

**NOTICE TO CONTRACTOR**  
 All construction must comply with current NC Building Codes and is subject to field inspection and verification.

**APPROVED**  
 Limited building only review  
 Permit holder responsible for full compliance with the code

02/05/2024




**ELEVATION NOTES:**  
 GRADE ELEVATIONS SHOWN DO NOT NECESSARILY REFER TO THIS OR ANY OTHER LOT. THEY ARE FOR DIAGRAMMATIC PURPOSES ONLY AND MAY VARY. BUILDER IS RESPONSIBLE FOR ADAPTING THIS PLAN TO SUIT THE EXISTING TOPOGRAPHY OF THE SITE.

ROOF VENTILATION TO BE DETERMINED BY BUILDER AS PER CODE.

ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MIN. NET CLEAR OPENING OF 4.0 SQ FT. THE MIN NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 21". THE MIN NET CLEAR OPENING WIDTH SHALL BE 20".

EACH EGRESS WINDOW FROM SLEEPING ROOMS MUST HAVE A SILL HEIGHT OF NO MORE THAN 44" FROM THE FLOOR. ALL WINDOW SIZES ARE NOMINAL AND ARE TO BE VERIFIED WITH MANUFACTURER FOR AVAILABILITY AND CONFORMITY TO STATE AND LOCAL CODE REQUIREMENTS.

PORCHES, BALCONIES, OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 32" IN HEIGHT.

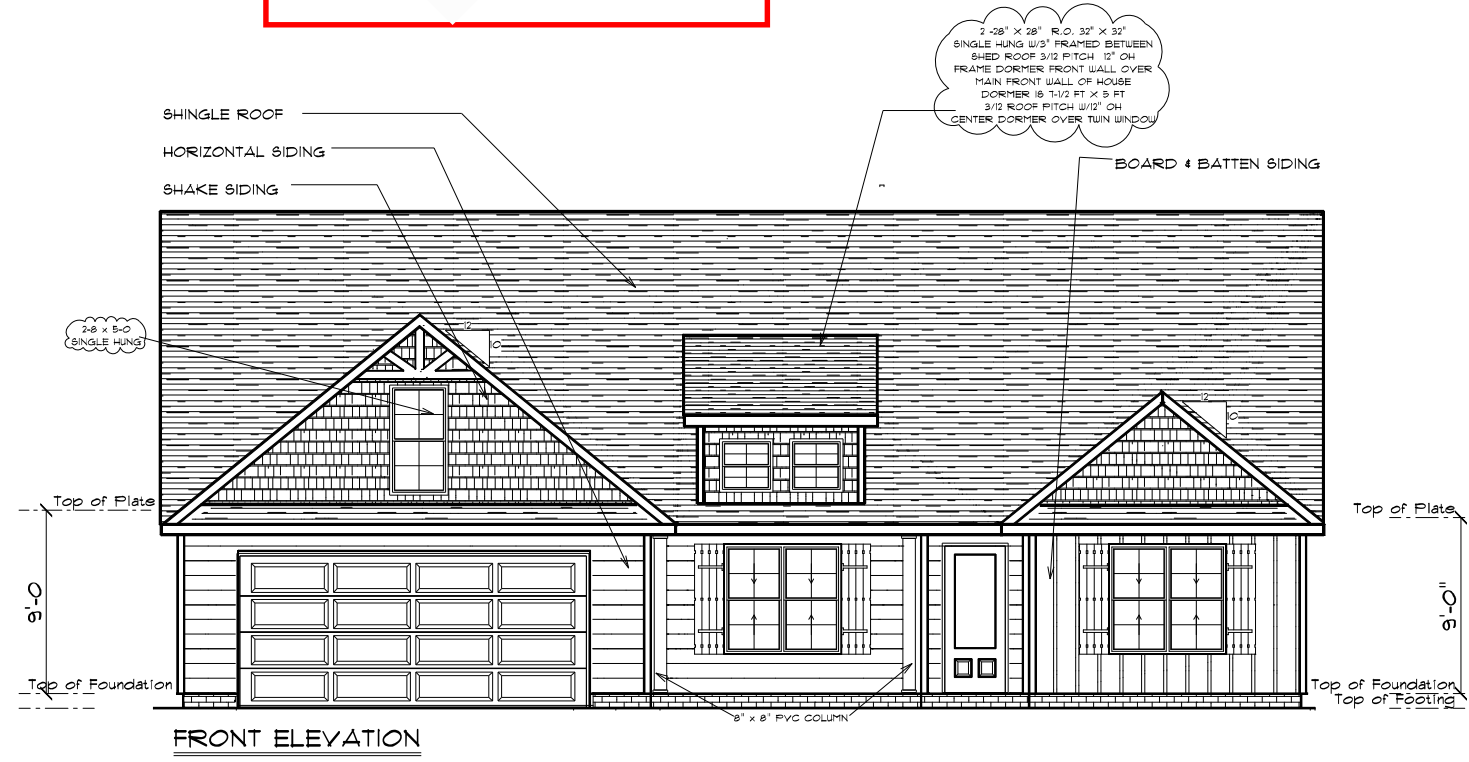
ASSUME NO RESPONSIBILITY FOR ANY DISTANCES AFTER START OF CONSTRUCTION. CONTRACTOR/BUILDER SHALL CONSULT WITH HOME OWNER ON ALL INTERIOR AND EXTERIOR MOLDINGS, TRIMS, COLORS, FINISHES, CABINET LAYOUTS, AND MANUFACTURERS BEFORE CONSTRUCTION BEGINS. ALL BEAMS AND FRAMING MEMBERS ARE SIZED BY OTHERS.

1.1 This plan has been drawn to comply with the 2018 NC Building Code

- 1.2 Minimum Design Loads for Building and Other Structures ASCE 7-98
- 2 Roof Dead Load 15 P8F
  - 3 Roof Live Load 20 P8F
  - 4 Typical Floor Dead Load 10 P8F
  - 5 Floor Live Loads
    - 5.1 Rooms other than sleeping rooms 40 P8F
    - 5.2 Sleeping Rooms 30 P8F
    - 5.3 Stairs 40 P8F
    - 5.4 Decks 40 P8F
    - 5.5 Exterior Balconies 60 P8F
  - 6 Wind Loads
    - 6.1 Ultimate Design Wind Speeds 15 MPH
    - 6.2 Wind Importance Factor, I<sub>w</sub> 1.00
    - 6.3 Exposure B
    - 6.4 Walls (Component and Cladding) 25 P8F
    - 6.5 Roofs (Component and Cladding)
      - 6.5.1 Roof Slopes 2.25/12 to 1/12 34.8 P8F
      - 6.5.2 Roof Slopes 1/12 to 12/12 21 P8F

It is the sole responsibility of the Contractor and/or Builder to conform to all standards, provisions, requirements, methods of construction and uses of materials provided in buildings and/or structures as required by NC Uniform Building Code, Local Agencies and in accordance with good engineering practices. Verify all dimensions prior to construction.

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FRONT ELEVATION

AREA SCHEDULE	
NAME	AREA
Heated Floor Area	1717.1 sq ft.
Garage	489 sq ft.
Covered Porch	199.2 sq ft.

