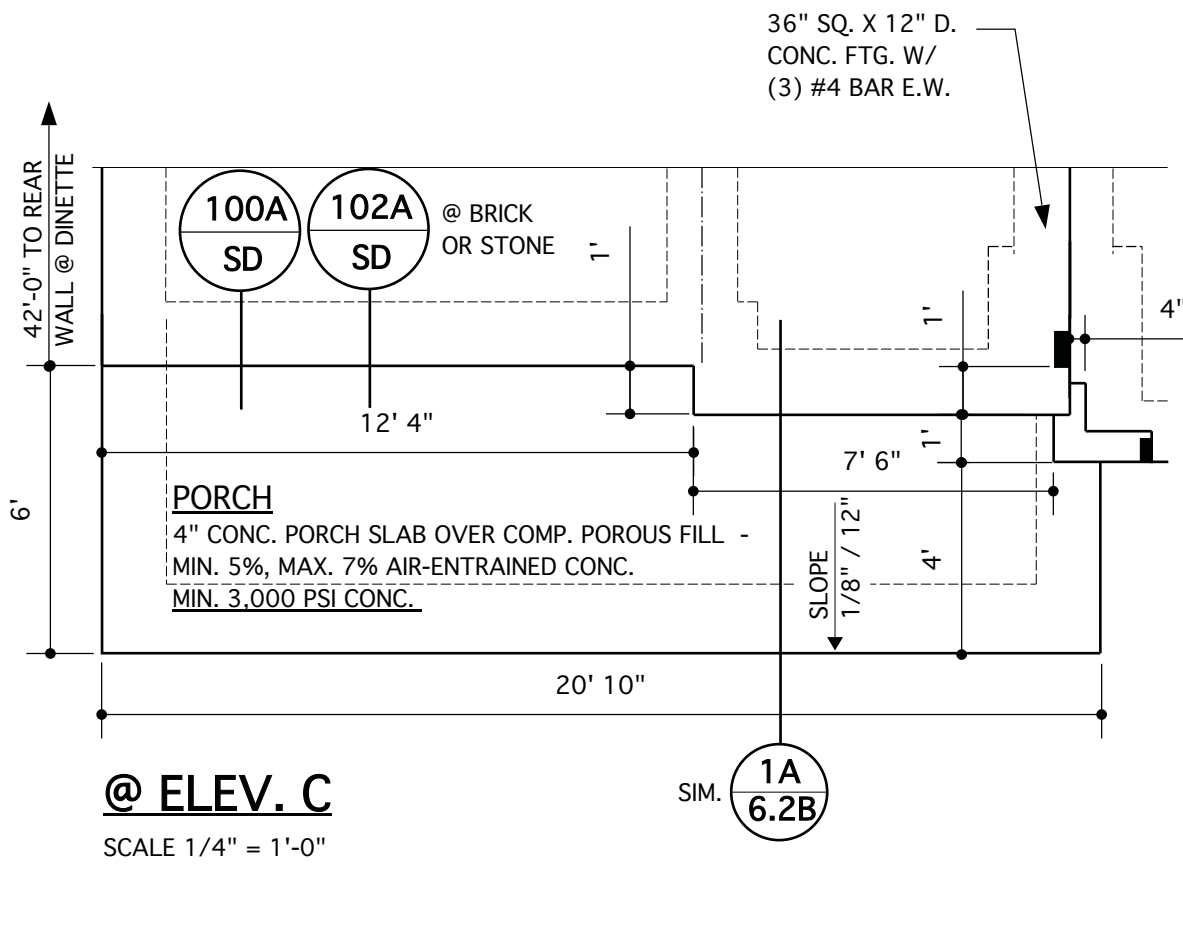
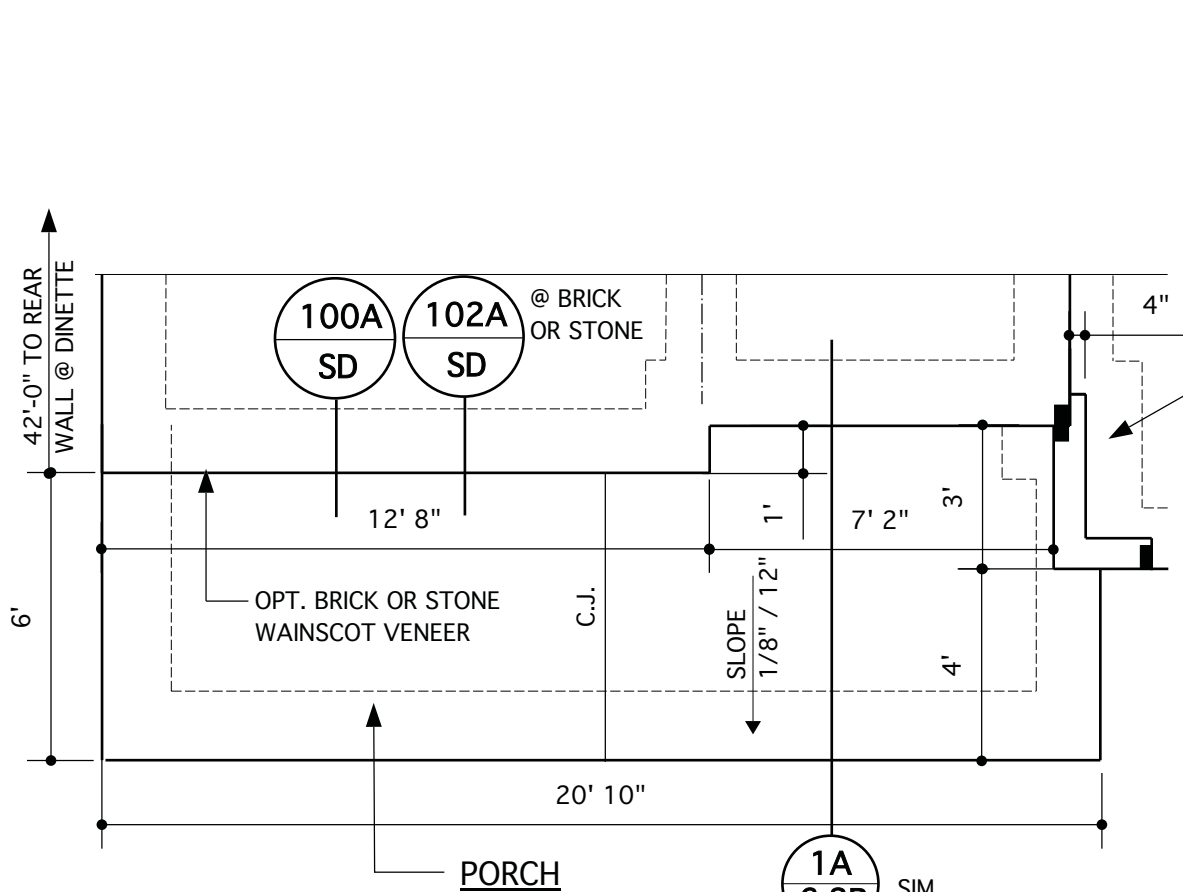


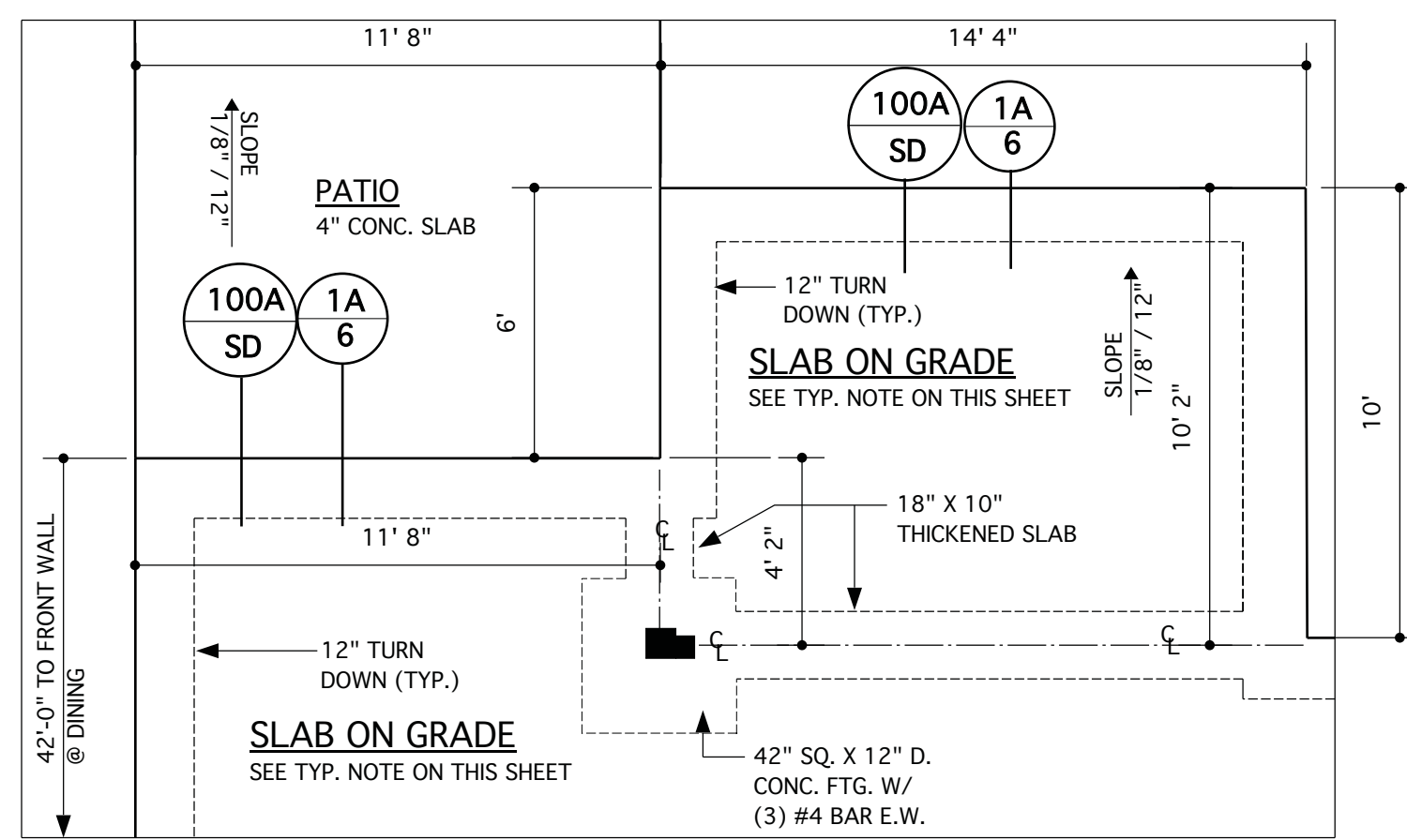
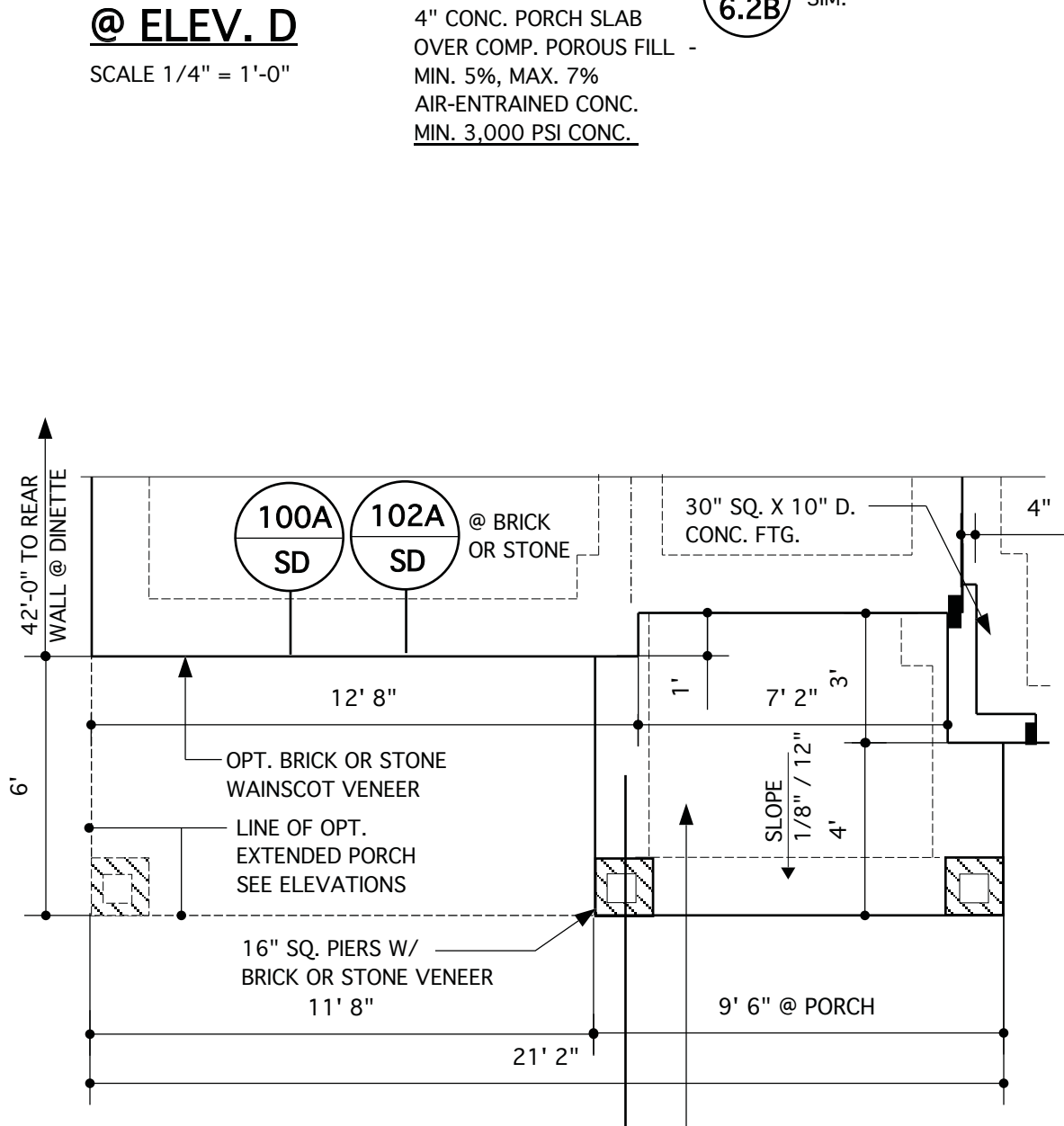
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SCALE 1/4" = 1'-0"



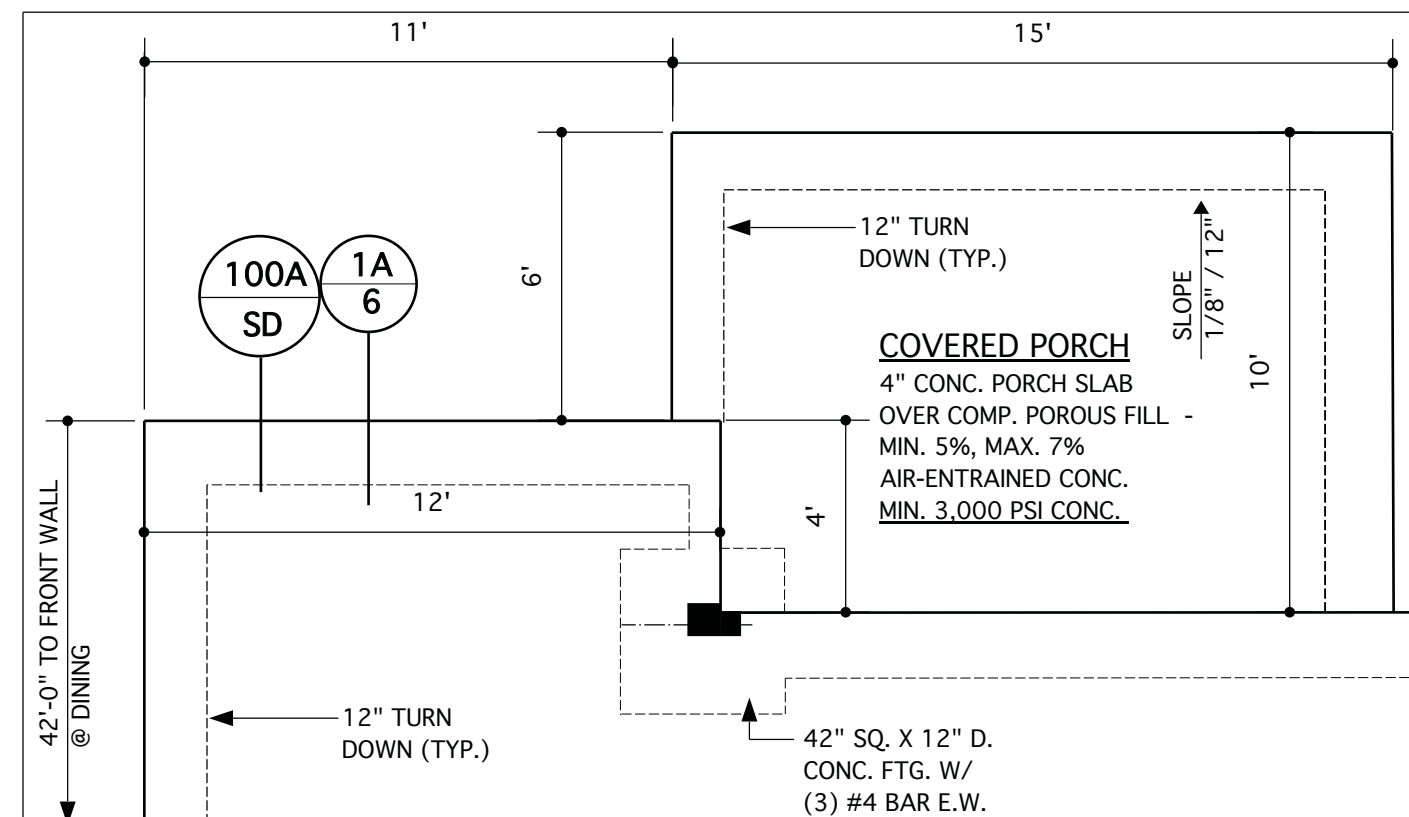
@ ELEV. D
SCALE 1/4" = 1'-0"



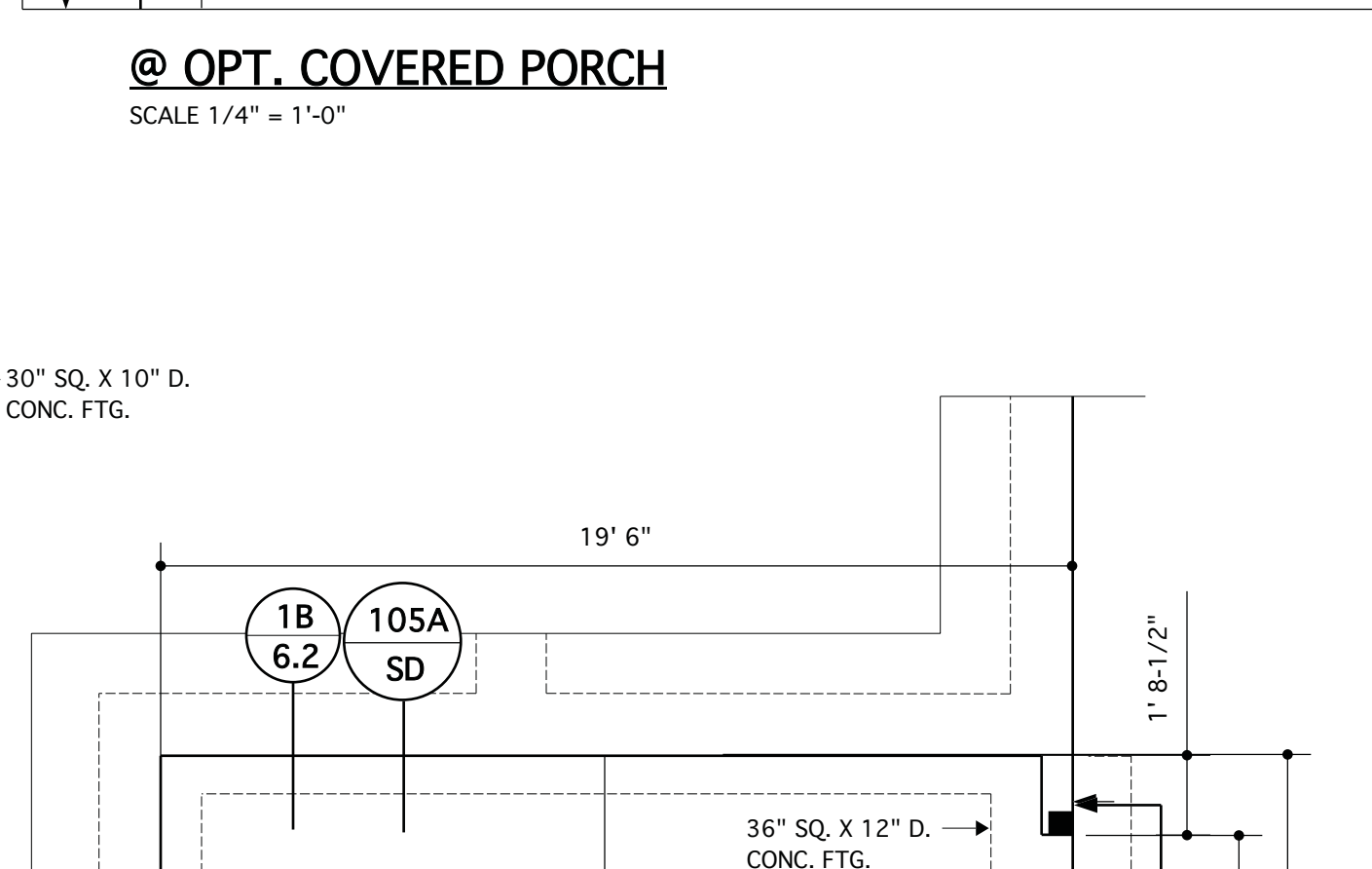
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SCALE 1/4" = 1'-0"



