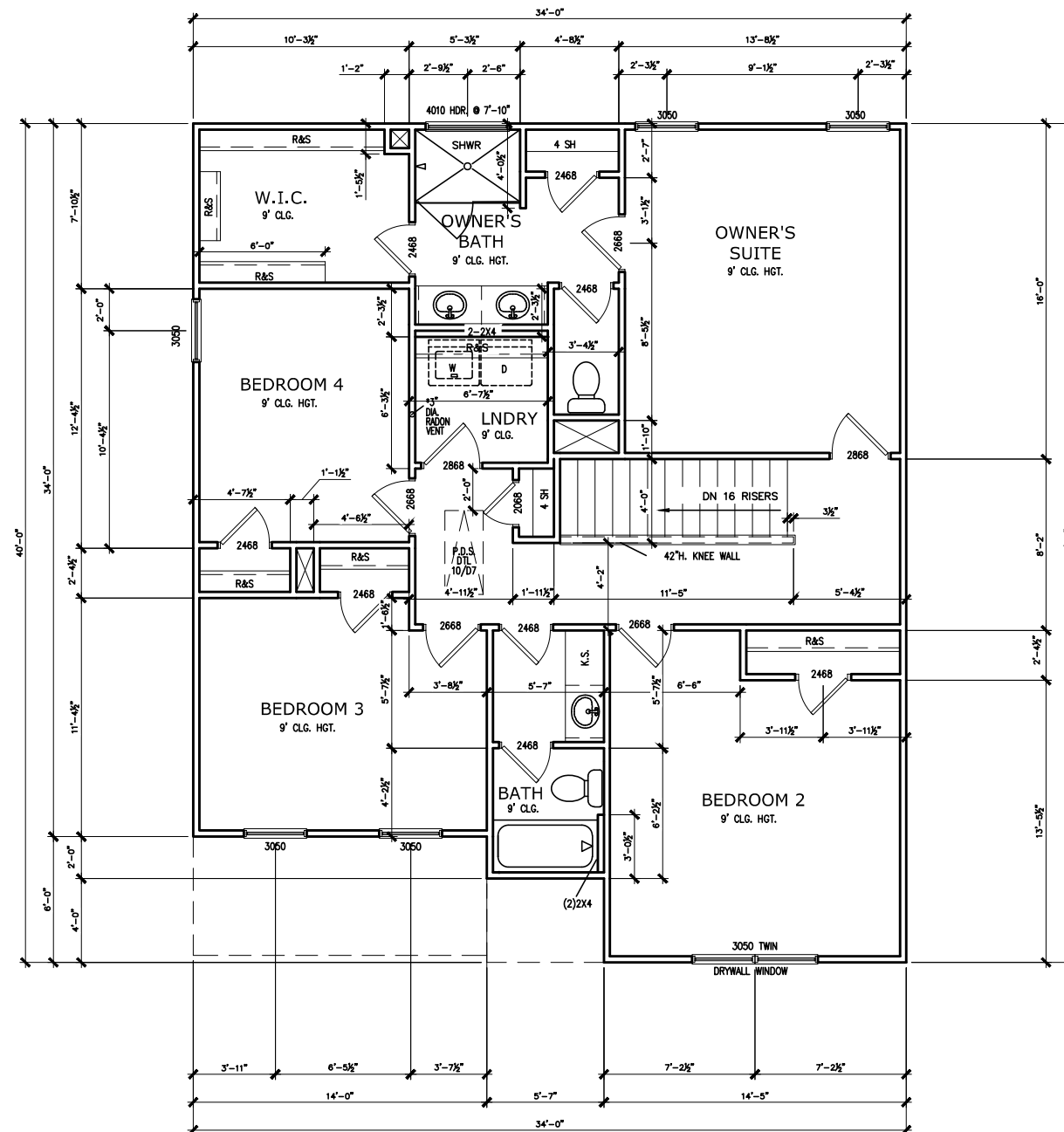
FLOOR PLAN  
FIRST FLOOR  
COLEMAN B

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DATE: 03/04/2024	
FACADE OPT: B	
PLAN ID:	
FND: ALL	ELEV: B
PAGE NO: A5.1	

# HARRINGTON PLACE LOT 0021



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

\*RADON VENT PROVIDED  
PER LOCAL CODE

REFER TO MANUFACTURER'S SPECS.  
FOR DRAIN LOCATIONS ON DETAIL  
SHEETS D12, D12.1, & D12.2

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DATE	BY	REVISION



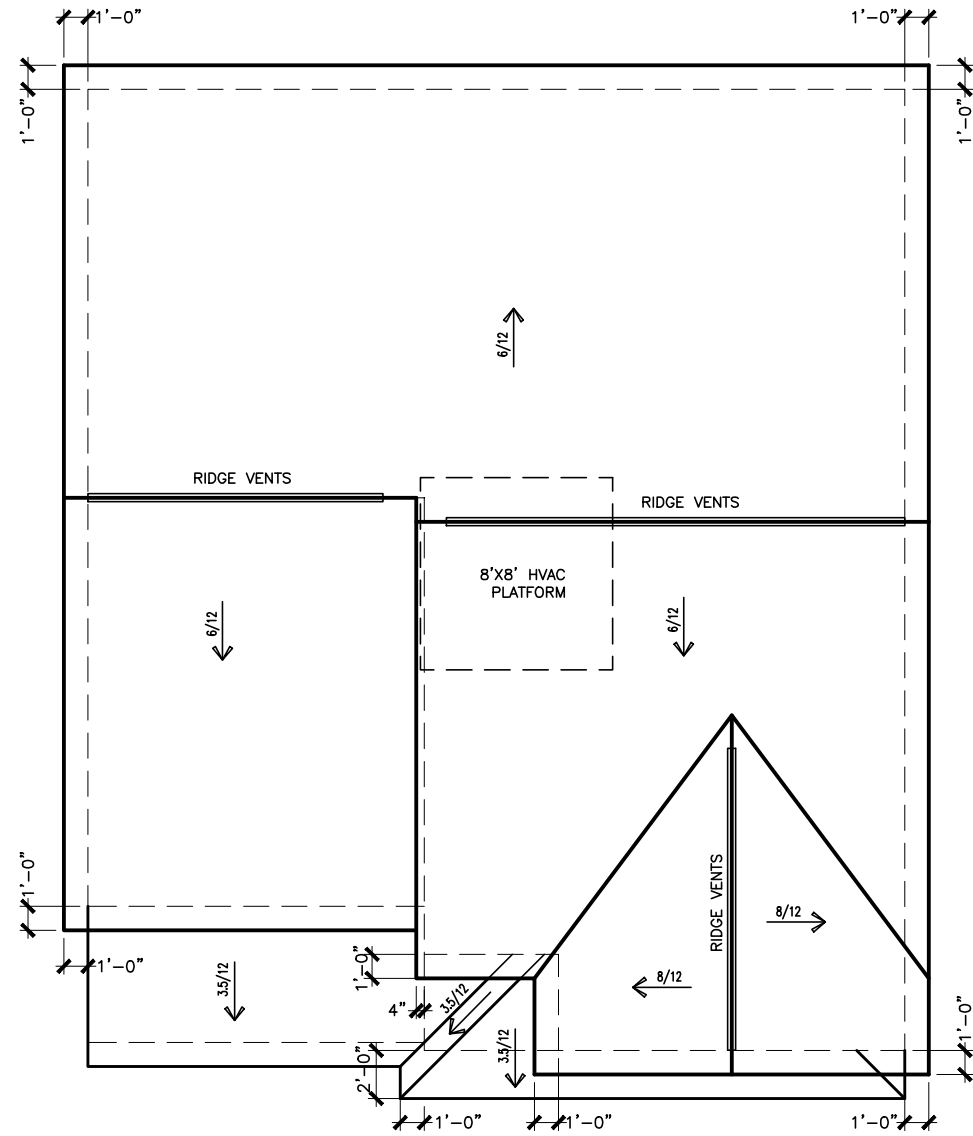
FLOOR PLAN  
SECOND FLOOR  
COLEMAN B

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DATE: 03/04/2024	
FACADE OPT: B	
PLAN ID:	
PNL: ALL	BLV: B
PAGE NO: A5.2	

# HARRINGTON PLACE LOT 0021



ROOF LAYOUT "B"

SCALE : 1/8" = 1'-0"

DATE	REVISION	BY
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



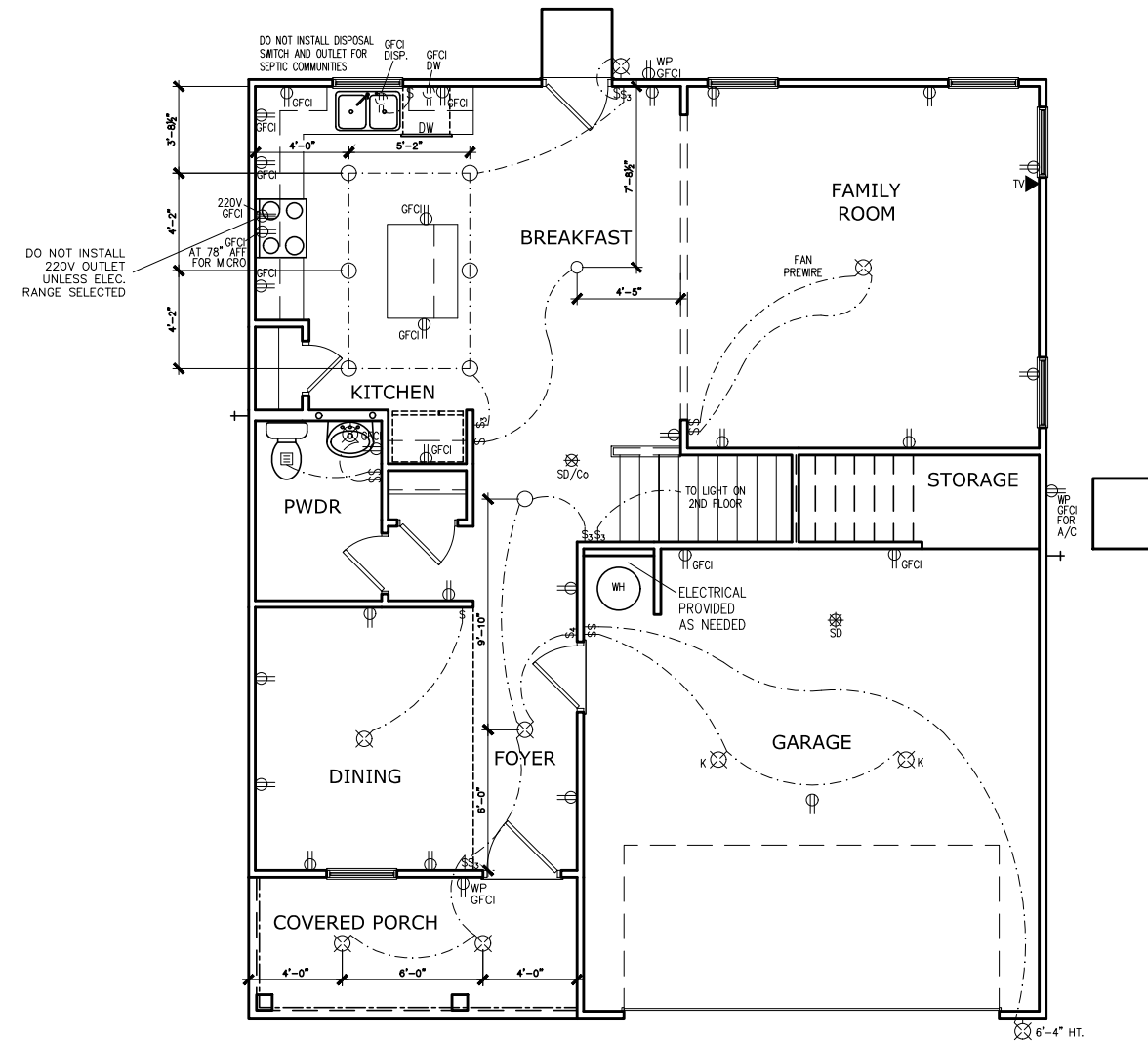
ROOF PLAN  
ROOF PLAN  
COLEMAN B

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PLAN ID:	
FND: ALL	ELEV: B
PAGE NO: A6.1	

# HARRINGTON PLACE LOT 0021



ELECTRICAL LEGEND			
\$	SWITCH	TV	TV
\$3	3 WAY SWITCH	⊕	120V RECEPTACLE
\$4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕	KEYLESS	⊕	GFCI OUTLET
⊕	WALL MOUNT FIXTURE	⊕	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	†GL	GAS LINE
●	FLEX CONDUIT	†WL	WATER LINE
CH	CHIMES	⊥	HOSE BIBB
PH	TELEPHONE	⊕	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	⊕	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊕	CEILING FAN
□	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
⊕	EXHAUST FAN	⊕	CEILING FIXTURE
⊕	FAN/LIGHT		
ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES			
APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)			
BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR		
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP		
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR		
CEILING FAN	96" ABOVE FINISHED FLOOR		
FLOOD LIGHT	10' MAX. ABOVE FIN. FLOOR		

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

## FIRST FLOOR ELECTRICAL PLAN

SCALE : 1/8" = 1'-0"

DATE	REVISION	BY	#



ELECTRICAL PLAN  
FIRST FLOOR  
COLEMAN B

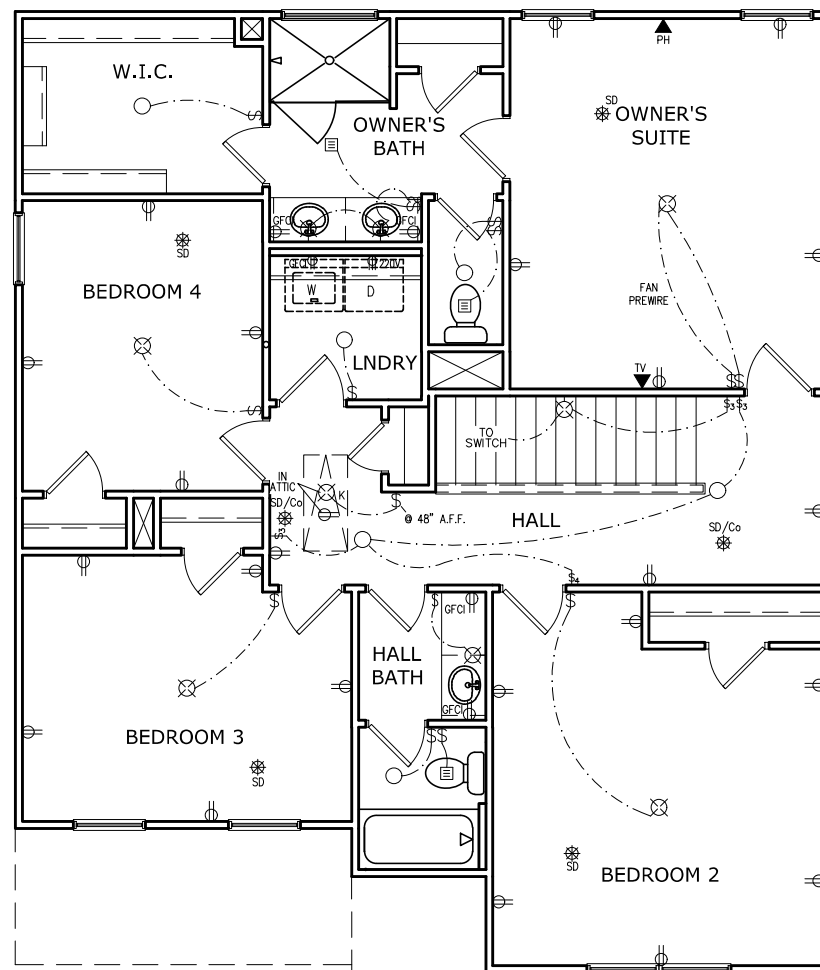
SMITH DOUGLAS HOMES  
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FACADE OPT: B	
PLAN ID:	
FND: ALL	BLV: B
PAGE NO: A7.2	