FENESTRATION CALCULATIONS

Floor	Height Of Ext. Wall	Area Of Ext. Wall	Ext. Wall
1st			
2nd			
other	9'	1752	1752
1752	Total Sq. Ft. of Exterior Walls		

Total Fenestration	Total Exterior Walls	Percentage of wall openings
246 sq. ft.	1752	15%

Above Grade Walls Surrounding Heated Space

IC

Diara Rives Designs  
 6205 Hickoryford Lane  
 Sanford, N.C. 27331  
 919-710-0383  
 go@diararivesdesigns.com

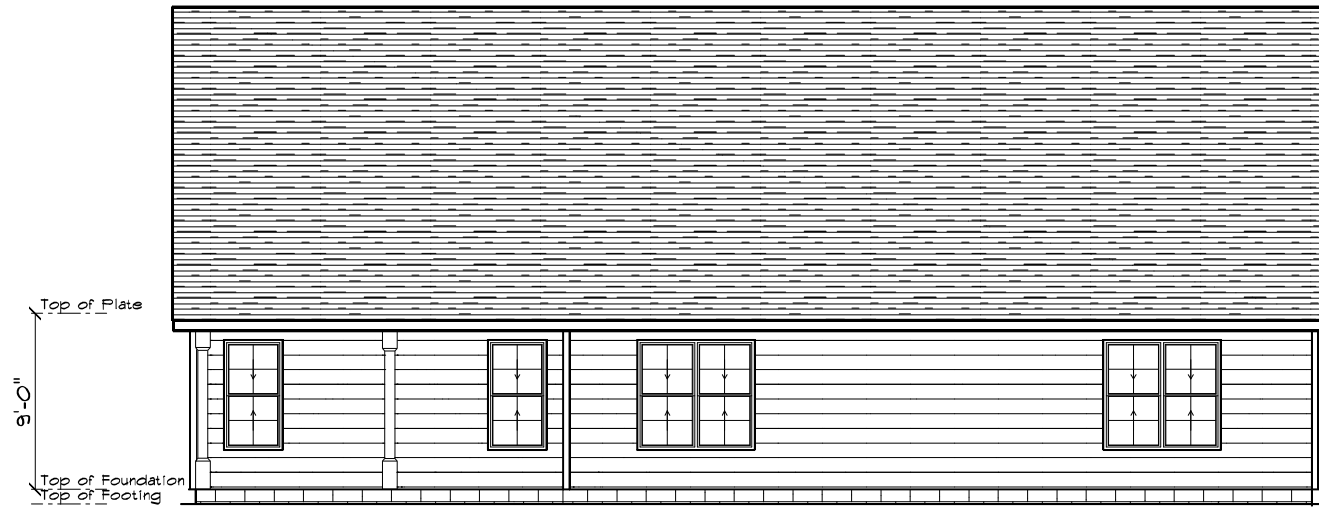
**DRD**

SCALE: 1/4" = 1'-0"  
 DRAWN BY:  
 DATE: 5/29/2023

LAMCO HOMES

THE KRISTIE  
 LEFT FRONT GARAGE

FRONT  
 ELEVATION C



**REAR ELEVATION**

SCALE: 1" = 1/4"



**LEFT ELEVATION**

SCALE: 1" = 1/4"



**RIGHT ELEVATION**

SCALE: 1" = 1/4"

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2A

Chris Rivas Design  
6205 Hickoryford Lane  
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@lammcohomes.net

DRD

SCALE: 1" = 1/4"

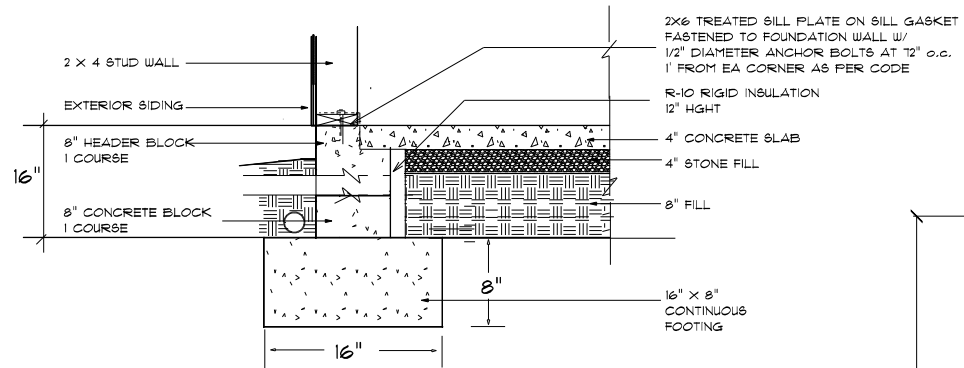
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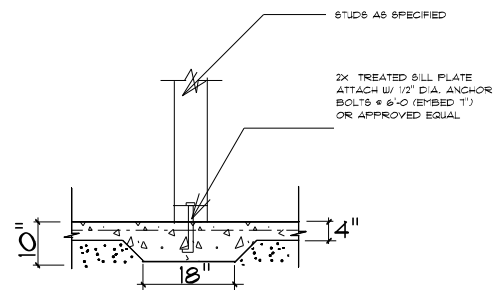
LAMCO HOMES