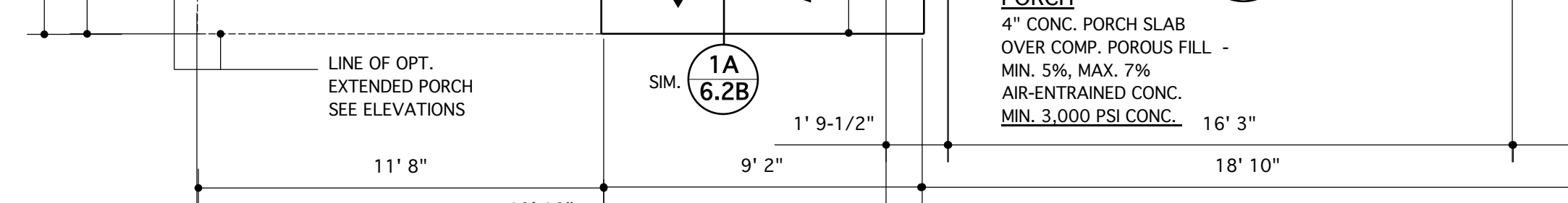
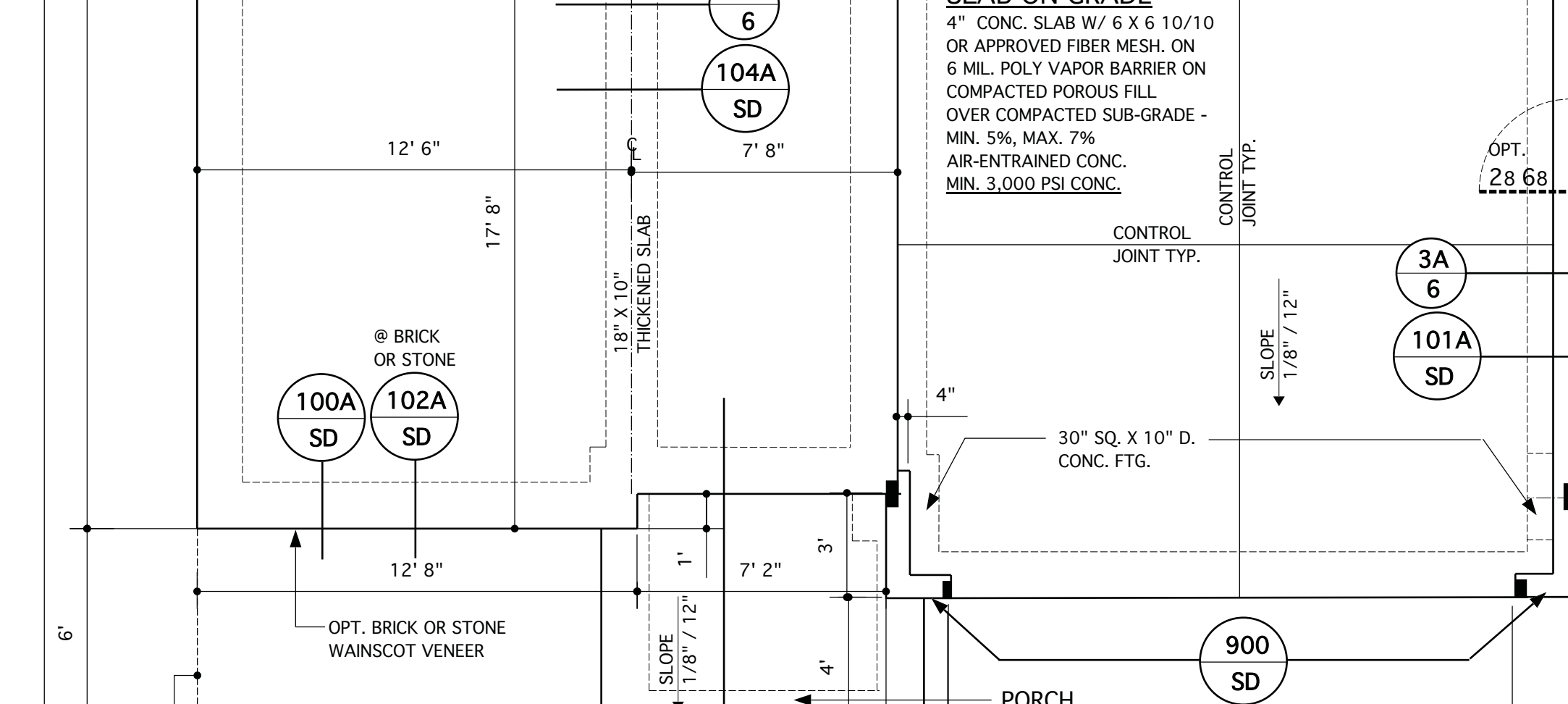
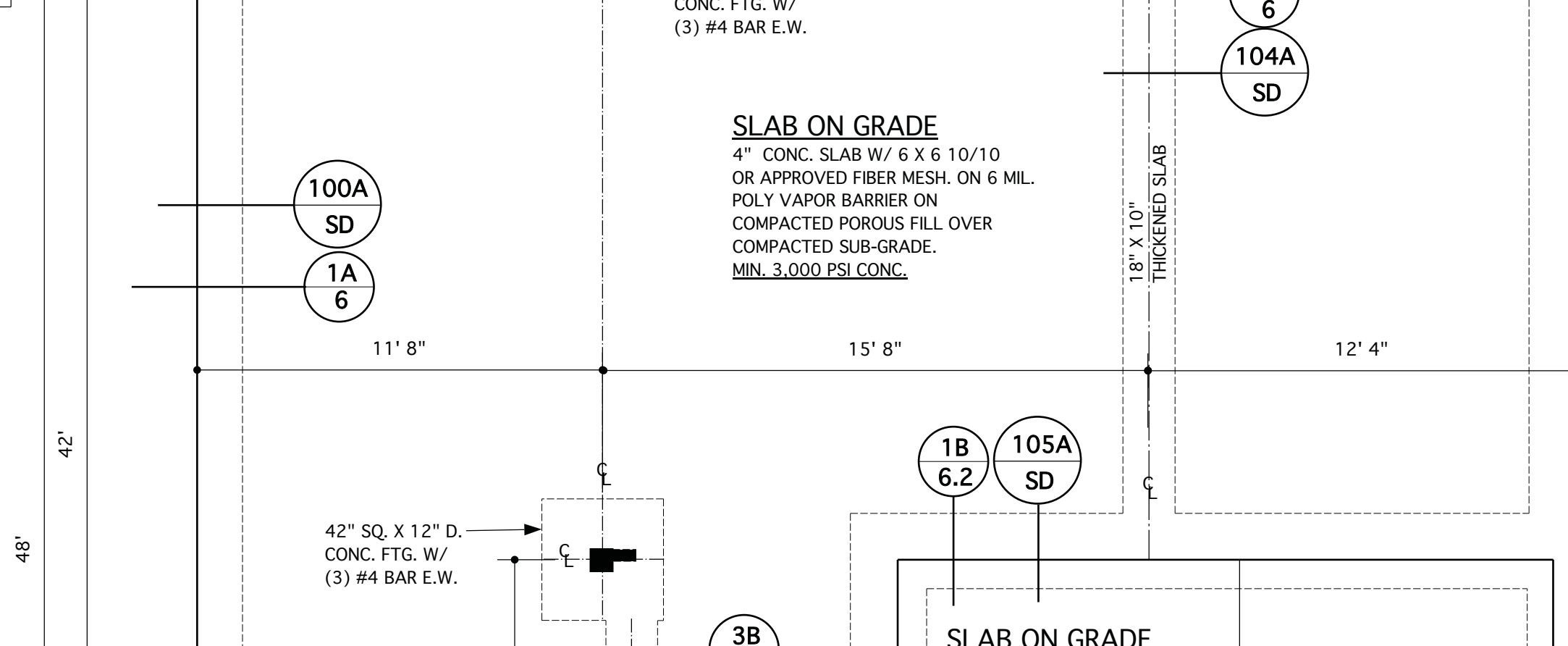
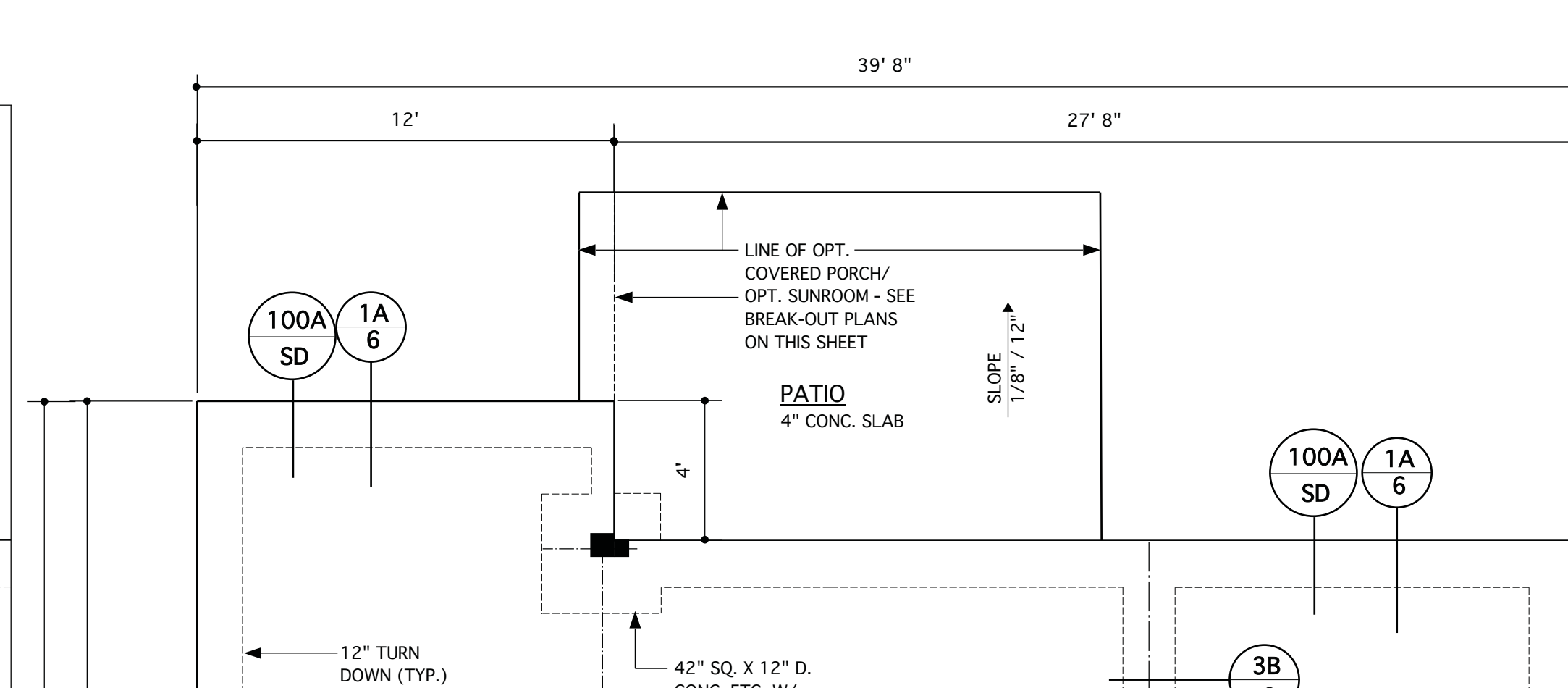
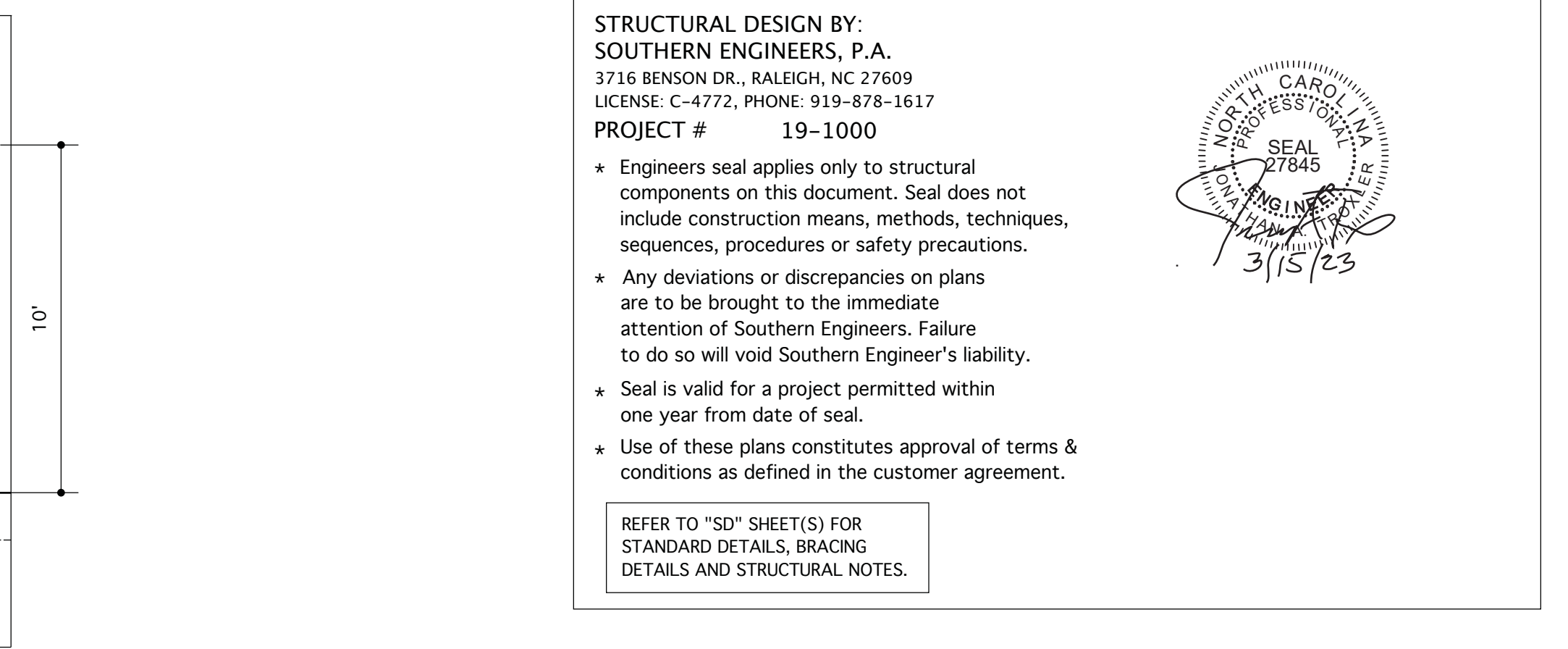
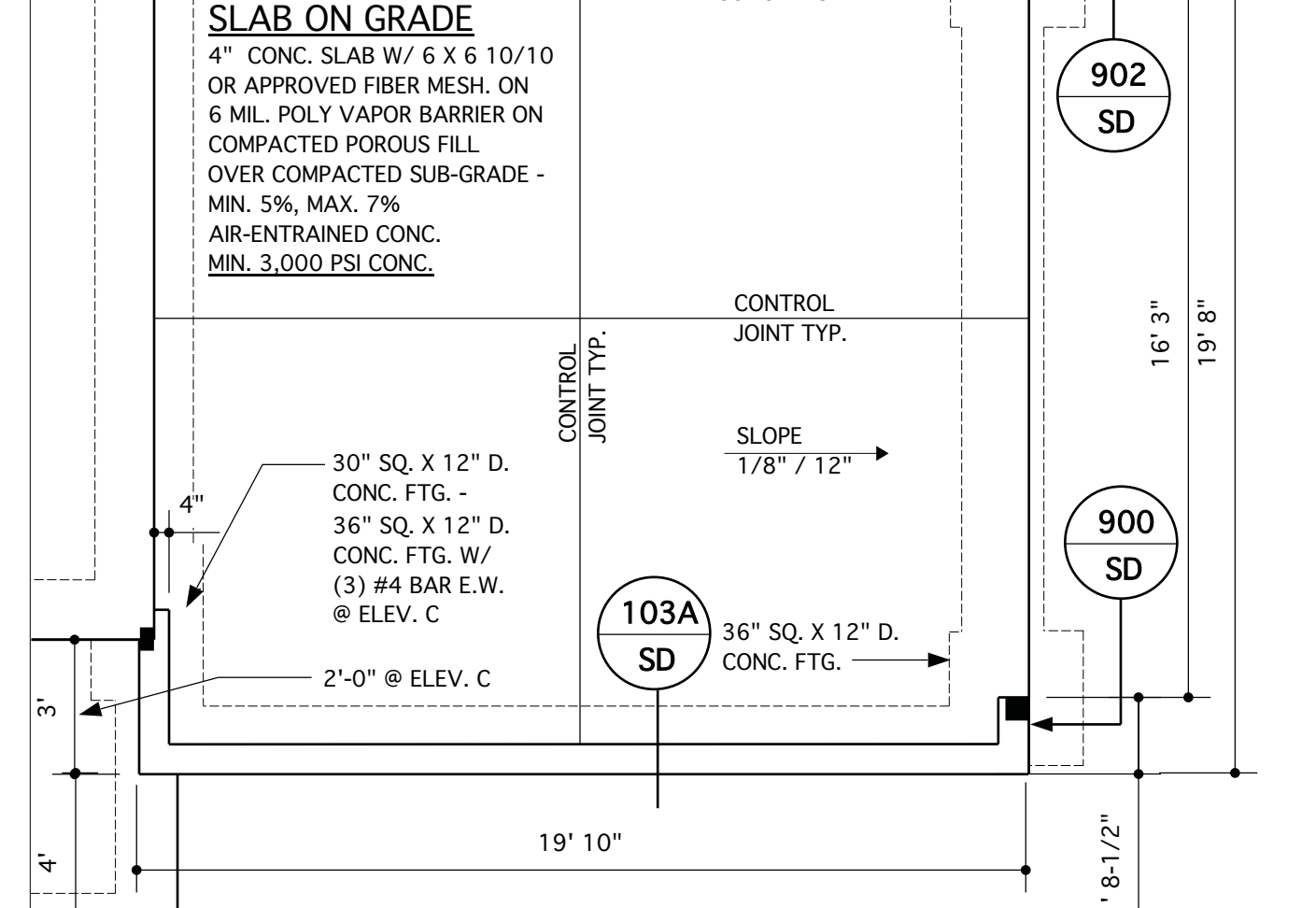
@ OPT. SUNROOM
SCALE 1/4" = 1'-0"



@ OPT. COVERED PORCH
SCALE 1/4" = 1'-0"



@ OPT. SIDE LOAD GARAGE
SCALE 1/4" = 1'-0"



MONOLITHIC SLAB FOUNDATION PLAN @ ELEV. B/F
SCALE 1/4" = 1'-0"
(SEE SHEET SD-1 FOR ADDITIONAL NOTES & DETAILS)

STRUCTURAL DESIGN BY:
SOUTHERN ENGINEERS, P.A.
3716 BENSON DR., RALEIGH, NC 27609
LICENSE: C-4772, PHONE: 919-878-1617
PROJECT # 19-1000

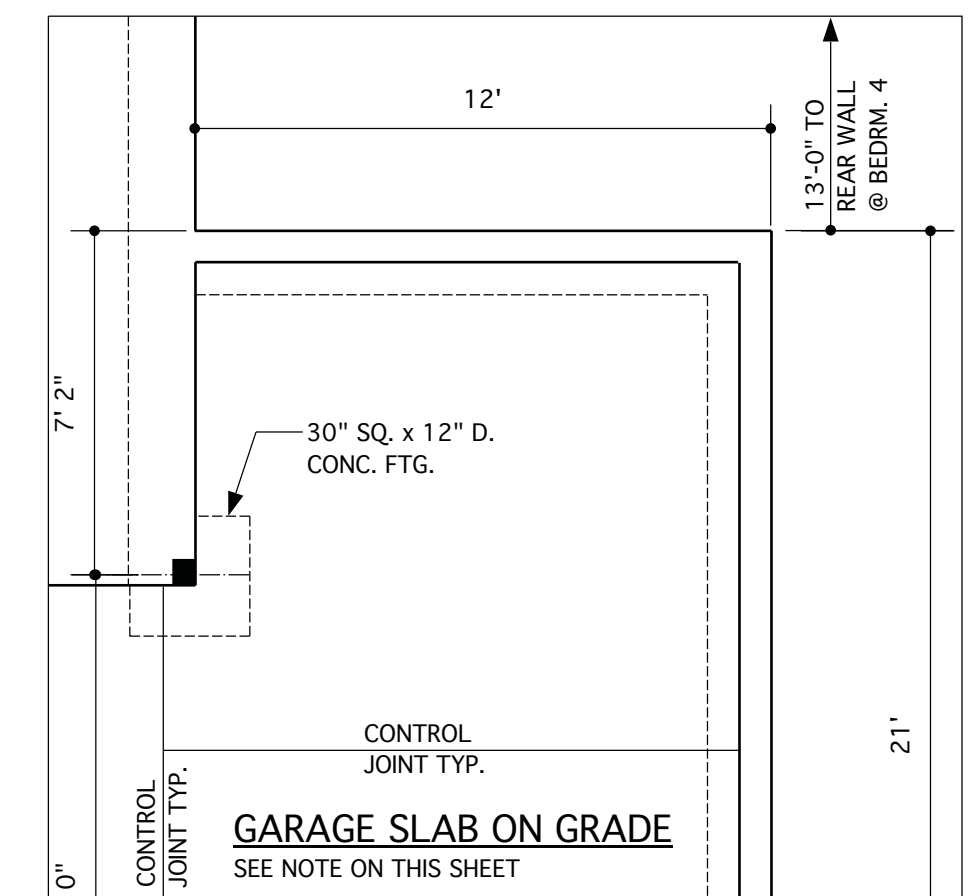
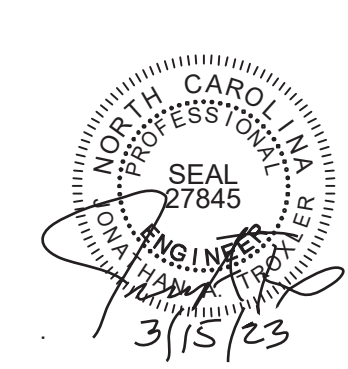
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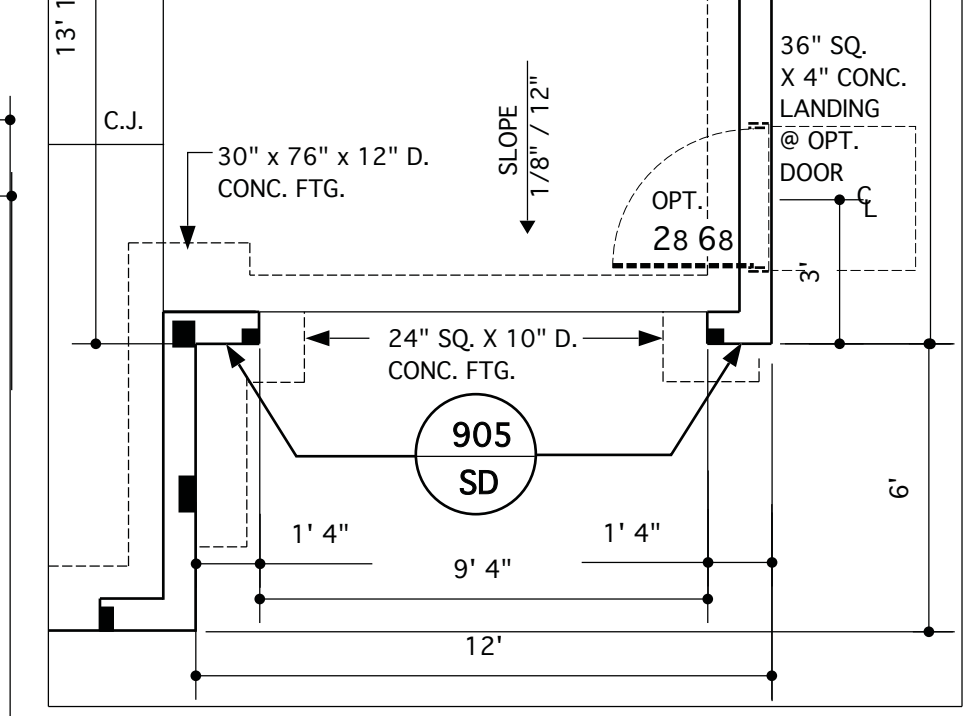
Seal is valid for a project permitted within one year from date of seal.

Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

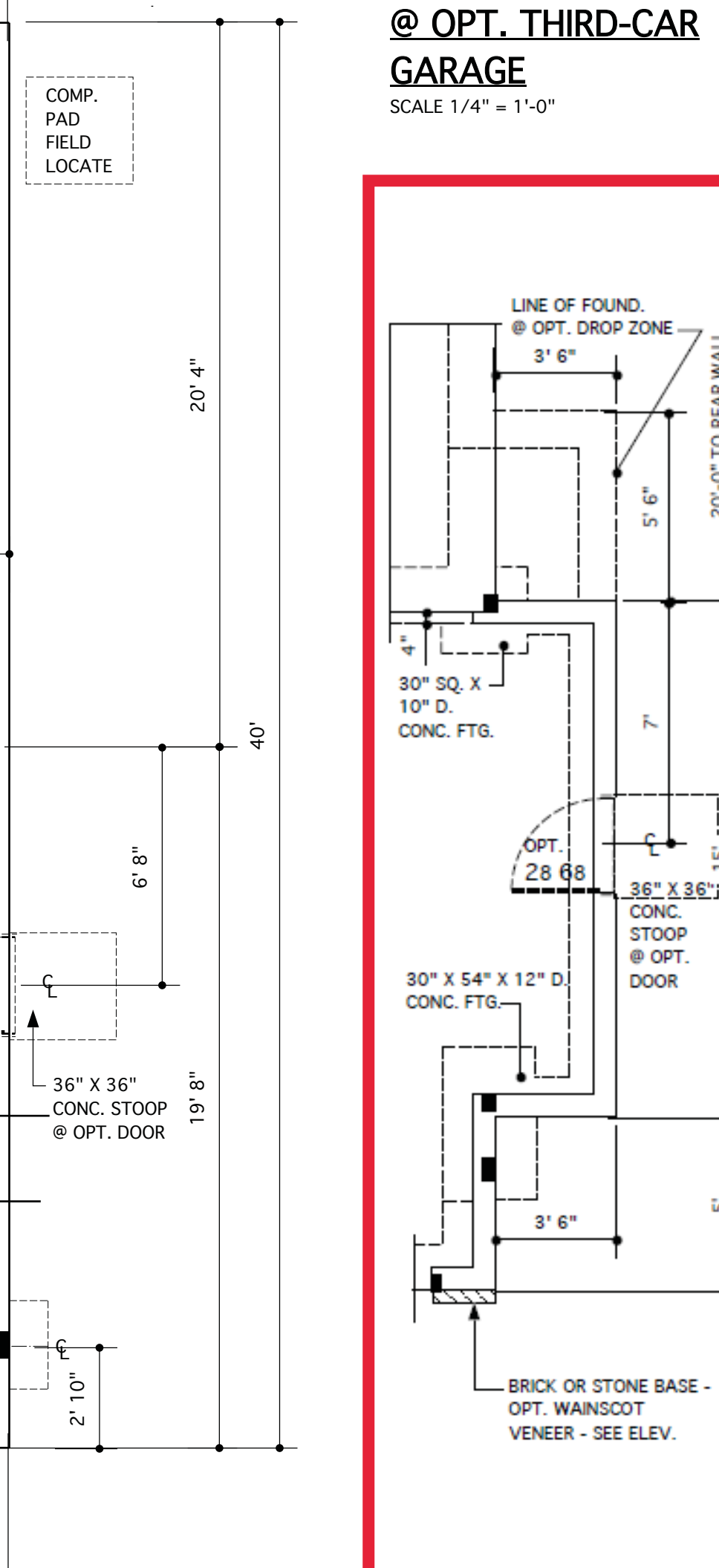
REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.



@ OPT. THIRD-CAR GARAGE
SCALE 1/4" = 1'-0"



OPT. GARAGE STORAGE EXTENSION
SCALE 1/4" = 1'-0"



JAMES WENTLING/ ARCHITECT
LAND TITLE BUILDING
100 SOUTH BROAD STREET,
SUITE 1524
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REGISTERED ARCHITECT
JAMES WALTER WENTLING
#542
NORTH CAROLINA
RALEIGH, N. C.
2/27/23

| MARK | DATE | DESCRIPTION |
|------|----------|---|
| CH | 05-28-19 | ELEV. C |
| CH | 12-10-19 | 3RD CAR GARAGE EXT. |
| AM | 01-14-21 | RESTART SHEET |
| DN | 02-09-21 | OPT. PORCH FOOTINGS |
| AM | 09-09-21 | RESTART SHEET |
| JW | 02-15-23 | NEILL'S POINT/FARM |
| DN | 02-23-23 | 1-0" DINING EXTENSION/ STRUCT.DWG. REV. |

PROJECT NO. 113-88
DATE 01-08-18
SCALE AS NOTED
DRAWN BY JK
CHECKED BY JW
ISSUED FOR PERMITS/CONSTRUCTION

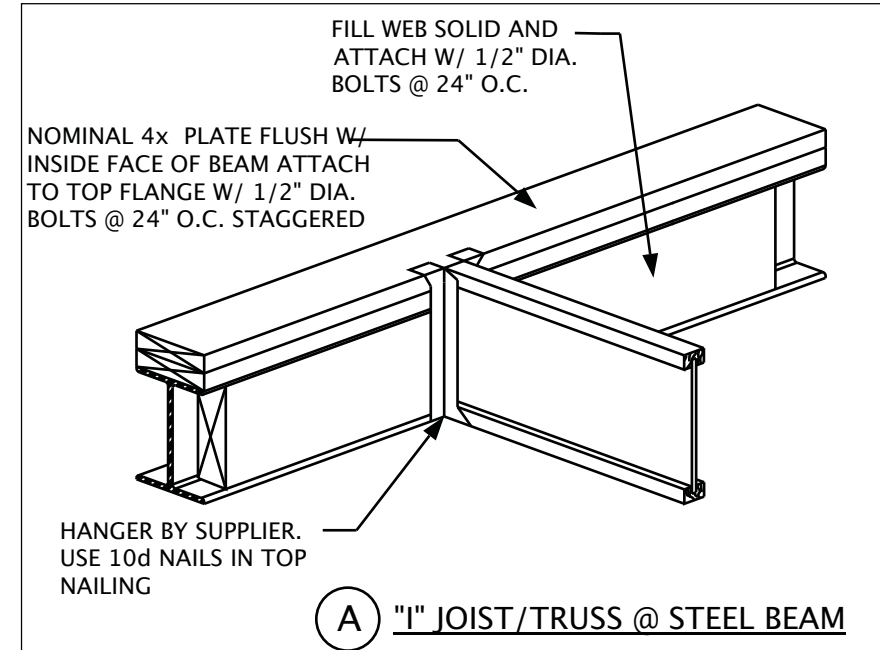
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CLIENT
CHESAPEAKE HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

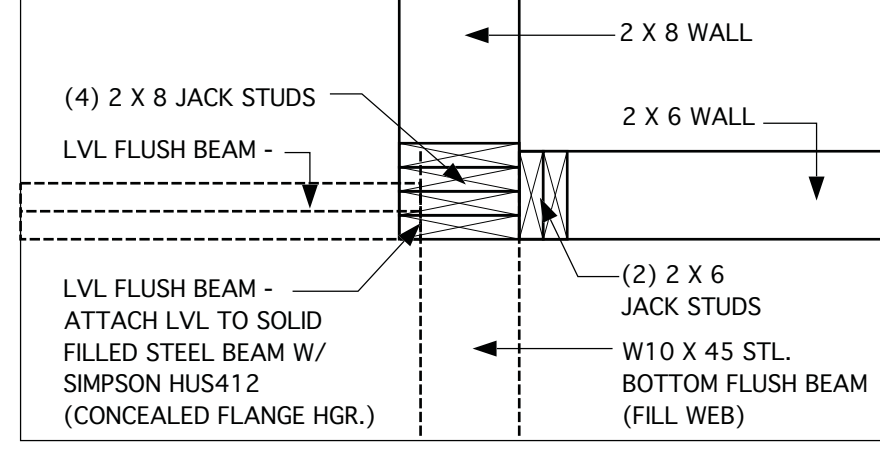
DRAWING TITLE
MONOLITHIC SLAB FOUNDATION PLAN

SHEET
2

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1\"/>



BEAM/STUD CONNECTION DETAIL 2
SCALE 1\"/>

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LICENSE: C-4772, PHONE: 919-878-1617
PROJECT # 19-1000

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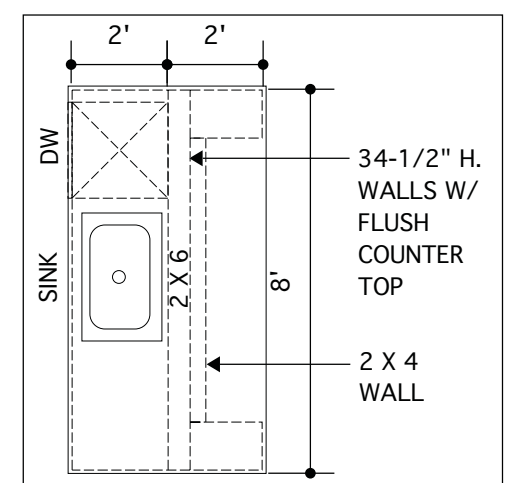
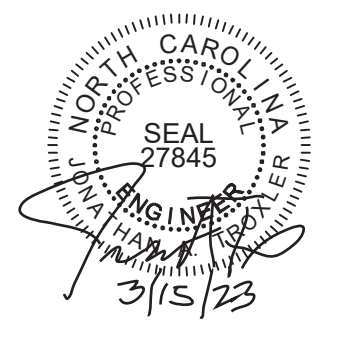
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* Seal is valid for a project permitted within one year from date of seal.