# HARRINGTON PLACE LOT 0021



ELECTRICAL LEGEND			
\$	SWITCH	TV	TV
\$3	3 WAY SWITCH	⊕	120V RECEPTACLE
\$4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕	KEYLESS	⊕	GFCI
⊕	WALL MOUNT FIXTURE	⊕	GFCI OUTLET
⊕	CEILING FIXTURE	⊕	ARCH FAULT CIRCUIT INTERRUPTER
●	FLEX CONDUIT	†	GAS LINE
CH	CHIMES	†	WATER LINE
PH	TELEPHONE	⊕	HOSE BIBB
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	⊕	FLOOD LIGHT
SO	SECURITY OUTLET	⊕	1x4 LUMINOUS FIXTURE
□	GARAGE DOOR OPENER	⊕	CEILING FAN
⊕	EXHAUST FAN	⊕	ELECTRICAL WIRING
⊕	FAN/LIGHT	⊕	CEILING FIXTURE
ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES			
APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)			
BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR		
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP		
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR		
CEILING FAN	96" ABOVE FINISHED FLOOR		
FLOOD LIGHT	10' MAX. ABOVE FIN. FLOOR		

NOTE: FINAL PLACEMENT OF  
PHONE/CABLE T.B.D. ON SITE  
BY THE BUILDER

SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

DATE	REVISION	BY
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



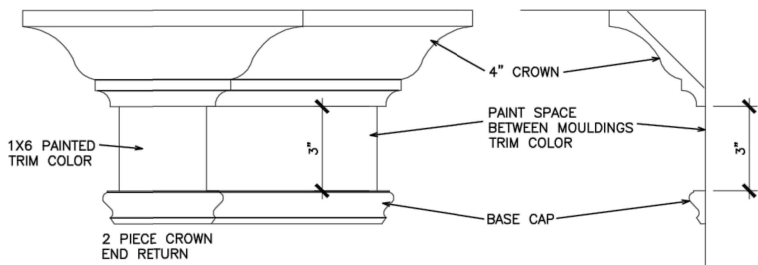
ELECTRICAL PLAN  
SECOND FLOOR  
COLEMAN B

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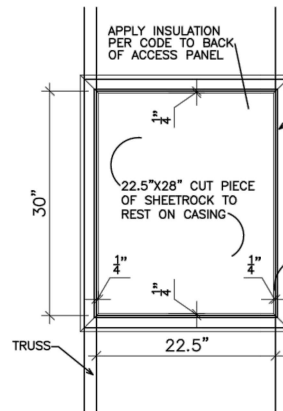
BY:	TJJ	CH:	AW
DATE:	03/04/2024		
FACADE OPT:	B		
PLAN ID:			
FND:	ALL	ELEV:	B
PAGE NO:	A7.3		

REFER TO LOT SPECIFIC PLAN TO DETERMINE WHICH DETAILS APPLY



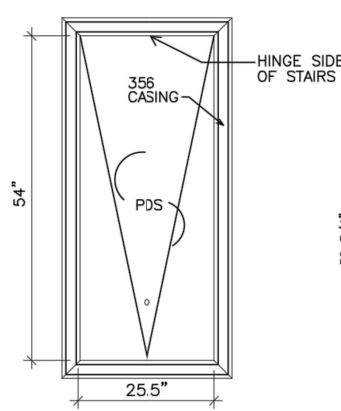
TYPICAL TWO PIECE CROWN

N.T.S.



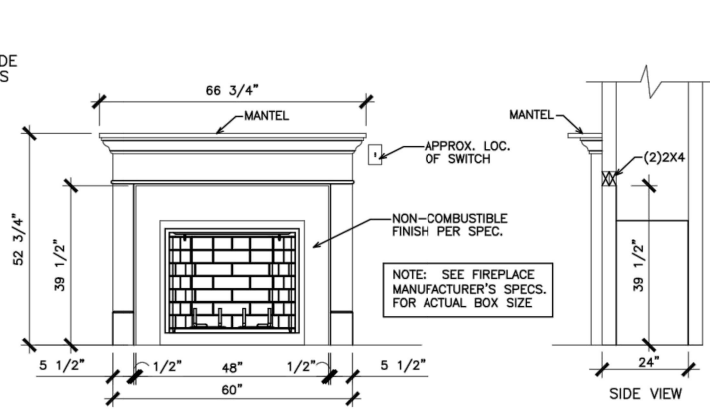
SCUTTLE HOLE DETAIL

N.T.S.



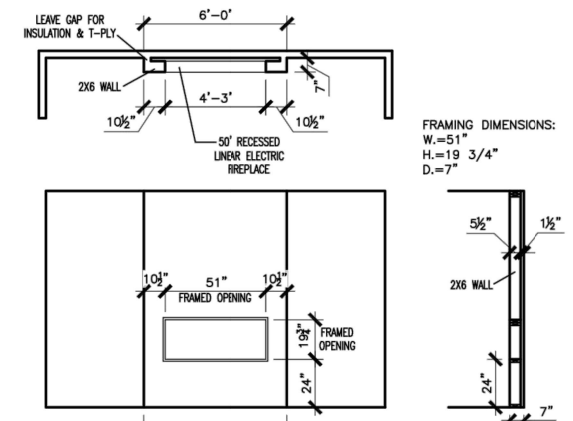
PDS TRIM DETAIL

N.T.S.



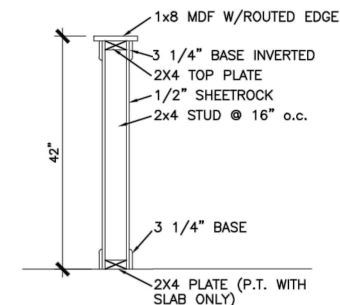
GAS/ELECTRIC FIREPLACE DETAIL WITH WESCOTT WOOD MANTEL

N.T.S.



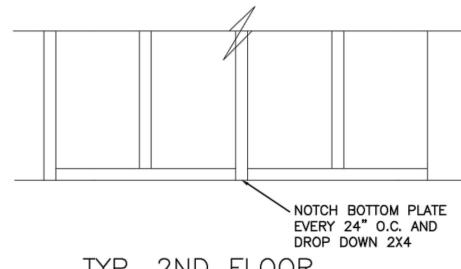
LINEAR ELECTRIC FIREPLACE DETAIL

N.T.S.



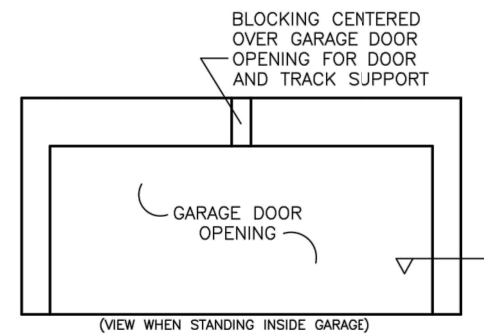
TYP. KNEEWALL SECTION

N.T.S.



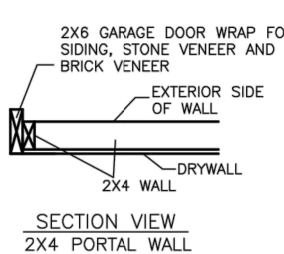
TYP. 2ND FLOOR KNEE WALL STABILITY

N.T.S.

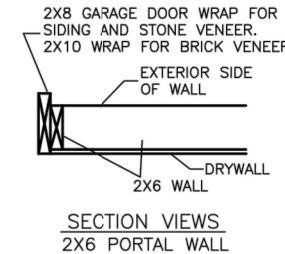


TYP. GARAGE WRAP & BLOCKING

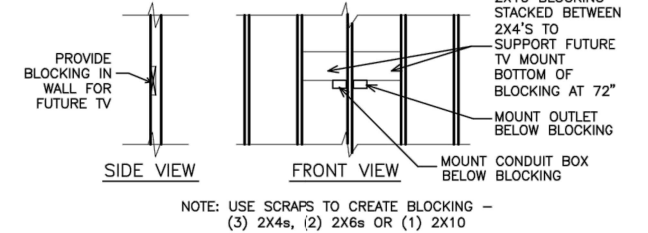
N.T.S.



SECTION VIEW 2X4 PORTAL WALL

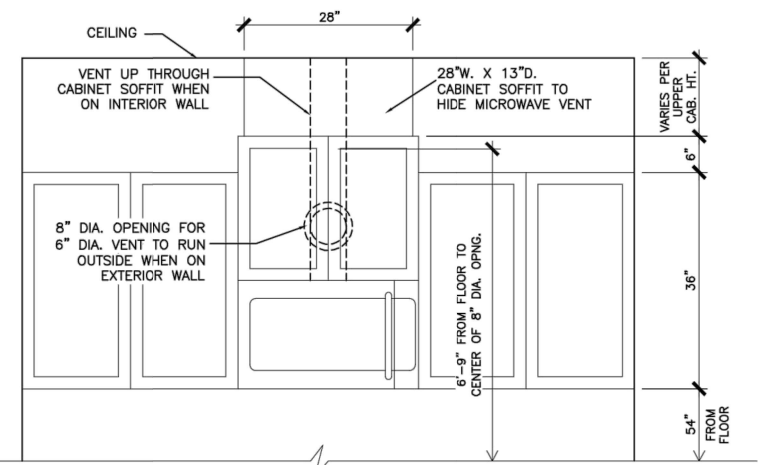


SECTION VIEWS 2X6 PORTAL WALL



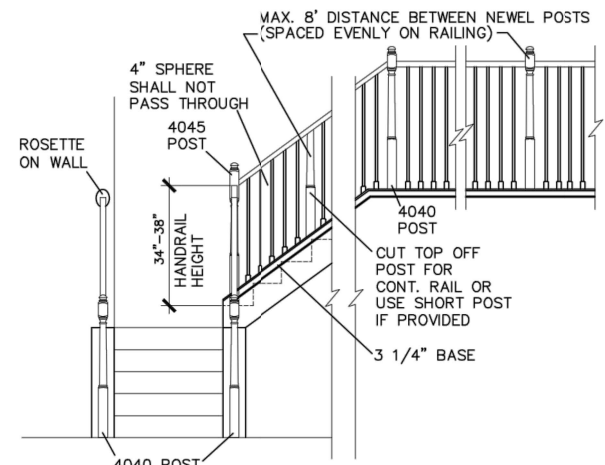
TYP. TV WALL PREP

N.T.S.



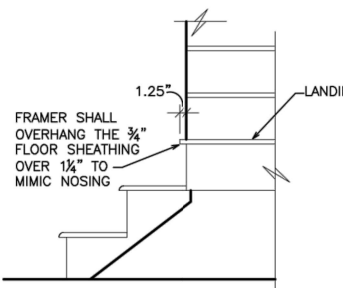
CABINET SOFFIT DETAIL ABOVE VENTED MICROWAVE W/CABINET ABOVE RANGE BUMPED UP & OUT

N.T.S.



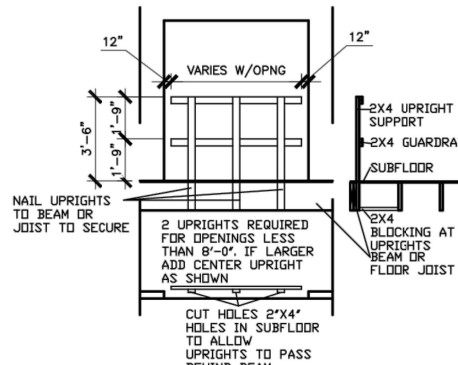
HANDRAIL/POST DETAIL @ STAIRS

N.T.S.



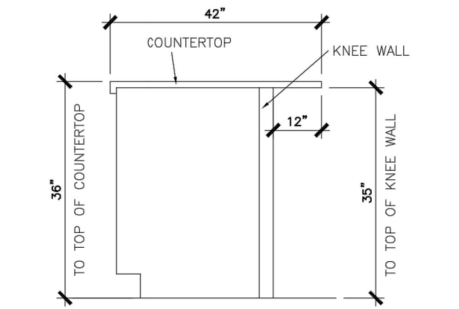
BOX STEP OVERHANG

N.T.S.



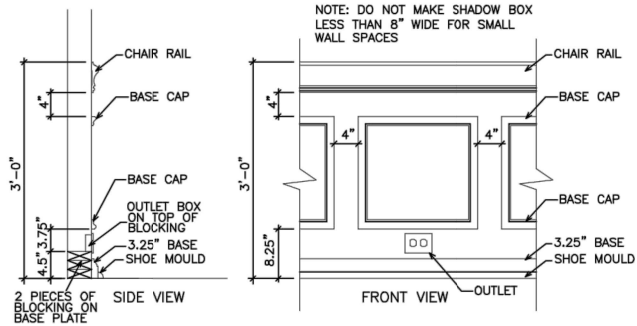
GUARD RAIL DTL. AS REQ'D

N.T.S.



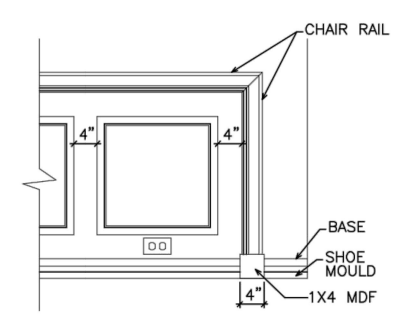
SECTION @ ISLAND KNEEWALL

N.T.S.



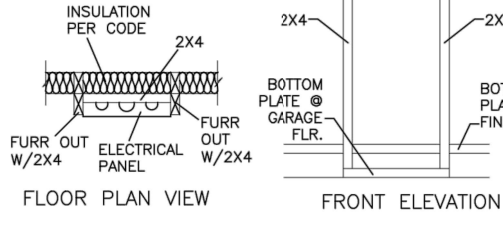
TYPICAL CHAIR RAIL & SHADOW BOX DETAIL

N.T.S.



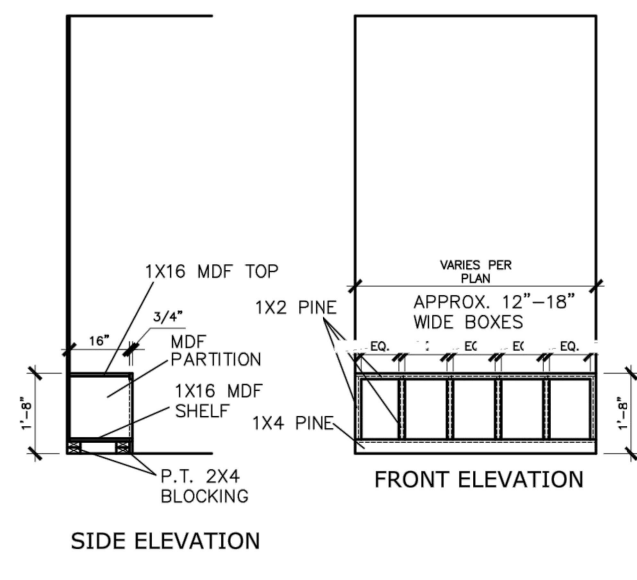
CHAIR RAIL END TRIM DETAIL

N.T.S.