THE KRISTIE  
LEFT FRONT GARAGE

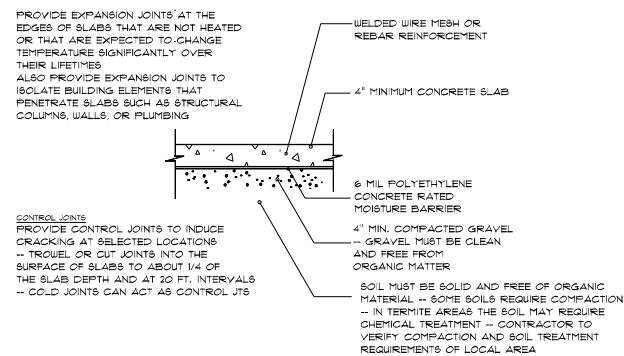
ELEVATIONS



**STEM WALL FOUNDATION Detail**  
not to scale



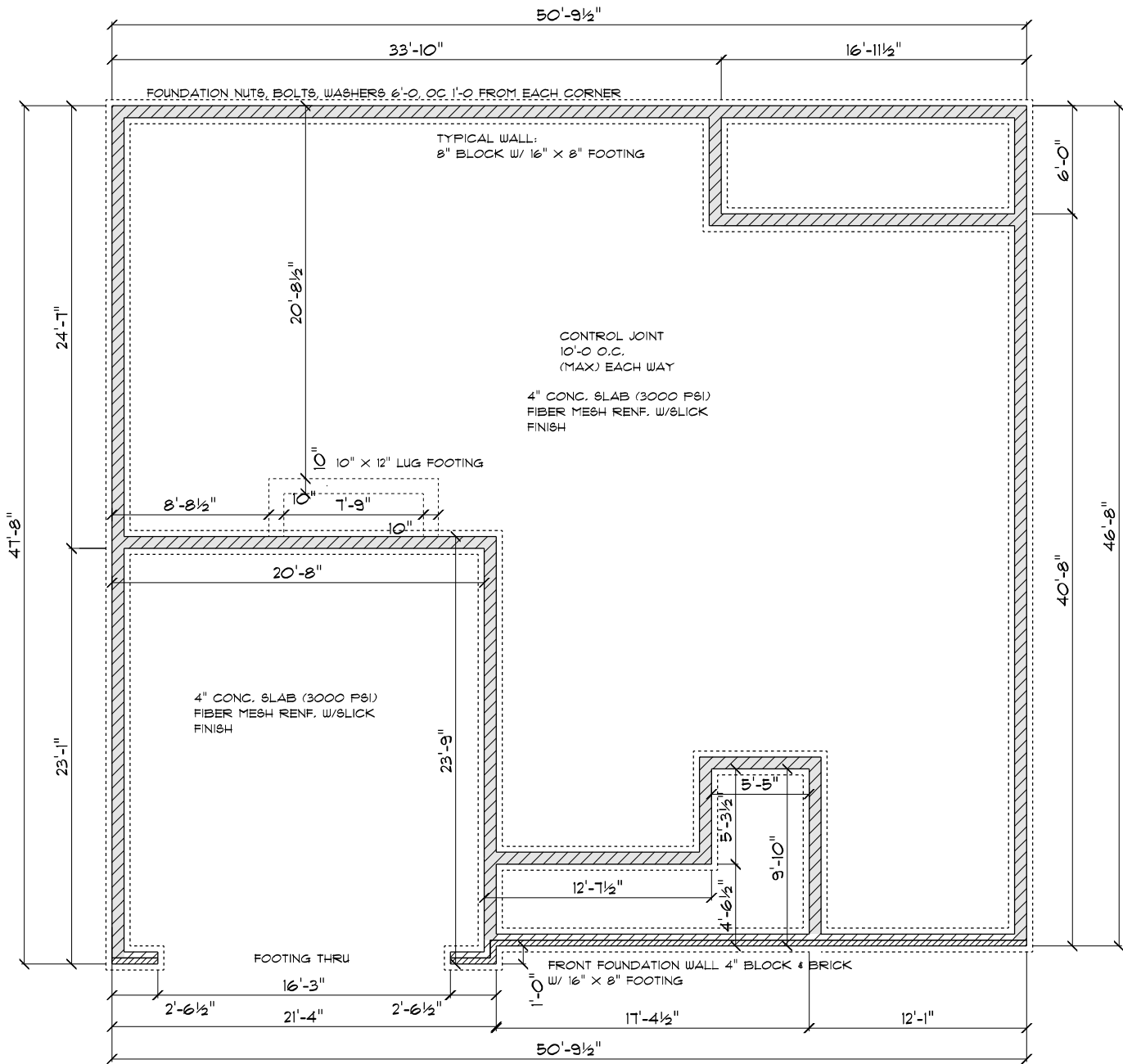
**TYPICAL THICKENED SLAB**  
not to scale



**CONCRETE SLAB DETAILS / NOTES**  
not to scale

**FOUNDATION NOTES:**  
 ALL FOOTINGS SHALL BEAR ON ORIGINAL UNDISTURBED SOIL.  
 THE 28 DAY COMPRESSIVE STRENGTH OF ALL FOOTINGS @ 3000 PSI  
 PROVIDE WATER PROOFING AND PERIMETER DRAINS AS REQUIRED.  
 FOUNDATION CONCRETE MIX TO HAVE 1/2" MAX AGGREGATE SIZE. CONCRETE FILL MIX TO HAVE 1/2" MAX AGGREGATE SIZE.  
 FOOTING WIDTHS ARE BASED ON A LOAD-BEARING SOIL CAPACITY OF 2000 PSI.  
 PROVIDE 6 MIL POLY VAPOR BARRIER TO COVER GROUND SURFACE IN CRAWL SPACE  
 ALL ANCHOR BOLTS TO BE 12" LONG, 1/2" DIA. A36 UNO ANCHOR BOLTS SHALL BE SPACE AT A MAX OF 6' OC AND NO MORE THAN 1' FROM EA CORNER.

Termite Soil Treatment: Treat entire slab area soil or crawl space surface before vapor barrier is installed and slab is poured with a state approved termiticide. Termiticide should be applied by a licensed and certified pest control professional by the state of North Carolina.



**FOUNDATION PLAN**

SCALE: 1" = 1/4"

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**3B**

Please Review Design  
6205 Mecklenburg Lane  
Charlotte, N.C. 27132  
919-770-0353  
go@lamicohomes.com

**DRD**

SCALE: 1" = 1/4"  
DRAWN BY:  
DATE: 5/29/2023

**LAMCO HOMES**

**THE KRISTIE  
LEFT FRONT GARAGE**

**STEM WALL  
FOUNDATION**

OPENING SCHEDULE				
SIZE	COUNT	LIBRARY NAME	R.O. WIDTH	R.O. HEIGHT
2'-8" x 5'-0"	3	Window/Single Hung	32"	60-1/2"
2'-8" x 5'-0" Dbl	5	Window/Single Hung	64-1/2"	60-1/2"
2'-0" x 3'-0"	2	Window/Single Hung	24"	36"
2'-4" x 3'-0"	1	Window/Single Hung	28"	36"

**GENERAL FRAMING NOTES:**

ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.

FRAMING LUMBER SHALL BE SYP #2 GRADE AND/OR SPRUCE PINE FIR #1 AND/OR #2, KILN DRIED.

WHERE PRE-ENGINEERED JOISTS ARE USED, JOIST MANUFACTURER SHALL PROVIDE SHOP DRAWINGS, WHICH BEAR SEAL OF A N.C. ENGINEER.

STUDS AND JOISTS SHALL NOT BE CUT TO INSTALL PLUMBING OR WIRING WITHOUT ADDING METAL OR WOOD SIDE PANELS TO STRENGTHEN THE MEMBER TO ITS ORIGINAL CAPACITY.

NAIL MULTIPLE MEMBERS WITH 3 ROWS OF 16d NAILS STAGGERED 32" ON AN USE 3-16d NAILS 2" IN AT EACH END. DOUBLE ALL STUDS UNDER ROOF POST DOWNS UNO.

NAIL FLOOR JOISTS TO BILL PLATE WITH 8d TOE NAILS.

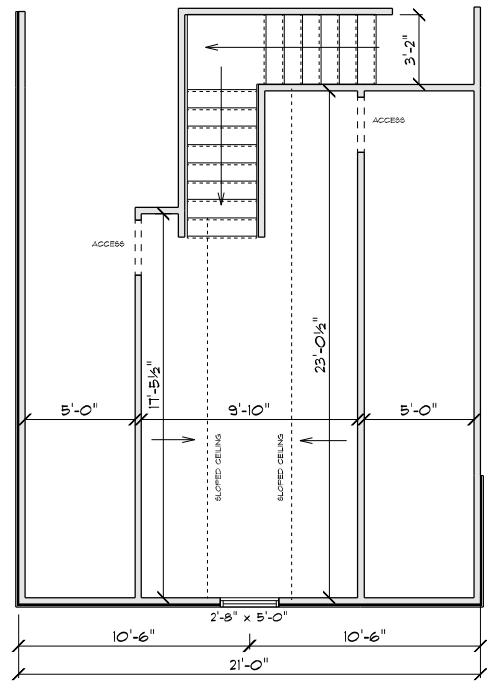
ALL EXPOSED FRAMING ON PORCHES AND DECKS SHALL BE PRESSURE TREATED.