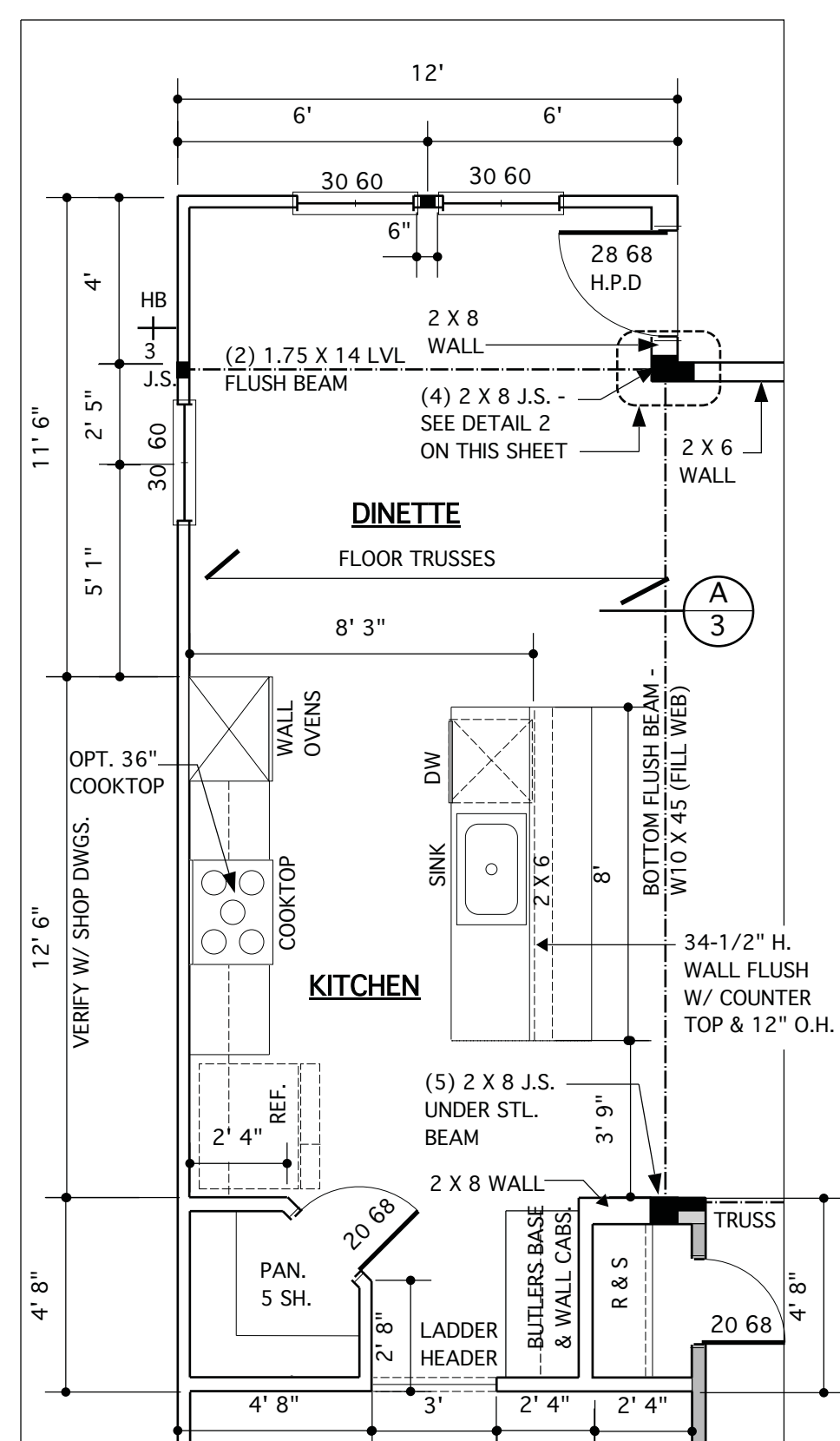
* Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

PORTAL FRAME LEGEND
SEE SD SHEETS FOR PORTAL FRAME DETAILS
APA-PF: APA PORTAL FRAME
APA-PF-END: END CONDITION FOR APA PORTAL FRAME
CS-PF: CONTINUOUS PORTAL FRAME CONSTRUCTION
CS-PF-END: END CONDITION FOR CONTINUOUS PORTAL FRAME

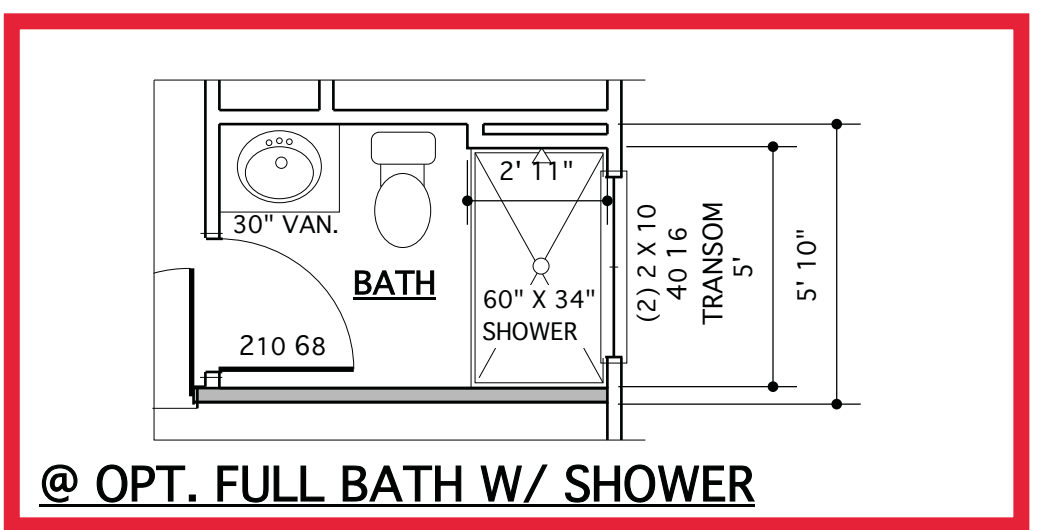
REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.



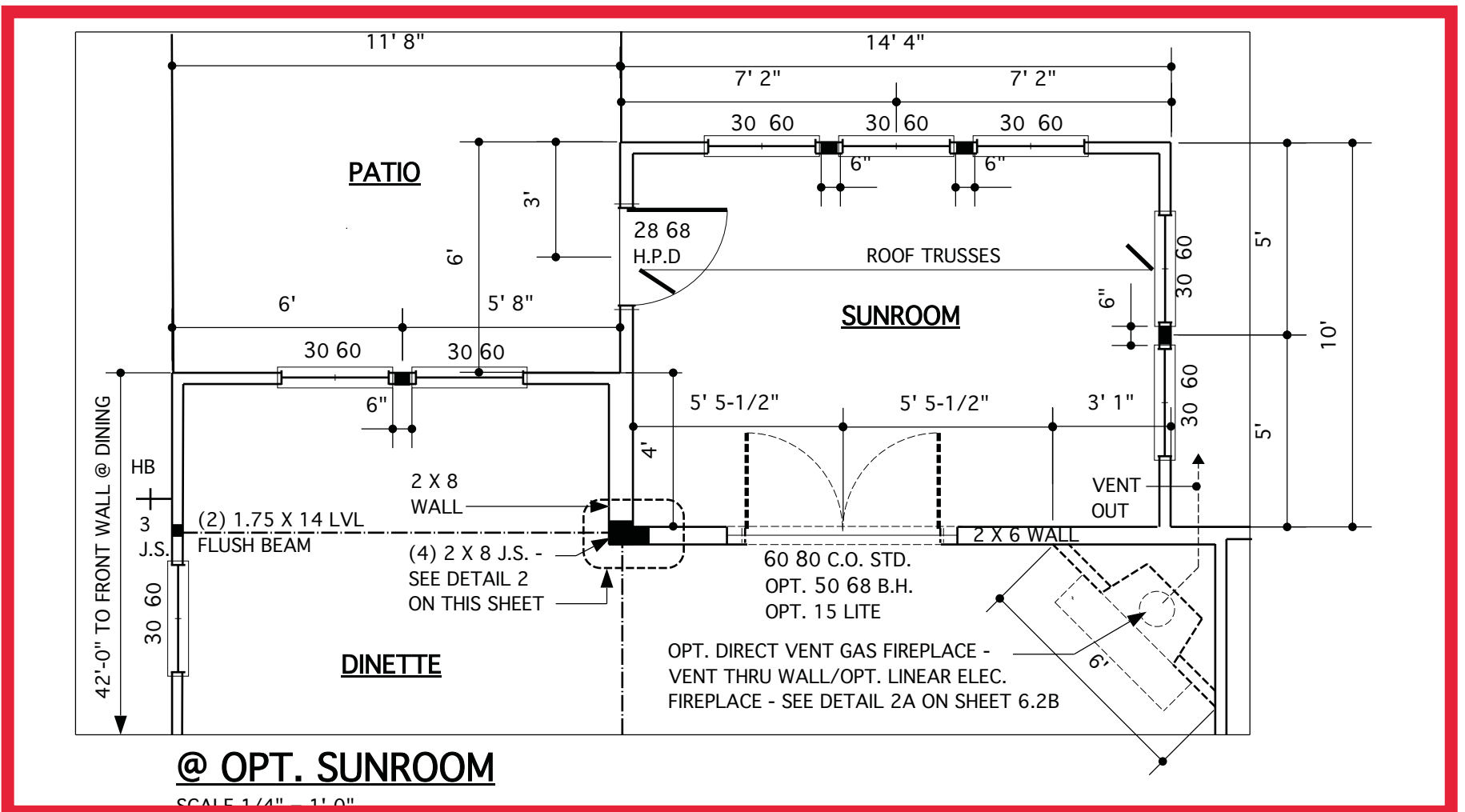
OPT. GOURMET KITCHEN ISLAND
SCALE 1/4\"/>



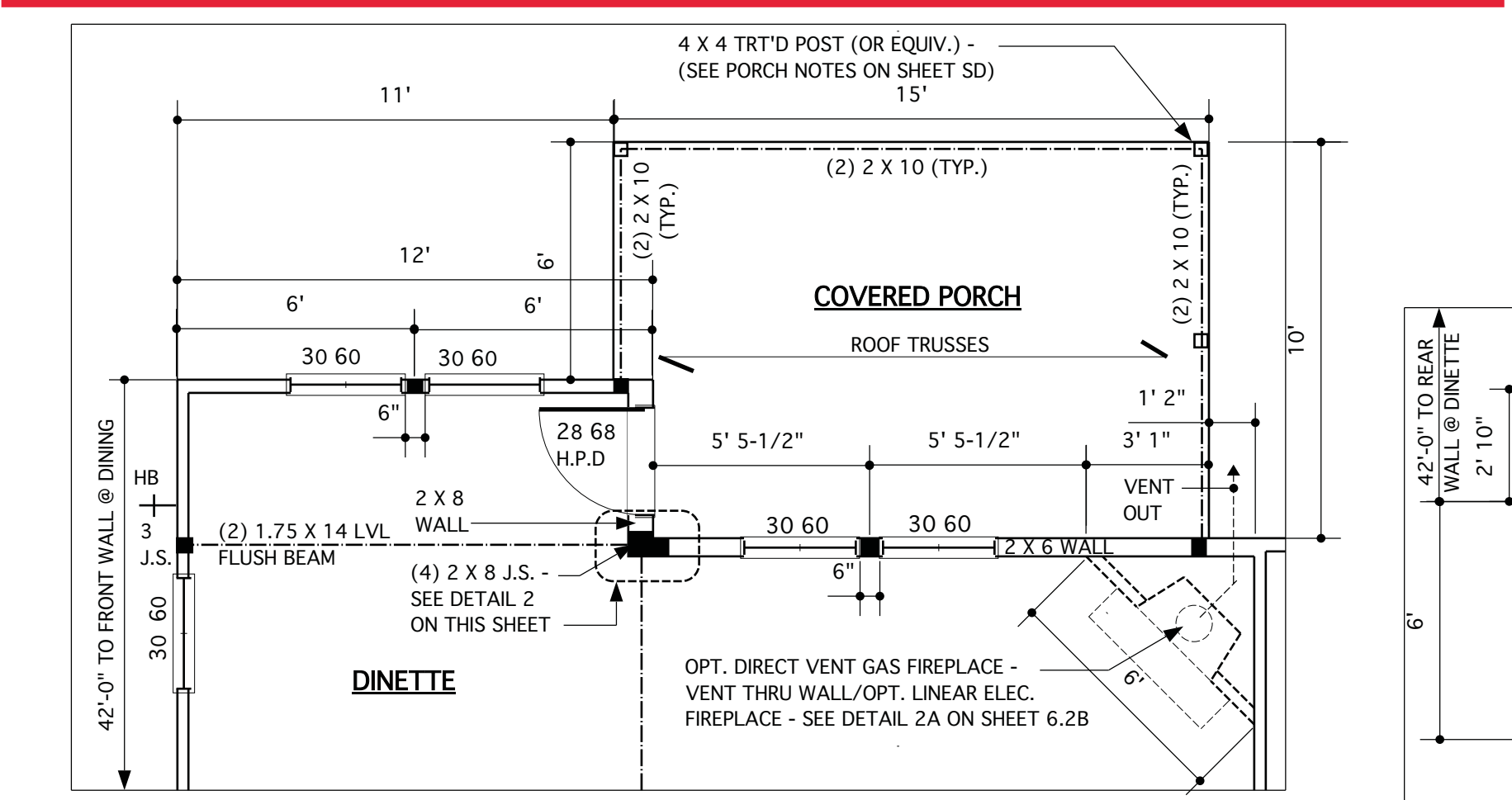
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SCALE 1/4\"/>



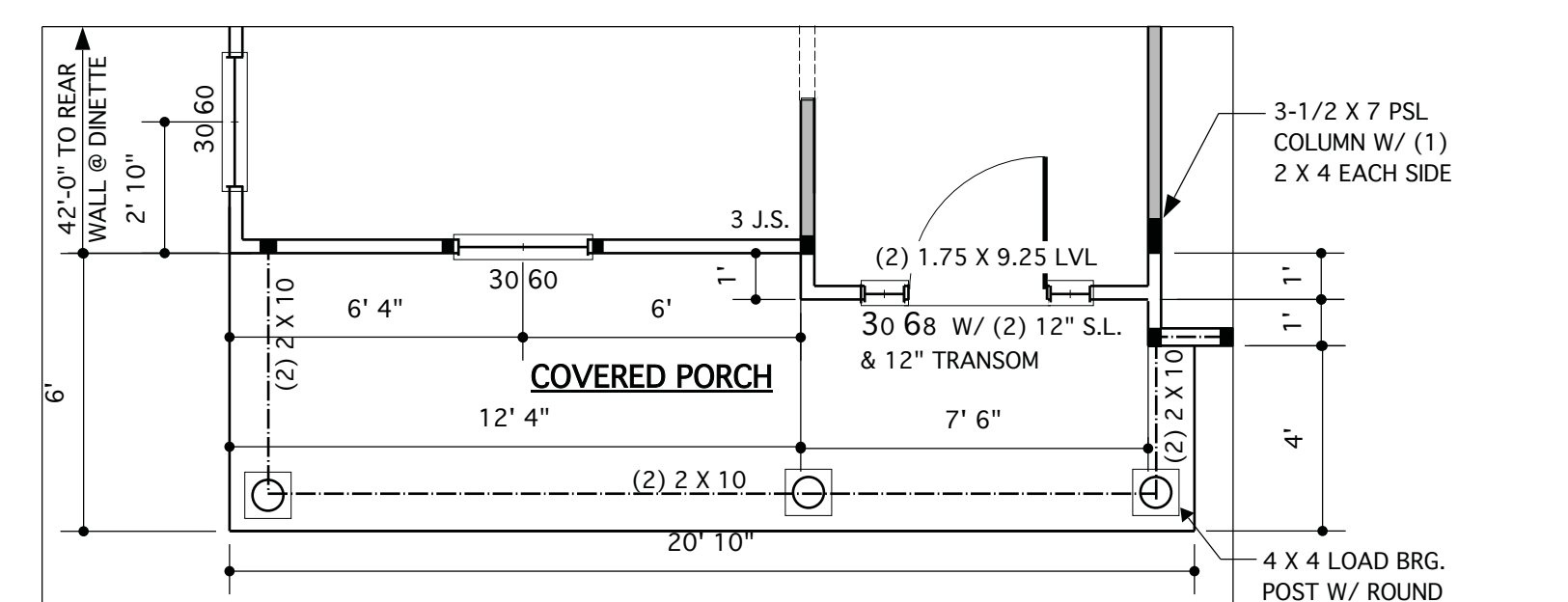
@ OPT. FULL BATH W/ SHOWER
SCALE 1/4\"/>



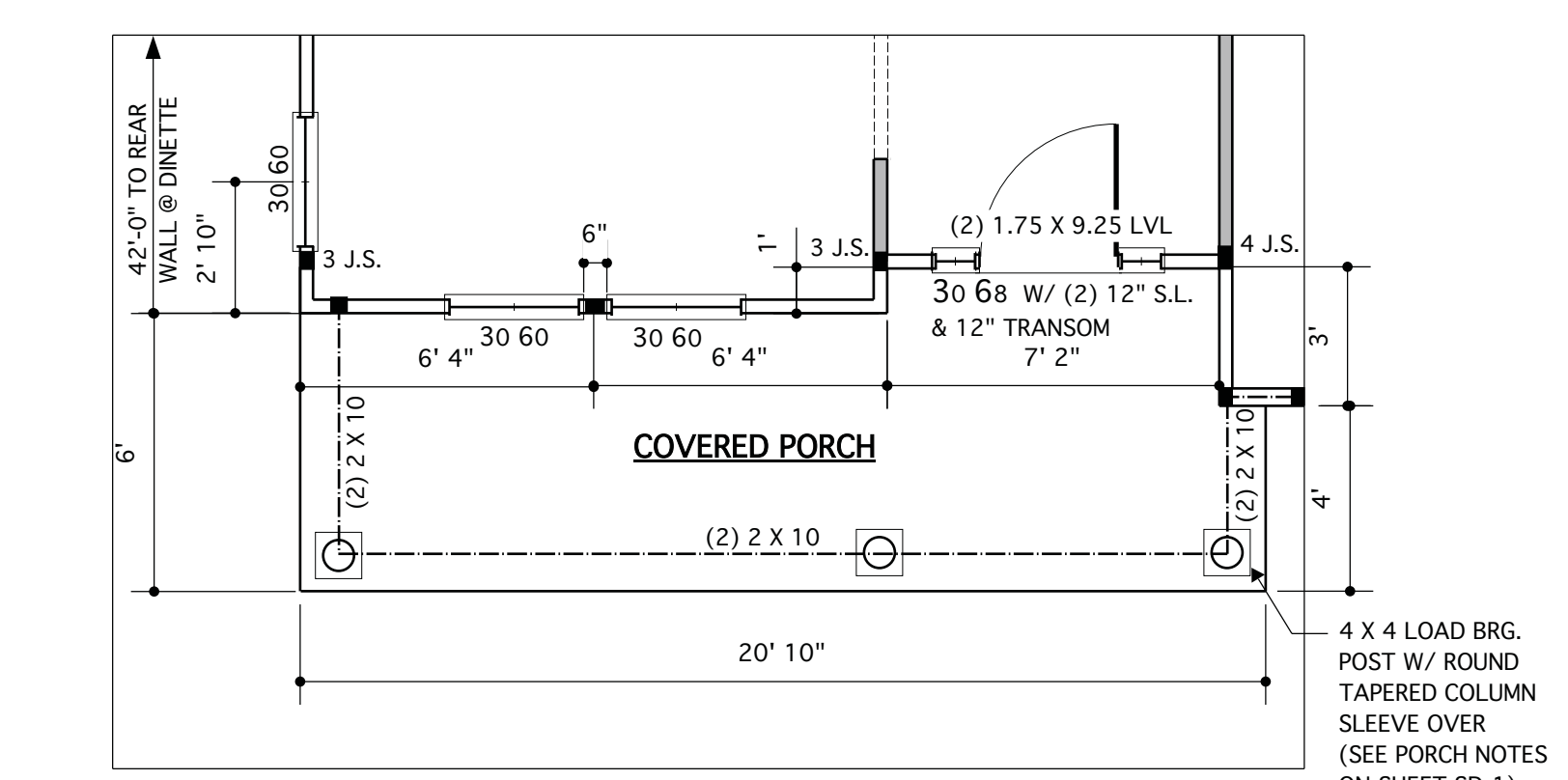
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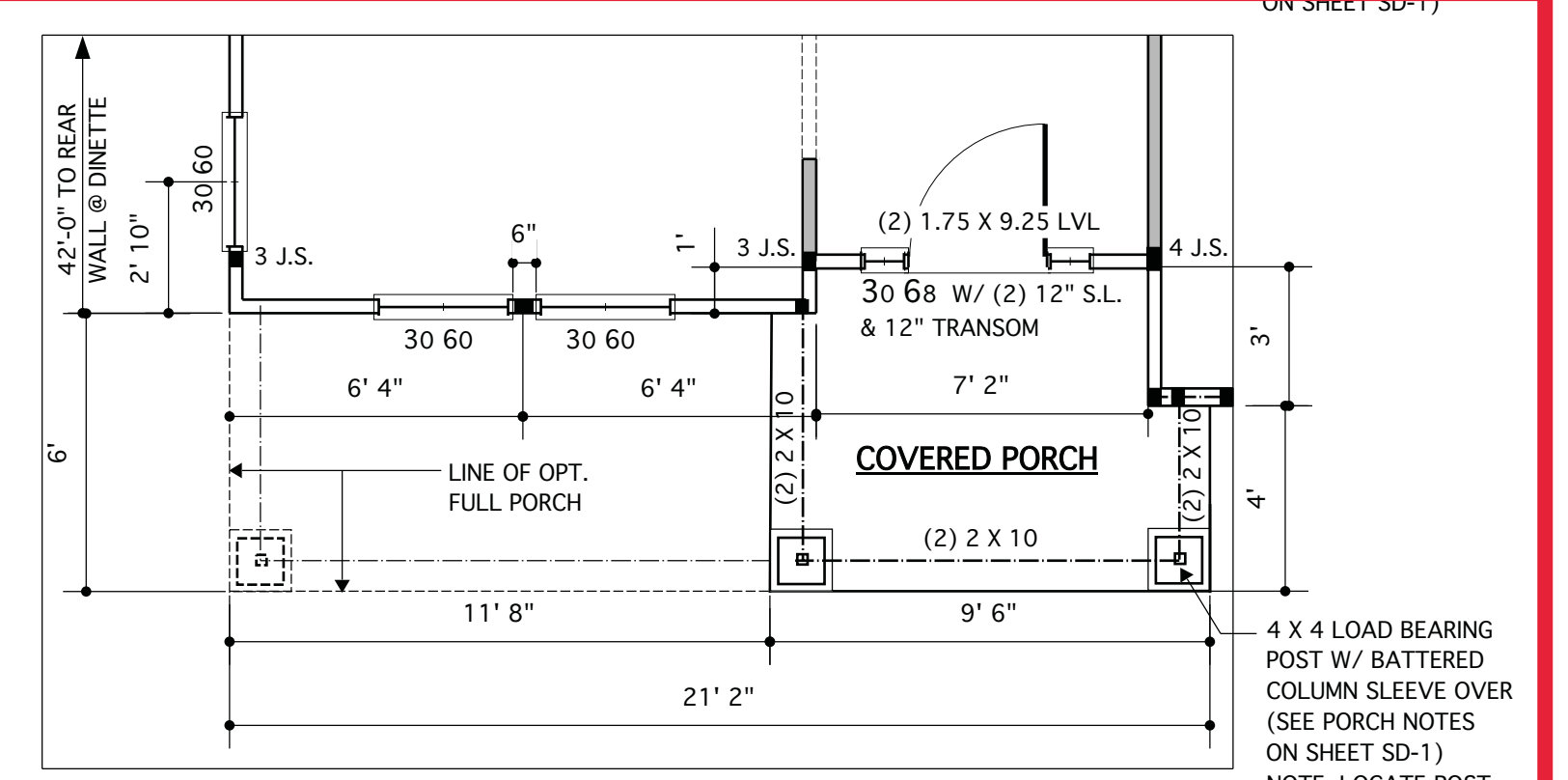
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SCALE 1/4\"/>



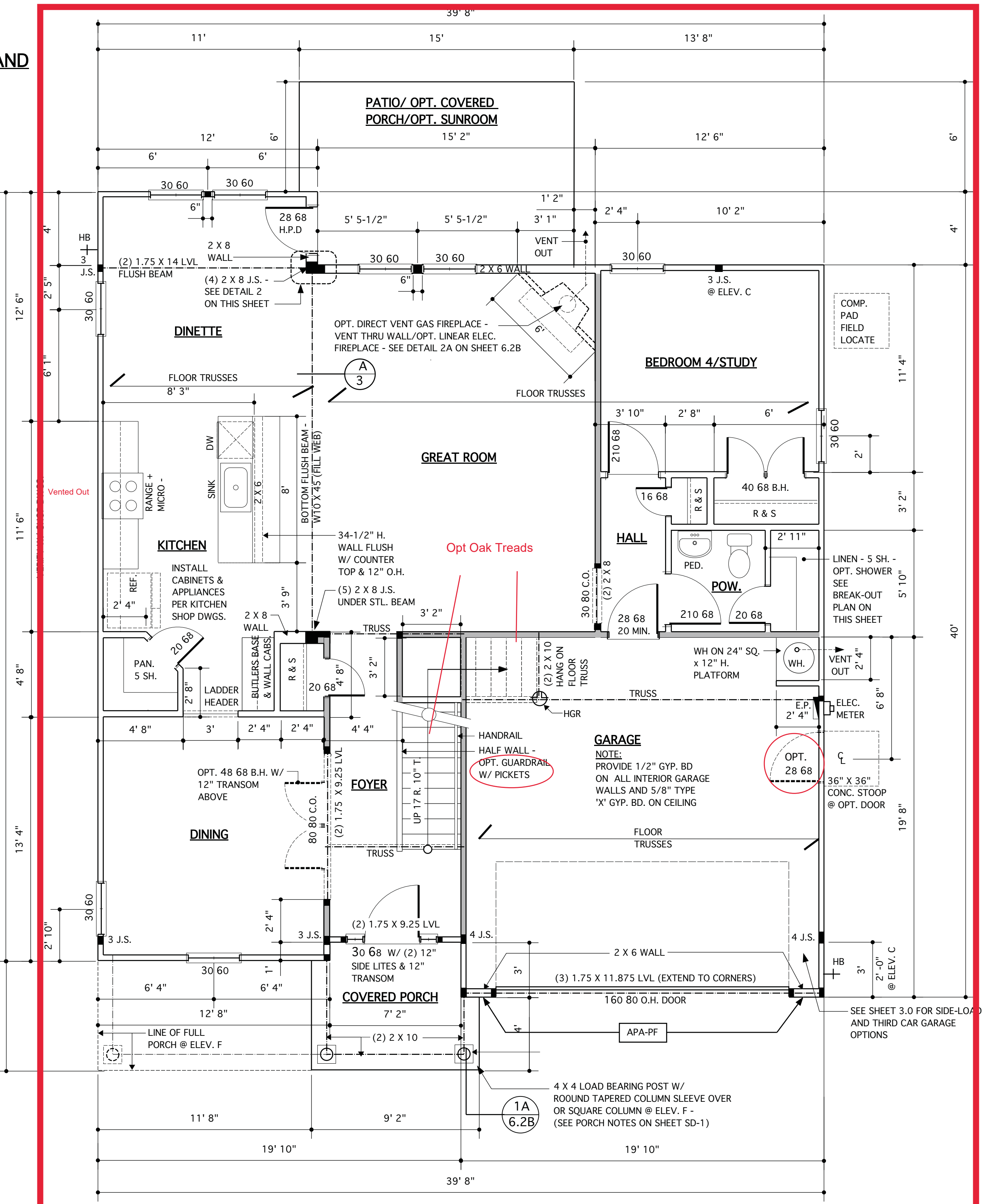
@ ELEV. C
SCALE 1/4\"/>



@ ELEV. D
SCALE 1/4\"/>



@ ELEV. A
SCALE 1/4\"/>



FIRST FLOOR PLAN @ ELEV. B/F
SCALE 1/4\"/>

NOTES:
WALLS ARE DIMENSIONED TO FACE OF STUD AND ARE 3-1/2\"/>

LEGEND

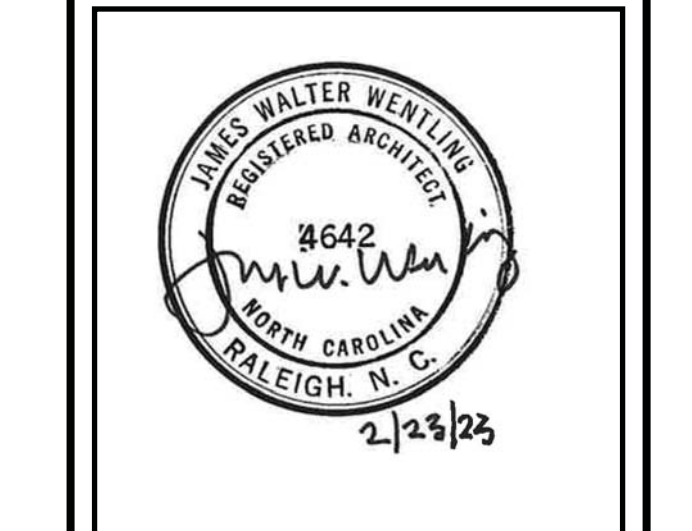
| | |
|--|--|
| | INTERIOR LOAD BEARING WALL |
| | DENOTES 2 JACK STUDS UNLESS NOTED OTHERWISE |
| | SEE STRUCTURAL DRAWINGS FOR NUMBER OF JACK STUDS AND SIZES |

JAMES WENTLING/ ARCHITECT
LAND TITLE BUILDING
100 SOUTH BROAD STREET,
SUITE 1524
PHILADELPHIA, PA 19110

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| MARK | DATE | DESCRIPTION |
|------|----------|---------------------|
| DN | 01-14-19 | STRUCT. DWGS. REV. |
| CH | 05-28-19 | ELEVATIONS |
| CH | 12-10-19 | 3RD CAR GARAGE EXT. |
| AM | 01-14-21 | RE-STAMP SHEET |
| AM | 09-09-21 | RE-STAMP SHEET |
| JW | 02-15-23 | NEILL'S POINT/FARM |
| DN | 02-23-23 | 1'-0\"/> |

PROJECT NO. 113-88
DATE 01-08-18
SCALE AS NOTED
DRAWN BY JK
CHECKED BY JW
ISSUED FOR PERMITS/CONSTRUCTION

MODEL 6260 - GARAGE RIGHT

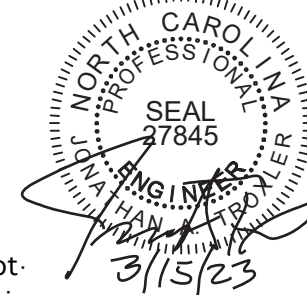
CLIENT
CHESAPEAKE HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

FIRST FLOOR PLANS

SHEET **3**

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PROJECT # 19-1000

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CS-PF-END: END CONDITION FOR CONTINUOUS PORTAL FRAME

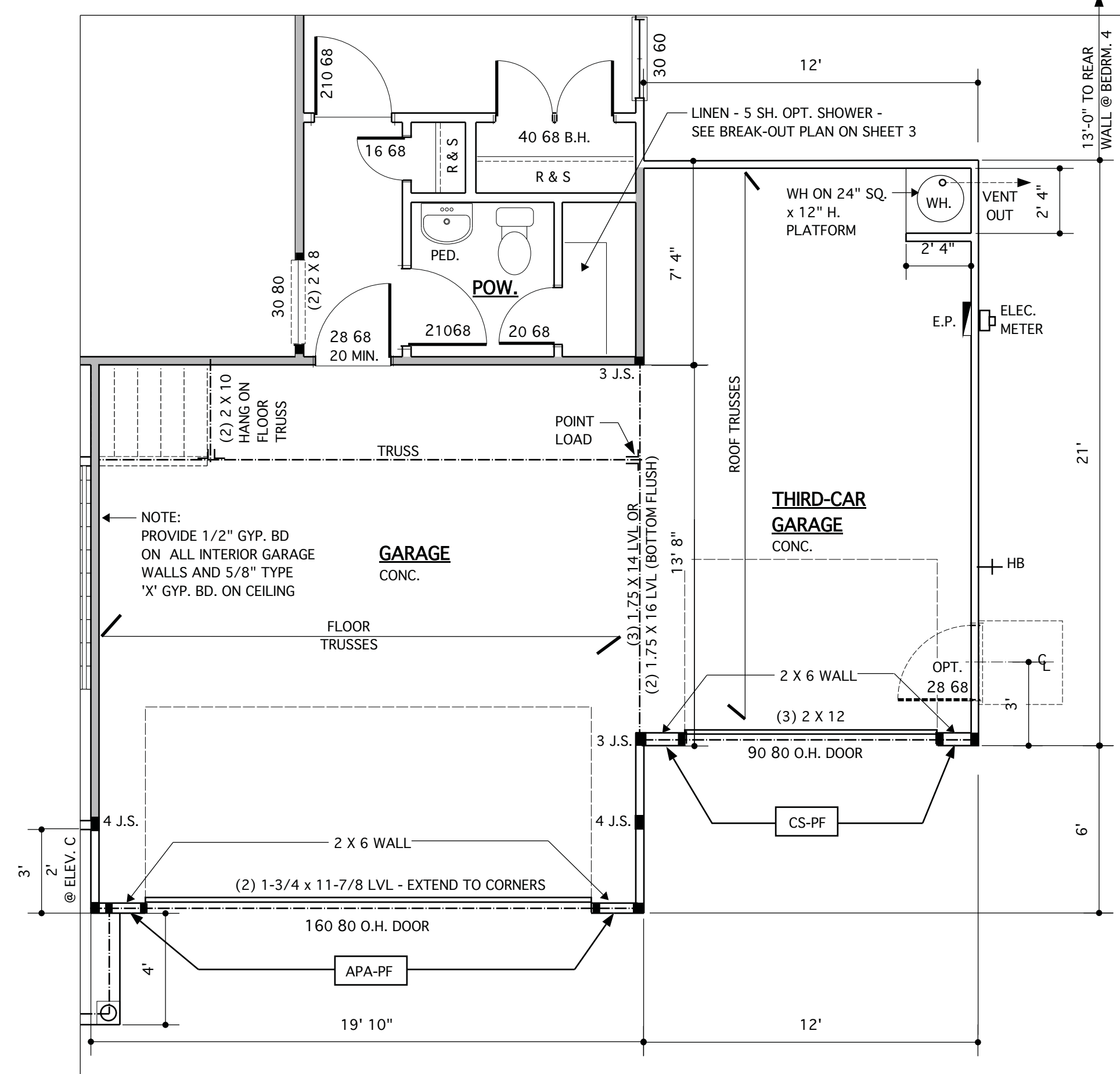
REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.