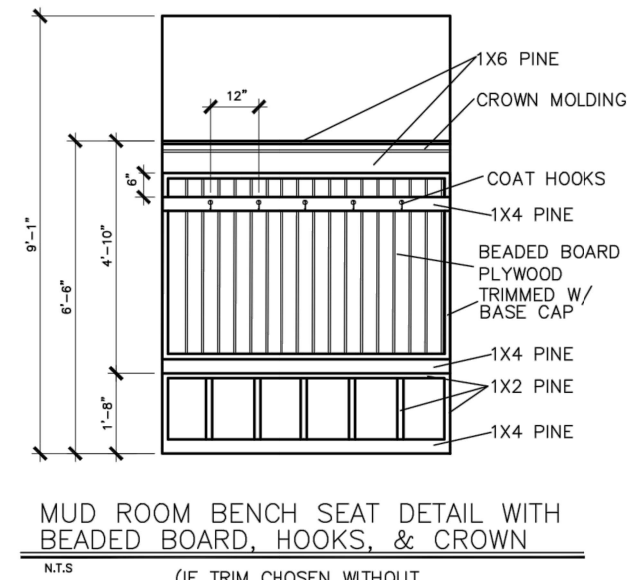
ELECTRICAL PANEL DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL WITH BEADED BOARD, HOOKS, & CROWN

N.T.S.

(IF TRIM CHOSEN WITHOUT BENCH CONTINUE TO FLOOR)

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BY	REVISION	DATE

SMITH DOUGLAS HOMES  
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INTERIOR TRIM  
DETAILS

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DATE:	6/13/23
PLAN ID:	
END:	
ELEV:	
PAGE NO.:	D1.1



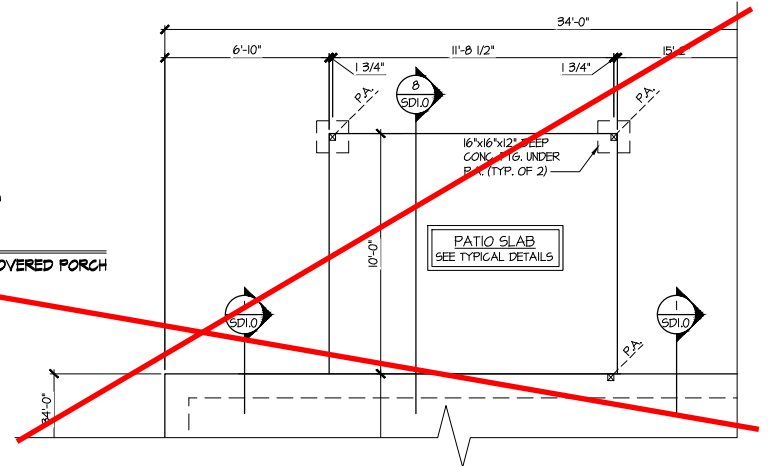
Mulhern+Kulp project number:	256-21006
project mgr:	SMK
drawn by:	MJF
issue date:	10-21-2021
REVISIONS:	
date:	initial:
12/10/21	JPP
ISSUED PLANS ADDED	

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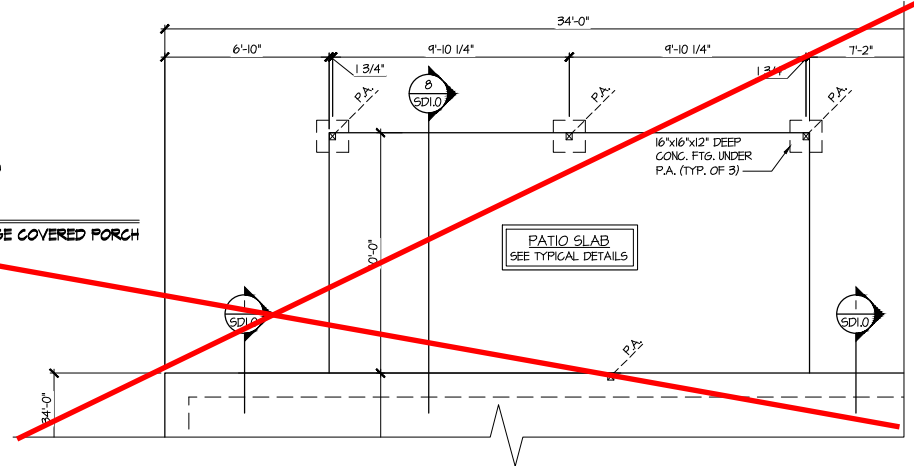
MONO-SLAB FOUNDATION  
 COLEMAN MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA

sheet:  
**S1.0**

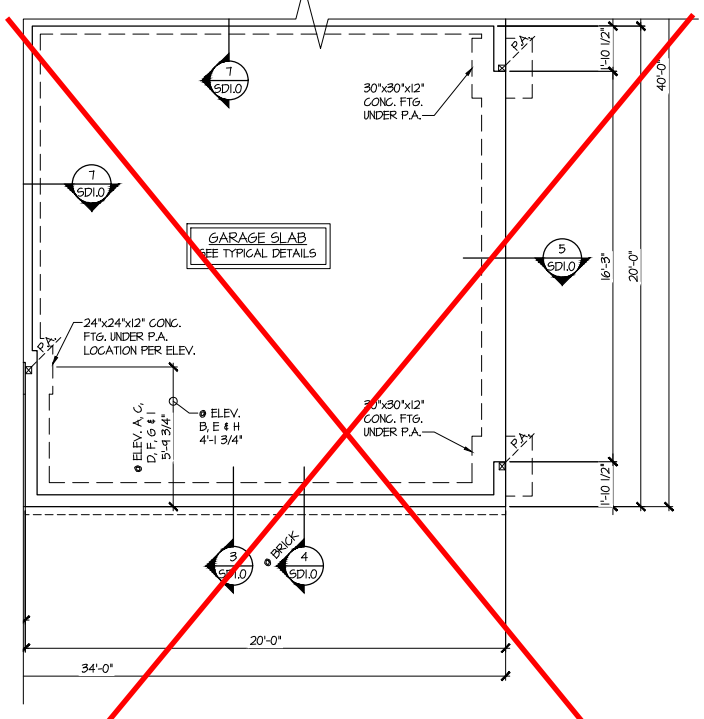
**3 PARTIAL MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. COVERED PORCH



**4 PARTIAL MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. LARGE COVERED PORCH



**2 PARTIAL MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. SIDE ENTRY GARAGE



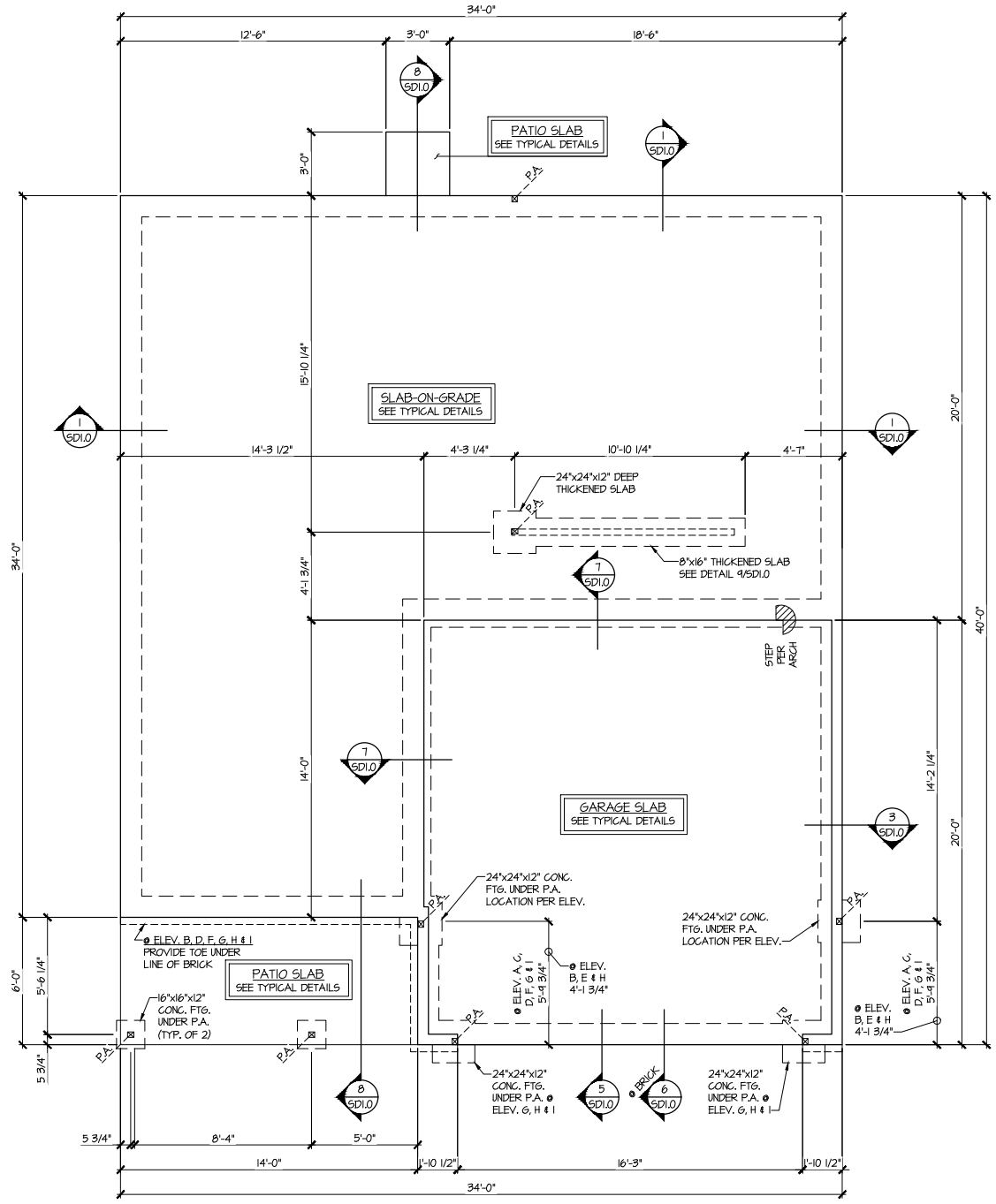
**Harrington  
 Lot 21**

REFER TO S0.0 FOR TYPICAL  
 STRUCTURAL NOTES & SCHEDULES

**LEGEND**

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
- [Symbol] INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- [Symbol] INTERIOR BEARING WALL
- [Symbol] BEARING WALL ABOVE (B.W.A.)
- [Symbol] BEAM/HEADER
- J.L. METAL HANGER
- \* INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

**1 MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 ALL ELEV. SIM.

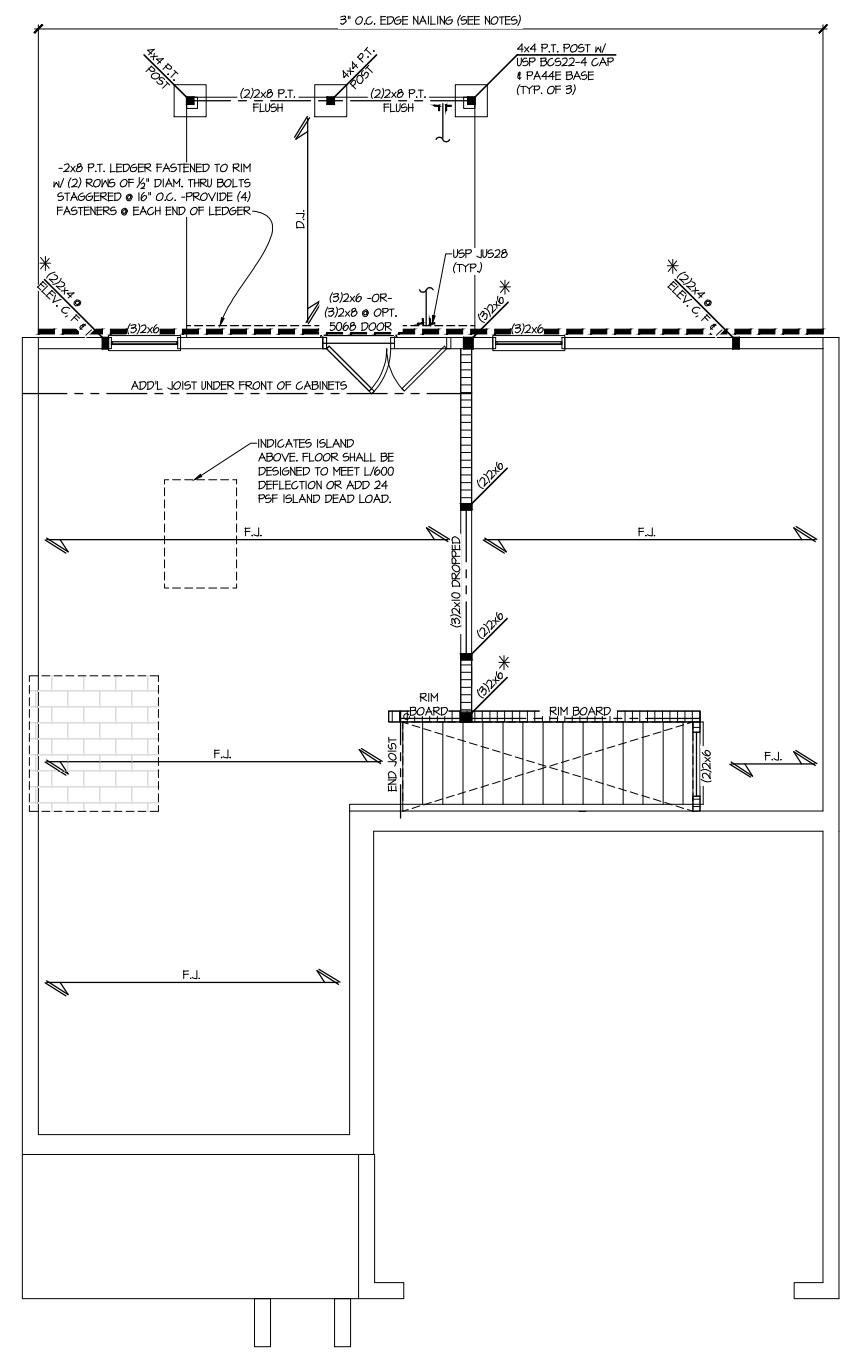


Mulhern+Kulp project number:	256-21006
project mgr:	SMK
drawn by:	MJF
issue date:	10-21-2021
REVISIONS:	
date:	initial:
12/10/21	JPP
REVISIONS ADDED	

SMITH DOUGLAS  
 HOMES

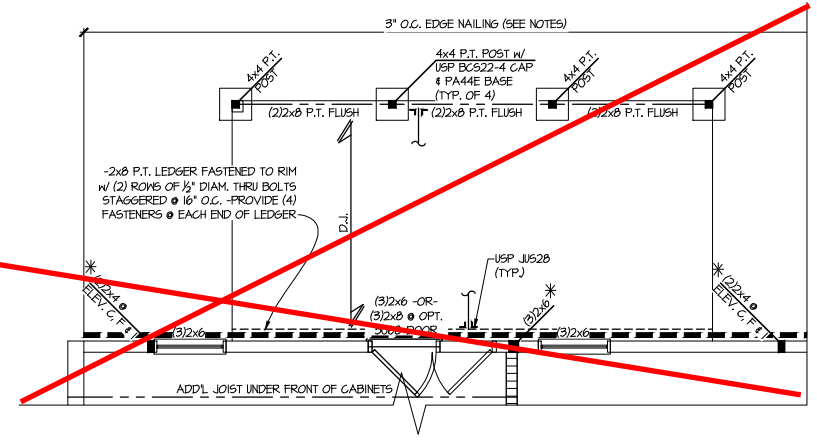
1ST FLOOR FRAMING PLAN  
 COLEMAN MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA

sheet:  
**S2.0**



**1** 1ST FLOOR FRAMING PLAN  
 SCALE: 1/4"=1'-0" ON 22x84  
 1/8"=1'-0" ON 11x17  
 ALL ELEV. SIM.

**5** PARTIAL 1ST FLOOR  
 FRAMING PLAN  
 SCALE: 1/4"=1'-0" ON 22x84  
 1/8"=1'-0" ON 11x17  
 OPT. EXT. DECK  
 OPT. LARGE  
 COVERED DECK SIM.