PROVIDE WATERPROOFING AND DRAINS AS REQUIRED.

ALL FRAMING TO BE 16' OC UNO. WALL FRAMING DIMENSIONS ARE BASED ON 2 X 4 STUDS UNO. DOUBLE STUDS UNDER ALL HEADERS.

LVL'S AND TJI'S TO BE SIZED BY OTHERS

EXTERIOR WALLS IN LIVING AREAS ARE 2 X 4

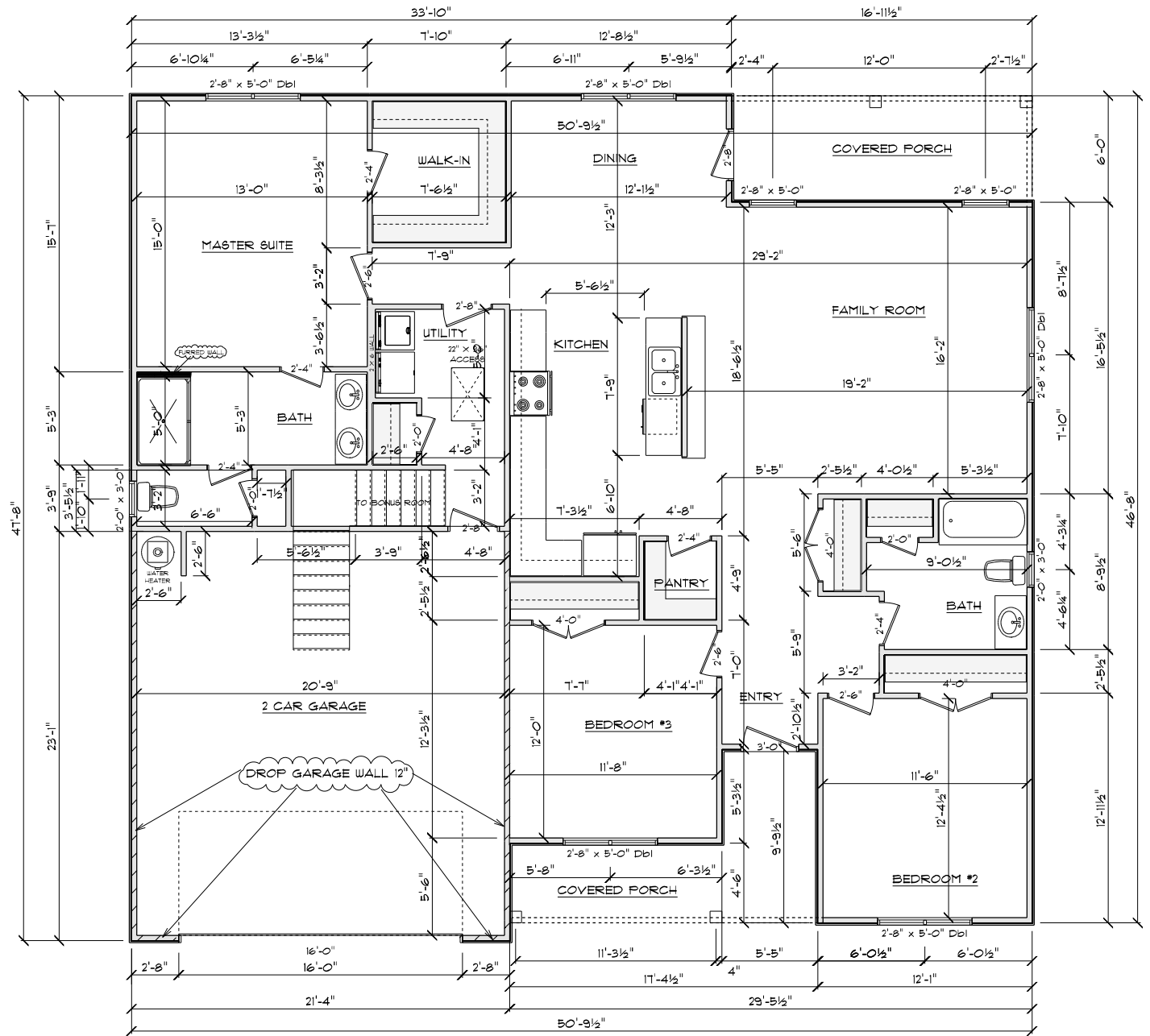


**BONUS ROOM FLOOR PLAN**

SCALE: 1" = 1/4"