NOTES:

WALLS ARE DIMENSIONED TO FACE OF STUD AND ARE 3-1/2" THICK UNLESS NOTED OTHERWISE. (SEE SHEET SD-1 FOR ADDITIONAL NOTES & DETAILS)
 (SEE FLOOR SYSTEM LAYOUT AND SHOP DRAWINGS FOR ADDITIONAL INFORMATION AND TO VERIFY BEAM & TRUSS SIZES AND LOCATIONS.)
 NOTE: SEE ELEVATIONS FOR OPT. BRICK OR STONE WAINSCOT/VENEER TYPES & LOCATIONS

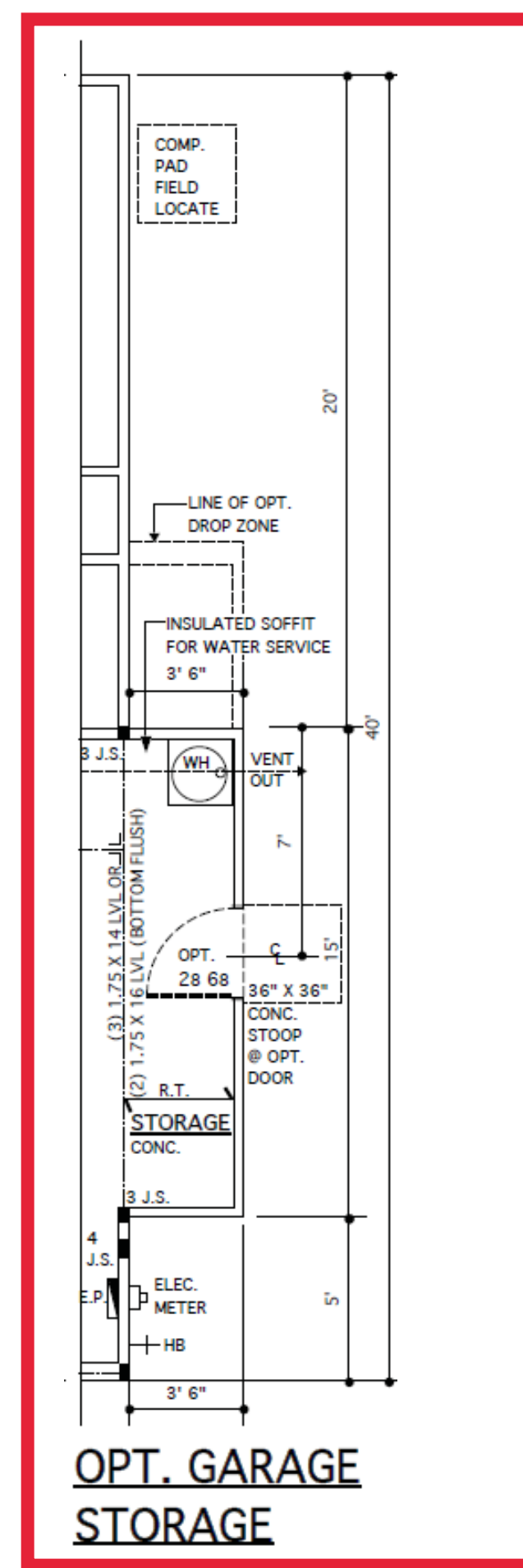
LEGEND

INTERIOR LOAD BEARING WALL
 DENOTES 2 JACK STUDS UNLESS NOTED OTHERWISE
 SEE STRUCTURAL DRAWINGS FOR NUMBER OF JACK STUDS AND SIZES

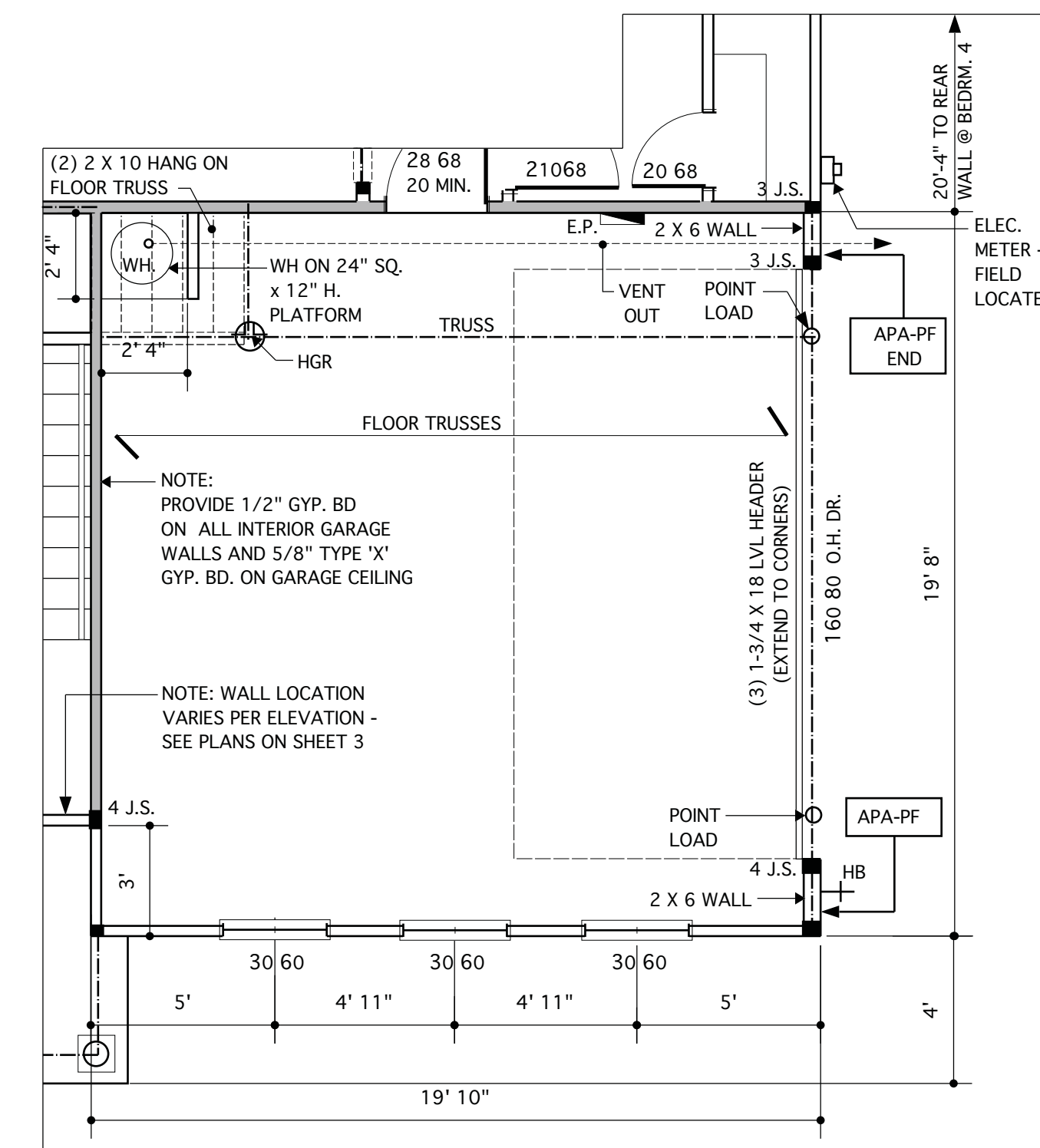


FLOOR PLAN @ OPT. THIRD-CAR GARAGE

SCALE 1/4" = 1'-0"
 NOTE: SEE FIRST FLOOR PLAN ON SHEET 3 FOR ADDITIONAL NOTES & DIMENSIONS

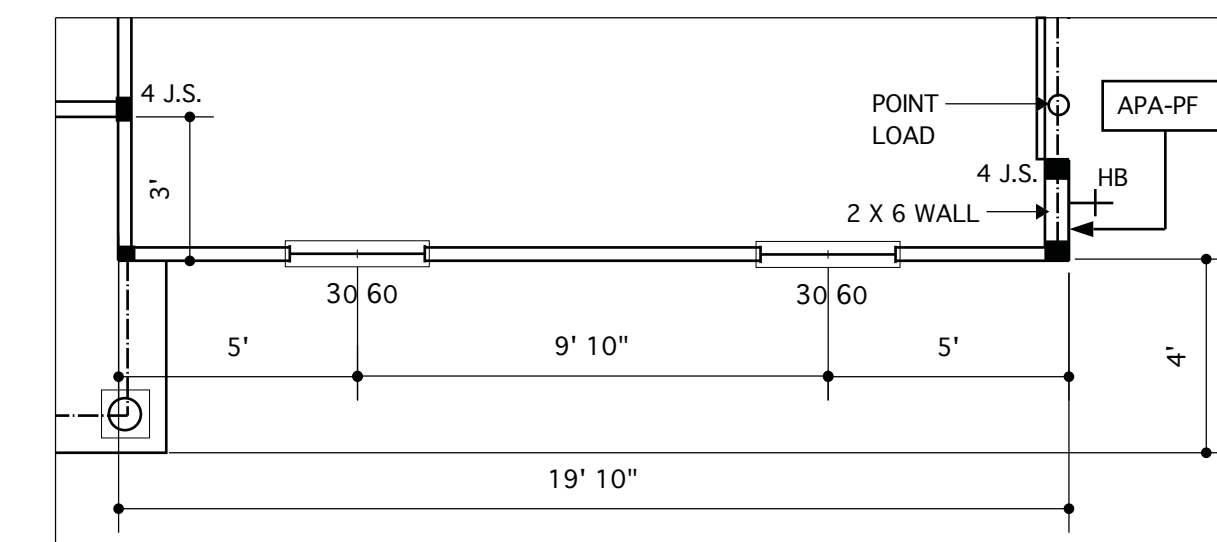


OPT. GARAGE STORAGE



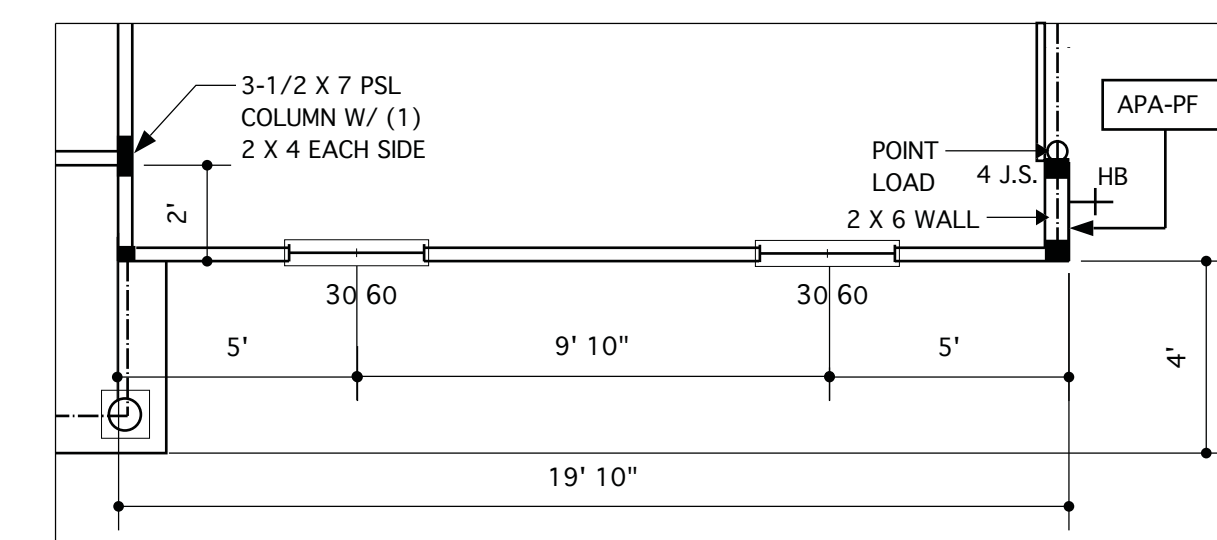
@ OPT. SIDE-LOAD GARAGE @ ELEV. A

SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.



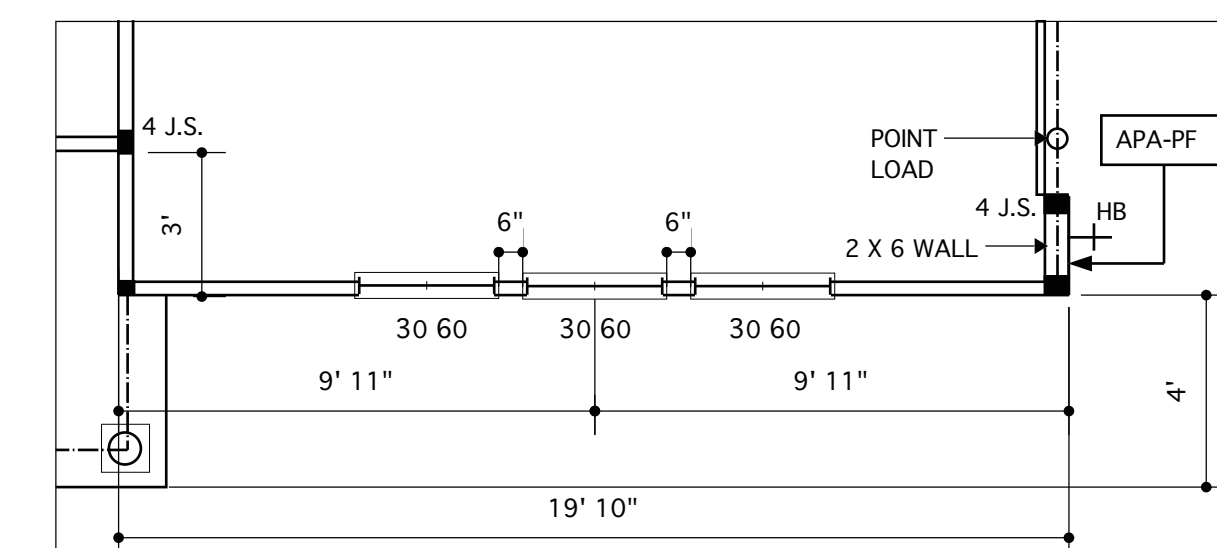
@ ELEV. B/F

SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.



@ ELEV. C

SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.



@ ELEV. D

SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.

JAMES WENTLING/ ARCHITECT

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| MARK | DATE | DESCRIPTION |
|------|----------|--|
| DN | 01-14-19 | STRUCT. DWGS. REV. |
| CH | 05-28-19 | ELEVATIONS |
| CH | 12-10-19 | 3RD CAR GARAGE EXT. |
| AM | 01-14-21 | RE-STAMP SHEET |
| AM | 09-09-21 | RE-STAMP SHEET |
| JW | 02-07-23 | NEILL'S POINT |
| DN | 02-23-23 | 1'-0" DINING EXTENSION/ STRUCT. DWGS. REV. |

| | |
|-------------|----------------------|
| PROJECT NO. | 113-88 |
| DATE | 01-08-18 |
| SCALE | AS NOTED |
| DRAWN BY | JK |
| CHECKED BY | JW |
| ISSUED FOR | PERMITS/CONSTRUCTION |

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT

CLIENT
CHESAPEAKE HOMES OF NC
 3100 Smoketree Court,
 Suite 210
 Raleigh, NC 27604
 (919) 256-3060
 (919) 556-0690 Fax

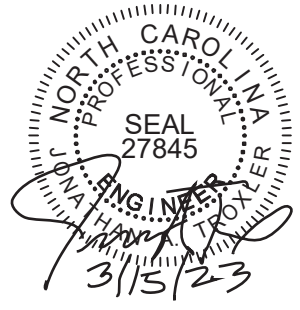
DRAWING TITLE
FIRST FLOOR PLAN OPTIONS

SHEET
3.0

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SOUTHERN ENGINEERS, P.A.
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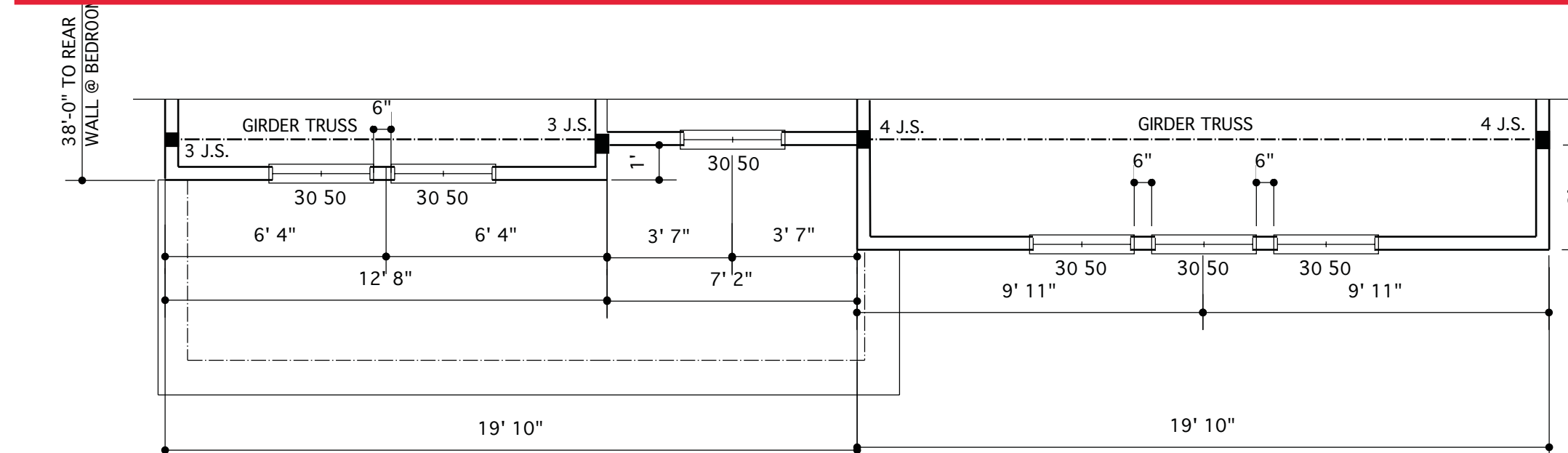
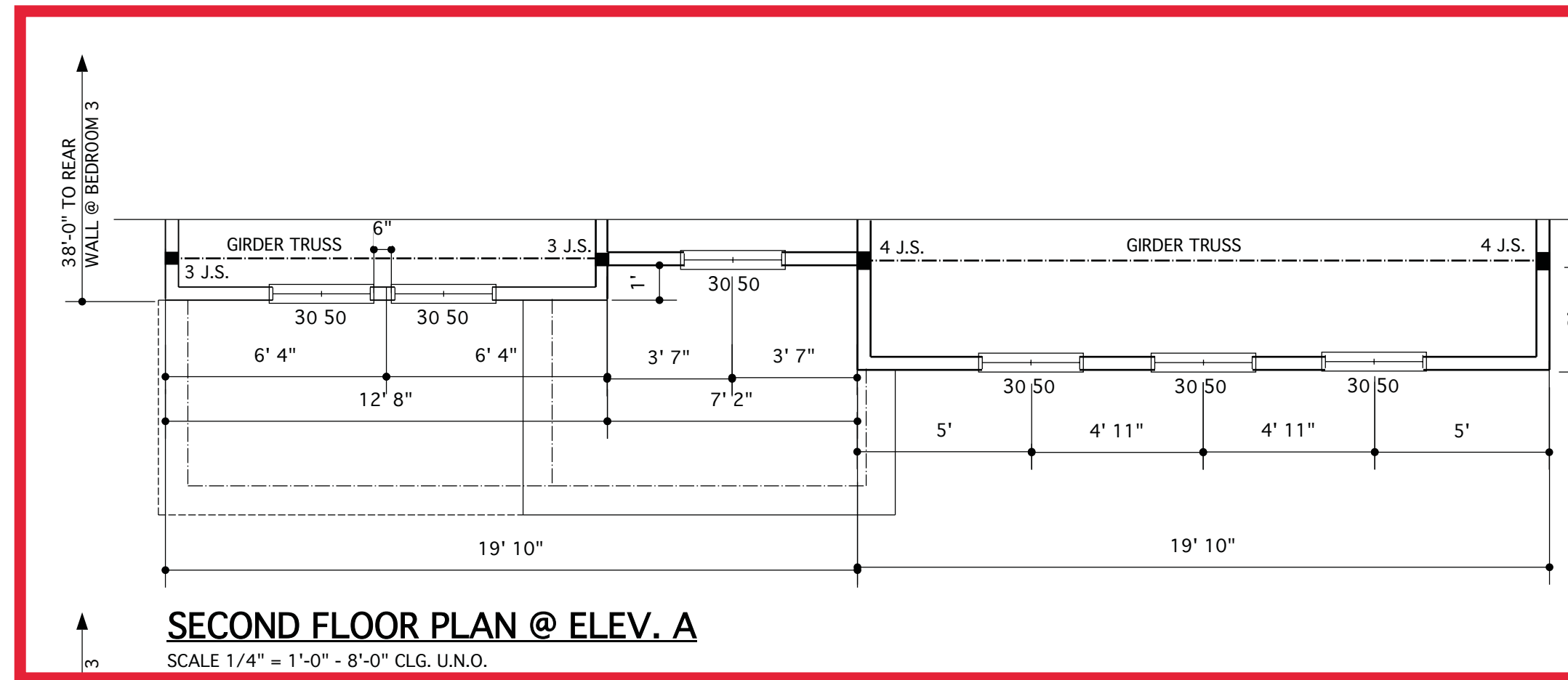
REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.