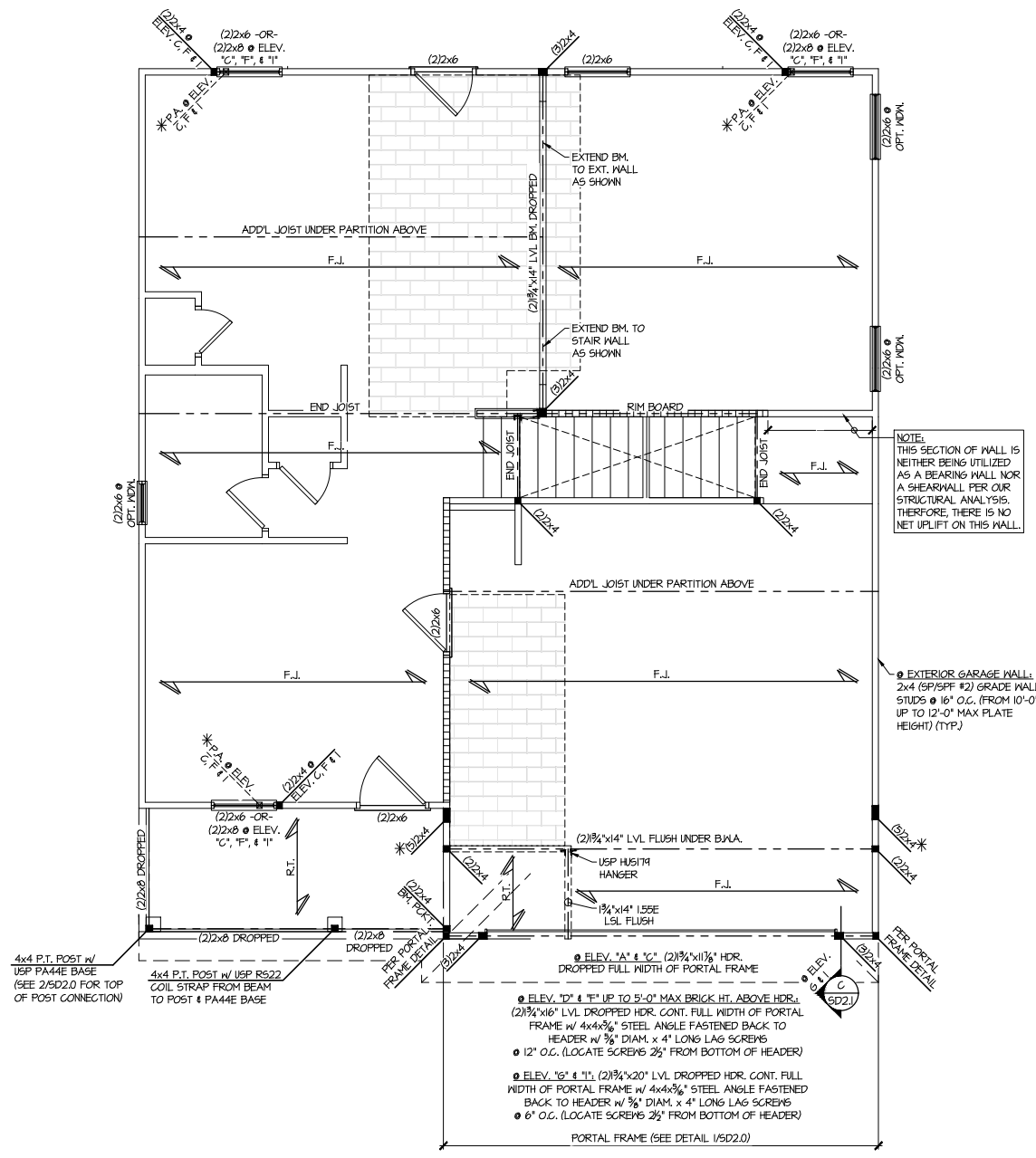


**Harrington  
 Lot 21**

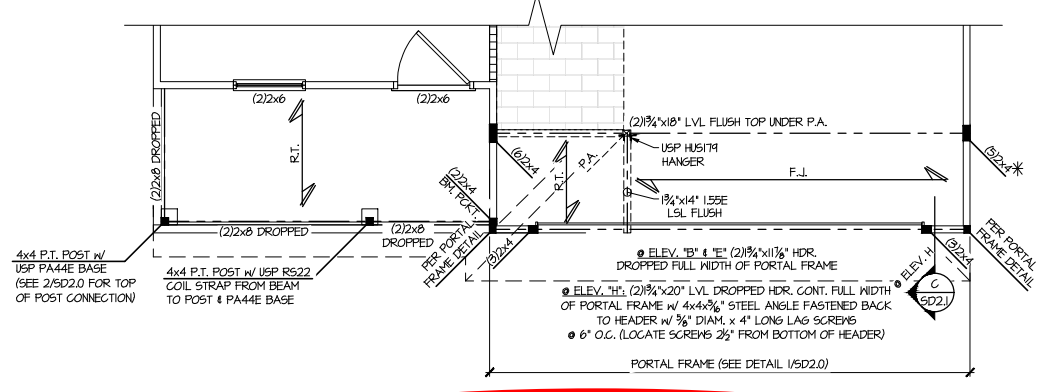
THIS LEVEL HAS BEEN DESIGNED  
 FOR 9'-1" PLATE HEIGHT

REFER TO S0.0 FOR TYPICAL  
 STRUCTURAL NOTES & SCHEDULES

LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
	INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
	INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADDL 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

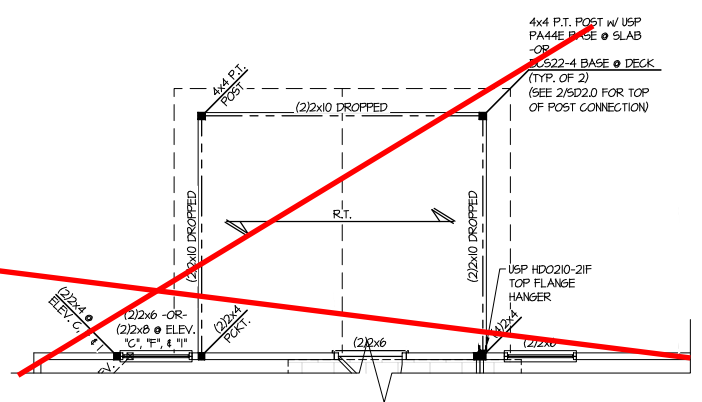


**1 2ND FLOOR FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34 ELEV. A, C, D, E, & H  
 1/8"=1'-0" ON 11x17

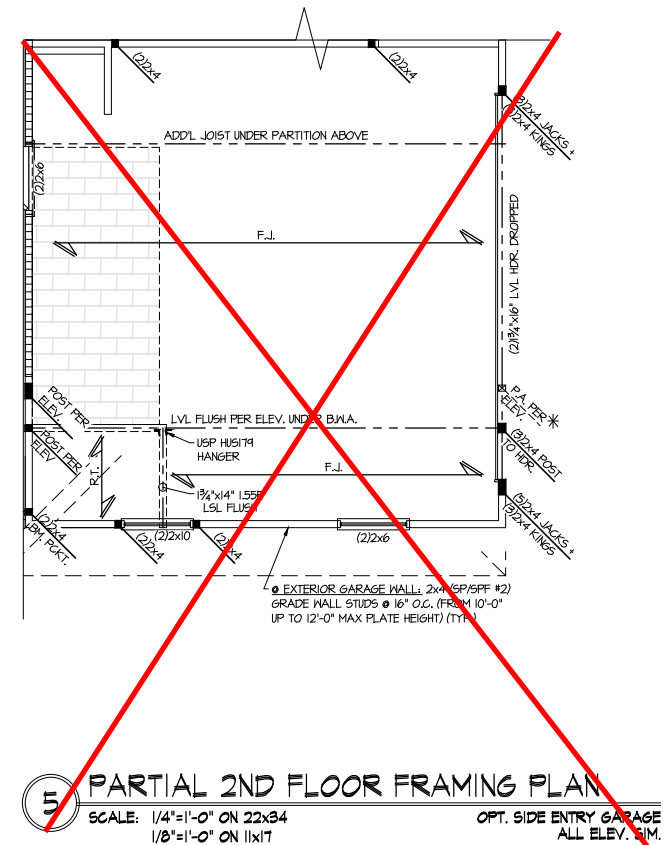
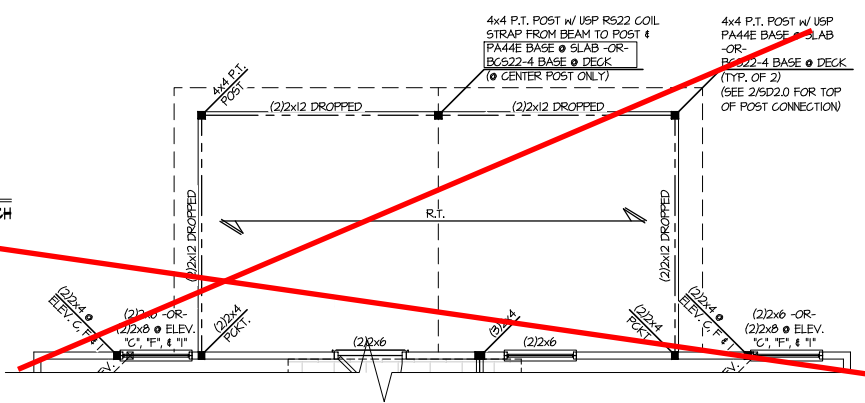


**2 PARTIAL 2ND FLOOR FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34 ELEV. B, E & H  
 1/8"=1'-0" ON 11x17 SEE ELEV. A FOR ADD'L INFO

**3 PARTIAL 2ND FLOOR FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34 OPT. COVERED PORCH  
 1/8"=1'-0" ON 11x17



**4 PARTIAL 2ND FLOOR FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34 OPT. LARGE COVERED PORCH  
 1/8"=1'-0" ON 11x17

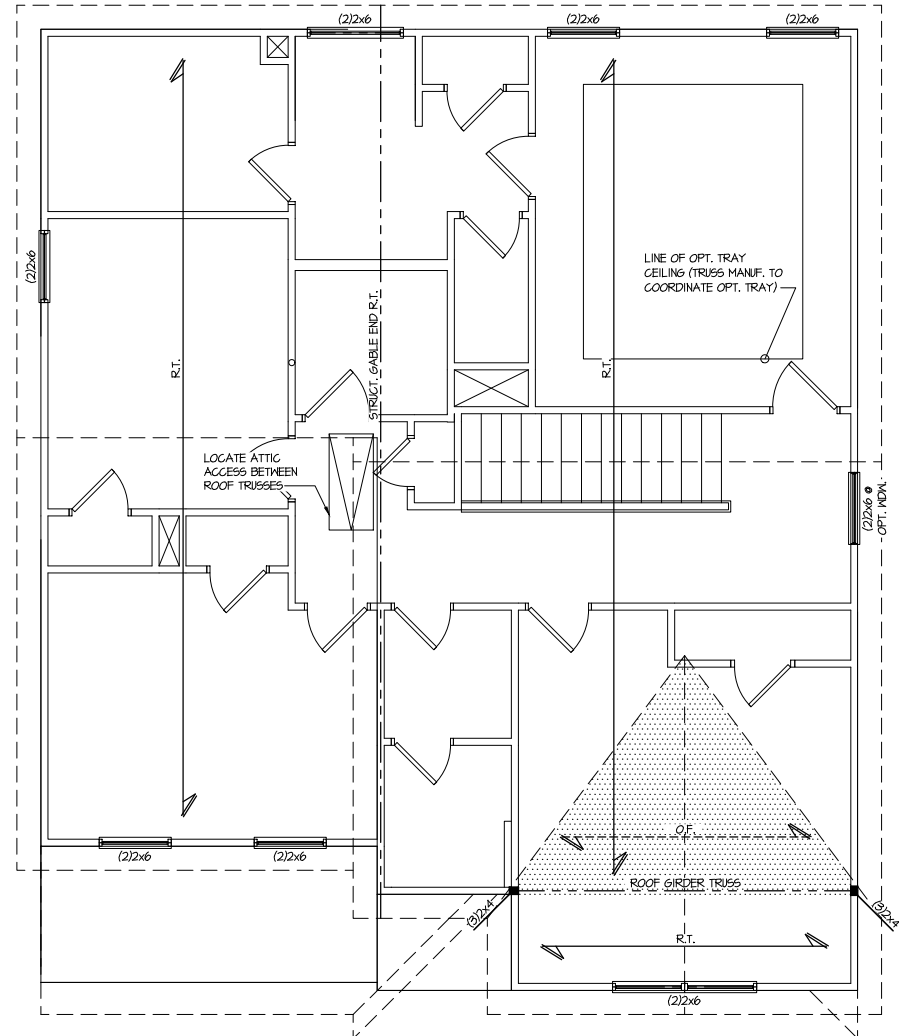


**5 PARTIAL 2ND FLOOR FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34 OPT. SIDE ENTRY GARAGE  
 1/8"=1'-0" ON 11x17 ALL ELEV. RIM.