AREA SCHEDULE	
AREA	NAME
205.0 sq. ft.	Heated

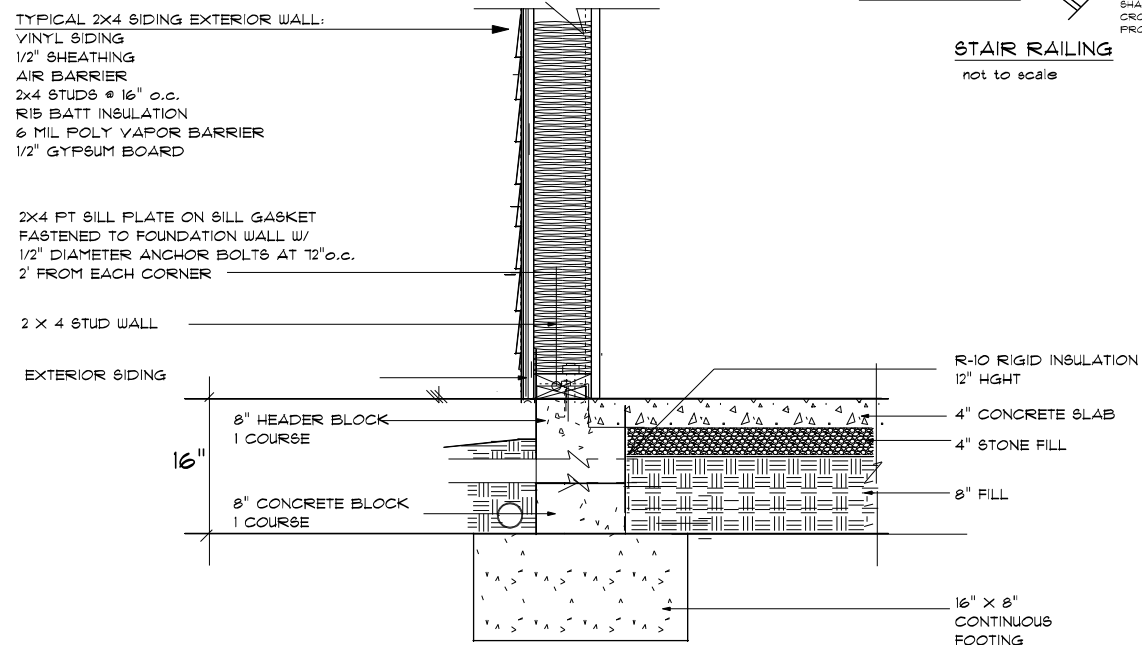
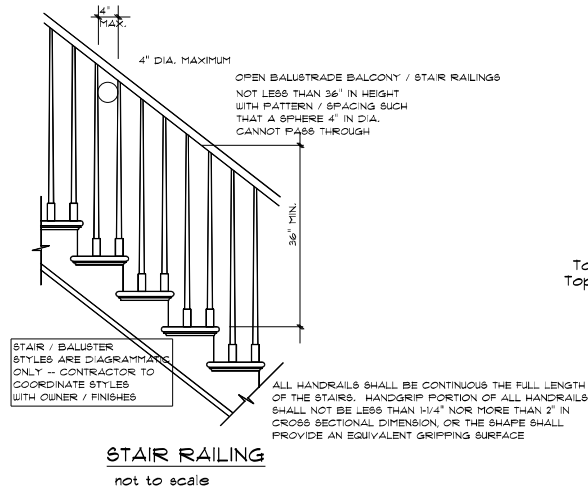
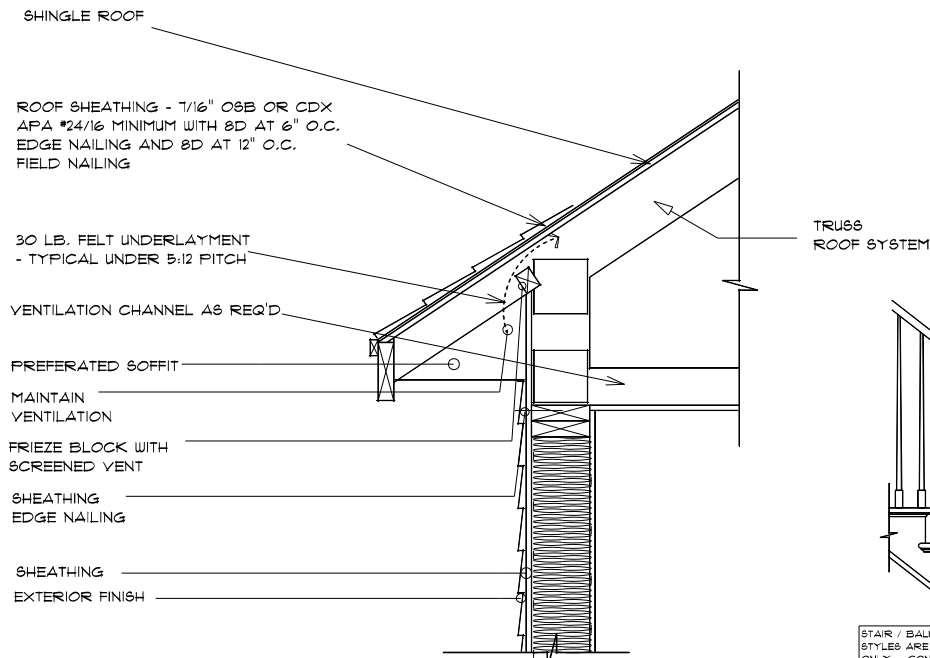
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**FLOOR PLAN**

SCALE: 1" = 1/4"

AREA SCHEDULE	
NAME	AREA
Garage	483.7 sq. ft.
Heated	1717 sq. ft.
Rear Covered Porch	98.9 sq. ft.
Front Covered Porch	105.5 sq. ft.



2x4/SIDING STEM WALL FOUNDATION  
not to scale

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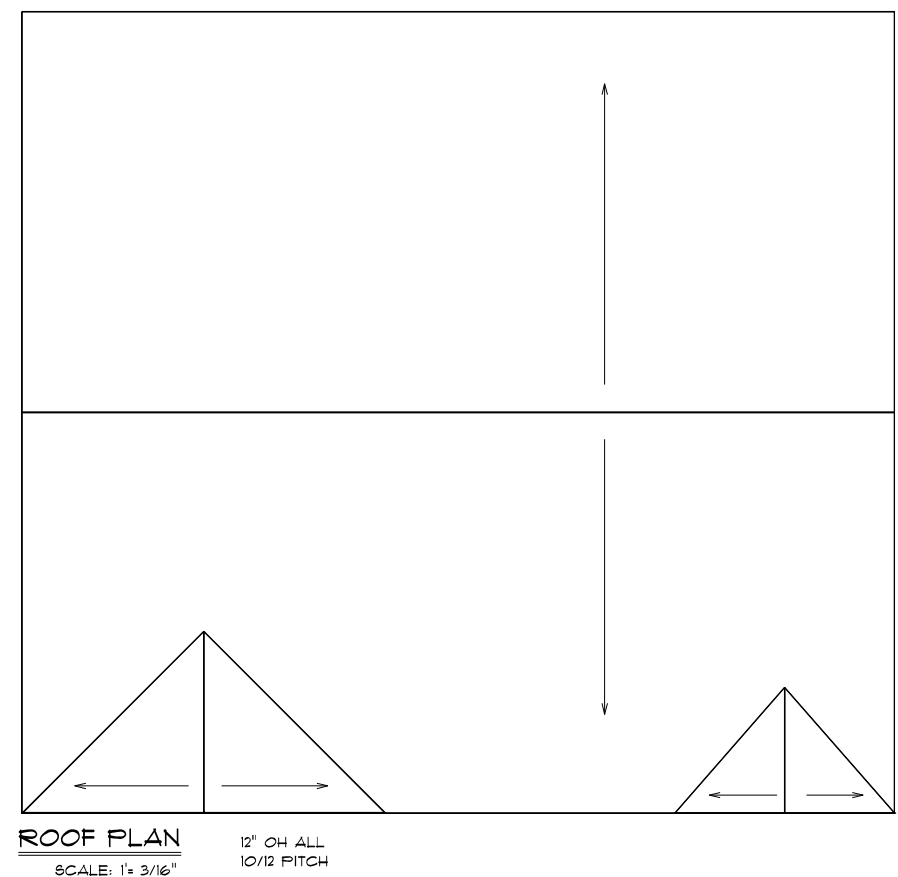
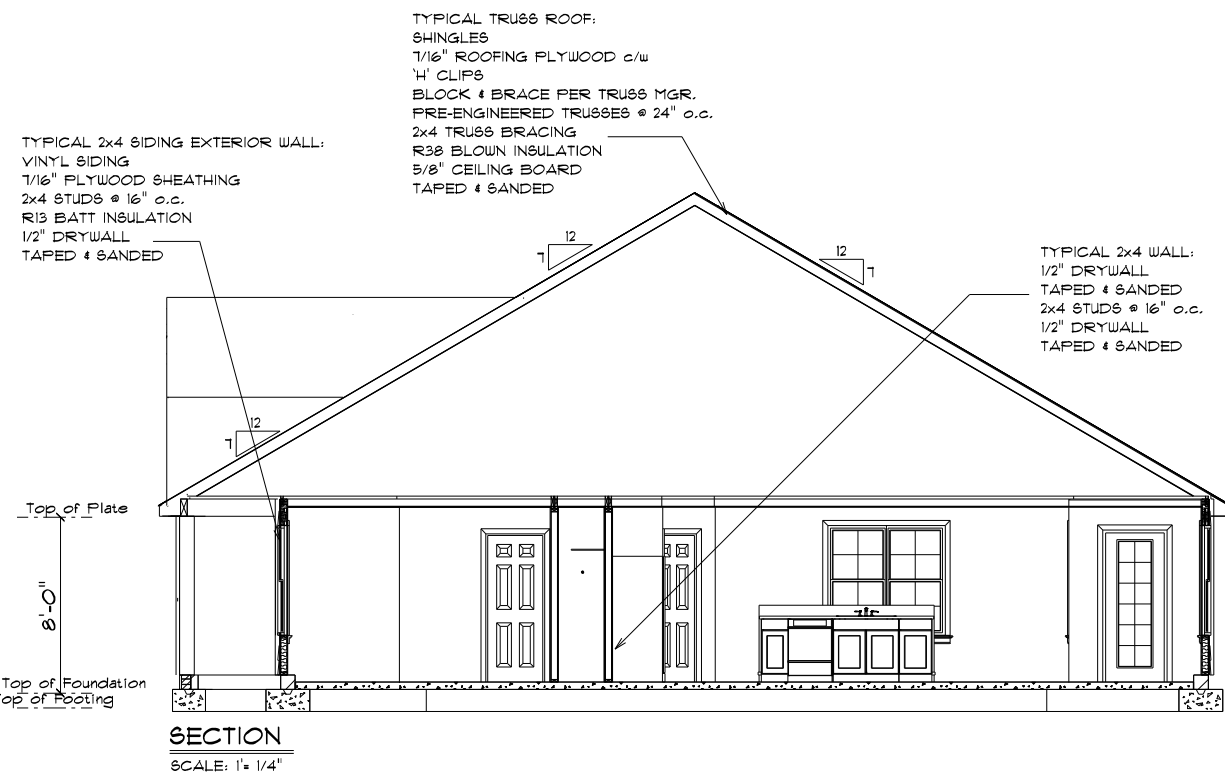
ROOF NOTES:

TRUSSES, BRACINGS, BRIDGING AND CONNECTORS ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER.

IDENTIFY LUMBER BY OFFICIAL GRADE MARKINGS.

DO NOT CUT OR REMOVE CHORDS OR OTHER TRUSS MEMBERS. DO NOT NOTCH OR DRILL TRUSS MEMBERS.

WHERE PRE-ENGINEERED ROOF TRUSSES ARE USED, TRUSS MANUFACTURER SHALL PROVIDE SHOP DRAWINGS, WHICH BEAR SEAL OF A N. C. REGISTERED ENGINEER.



BA

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golivemachitectur.net

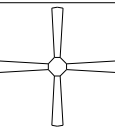



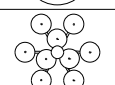






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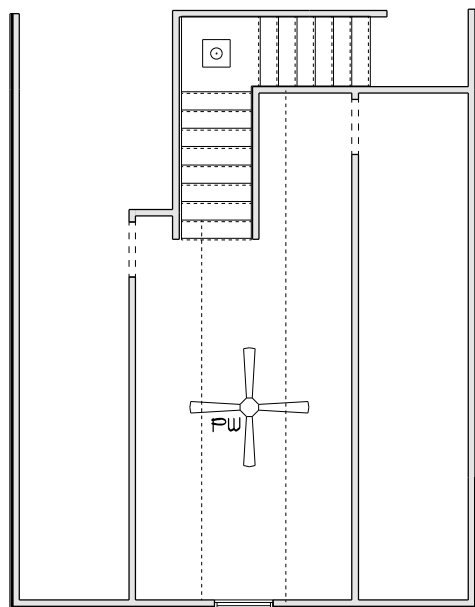
SCALE: 1" = 1/4"  
DRAWN BY:  
DATE: 5/29/2023

LAMCO HOMES

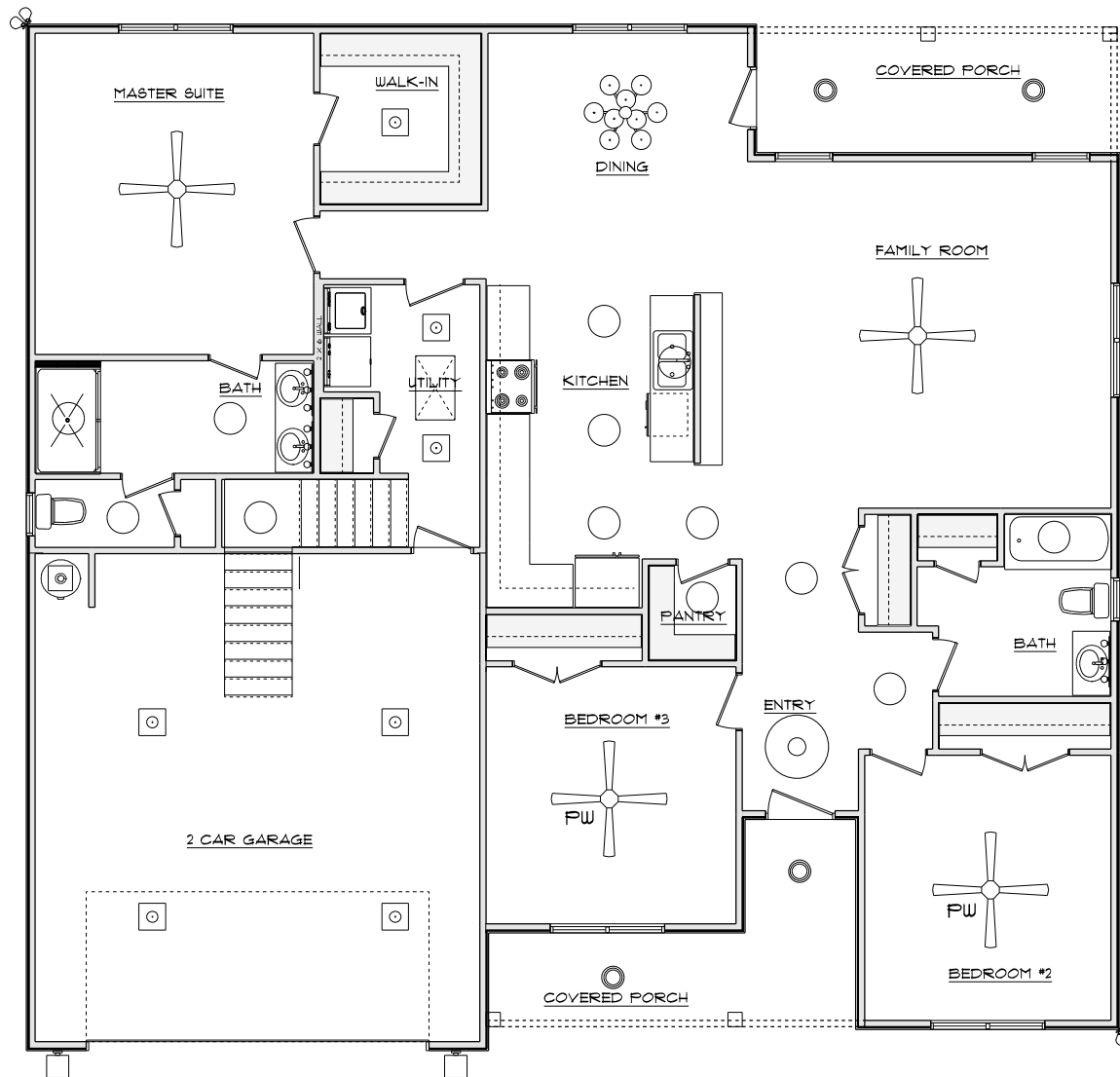
THE KRISTIE  
LEFT FRONT GARAGE

DETAIL SHEET

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
ceiling fan	2	
10" led	7	
7" led	13	
foyer light	1	
dinning room light	1	
coach light	2	
exterior over head light	4	
flood light	2	
vanity bar light	3	
wall sconce		
pendant light		