NOTES:

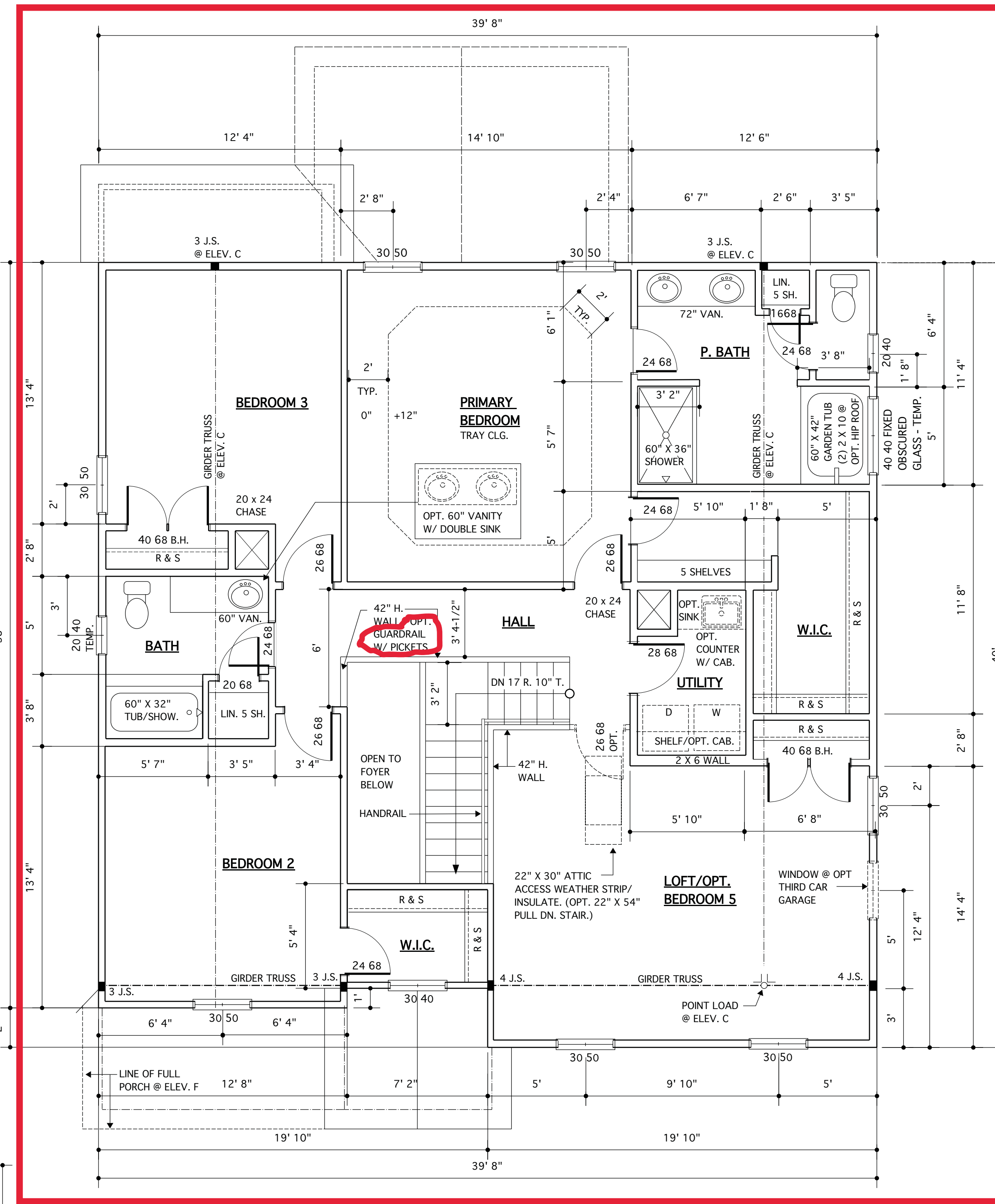
WALLS ARE DIMENSIONED TO FACE OF STUD AND ARE 3-1/2" THICK UNLESS NOTED OTHERWISE. (SEE SHEET SD-1 FOR ADDITIONAL NOTES & DETAILS)
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NOTE: SEE ELEVATIONS FOR OPT. BRICK OR STONE WAINSCOT/VENEER TYPES & LOCATIONS

LEGEND

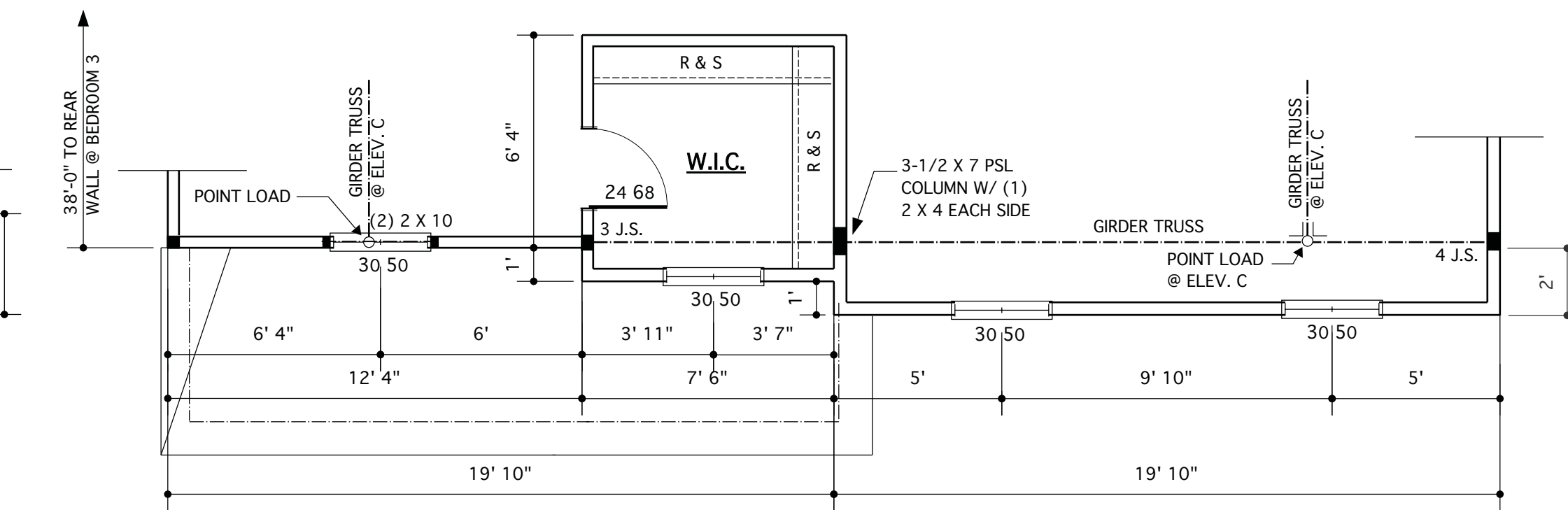
- INTERIOR LOAD BEARING WALL
- DENOTES 2 JACK STUDS UNLESS NOTED OTHERWISE
- SEE STRUCTURAL DRAWINGS FOR NUMBER OF JACK STUDS AND SIZES



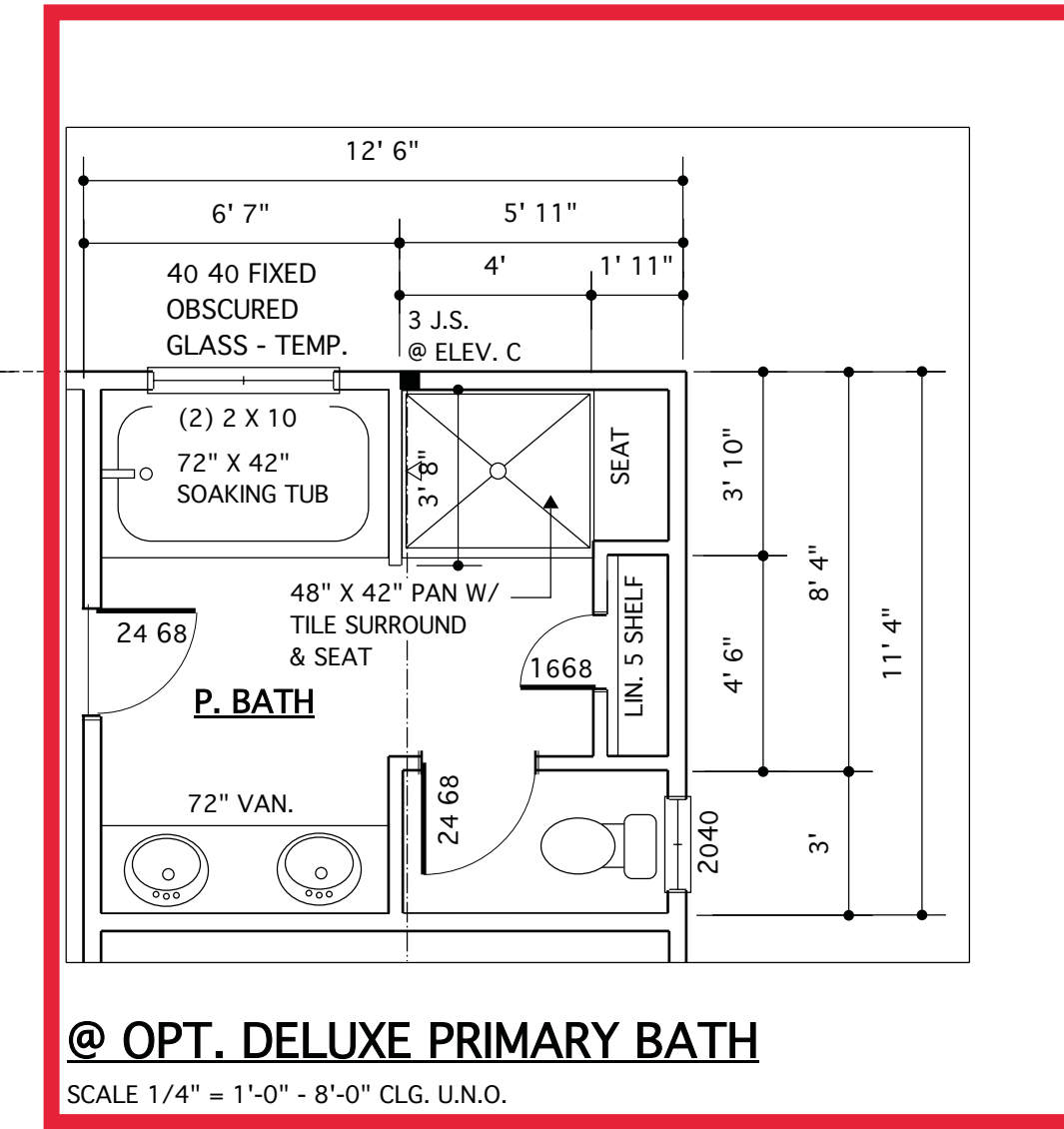
SECOND FLOOR PLAN @ ELEV. D
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.



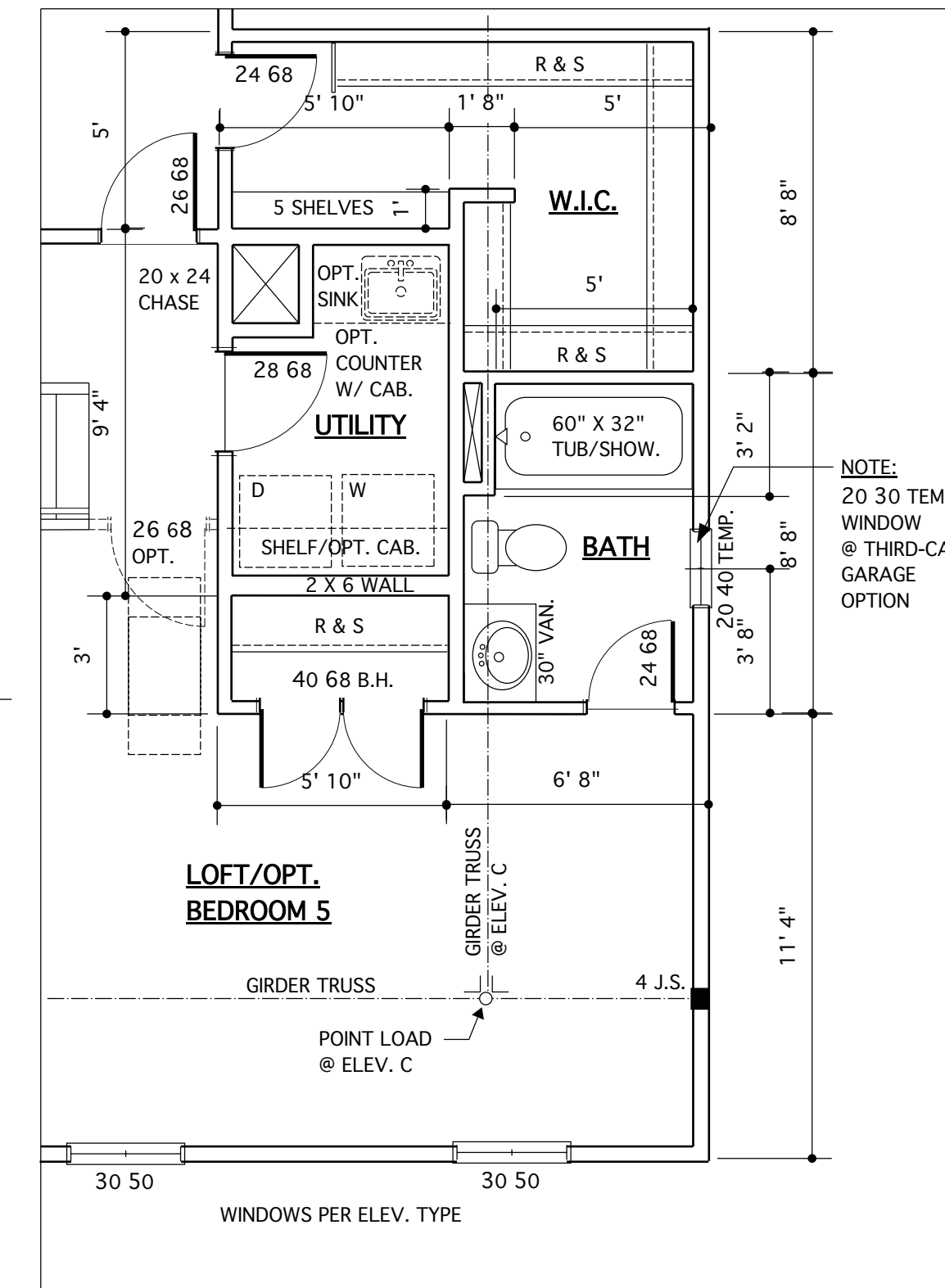
SECOND FLOOR PLAN @ ELEV. B/F
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.
SEE ELEV. SHEET FOR ROOF PLAN



SECOND FLOOR PLAN @ ELEV. C
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.



@ OPT. DELUXE PRIMARY BATH
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.



OPT. BATH & CLOSET
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.

**JAMES WENTLING/
ARCHITECT**

LAND TITLE BUILDING
100 SOUTH BROAD STREET,
SUITE 1524
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| MARK | DATE | DESCRIPTION |
|------|----------|---|
| DN | 01-14-19 | STRUCT. DWGS. REV. |
| CH | 05-28-19 | FULL PORCH OPT. |
| AM | 01-14-21 | RESTAMP SHEET |
| AM | 09-09-21 | M. BATH WINDOW REV. |
| JW | 02-07-23 | NELL'S POINT/FARM |
| DN | 02-15-23 | OPT. EXT. FINISHES |
| DN | 02-23-23 | 1'-0" DINING EXTENSION/STRUCT. DWGS. REV. |

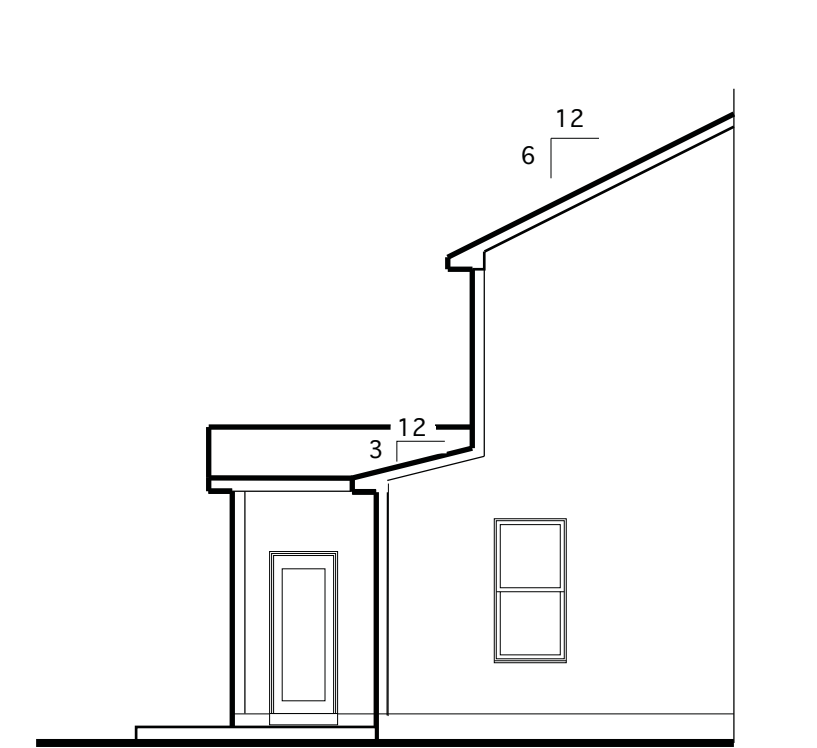
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|-------------|----------------------|
| PROJECT NO. | 113-88 |
| DATE | 01-08-18 |
| SCALE | AS NOTED |
| DRAWN BY | JK |
| CHECKED BY | JW |
| ISSUED FOR | PERMITS-CONSTRUCTION |

PROJECT TITLE
**MODEL 6260 -
GARAGE RIGHT**

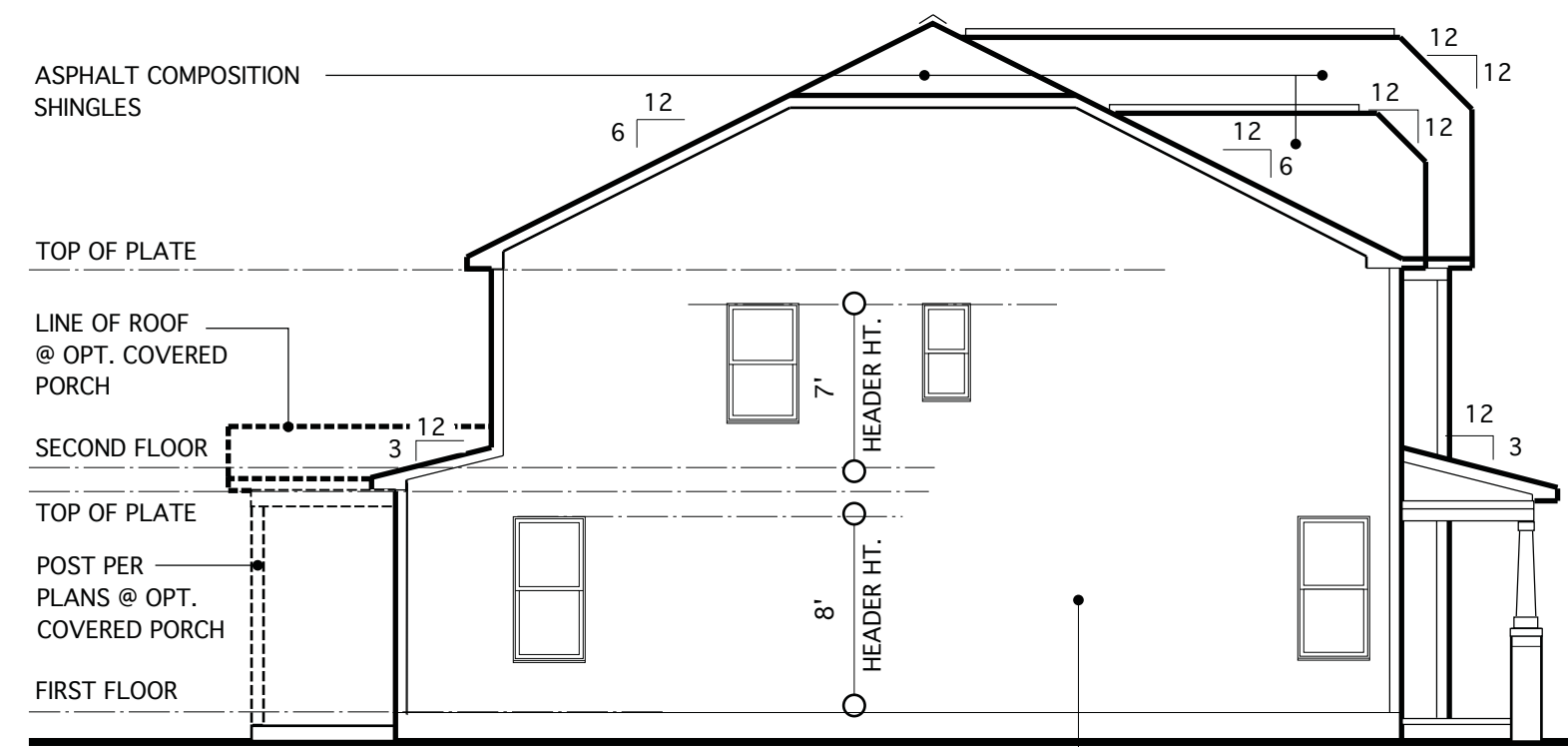
CLIENT
**CHESAPEAKE
HOMES OF NC**
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE
**SECOND FLOOR
PLANS**

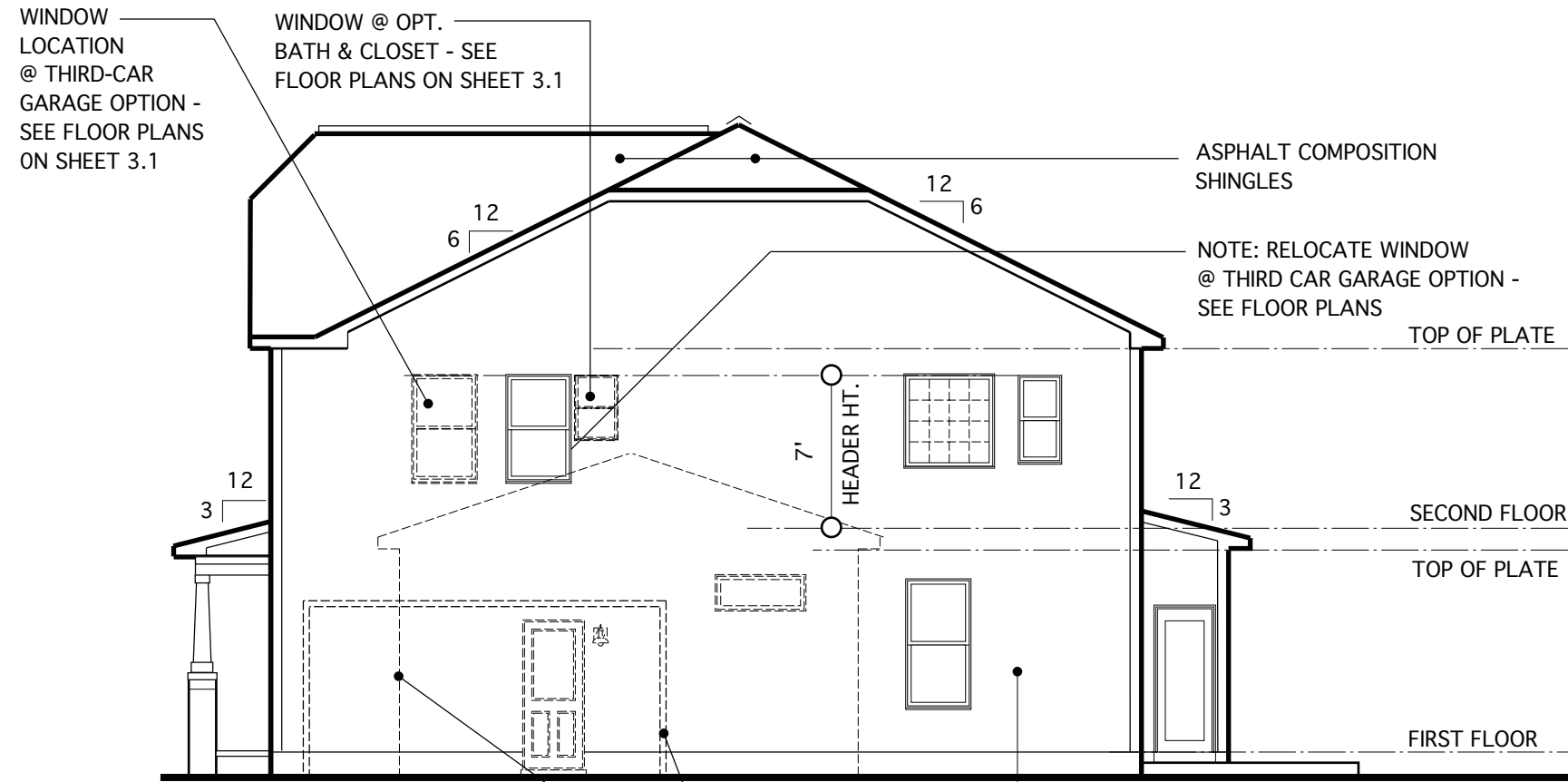
SHEET
3.1



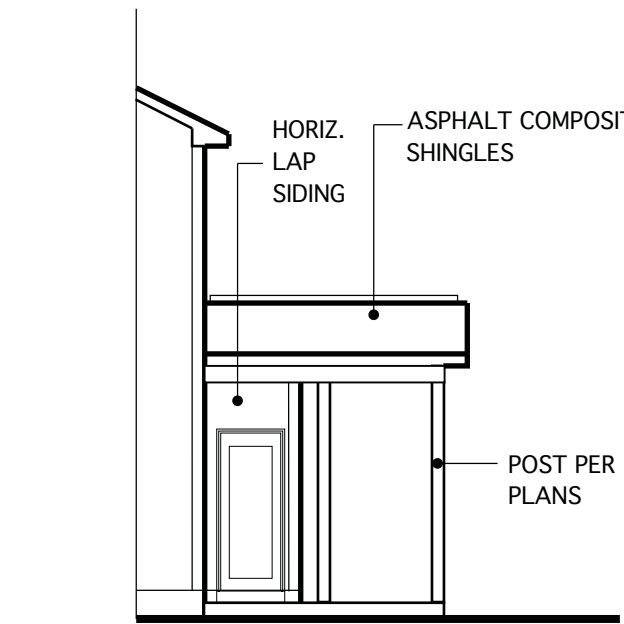
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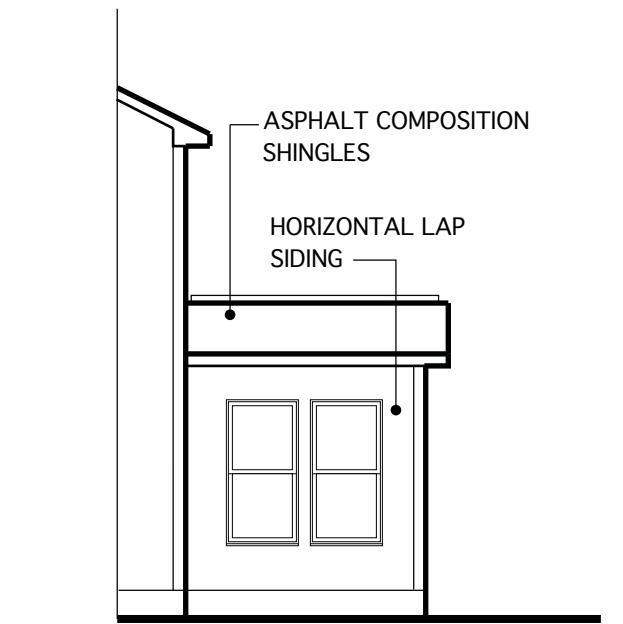
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SCALE: 1/8"=1'-0"



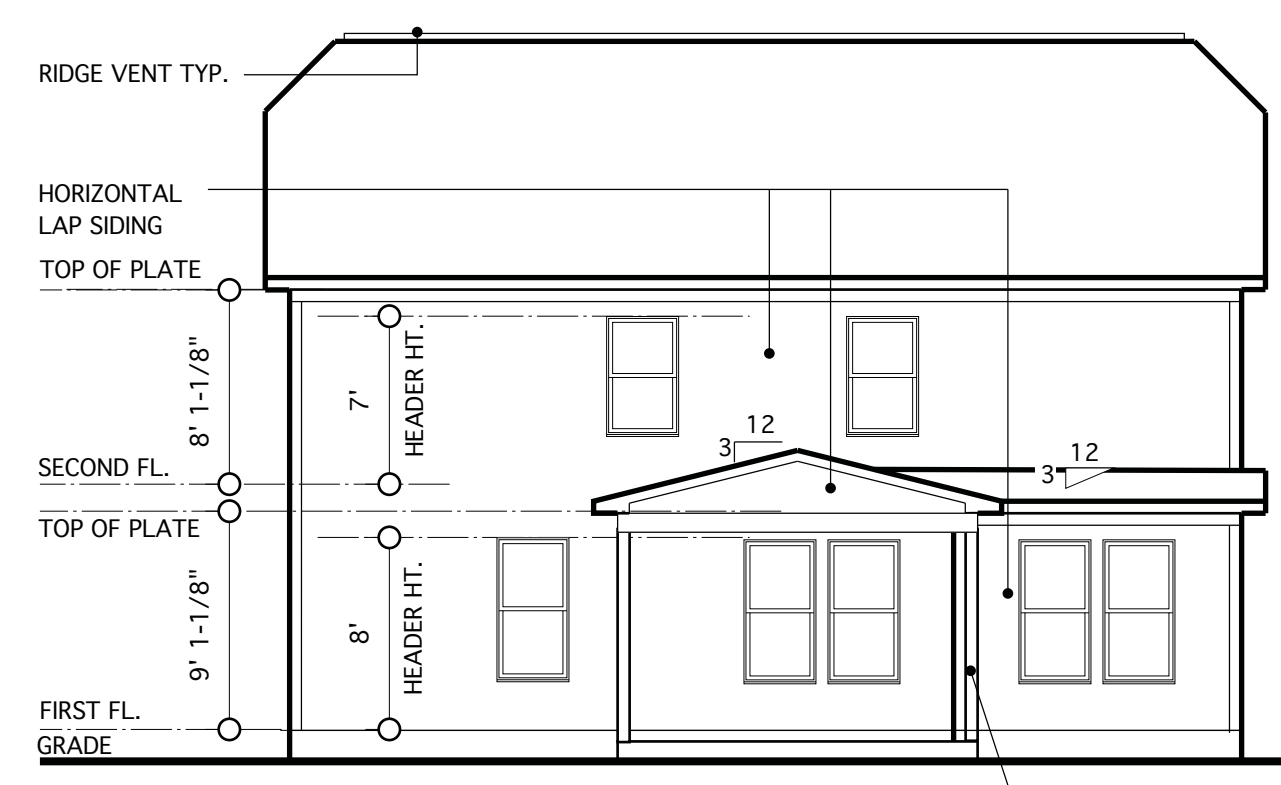
RIGHT ELEVATION
SCALE: 1/8"=1'-0"