**Harrington Lot 21**

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT  
 REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
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	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



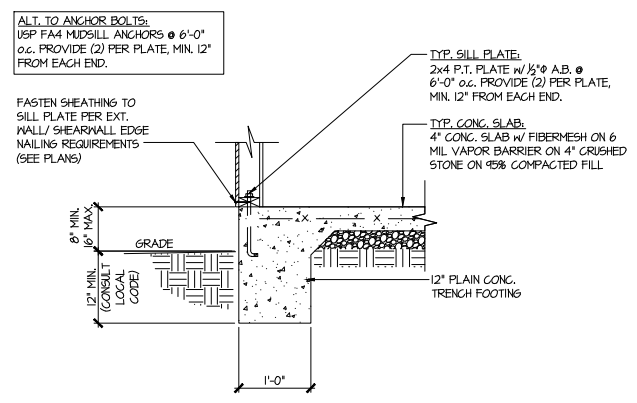
**Harrington  
 Lot 21**

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

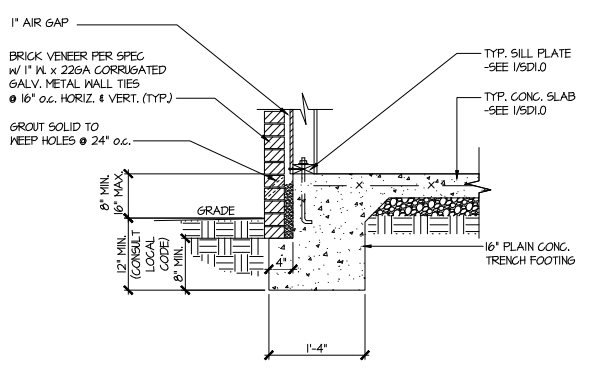
REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

**ROOF FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34 ELEV. B, E & H  
 1/8"=1'-0" ON 11x17

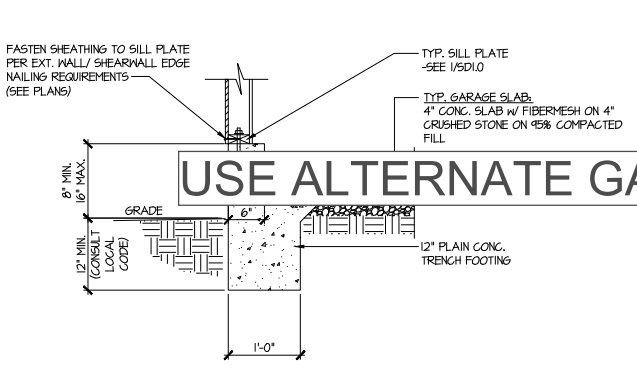
LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
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	INTERIOR BEARING WALL
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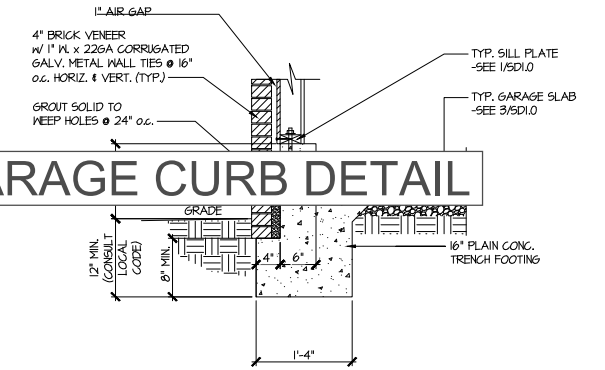
1 TYPICAL SLAB ON GRADE PERIMETER FOOTING



2 TYPICAL SLAB ON GRADE PERIMETER FOOTING w/ BRICK VENEER

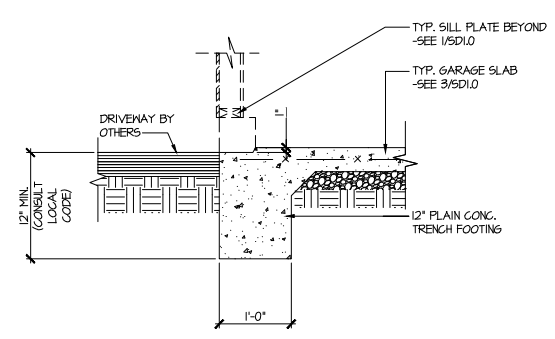


3 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

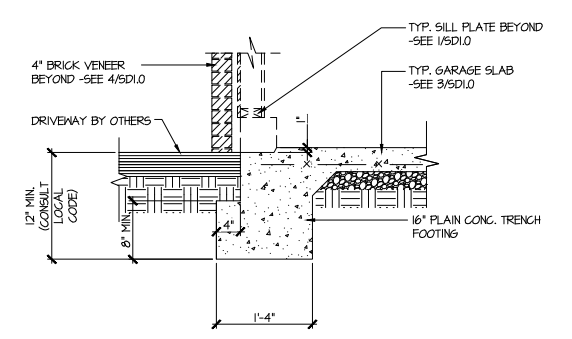


4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING w/ BRICK VENEER

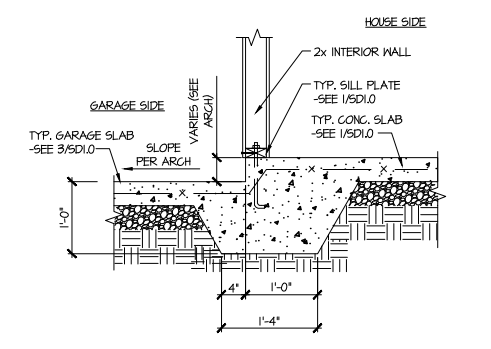
**USE ALTERNATE GARAGE CURB DETAIL**



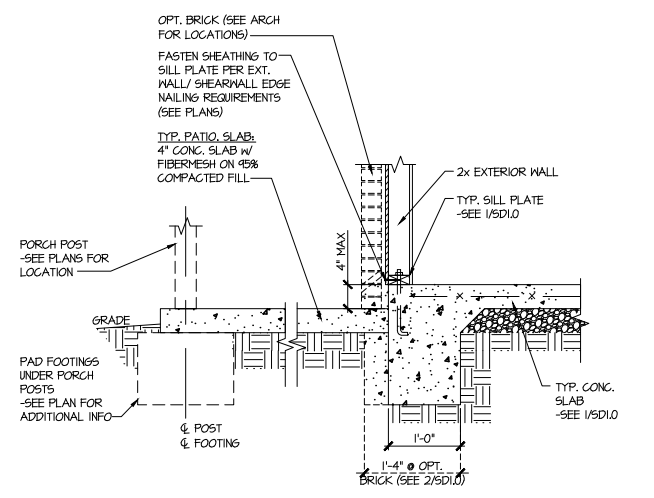
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



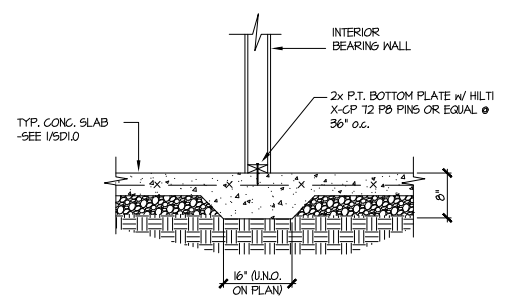
6 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING w/ BRICK VENEER



7 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



8 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



9 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

**MULHERN+KULP**  
 RESIDENTIAL STRUCTURAL ENGINEERING  
 3825 Shawnee Parkway, Suite 105 - Alpharetta, GA 30022  
 770-777-8974 - mulhern+kulp.com  
 NC License # C-3825

Mulhern+Kulp project number:  
 256-21006

project mgr: SMK  
 drawn by: MJF  
 issue date: 10-21-2021

REVISIONS:

date:	initial:
12/10/21	JPP
REQUIRED PLANS ADDED	

SMITH DOUGLAS  
 HOMES

FOUNDATION DETAILS  
 COLEMAN MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA

Harrington  
 Lot 21

sheet:  
**SD1.0**





**MULHERN+KULP**  
RESIDENTIAL STRUCTURAL ENGINEERING

3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

August 18, 2023

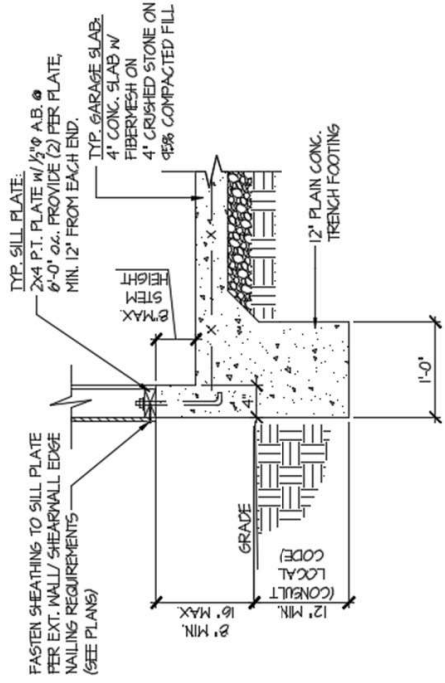
Jody Hunt  
Director of Product Development  
**SMITH DOUGLAS HOMES**  
110 Village Trail, Suite 215  
Woodstock, GA 30188

**ALTERNATE GARAGE CURB DETAIL**  
Smith Douglas Homes

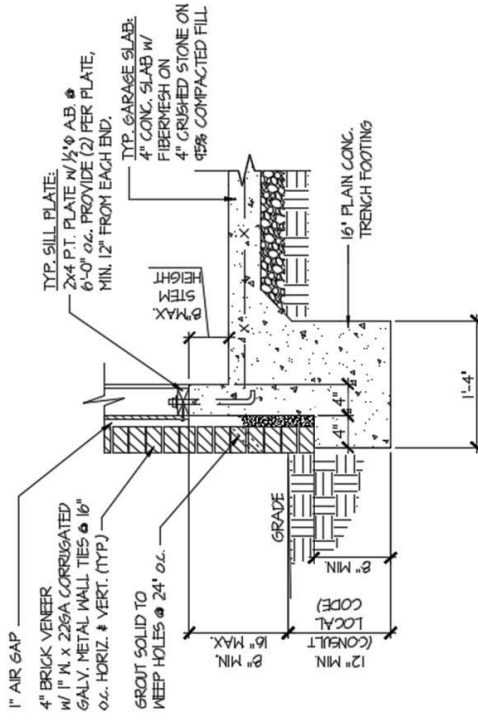
*Reference*  
*Current Structural Plans prepared by Mulhern & Kulp*

Jody:

Pursuant to your request, we have prepared this letter to address the “Alternate Garage Curb Details”, prepared by Mulhern & Kulp for Smith Douglas Homes shown below. The foundation details shown below call for a 4” wide curb with a maximum of 8” stem wall height; these are an acceptable alternative to the 6” wide curb at the garage per M&K foundation details 3 & 4 on sheet SD-1.0 at 2x4 garage wall locations.



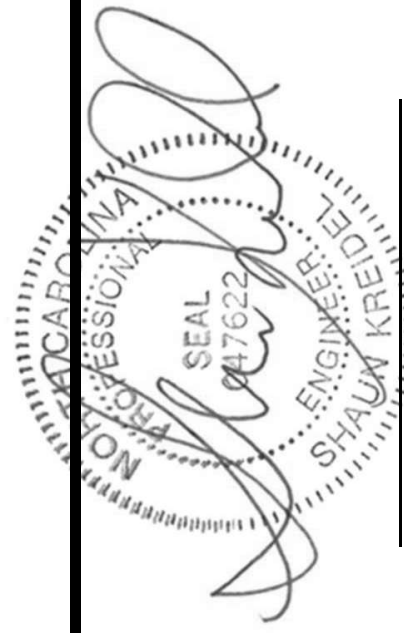
**(A)** TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



**(B)** TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

Please feel free to call if you have any questions.

Respectfully,  
**MULHERN & KULP STRUCTURAL ENGINEERING, INC.**  
NC License # C-3825  
Shaun M. Kreidel, P.E. Project Manager + Atlanta Office Director



Signature + Seal 08/18/2023

Mulhern+Kulp project number:  
**256-21006**

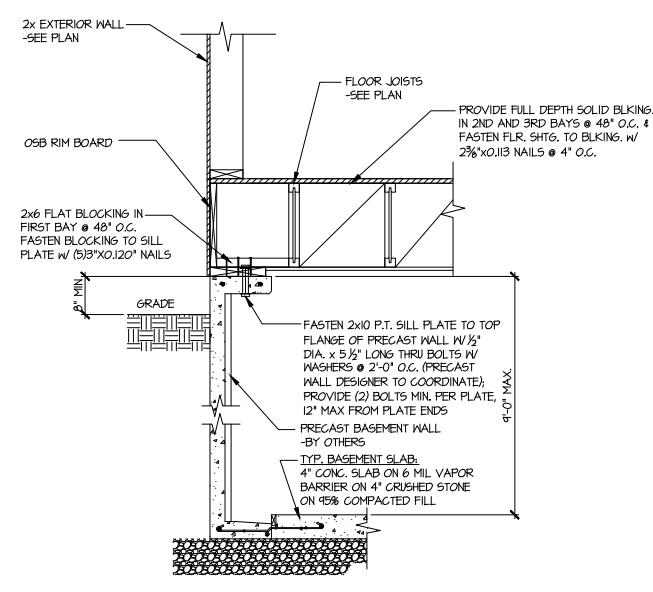
project mgr: **SMK**  
 drawn by: **MJF**  
 issue date: **10-21-2021**

REVISIONS:

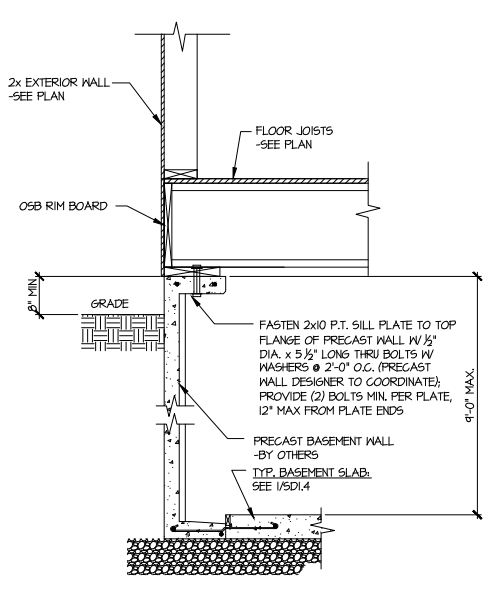
date:	initial:
12/10/21	JPP
IMPROVED PLANS ADDED	