BONUS ROOM FLOOR PLAN



FLOOR PLAN

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Diana Silver Design  
 605 Rockledge Lane  
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 919-710-0353  
 dsilv@diagrammer.net

**DRD**

SCALE: 1" = 1/4"

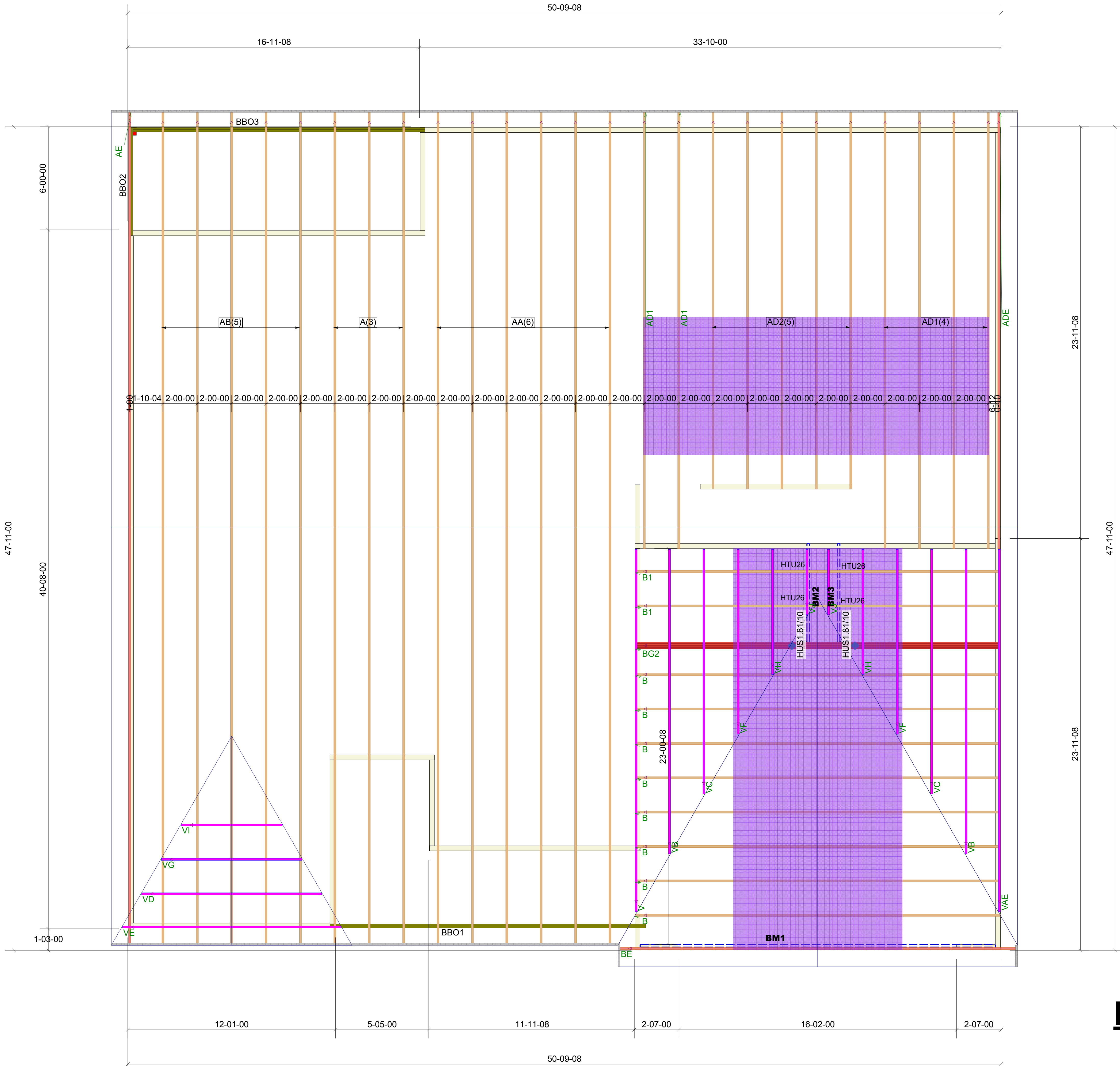
DRAWN BY:

DATE: 5/29/2023

LAMCO HOMES

THE KRISTIE  
 LEFT FRONT GARAGE

ELECTRICAL  
 LAYOUT



Products					
PlotID	Length	Product	Pieces	Net Qty	Fab Type
BM1	22-00-00	2.0 RigidLam DF LVL 1-3/4 x 9-1/4	2	2	FF
BM2	6-00-00	2.0 RigidLam DF LVL 1-3/4 x 9-1/4	1	1	FF
BM3	6-00-00	2.0 RigidLam DF LVL 1-3/4 x 9-1/4	1	1	FF

Truss Connector Total List		
Manuf	Product	Qty
Simpson	One H2.5A	75
Simpson	HTU26*	4