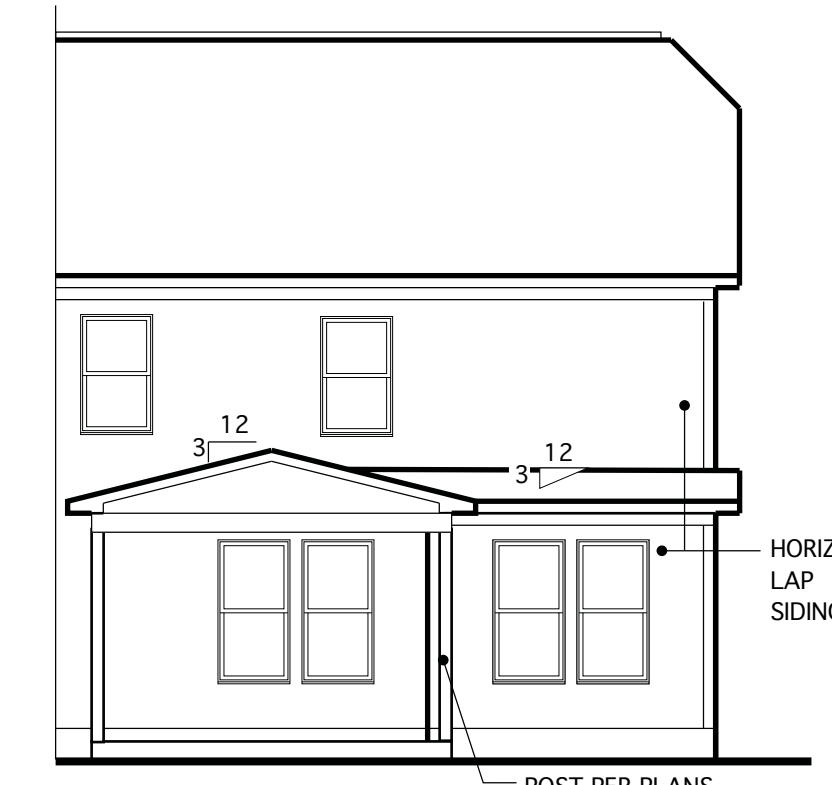
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SCALE: 1/8"=1'-0"



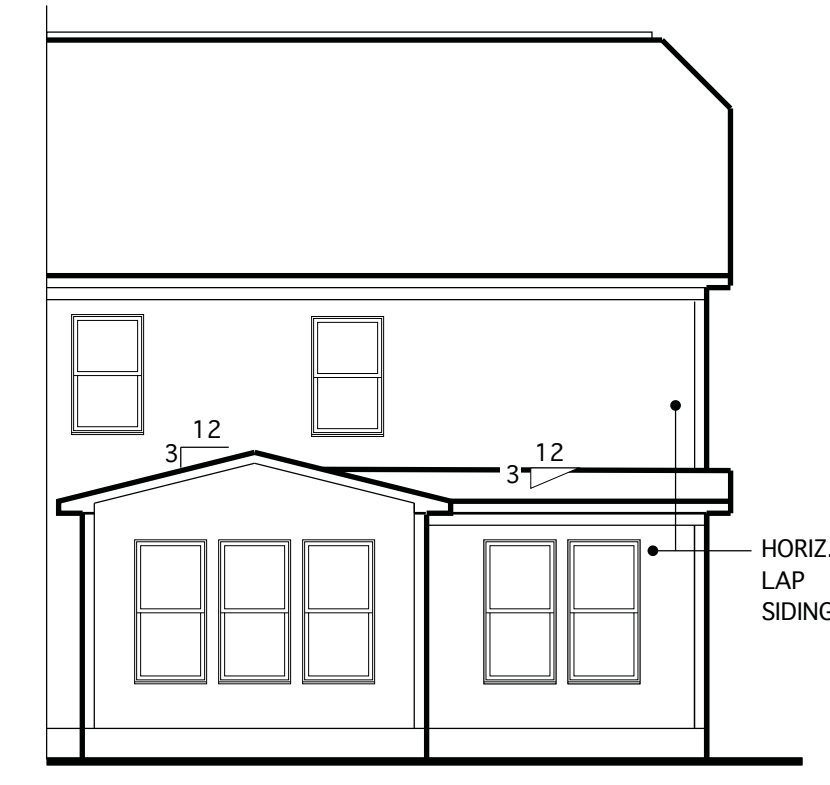
@ OPT. SUNROOM
SCALE: 1/8"=1'-0"



REAR ELEVATION @ OPT. COVERED PORCH
SCALE: 1/8"=1'-0"



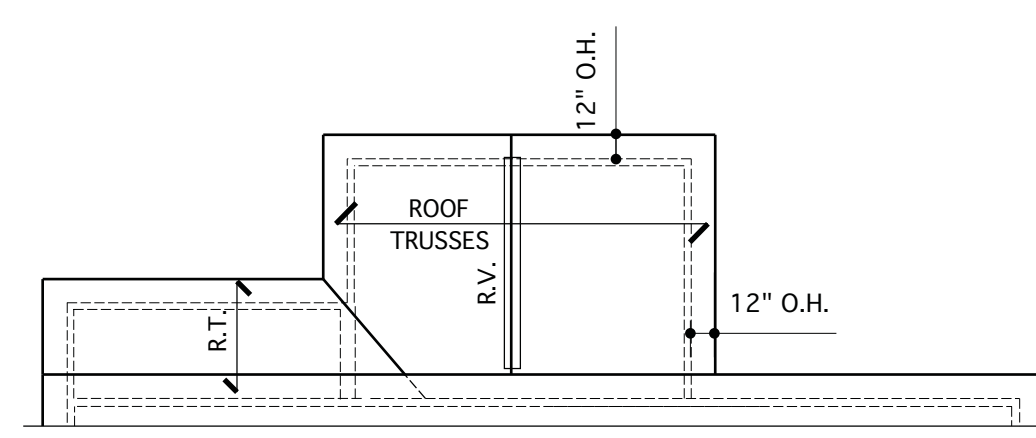
REAR ELEVATION @ OPT. SUNROOM
SCALE: 1/8"=1'-0"



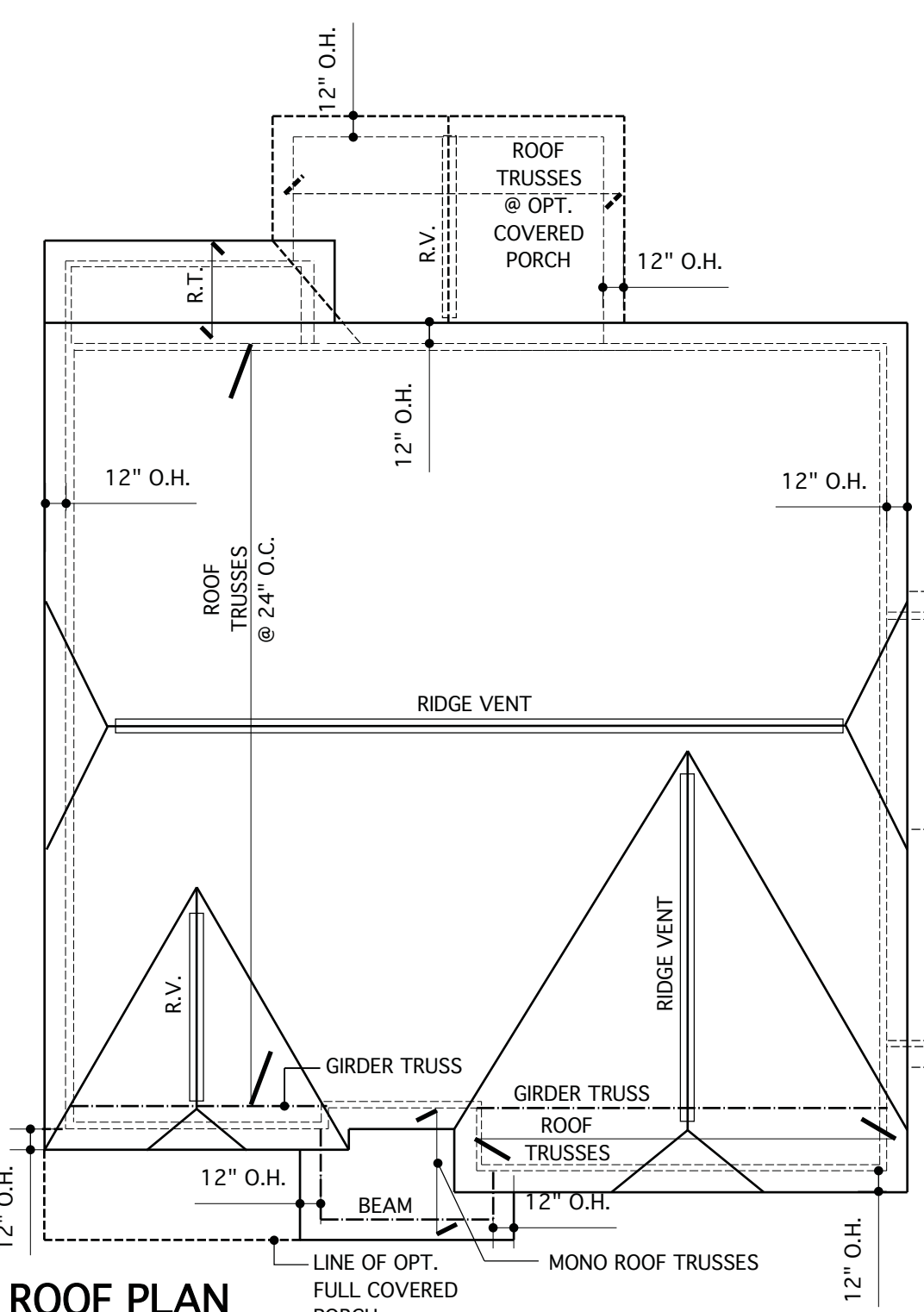
REAR ELEVATION W/ SIDE LOAD GARAGE + FULL PORCH
SCALE: 1/8"=1'-0"



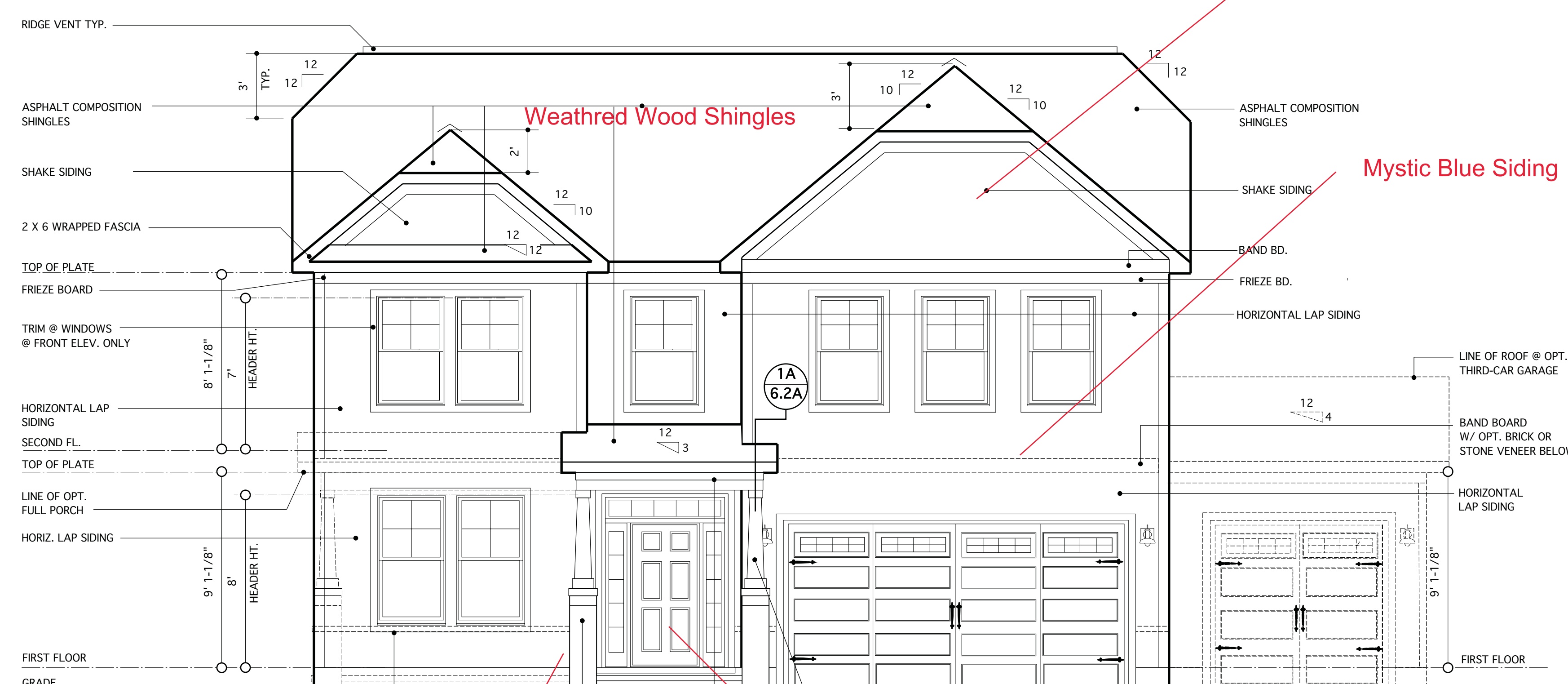
FRONT ELEVATION W/ SIDE LOAD GARAGE + FULL PORCH
SCALE: 1/8"=1'-0"



@ OPT. SUNROOM
SCALE 1/8" = 1'-0"



ROOF PLAN
SCALE 1/8" = 1'-0"



FRONT ELEVATION A
SCALE: 1/4"=1'-0"

REQUIRED VENTILATION SCHEDULE - SUNROOM

| | |
|---|---|
| 142 SQ. FT. OF CEILING AREA / 300 | = 0.48 SQ. FT. REQ. |
| ROOF VENTS 0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 18 SQ. IN. = 2 (18 SQ. IN. PER LIN. FT.) | = 2 LIN. FT. REQ. 12 LIN. FT. PROVIDED |
| SOFFIT VENTS 0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 9 SQ. IN. = 3.8 LIN. FT. (9 SQ. IN. VENT PER LIN. FT.) | = 3.8 LIN. FT. REQ. 24 LIN. FT. PROVIDED |

REQUIRED VENTILATION SCHEDULE - MAIN HOUSE

| | |
|---|--|
| 1,806 SQ. FT. OF CEILING AREA / 300 | = 6 SQ. FT. REQ. |
| ROOF VENTS 6 X 0.5 = 3 SQ. FT. 3 SQ. FT. X 144 = 432 SQ. IN. 432 SQ. IN. / 18 SQ. IN. = 24 (18 SQ. IN. PER LIN. FT.) | = 24 LIN. FT. REQ. 70 LIN. FT. PROVIDED |
| SOFFIT VENTS 6 X 0.5 = 3 SQ. FT. 3 SQ. FT. X 144 = 432 SQ. IN. 432 SQ. IN. / 9 SQ. IN. = 48 LIN. FT. (9 SQ. IN. VENT PER LIN. FT.) | = 48 LIN. FT. REQ. 78 LIN. FT. PROVIDED |

CODE REFERENCE: 2018 NCSBC, RESIDENTIAL CODE, R806.2

NOTE:
BUILDING ELEMENTS ARE TO BE APPLIED TO MEET LOCAL WINDLOAD REQUIREMENTS

JAMES WENTLING/ ARCHITECT
LAND TITLE BUILDING
100 SOUTH BROAD STREET,
SUITE 1524
PHILADELPHIA, PA 19110

(215) 568-2555
email: information@wentlinghouseplans.com

ARCHITECTURE
LAND PLANNING
GRAPHICS

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JAMES WALTER WENTLING
REGISTERED ARCHITECT
4542
NORTH CAROLINA
RALEIGH, N. C.
2/23/23

| MARK | DATE | DESCRIPTION |
|------|----------|--|
| AL | 12-10-19 | WINDOW UPDATE |
| CH | 12-10-19 | 3RD CAR GARAGE EXT. |
| AM | 01-14-21 | RE stamps SHEET |
| AM | 09-09-21 | M. BATH WINDOW |
| JW | 02-07-23 | NEILL'S POINT/FARM |
| DN | 02-15-23 | OPT. EXT. FINISHES |
| DN | 02-23-23 | 1'-0" DINING EXTENSION/ STRUCT. DWGS. REV. |

PROJECT NO. 113-88
DATE 01-08-18
SCALE AS NOTED
DRAWN BY DN
CHECKED BY JW
ISSUED FOR PERMITS/CONSTRUCTION

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT

CLIENT
CHESAPEAKE HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE
ELEVATION A AND ROOF PLAN

SHEET
4

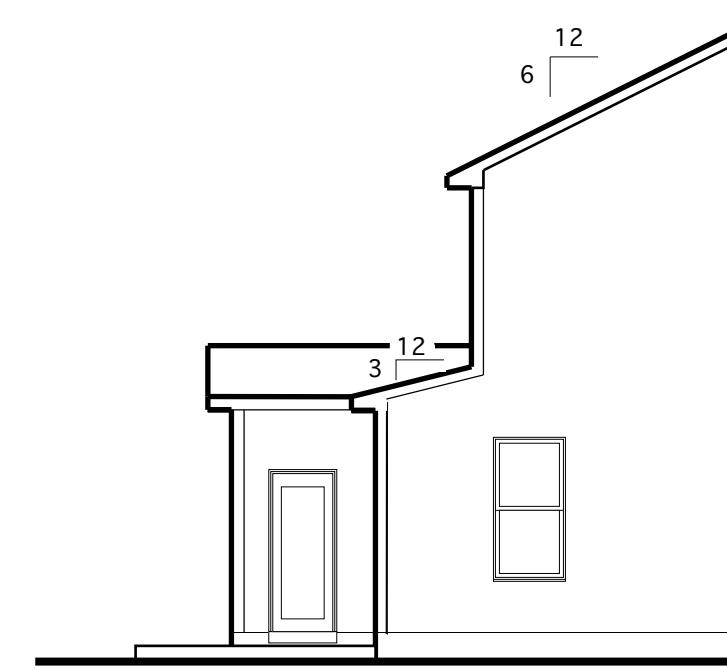
Southampton Brick

Fireweed Door

Sterling Gray Shake

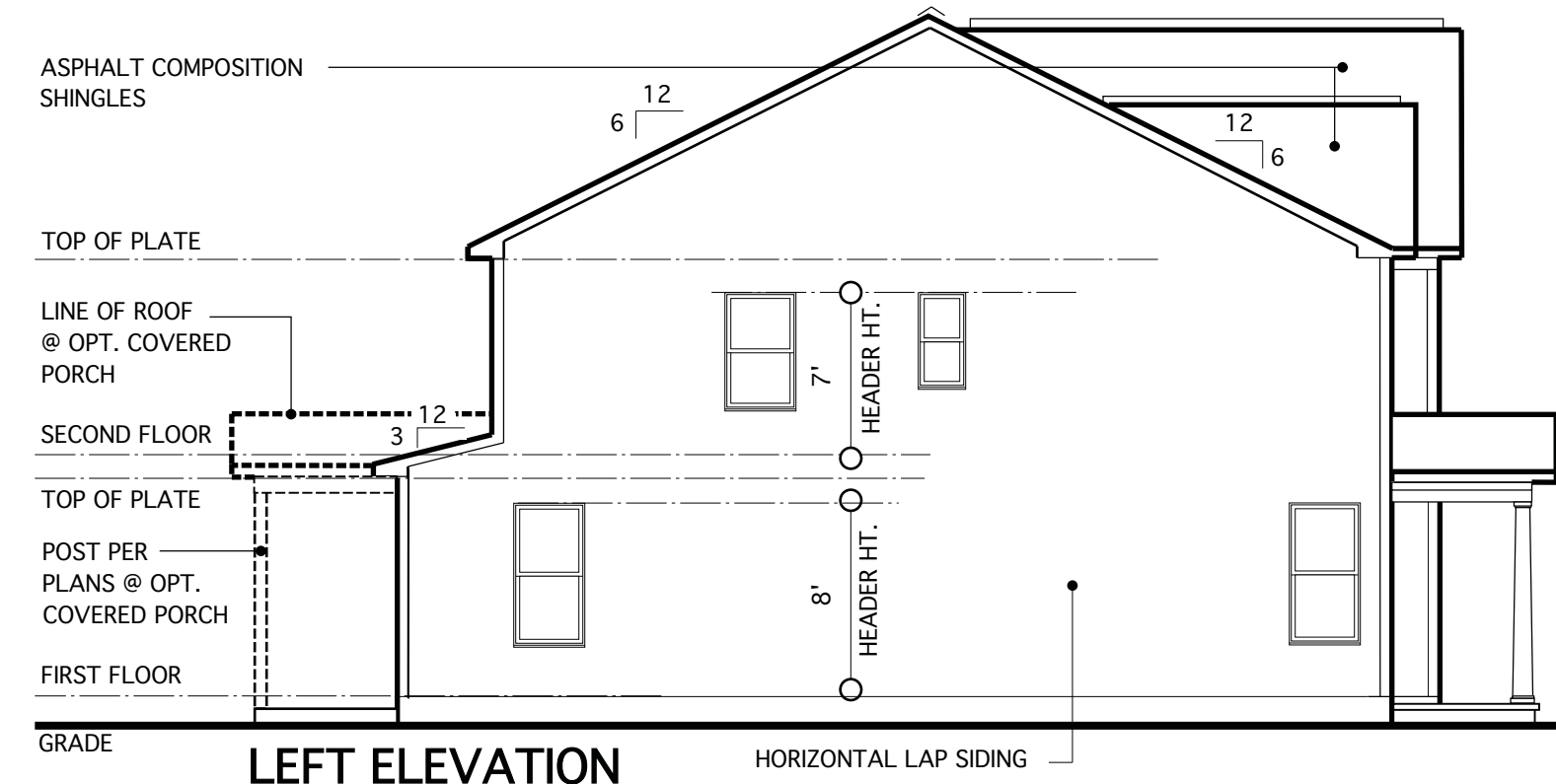
Mystic Blue Siding

Weathered Wood Shingles



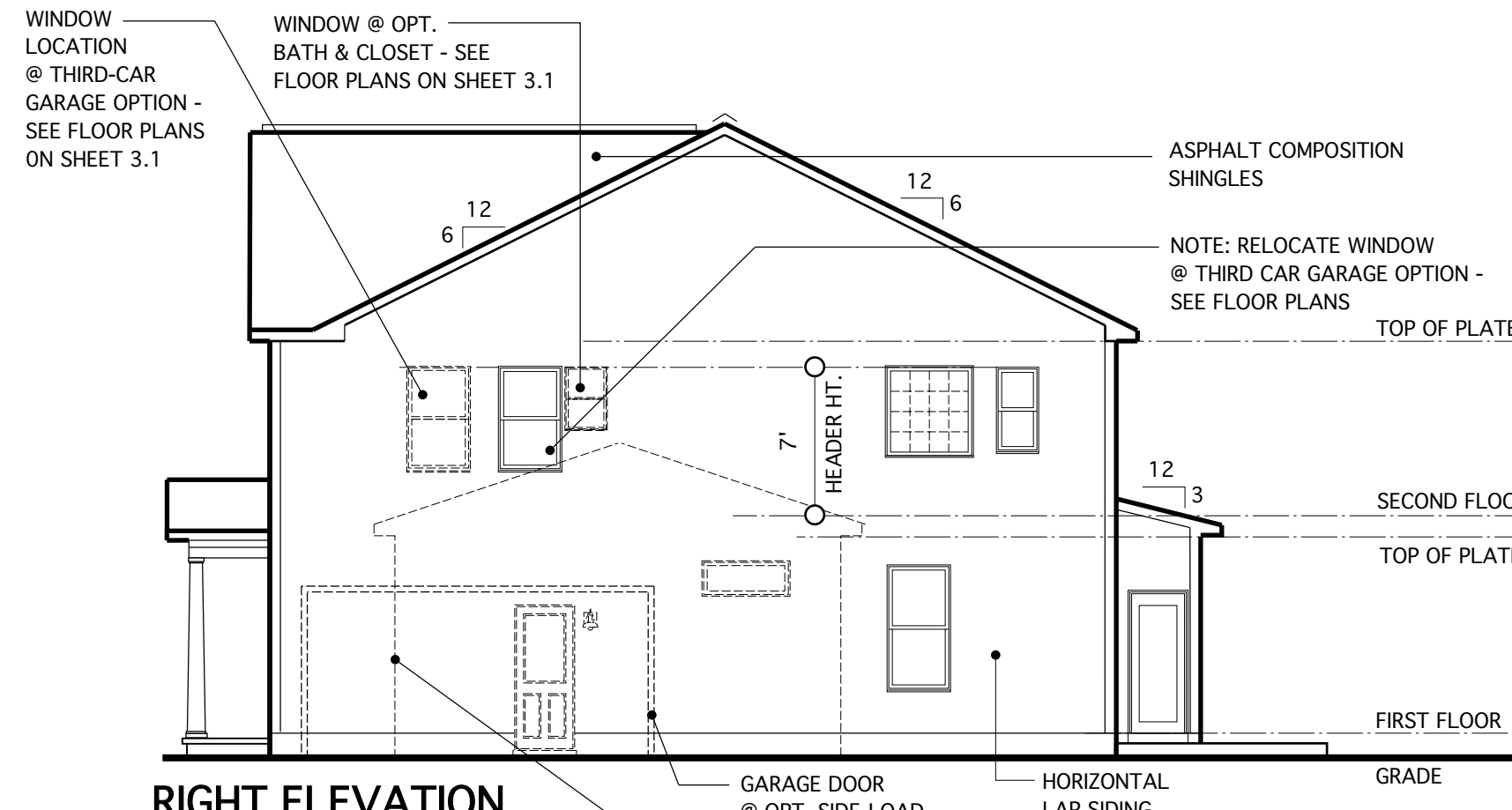
LEFT ELEVATION @ OPT. SUNROOM

SCALE: 1/8"=1'-0"



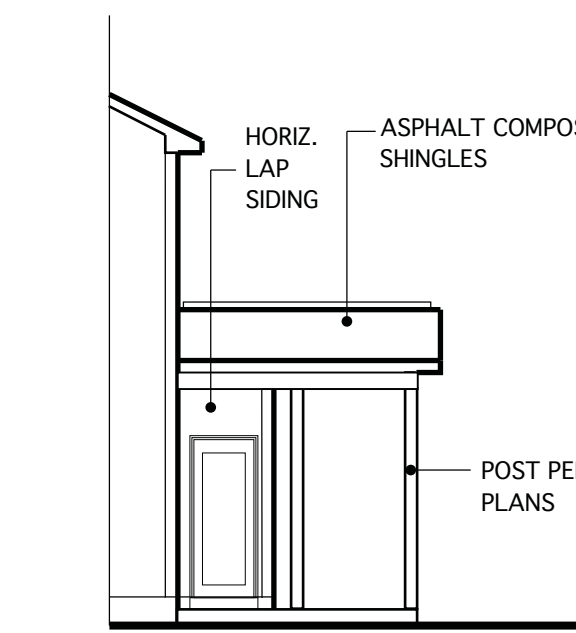
LEFT ELEVATION

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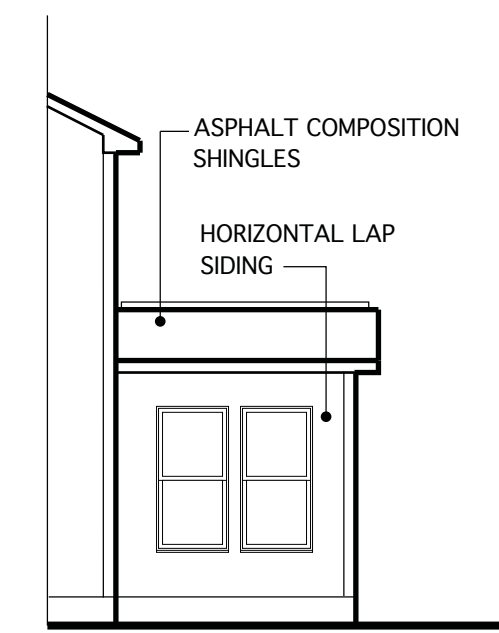
RIGHT ELEVATION

SCALE: 1/8"=1'-0"



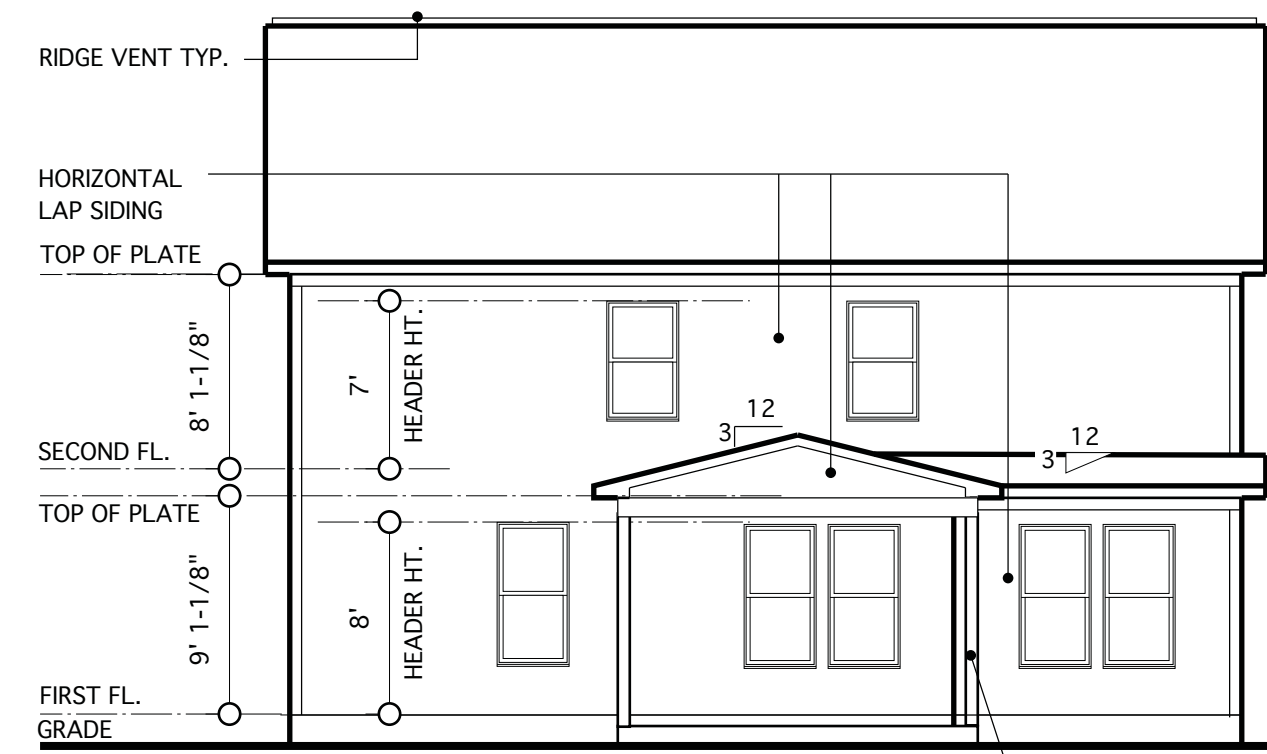
@ OPT. COVERED PORCH

SCALE: 1/8"=1'-0"