SMITH DOUGLAS  
 HOMES

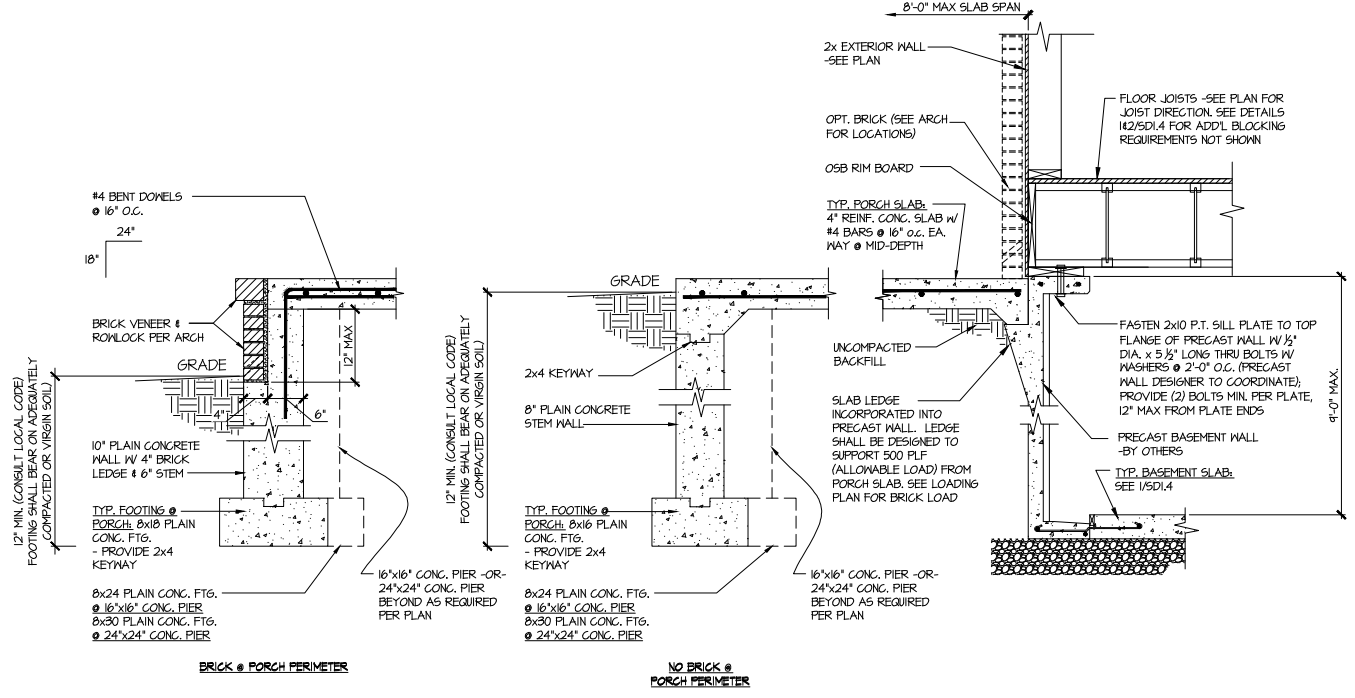
FOUNDATION DETAILS  
 COLEMAN MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA



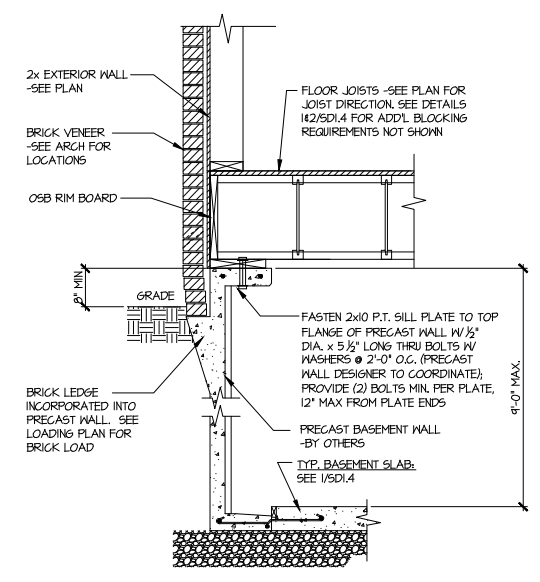
**1 SECTION**  
 SCALE: 3/4"=1'-0"



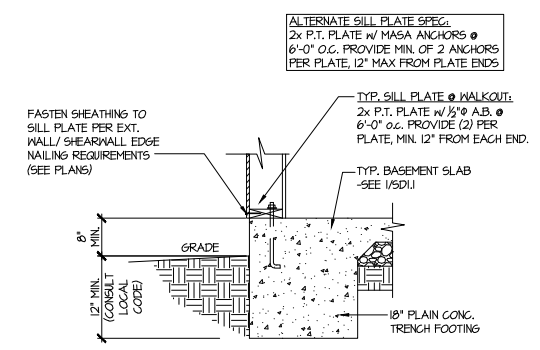
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 SCALE: 3/4"=1'-0"



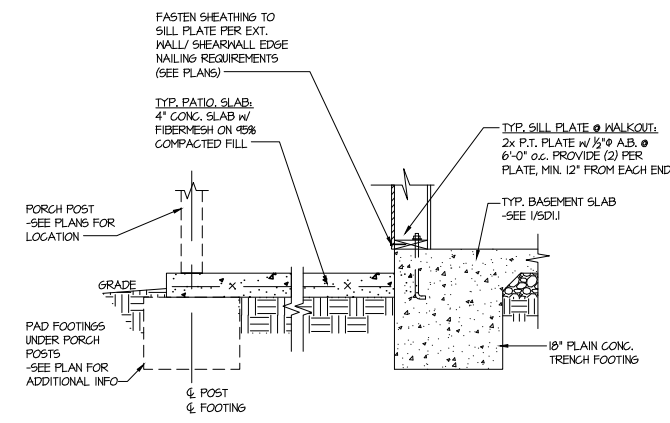
**3 SECTION**  
 SCALE: 3/4"=1'-0"



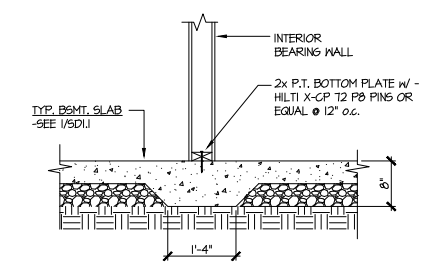
**2 SECTION**  
 SCALE: 3/4"=1'-0"



**4 TYPICAL BASEMENT FOUNDATION @ WALKOUT**



**5 TYPICAL BASEMENT FOUNDATION @ WALKOUT**



**6 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL**

Mulhern+Kulp project number:  
 256-21006

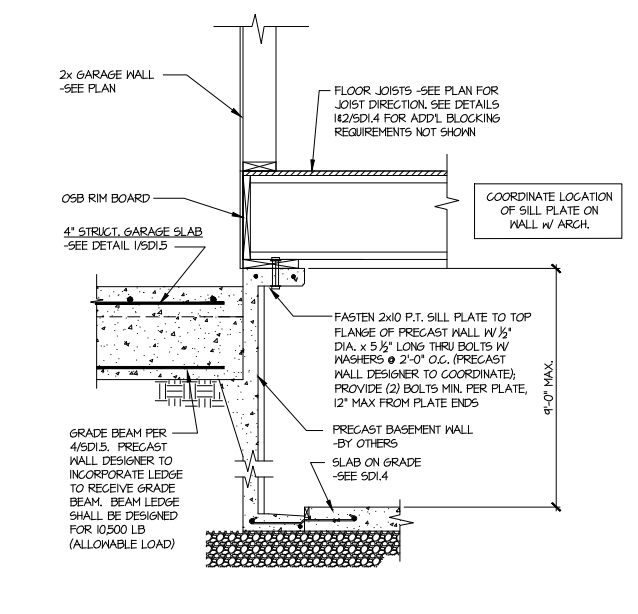
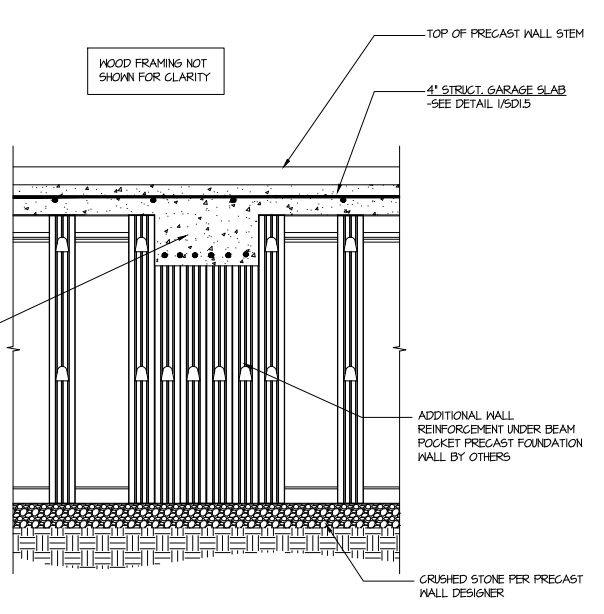
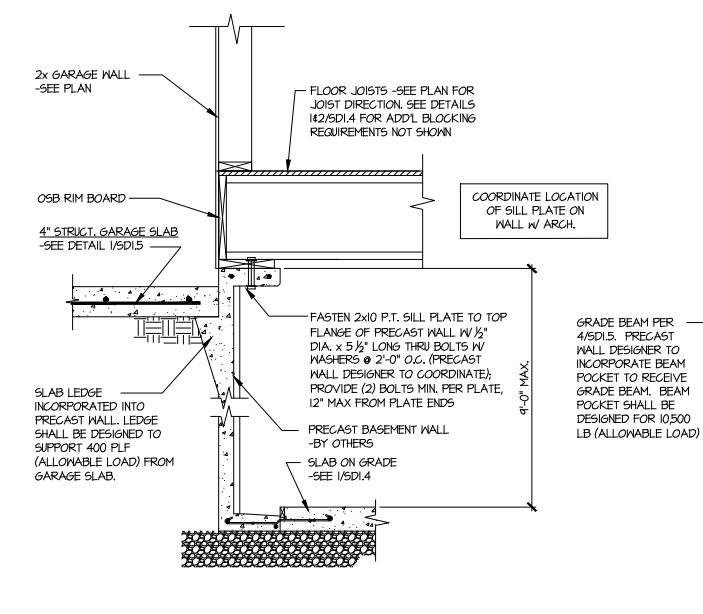
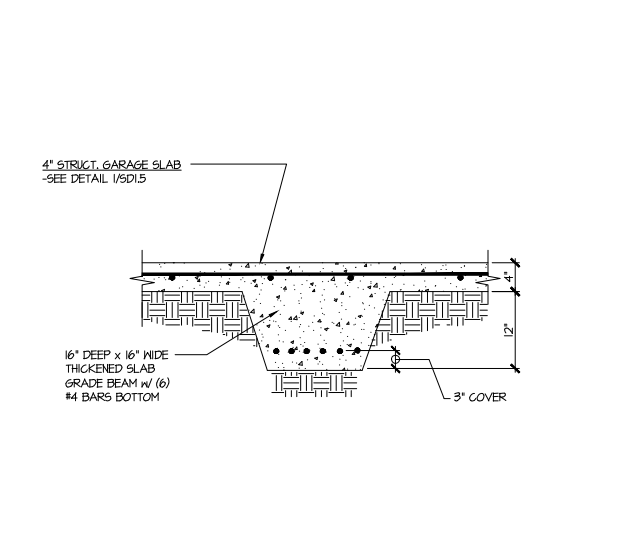
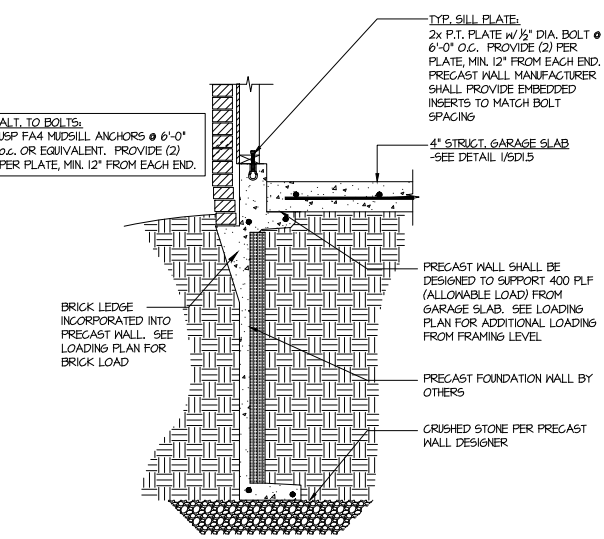
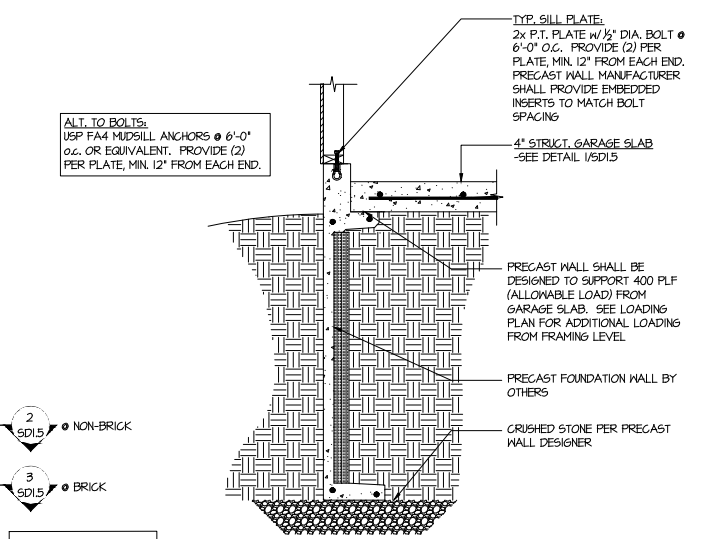
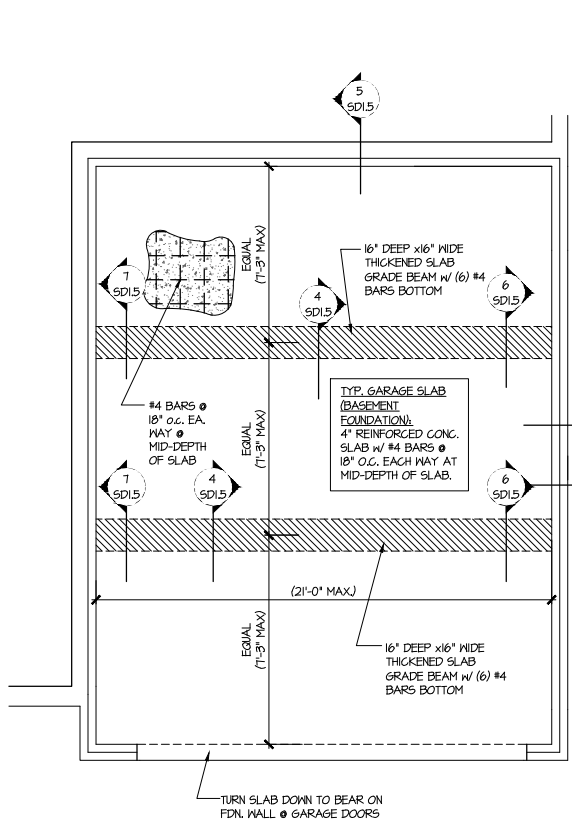
project mgr: SMK  
 drawn by: MJF  
 issue date: 10-21-2021

REVISIONS:

date:	initial:
12/10/21	JPP
IMPROVED PLANS ADDED	

SMITH DOUGLAS  
 HOMES

FOUNDATION DETAILS  
 COLEMAN MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA

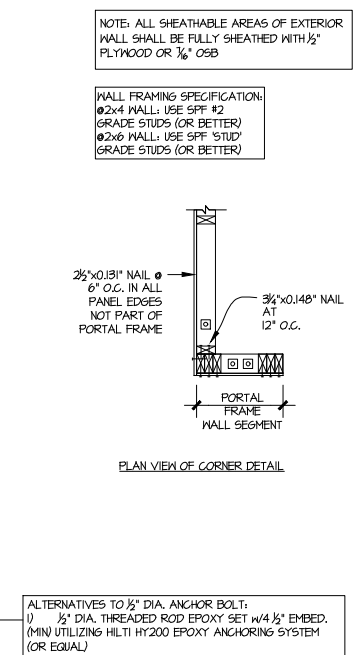
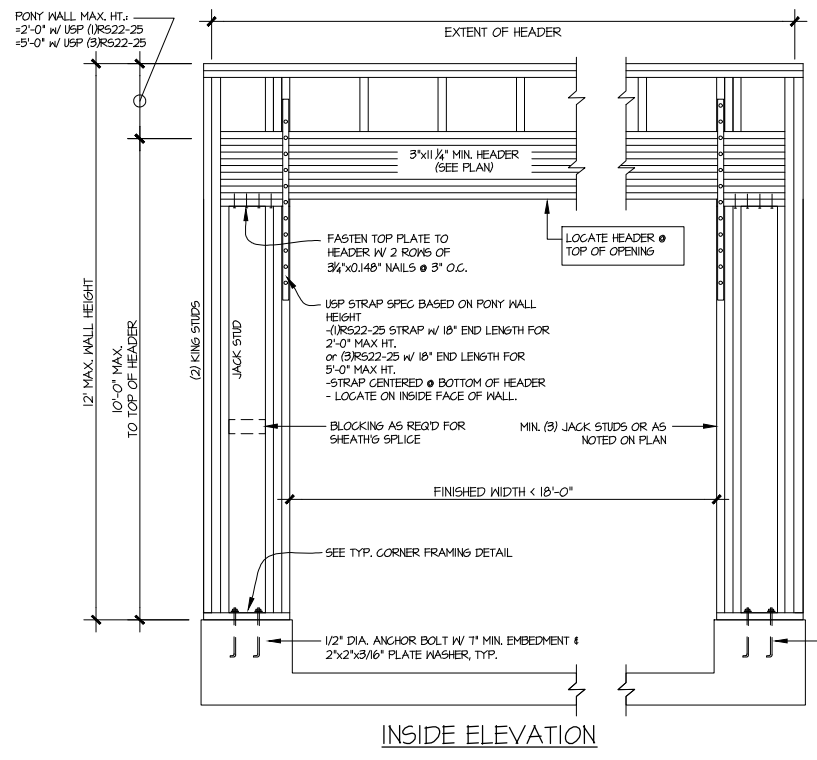
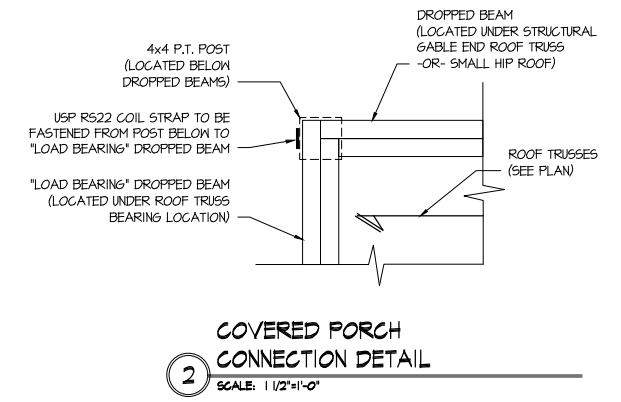
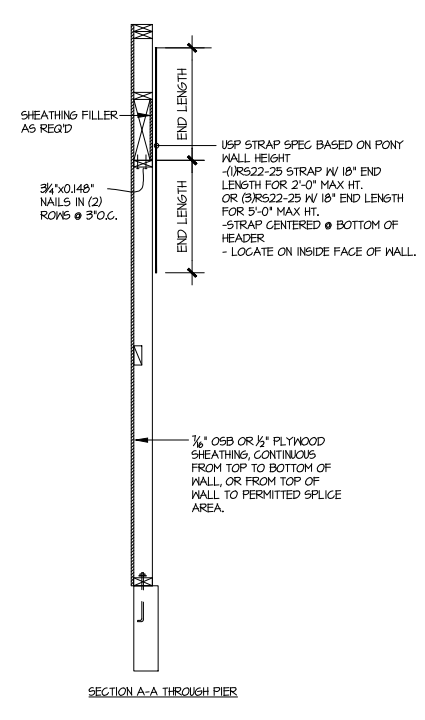
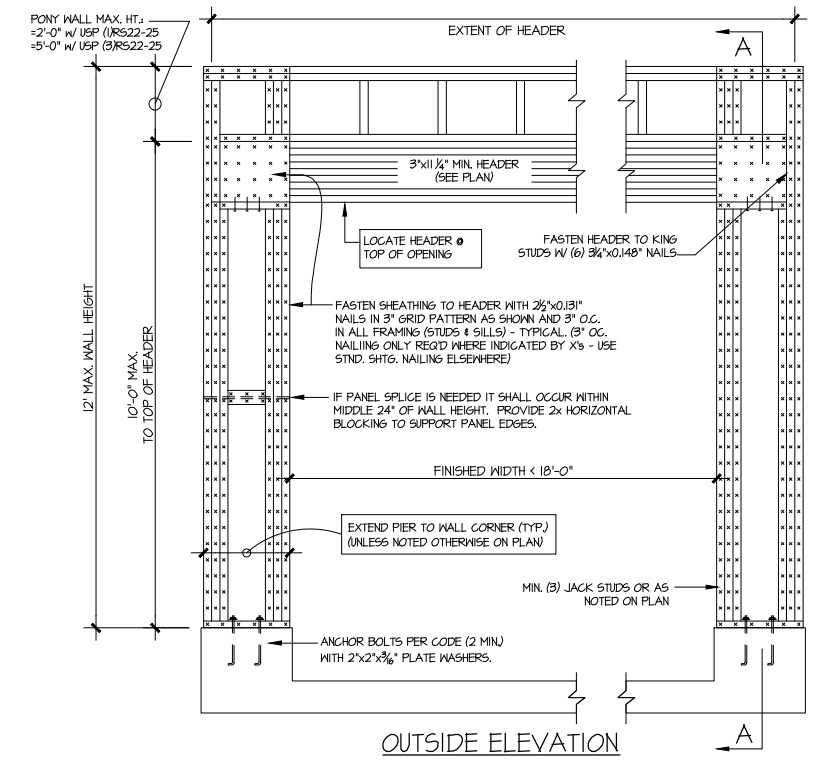


Harrington  
 Lot 21

Mulhern+Kulp project number:	256-21006
project mgr:	SMK
drawn by:	MJF
issue date:	10-21-2021
REVISIONS:	
date:	initial:
12/10/21	JPP
REVISIONS ADDED	

SMITH DOUGLAS  
 HOMES

FRAMING DETAILS  
 COLEMAN MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA



**GARAGE PORTAL FRAME BRACING ELEVATION**  
 SCALE: N.T.S. BOTH SIDES OF GARAGE DOOR 120 MPH WIND SPEED (ULT)



Mulhern+Kulp project number:  
**256-21006**

project mgr: **SMK**  
 drawn by: **MJF**  
 issue date: **10-21-2021**

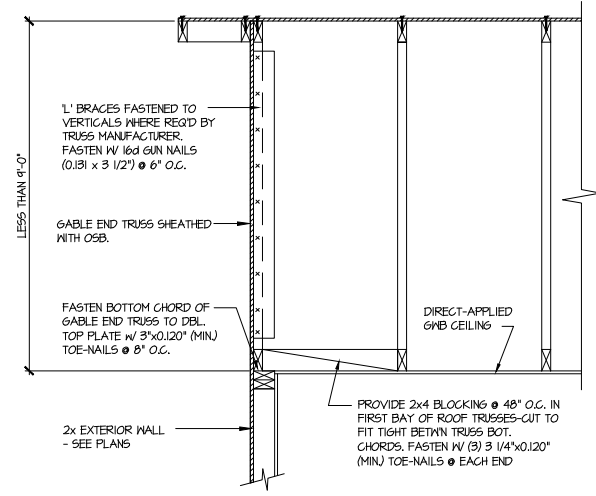
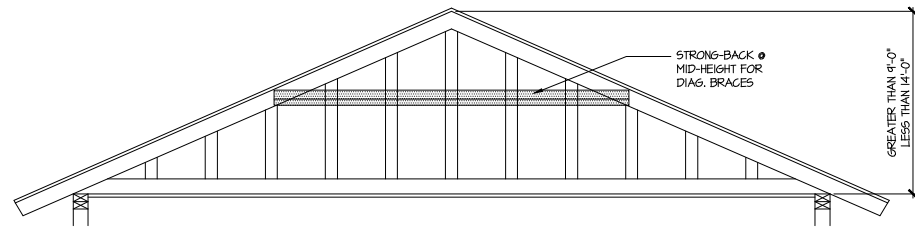
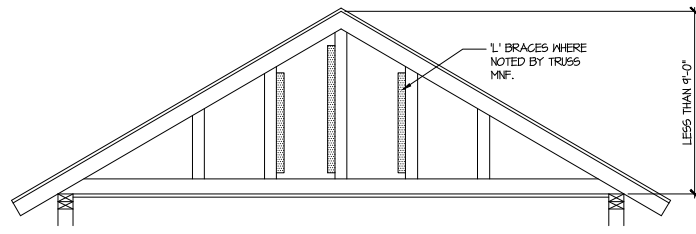
REVISIONS:

date:	initial:
12/10/21	JPP
IMPROVED PLANS ADDED	

SMITH DOUGLAS  
 HOMES

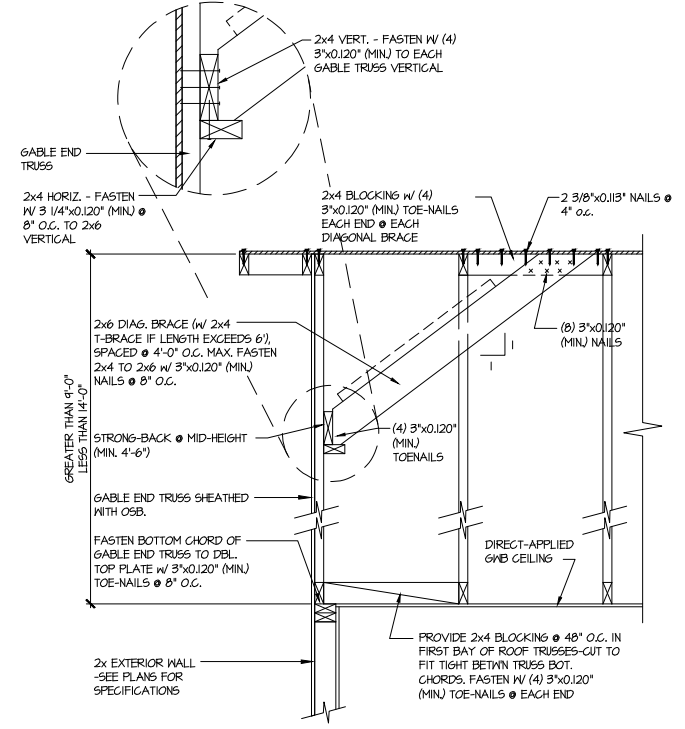
FRAMING DETAILS  
 COLEMAN MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA

sheet:  
**SD2.1**



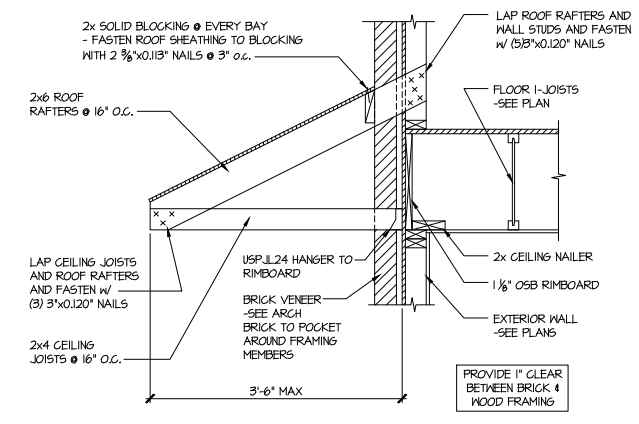
**A** TYPICAL GABLE END BRACING DETAIL  
 SCALE: NONE  
 REQ'D @ GABLE END TRUSS  
 HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



**B** TYPICAL GABLE END BRACING DETAIL  
 SCALE: NONE  
 REQ'D @ GABLE END TRUSS  
 HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.



**C** DETAIL @ PENT ROOF  
 SCALE: 3/4"=1'-0"

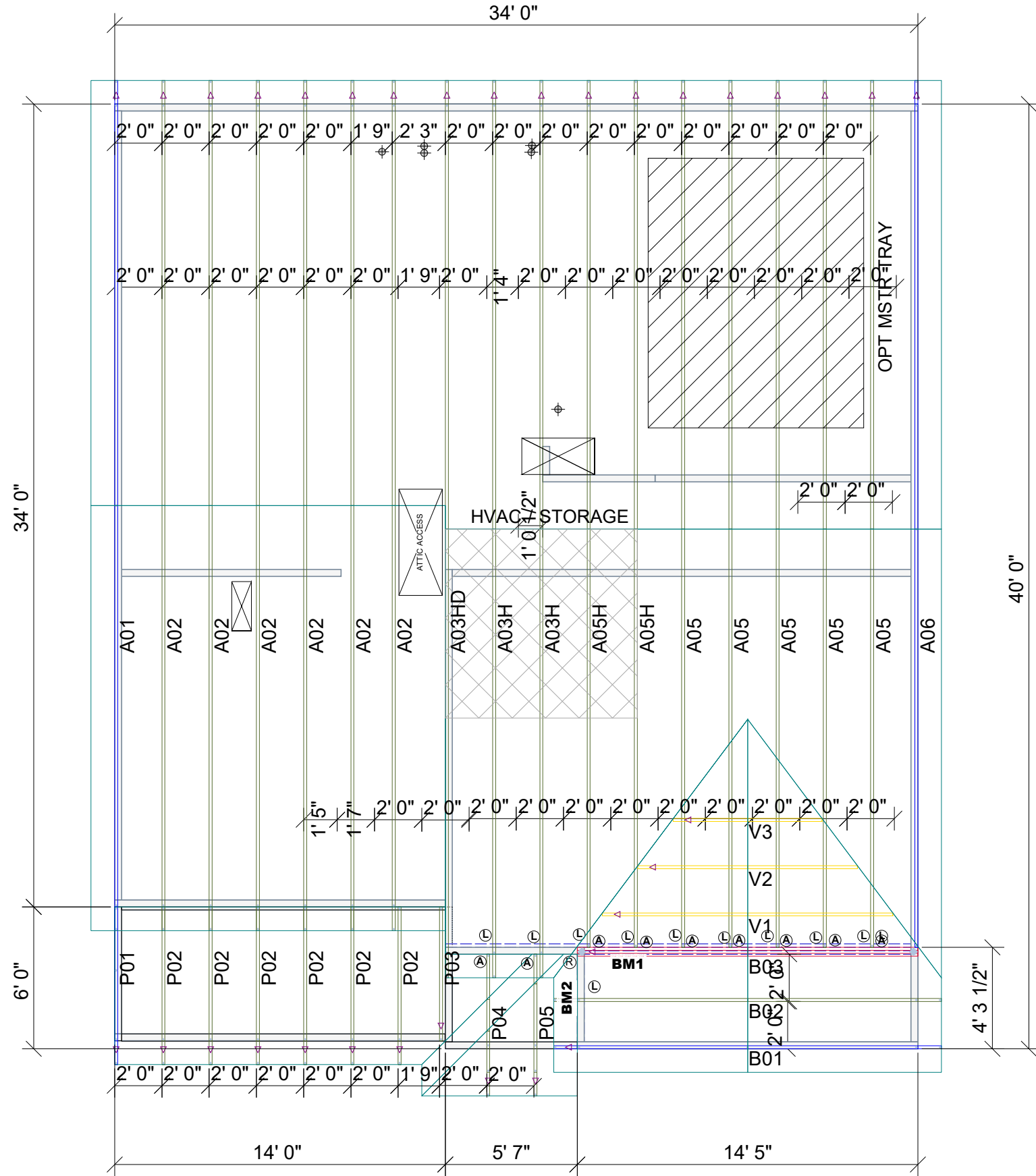
LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

Harrington  
 Lot 21

THIS IS A TRUSS/COMPONENT PLACEMENT DIAGRAM (TPD). ONLY: NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDDs) for each truss design identified on the TPD. The Contractor is responsible for the temporary bracing of the roof and floor system, and the building designer is responsible for the permanent bracing of the roof and floor system and the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbccomponents.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE REPAIR MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.