Connector Summary		
Qty	Manuf	Product
2	Simpson	HUS1.81/10

**ROOF TRUSS FRAMING**  
DRAWING SCALE : NTS



LAMCO  
2 Fair ridge Farms  
ROOF TRUSS PLACEMENT PLAN

REVISIONS	
DATE	BY
9/13/21	MF

PROJECT NUMBER <b>21110102</b>
SHEET NUMBER <b>1 / 1</b>

FAIR RIDGE FARM HOMEOWNERS ASSOCIATION, INC  
DB 4121, P. 936  
TRACT ONE  
MAP # 2022-42  
OPEN SPACE # 1

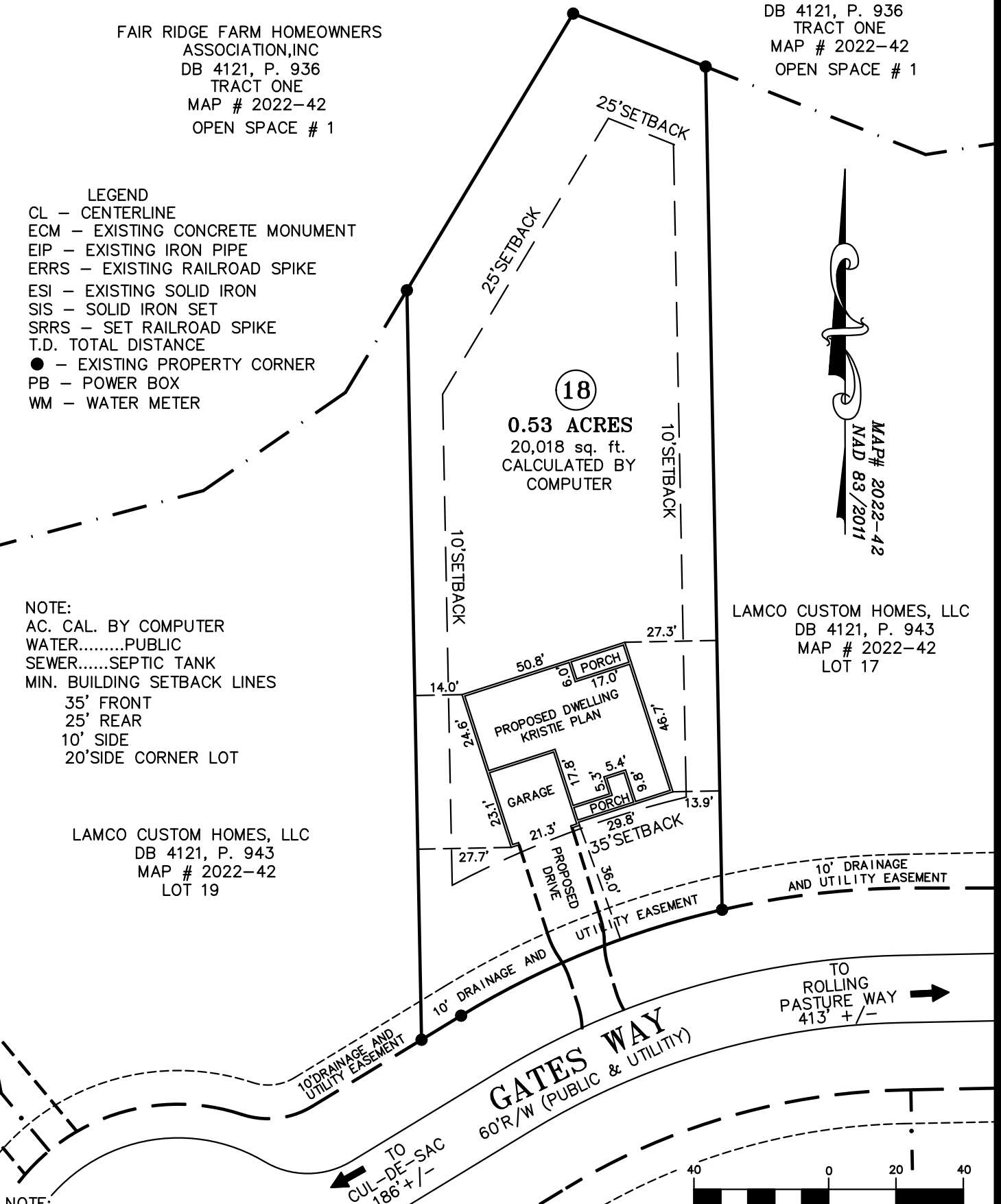
FAIR RIDGE FARM HOMEOWNERS ASSOCIATION, INC  
DB 4121, P. 936  
TRACT ONE  
MAP # 2022-42  
OPEN SPACE # 1

- LEGEND**  
 CL - CENTERLINE  
 ECM - EXISTING CONCRETE MONUMENT  
 EIP - EXISTING IRON PIPE  
 ERRS - EXISTING RAILROAD SPIKE  
 ESI - EXISTING SOLID IRON  
 SIS - SOLID IRON SET  
 SRRS - SET RAILROAD SPIKE  
 T.D. TOTAL DISTANCE  
 ● - EXISTING PROPERTY CORNER  
 PB - POWER BOX  
 WM - WATER METER

**NOTE:**  
 AC. CAL. BY COMPUTER  
 WATER.....PUBLIC  
 SEWER.....SEPTIC TANK  
 MIN. BUILDING SETBACK LINES  
 35' FRONT  
 25' REAR  
 10' SIDE  
 20'SIDE CORNER LOT

LAMCO CUSTOM HOMES, LLC  
DB 4121, P. 943  
MAP # 2022-42  
LOT 19

LAMCO CUSTOM HOMES, LLC  
DB 4121, P. 943  
MAP # 2022-42  
LOT 17

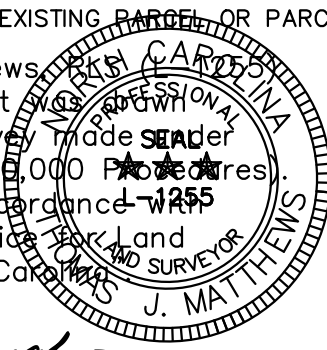


**NOTE:**  
 THIS IS A PHYSICAL SURVEY ONLY:  
 DOES NOT MEET GS47-30, NOT FOR RECORDATION.

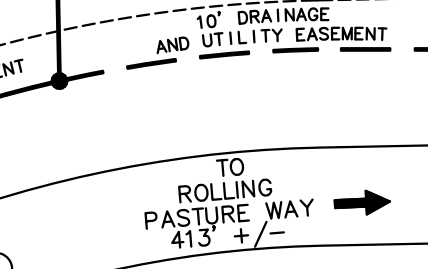
**NOTE:**  
 THIS PROPERTY IS SUBJECT TO ANY AND ALL  
 EASEMENTS, RIGHT OF WAYS, AND AGREEMENTS  
 OF RECORD PRIOR TO THIS PLAT.

**NOTE:**  
 THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS.

I, Thomas J. Matthews, Professional Land Surveyor, certify that this plat was prepared from an actual survey made under my supervision. (1:10,000 Scale). Plat prepared in accordance with standards of "Practical Land Surveying in North Carolina".



*Thomas J. Matthews*  
 Thomas J. Matthews  
 12-11-2023  
 Date



**OWNER:**  
 LAMCO CUSTOM BUILDERS, LLC  
 7424 CHAPEL HILL ROAD, SUITE 203  
 RALEIGH, NC 27607

**REFERENCE:**  
 LAMCO CUSTOM BUILDERS, LLC  
 DB 4121, P.943  
 FAIR RIDGE FARMS SUBDIVISION  
 MAP # 2022-42 - LOT 18

SITE PLAN SURVEY FOR: <b>LAMCO CUSTOM BUILDERS LLC.</b> 84 GATES WAY  <b>THOMAS J. MATTHEWS</b> PROFESSIONAL LAND SURVEYOR 226 E. TRADE STREET SUITE 2 SANFORD, N.C. 27332 (919) 776-3400 matthewssurveying@yahoo.com	TOWNSHIP: UPPER LITTLE RIVER	COUNTY: HARNETT
	STATE: NORTH CAROLINA	DATE COMPLETED: 12-11-2023
SCALE: 1" = 40'  PARCEL: PID 039588 0006 18 PIN 9588-56-0538  ZONE: RA-20R	TAX MAP: 9588	JOB # 3941D LOT 18