@ OPT. SUNROOM

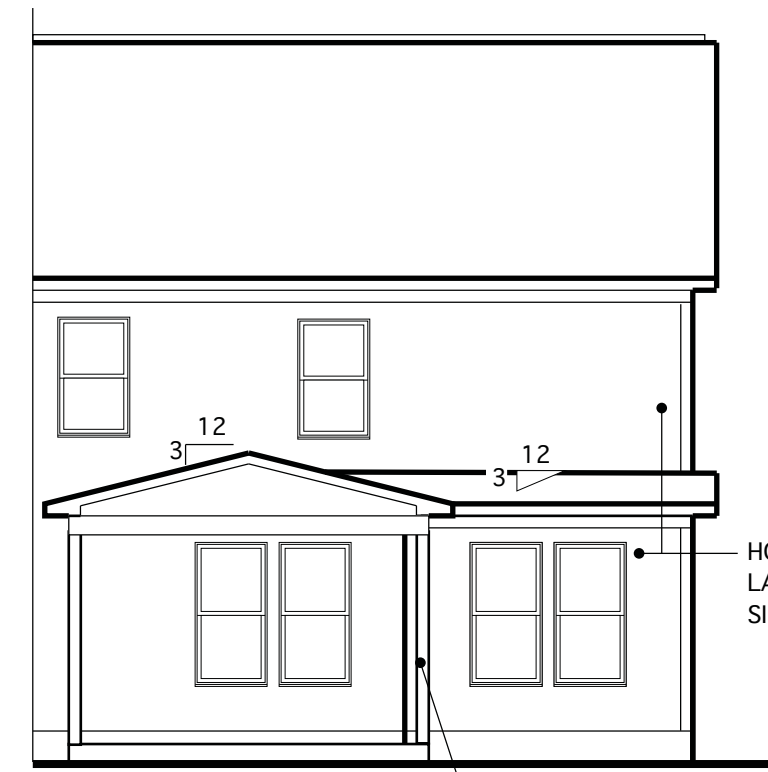
SCALE: 1/8"=1'-0"



REAR ELEVATION

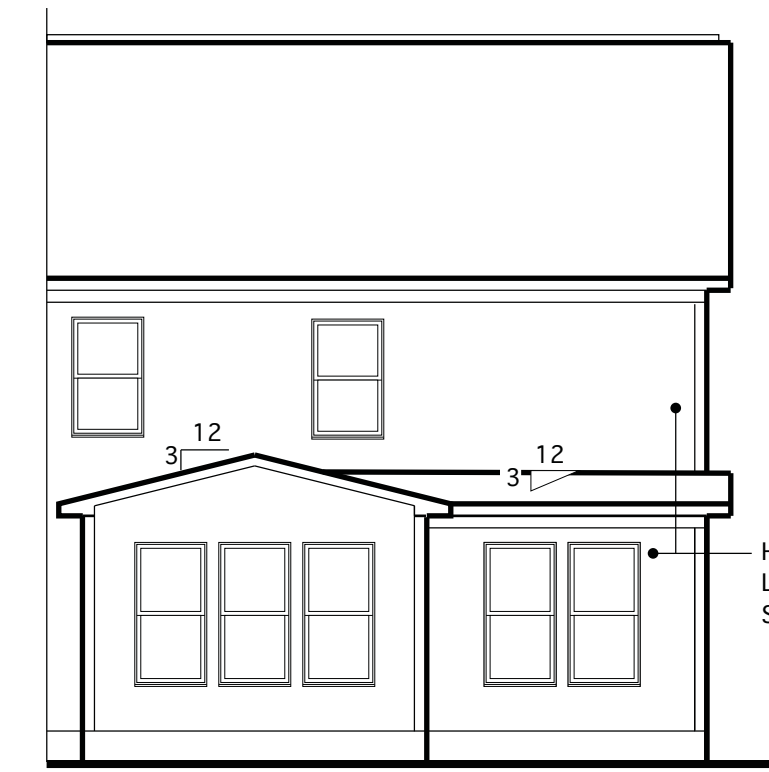
SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"



REAR ELEVATION @ OPT. COVERED PORCH

SCALE: 1/8"=1'-0"



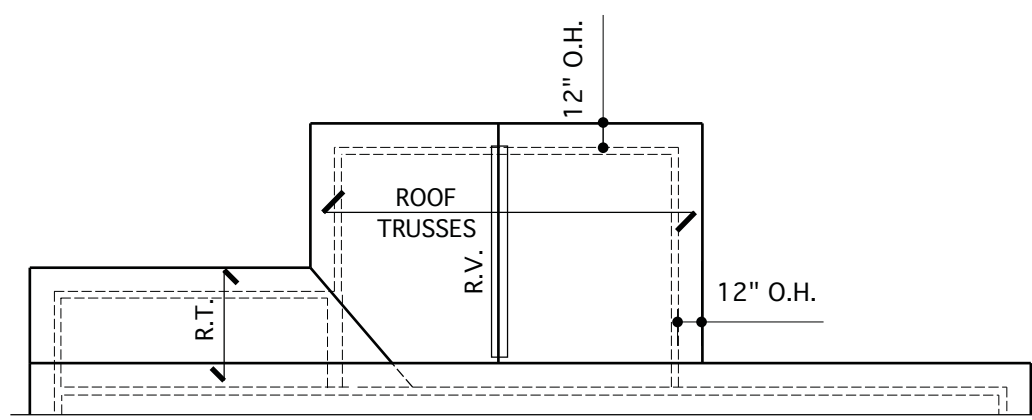
REAR ELEVATION @ OPT. SUNROOM

SCALE: 1/8"=1'-0"



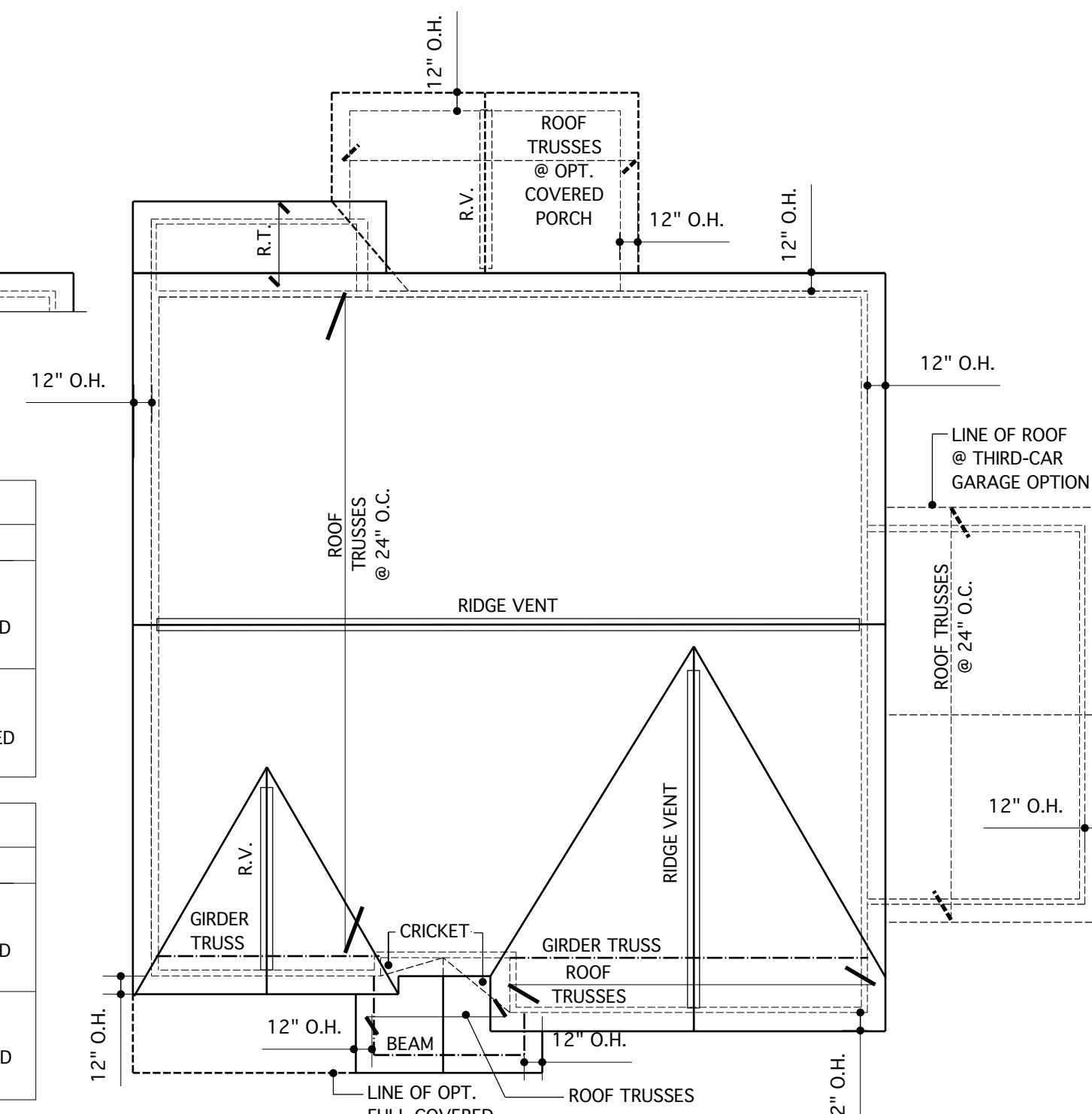
FRONT ELEVATION W/ SIDE LOAD GARAGE + FULL PORCH

SCALE: 1/8"=1'-0"



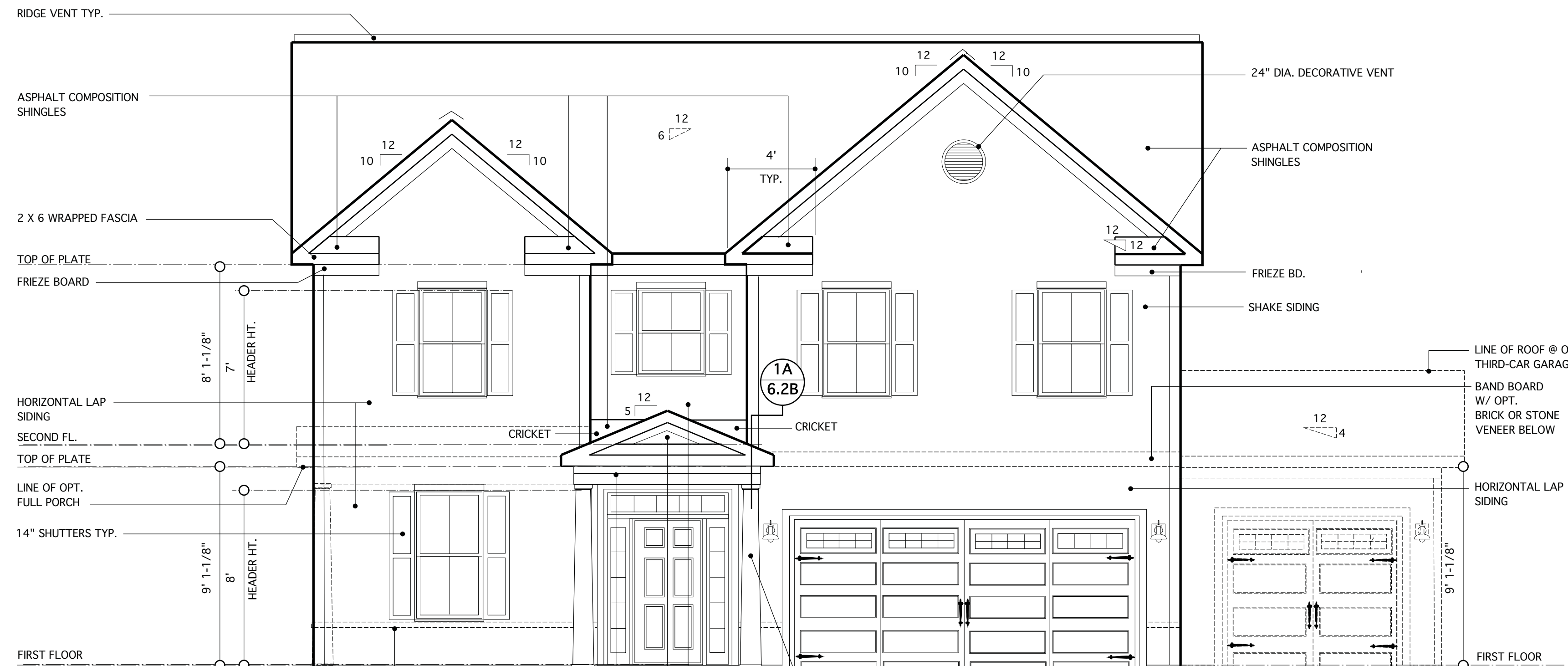
@ OPT. SUNROOM

SCALE 1/8" = 1'-0"



ROOF PLAN

SCALE 1/8" = 1'-0"



FRONT ELEVATION B

SCALE: 1/4"=1'-0"

REQUIRED VENTILATION SCHEDULE - SUNROOM

| | | |
|---------------------|--|---|
| | 142 SQ. FT. OF CEILING AREA / 300 | = 0.48 SQ. FT. REQ. |
| ROOF VENTS | 0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 18 SQ. IN. = 2 (18 SQ. IN. PER LIN. FT.) | = 2 LIN. FT. REQ. 12 LIN. FT. PROVIDED |
| SOFFIT VENTS | 0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 9 SQ. IN. = 3.8 LIN. FT. (9 SQ. IN. VENT PER LIN. FT.) | = 3.8 LIN. FT. REQ. 24 LIN. FT. PROVIDED |

REQUIRED VENTILATION SCHEDULE - MAIN HOUSE

| | | |
|---------------------|--|--|
| | 1,806 SQ. FT. OF CEILING AREA / 300 | = 6 SQ. FT. REQ. |
| ROOF VENTS | 6 X 0.5 = 3 SQ. FT. 3 SQ. FT. X 144 = 432 SQ. IN. 432 SQ. IN. / 18 SQ. IN. = 24 (18 SQ. IN. PER LIN. FT.) | = 24 LIN. FT. REQ. 70 LIN. FT. PROVIDED |
| SOFFIT VENTS | 6 X 0.5 = 3 SQ. FT. 3 SQ. FT. X 144 = 432 SQ. IN. 432 SQ. IN. / 9 SQ. IN. = 48 LIN. FT. (9 SQ. IN. VENT PER LIN. FT.) | = 48 LIN. FT. REQ. 78 LIN. FT. PROVIDED |

CODE REFERENCE: 2018 NCSBC, RESIDENTIAL CODE, R806.2

NOTE:
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JAMES WENTLING/ ARCHITECT
 LAND TITLE BUILDING
 100 SOUTH BROAD STREET,
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JAMES WALTER WENTLING
 REGISTERED ARCHITECT
 4642
 M.W. Wen
 NORTH CAROLINA
 RALEIGH, N. C.
 2/23/23

| MARK | DATE | DESCRIPTION |
|------|----------|---|
| AL | 12-10-19 | WINDOW UPDATE |
| CH | 12-10-19 | 3RD CAR GARAGE EXT. |
| AM | 01-14-21 | RE-STAMP SHEET |
| AM | 09-09-21 | M. BATH WINDOW |
| JW | 02-07-23 | NEILL'S POINT/FARM |
| DN | 02-15-23 | OPT. EXT. FINISHES |
| DN | 02-23-23 | 1'-0" DINING EXTENSION/STRUCT. DWGS. REV. |

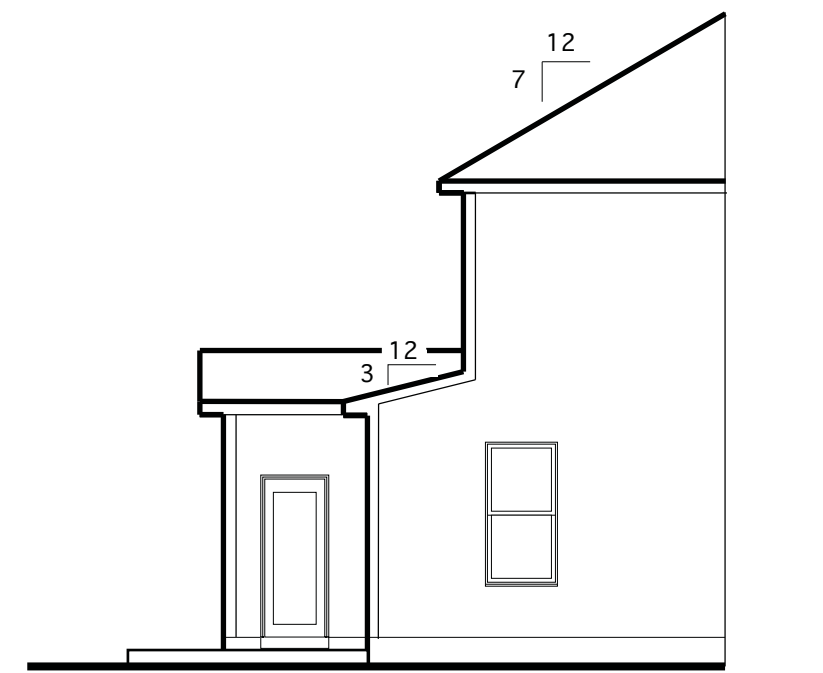
PROJECT NO. 113-88
 DATE 01-08-18
 SCALE AS NOTED
 DRAWN BY DN
 CHECKED BY JW
 ISSUED FOR PERMITS/CONSTRUCTION

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT

CLIENT
CHESAPEAKE HOMES OF NC
 3100 Smoketree Court,
 Suite 210
 Raleigh, NC 27604
 (919) 256-3060
 (919) 556-0690 Fax

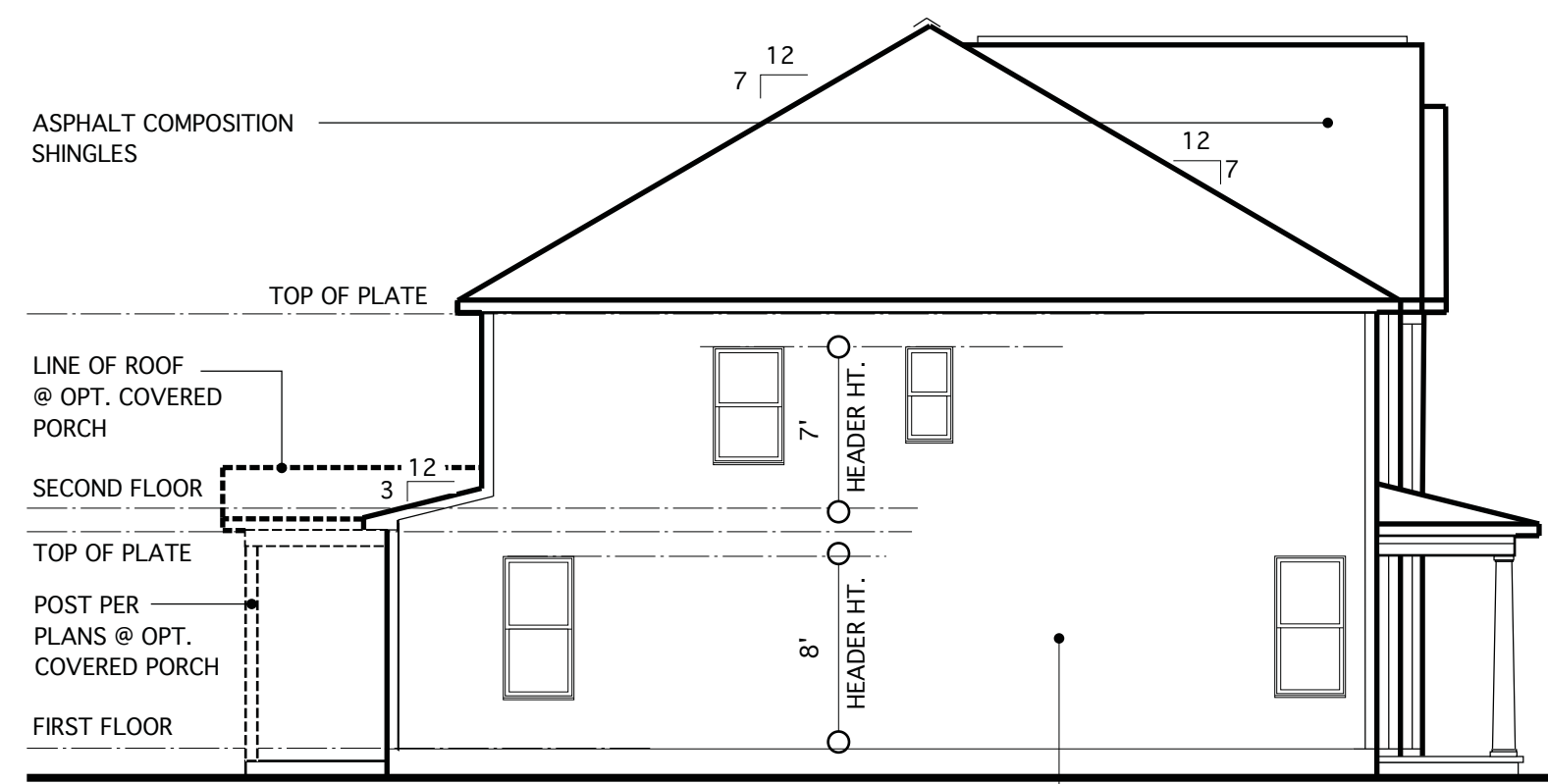
DRAWING TITLE
ELEVATION B AND ROOF PLAN

SHEET
4.1



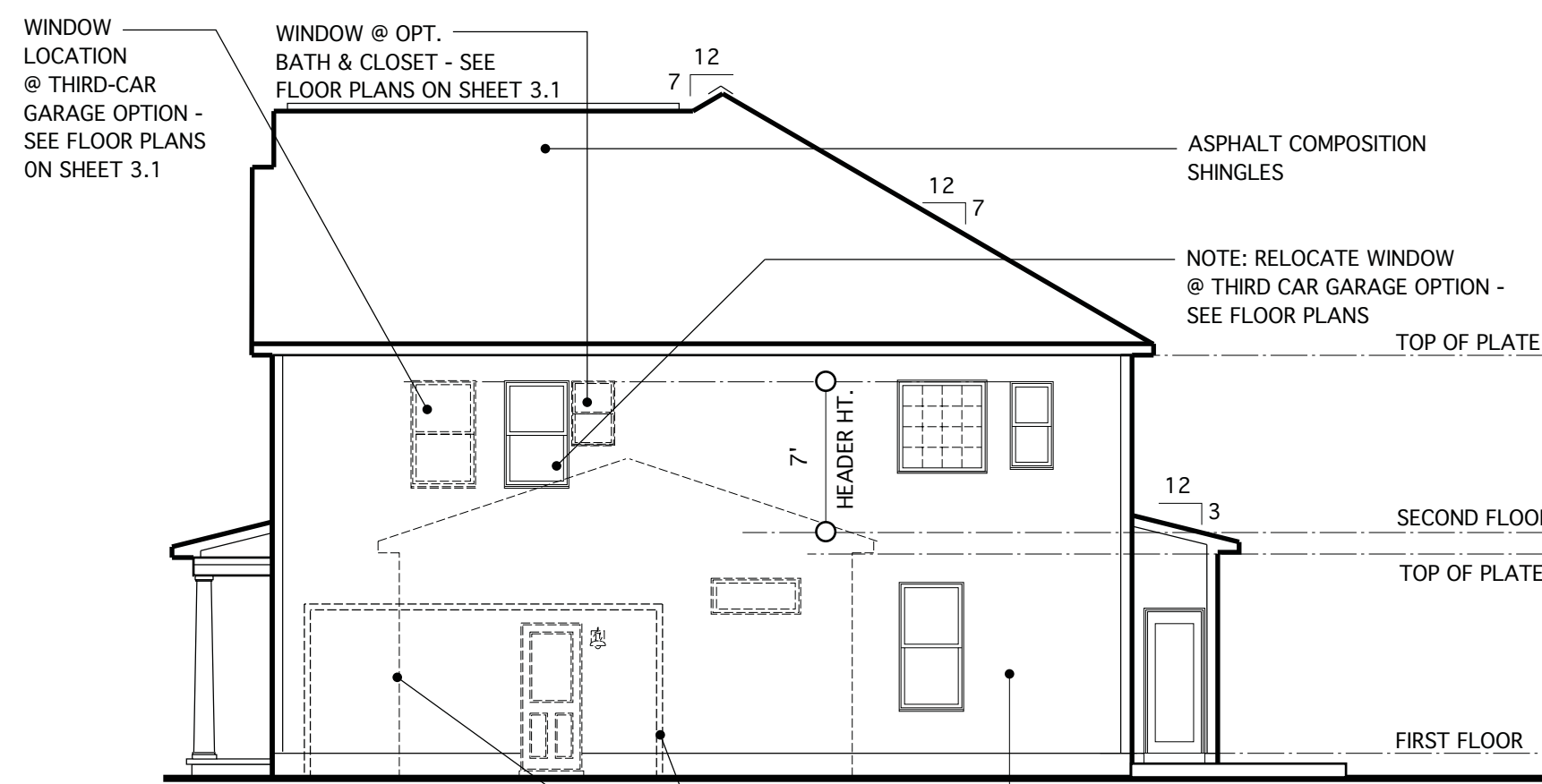
LEFT ELEVATION @ OPT. SUNROOM

SCALE: 1/8"=1'-0"



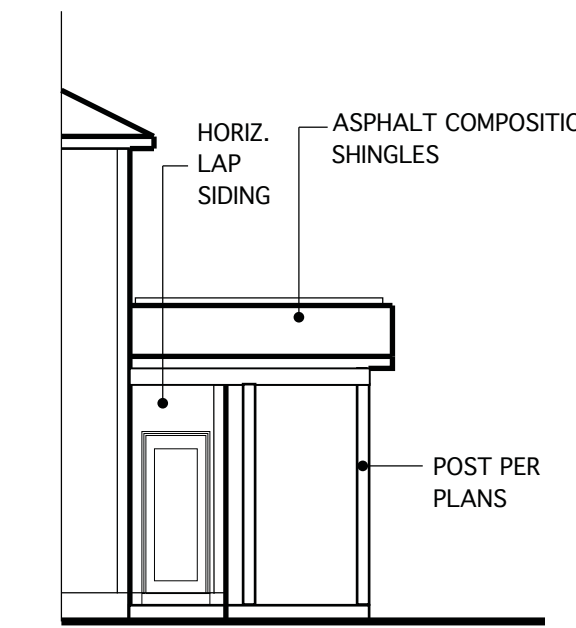
LEFT ELEVATION

SCALE: 1/8"=1'-0"



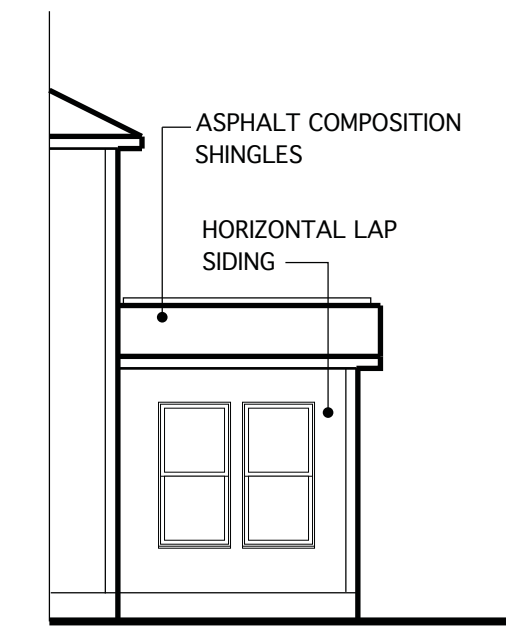
RIGHT ELEVATION

SCALE: 1/8"=1'-0"