PLACEMENT PLAN



Roof Hanger List			
MARK	TYPE	DESCRIPTION	QTY
(A)	HUS26	FACE MOUNT HANGER	9

COLEMAN BEH  
NO TRAY

SCALE: N.T.S

REVISIONS		DSN
DATE	DESCRIPTION	

DESIGNER -THATHCOCK  
LAYOUT DATE -04.11.2022  
ARCH DATE -  
STRUC DATE -  
JOB #: -22040623

-SD COMMUNITIES

-COLEMAN BEH ROOF (RH)

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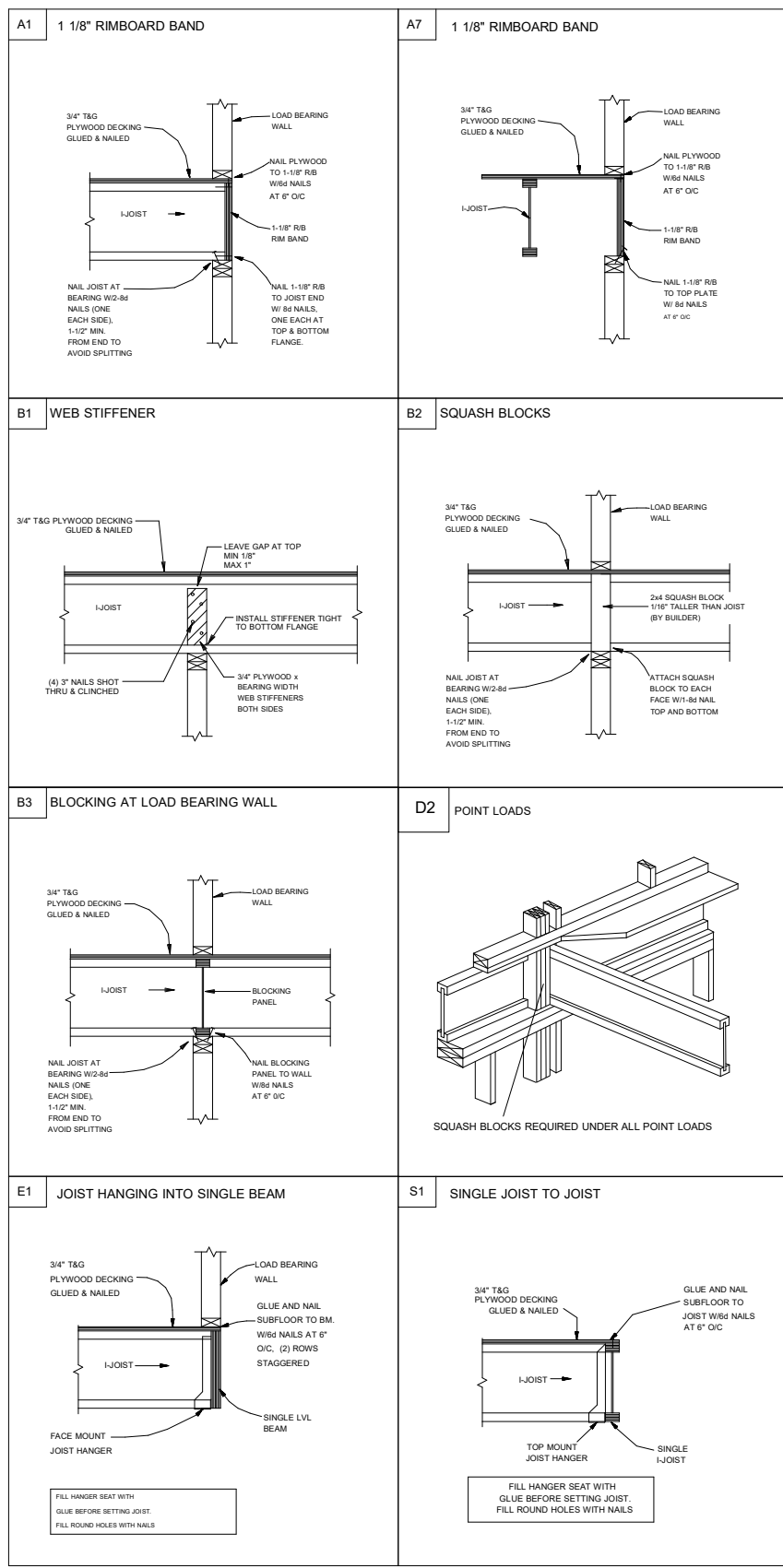
**UFP SITE BUILT**  
A UFP INDUSTRIES COMPANY

Burlington, NC  
Chesapeake, VA  
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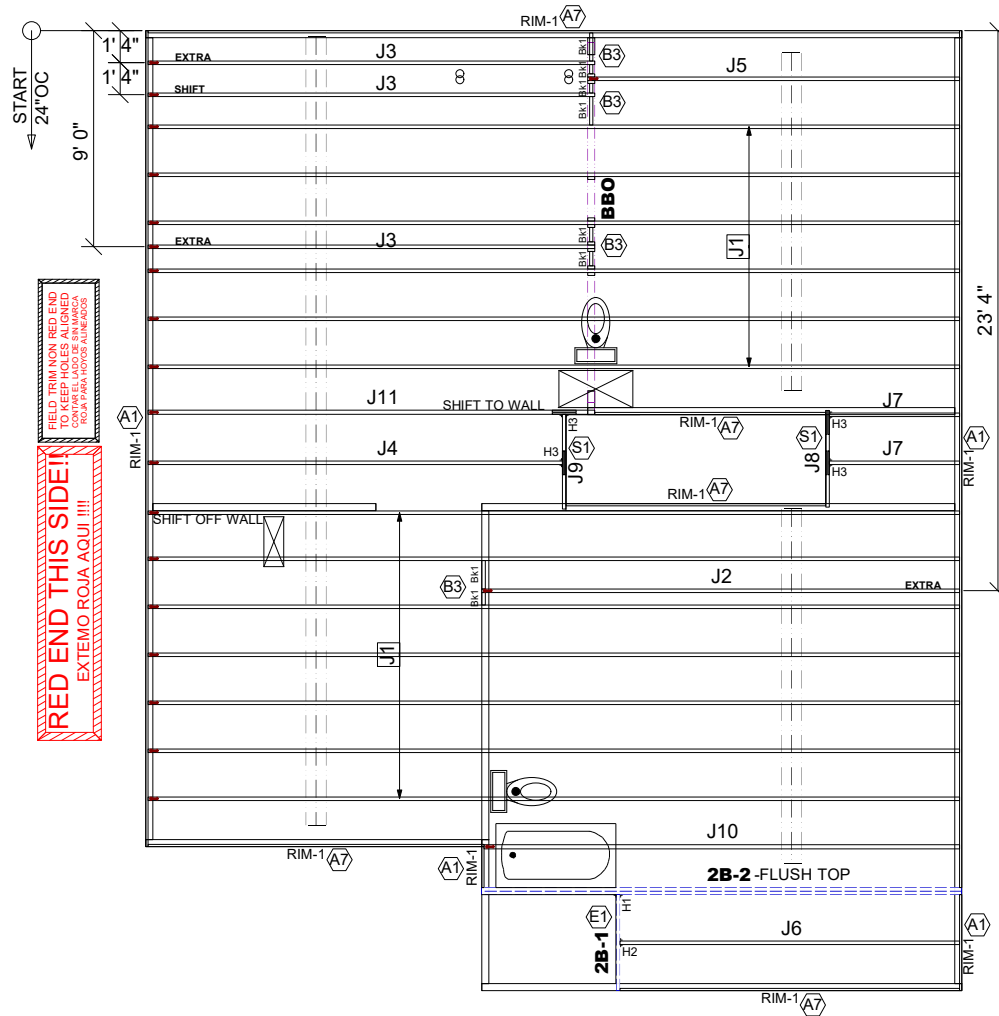
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THIS IS AN ENGINEERED WOOD PRODUCT (EWP) MEMBER PLACEMENT DIAGRAM ONLY; NOT AN ENGINEERED DOCUMENT. EWP members are designed as individual building components to be incorporated into the building design at the specification of the building designer. The Contractor is responsible for the temporary bracing of the floor system, and the building designer is responsible for the permanent bracing and blocking of the floor system and the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. It is the responsibility of the General Contractor to verify that the provided layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" EWP MEMBERS IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framers are responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not joist to joist are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not joist to joist as they apply to this specific structure.



**2ND FLOOR PLACEMENT PLAN**



Products						
PlotID	Length	Product	Plies	Net Qty	Fab Type	
J1	34' 0"	14" TJ@ 110	1	13	MFD	
J2	20' 0"	14" TJ@ 110	1	1	MFD	
J3	19' 0"	14" TJ@ 110	1	3	MFD	
J4	18' 0"	14" TJ@ 110	1	1	MFD	
J5	16' 0"	14" TJ@ 110	1	1	MFD	
J6	15' 0"	14" TJ@ 110	1	1	MFD	
J7	6' 0"	14" TJ@ 110	1	2	MFD	
J8	5' 0"	14" TJ@ 110	1	1	MFD	
J9	4' 0"	14" TJ@ 110	1	1	MFD	
J10	20' 0"	14" TJ@ 210	1	1	MFD	
J11	19' 0"	14" TJ@ 210	1	1	MFD	
2B-1	4' 0"	1 3/4" x 14" 2.0E Microllam® LVL	1	1	MFD	
2B-2	20' 0"	1 3/4" x 18" 2.0E Microllam® LVL	2	2	MFD	
RIM-1	16' 0"	1 1/8" x 14" TJ@ Rim Board	1	10	FF	
Bk1	2' 0"	14" TJ@ 110	1	8	MFD	

Connector Summary			
PlotID	Qty	Manuf	Product
H1	1	USP	HUS179
H2	1	USP	IHFL1714
H3	4	USP	TFL1714

- GENERAL NOTES:**
- 1.) TOP CHORD OF JOISTS ARE PAINTED RED AT NUMBERED END. PLACE PAINTED END AS NOTED ON PLAN.
  - 2.) FOLLOW SPECIAL SPACING AND LOCATION DIMENSIONS FOR EXTRAS OR SHIFTED JOISTS AS SHOWN ON PLAN.
  - 3.) ALL INTERIOR WALL PLATES MUST BE LEVEL WITH OUTSIDE WALL TOP PLATES.
  - 4.) DO NOT STACK CONSTRUCTION LOADS ON UN-BRACED JOISTS.
  - 5.) PROVIDE SOLID SUPPORT BELOW ALL BEAM AND HEADER BEARING POINTS IN WALL AND JOIST SPACES CONTINUOUS DOWN TO THE FOUNDATION.
  - 6.) LOCATE CRIPPLE STUDS IN JOIST SPACE DIRECTLY BELOW HEADER JACKS AT ALL FIRST FLOOR EXTERIOR DOOR LOCATIONS.
  - 7.) INSTALL NAILS IN ALL HOLES PROVIDED IN JOIST HANGERS EXCEPT AT BOTTOM CHORD SEAT. PLACE A DAB OF GLUE IN THE HANGER SEAT BEFORE SETTING JOISTS.
  - 8.) IMPORTANT NOTE! NO STRUCTURAL ANALYSIS OF CONVENTIONAL HEADERS HAS BEEN CONDUCTED IF NOT NOTED. THEY ARE CONSIDERED TO BE ADEQUATE TO SUPPORT THE APPLIED LOADS.

**PLAN LEGEND**

**1B-, 2B-** INDICATES BEAM ABOVE TOP PLATE (FLUSH WITH FLOOR SYSTEM)

**H-, 1H-, GDH-** INDICATES BEAM BELOW TOP PLATE (DROPPED BELOW FLOOR SYSTEM)

**\*BEAMS MAY PROTRUDE ABOVE OR BELOW DECKING OR TOP PLATE RESPECTIVELY. REFER TO DETAIL IF BEAM IS A DIFFERENT DEPTH THAN FLOOR SYSTEM**

**SHIFT** SHIFT JOIST TO MISS PLUMBING, ALIGN WWALL OR SUPPORT FURNITURE

**EXTRA** A JOIST ADDED TO THE LAYOUT IN ADDITION TO THE ON CENTER JOISTS

**DOUBLE** TWO JOISTS SIDE BY SIDE (ONLY ASSEMBLED IF NOTED)

**FRAMER NOTE**

□ DENOTES DUCT HOLE RUNS

ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED

- Avoid Plumbing Drops
- FRAMER NOTE**
1. GLUE AND NAIL PLYWOOD SUBFLOOR TO BEAMS AND GIRDERS AT 6" O/C WHERE NO WALL IS ABOVE.
  2. FILL HANGER SEAT WITH GLUE BEFORE SETTING JOIST IN HANGER. FILL ROUND HOLES WITH NAILS.

**CRITICAL !!**

INSTALL 2X4 SQUASH BLOCKS IN FLOOR TRUSS SPACE BELOW ALL EXTERIOR DOOR HEADER JACKS. CUT 1/16" TALLER THAN TRUSS.

**FIELD TRIM NON RED END TO KEEP HOLES ALIGNED TO TOP PLATE. CONTAR EL LADO DE SIN MARCA ROJA PARA HOYOS ALINEADOS**

**FIELD LOCATE PLUMBING DROPS/CAN LIGHTS, ETC... PRIOR TO JOIST SECUREMENT TO AVOID INTERFERENCE.**

**LAYOUT FOR 19.2" O/C**

1= 19-3/16"	9= 172-13/16"
2= 38-3/8"	10= 192"
3= 57-5/8"	11= 211-3/16"
4= 76-13/16"	12= 230-3/8"
5= 96"	13= 249-13/16"
6= 115-3/16"	14= 268-13/16"
7= 134-3/8"	15= 288"
8= 153-5/8"	

**FIELD VERIFY DIMENSIONS TO JOISTS LOCATED UNDER WALLS!!**

**2ND FLOOR LAYOUT**

SCALE: 1/8"=1'



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**Smith Douglas Homes**

**Coleman 2nd Floor**

REVISIONS	DATE	DESCRIPTION	DSN