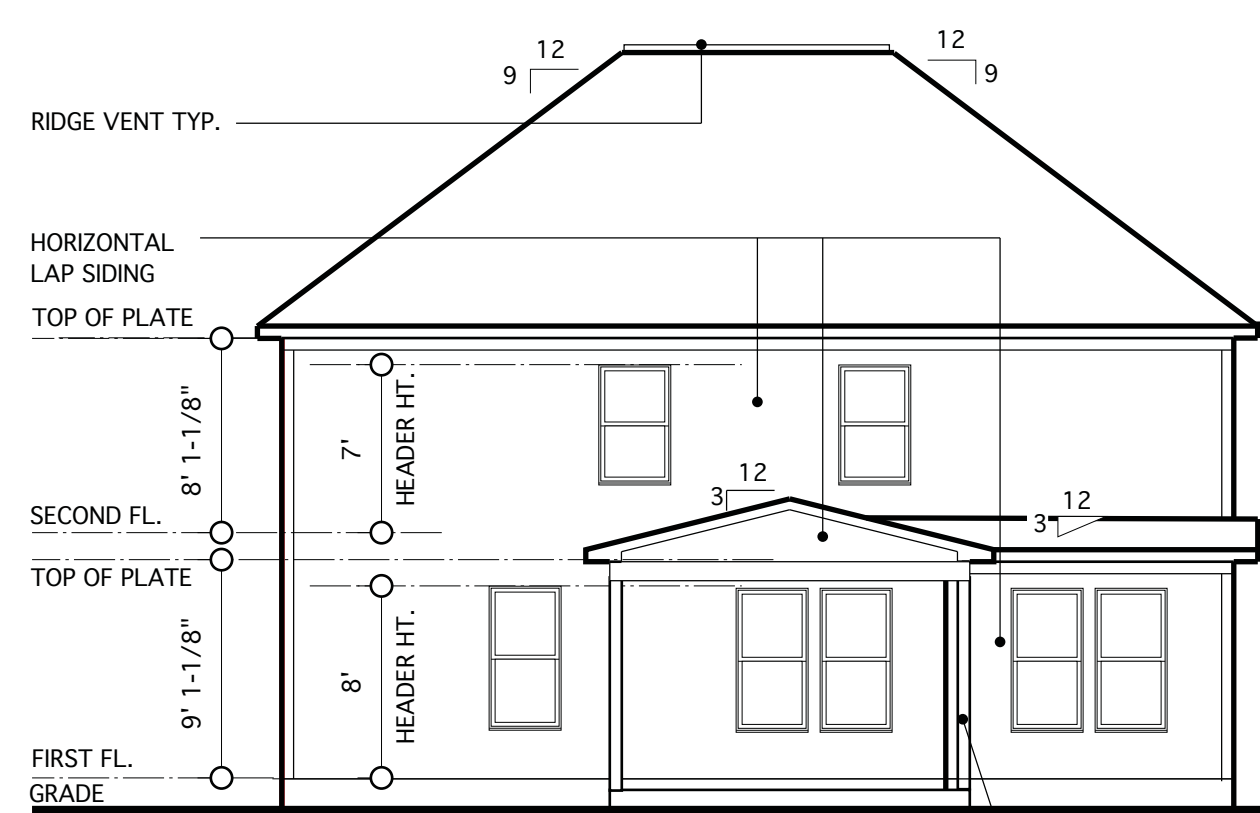
@ OPT. COVERED PORCH

SCALE: 1/8"=1'-0"



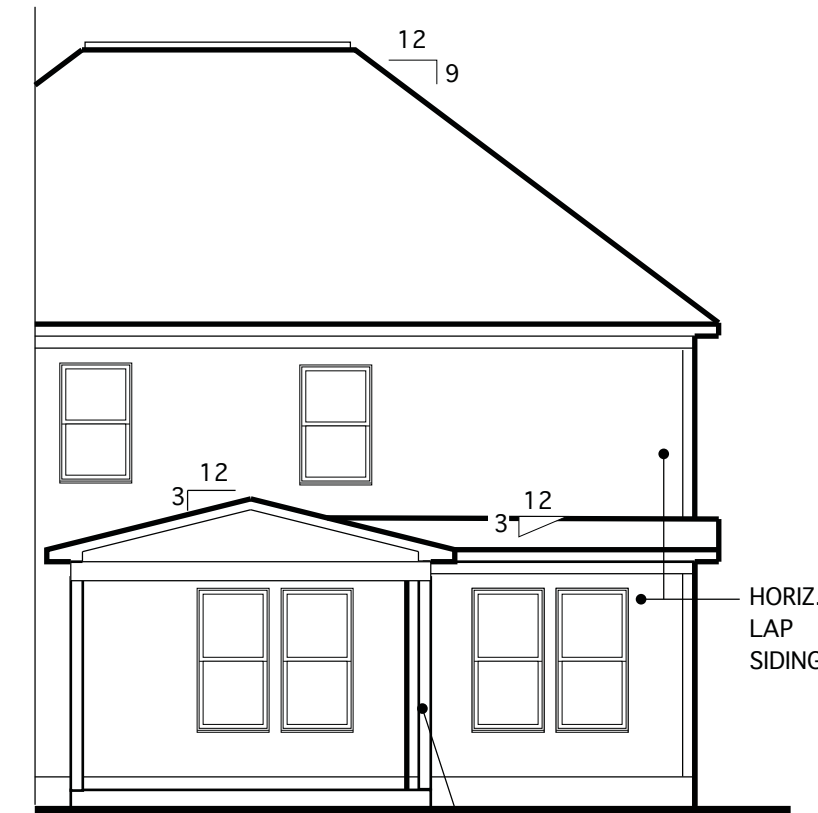
@ OPT. SUNROOM

SCALE: 1/8"=1'-0"



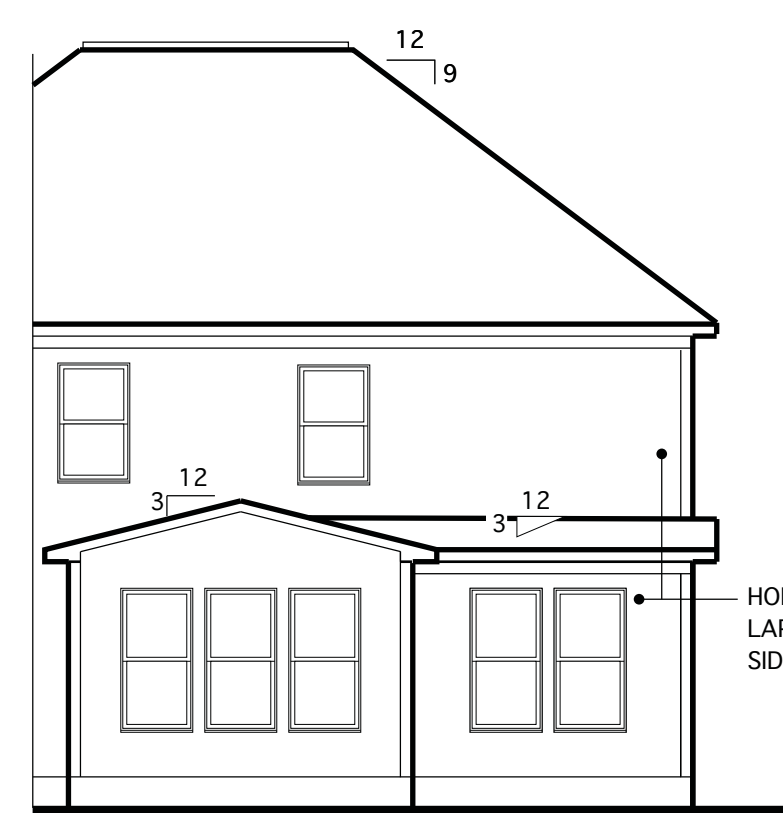
REAR ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION @ OPT. COVERED PORCH

SCALE: 1/8"=1'-0"



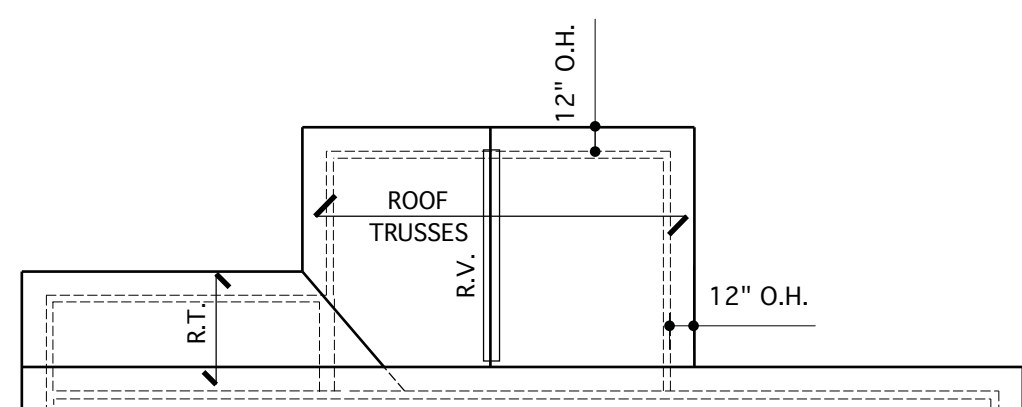
REAR ELEVATION @ OPT. SUNROOM

SCALE: 1/8"=1'-0"



FRONT ELEVATION W/ SIDE LOAD GARAGE

SCALE: 1/8"=1'-0"



@ OPT. SUNROOM

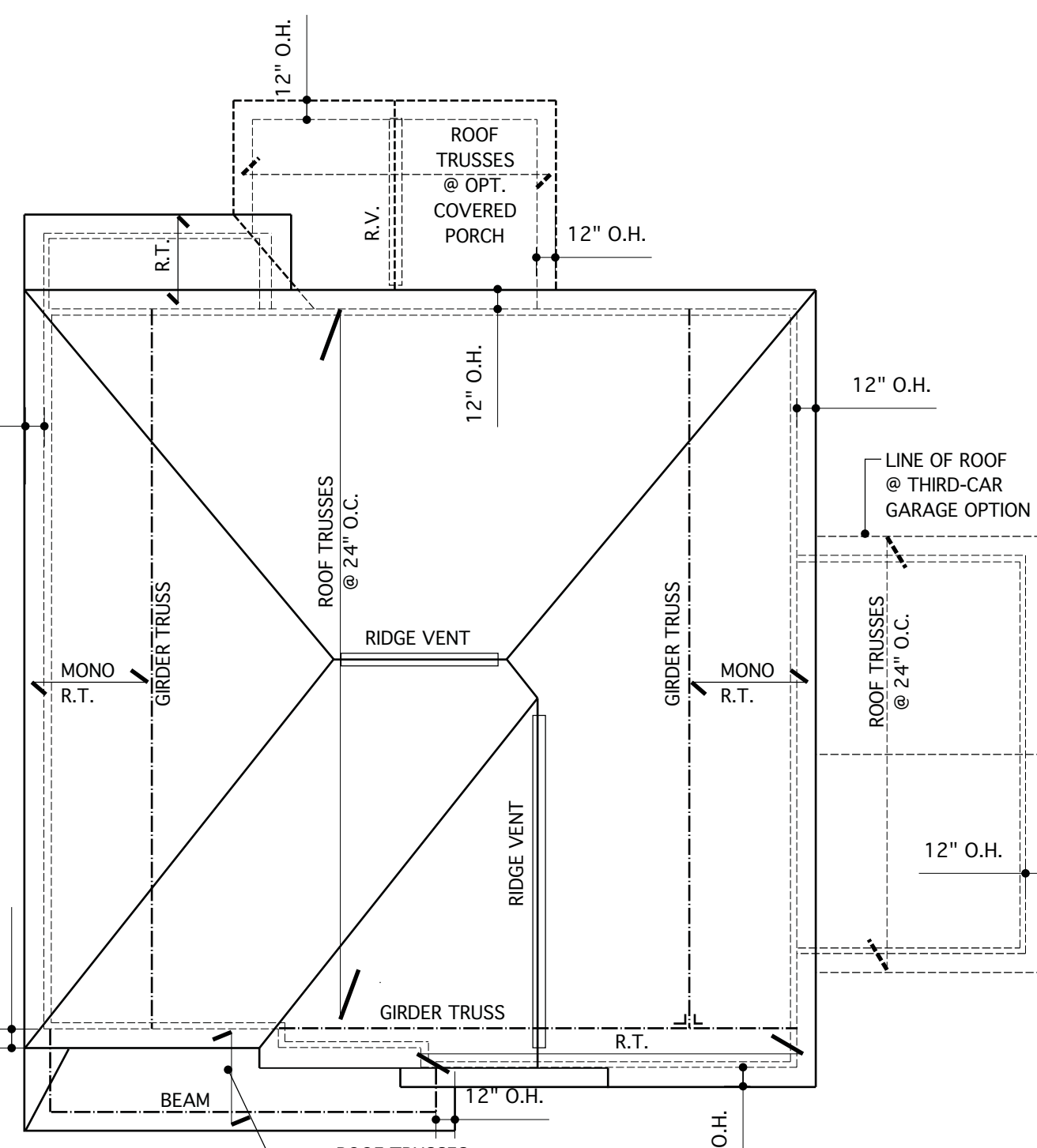
SCALE 1/8" = 1'-0"

| REQUIRED VENTILATION SCHEDULE - SUNROOM | | |
|---|--|---|
| | 142 SQ. FT. OF CEILING AREA / 300 | = 0.48 SQ. FT. REQ. |
| ROOF VENTS | 0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 18 SQ. IN. = 2 (18 SQ. IN. PER LIN. FT.) | = 2 LIN. FT. REQ. 12 LIN. FT. PROVIDED |
| SOFFIT VENTS | 0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 9 SQ. IN. = 3.8 LIN. FT. (9 SQ. IN. VENT PER LIN. FT.) | = 3.8 LIN. FT. REQ. 24 LIN. FT. PROVIDED |

| REQUIRED VENTILATION SCHEDULE - MAIN HOUSE | | |
|--|--|---|
| | 1,806 SQ. FT. OF CEILING AREA / 300 | = 6 SQ. FT. REQ. |
| ROOF VENTS | 6 X 0.5 = 3 SQ. FT. 3 SQ. FT. X 144 = 432 SQ. IN. 432 SQ. IN. / 18 SQ. IN. = 24 (18 SQ. IN. PER LIN. FT.) | = 24 LIN. FT. REQ. 29 LIN. FT. PROVIDED |
| SOFFIT VENTS | 6 X 0.5 = 3 SQ. FT. 3 SQ. FT. X 144 = 432 SQ. IN. 432 SQ. IN. / 9 SQ. IN. = 48 LIN. FT. (9 SQ. IN. VENT PER LIN. FT.) | = 48 LIN. FT. REQ. 144 LIN. FT. PROVIDED |

CODE REFERENCE: 2018 NCSBC, RESIDENTIAL CODE, R806.2

NOTE:
BUILDING ELEMENTS ARE TO BE APPLIED TO MEET LOCAL WINDLOAD REQUIREMENTS



ROOF PLAN

SCALE 1/8" = 1'-0"



FRONT ELEVATION C

SCALE: 1/4"=1'-0"

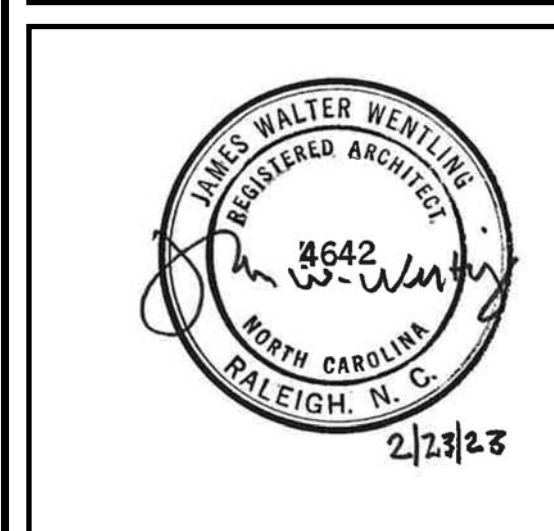
**JAMES WENTLING/
ARCHITECT**

LAND TITLE BUILDING
100 SOUTH BROAD STREET,
SUITE 1524
PHILADELPHIA, PA 19110

(215) 568-2555
email - information@
wentlinghouseplans.com

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LAND PLANNING
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| REVISIONS | | |
|-----------|----------|---|
| MARK | DATE | DESCRIPTION |
| AL | 12-10-19 | WINDOW UPDATE |
| CH | 12-10-19 | 3RD CAR GARAGE EXT. |
| AM | 01-14-21 | RE-STAMP SHEET |
| AM | 09-09-21 | M. BATH WINDOW |
| JW | 02-07-23 | NEILL'S POINT/FARM |
| DN | 02-15-23 | OPT. EXT. FINISHES |
| DN | 02-23-23 | 1'-0" DINING EXTENSION/ STRUCT. DWGS. REV. |

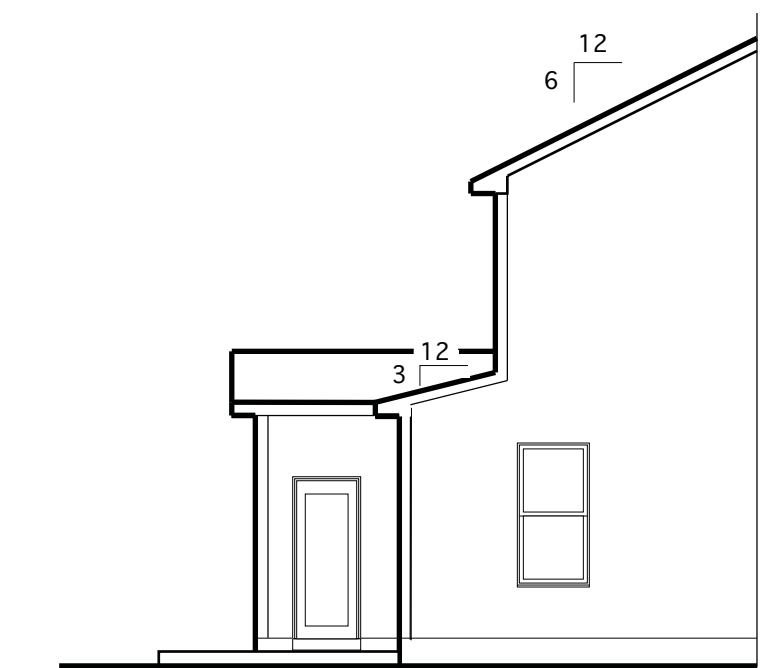
| | |
|-------------|----------------------|
| PROJECT NO. | 113-88 |
| DATE | 01-08-18 |
| SCALE | AS NOTED |
| DRAWN BY | DN |
| CHECKED BY | JW |
| ISSUED FOR | PERMITS/CONSTRUCTION |

PROJECT TITLE
**MODEL 6260 -
GARAGE RIGHT**

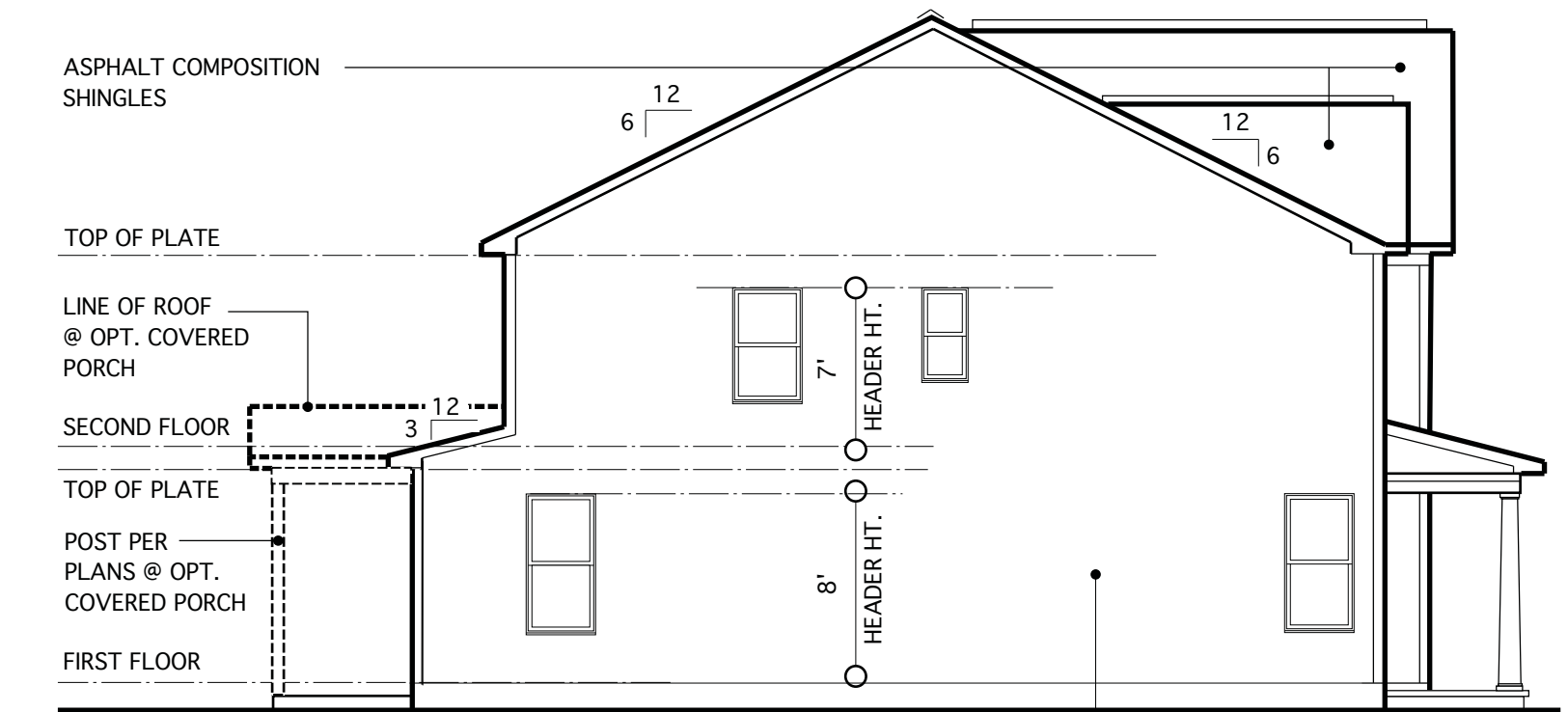
CLIENT
**CHESAPEAKE
HOMES OF NC**
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE
**ELEVATION C
AND ROOF PLAN**

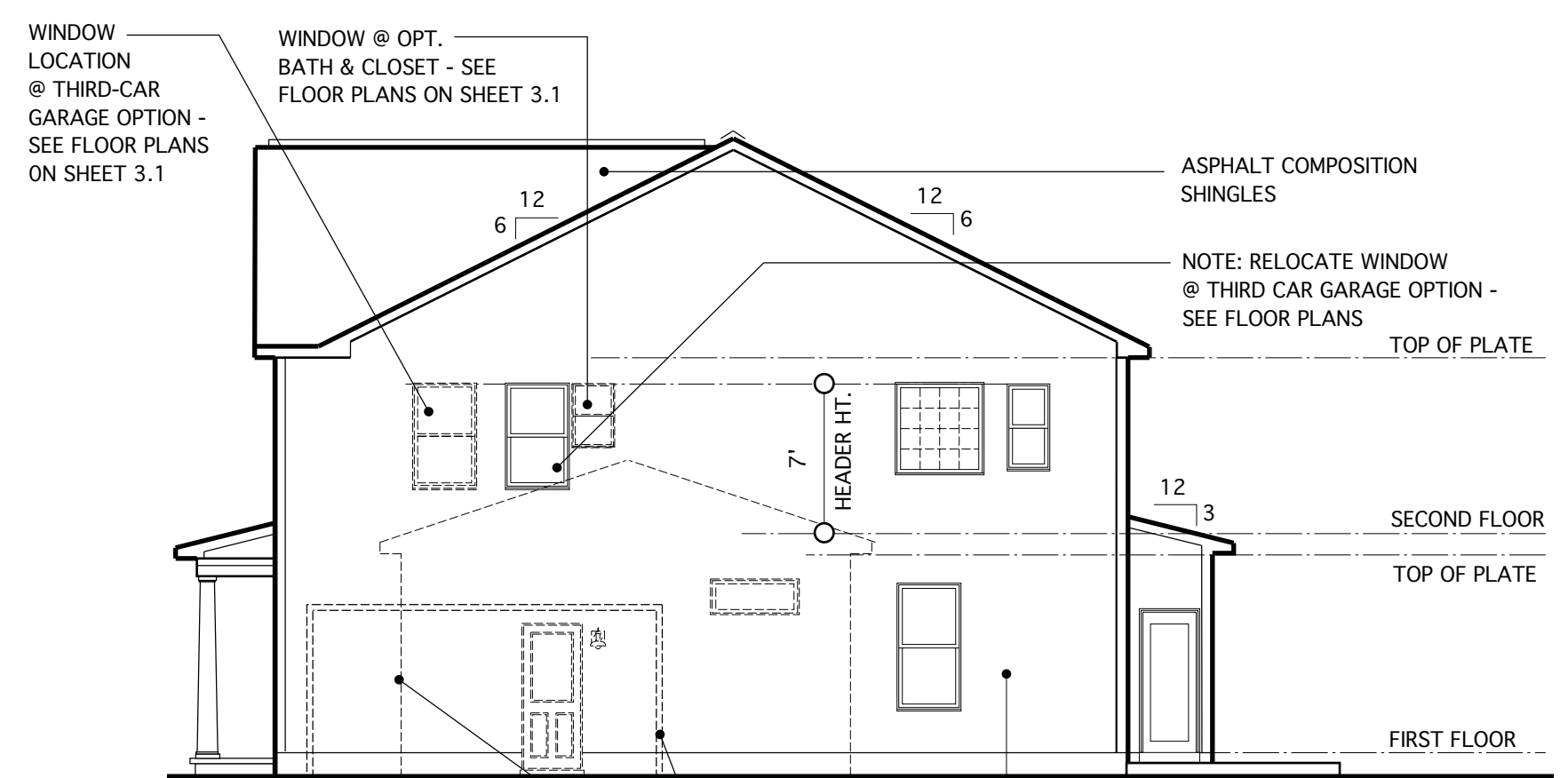
SHEET
4.2



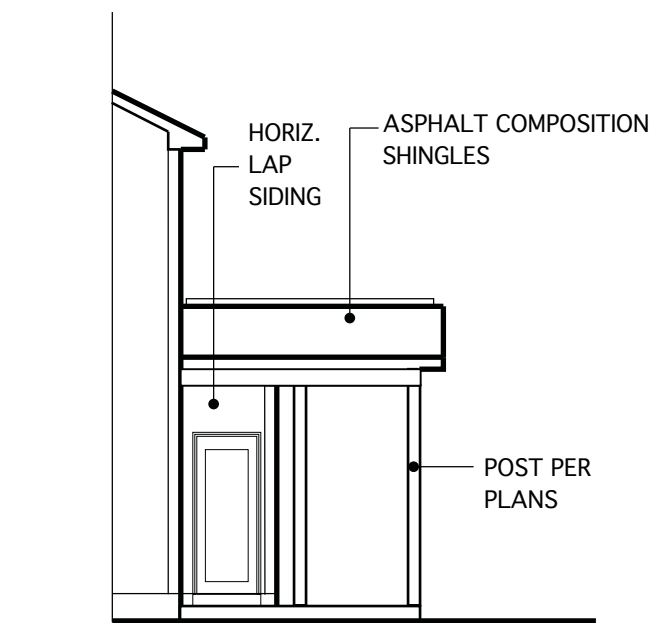
LEFT ELEVATION @ OPT. SUNROOM
SCALE: 1/8"=1'-0"



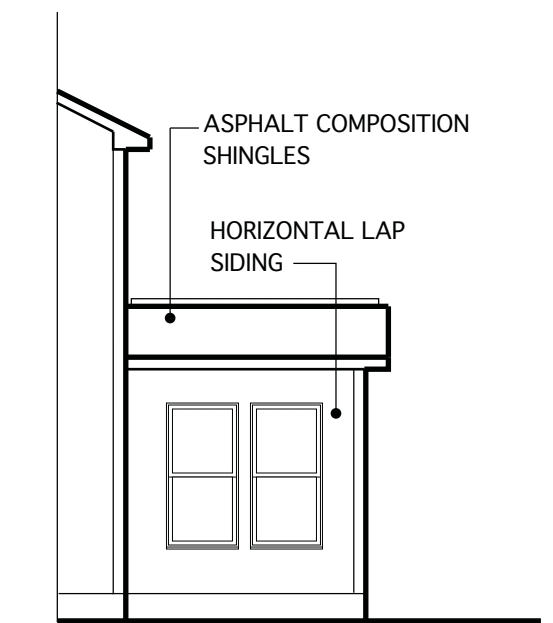
LEFT ELEVATION
SCALE: 1/8"=1'-0"



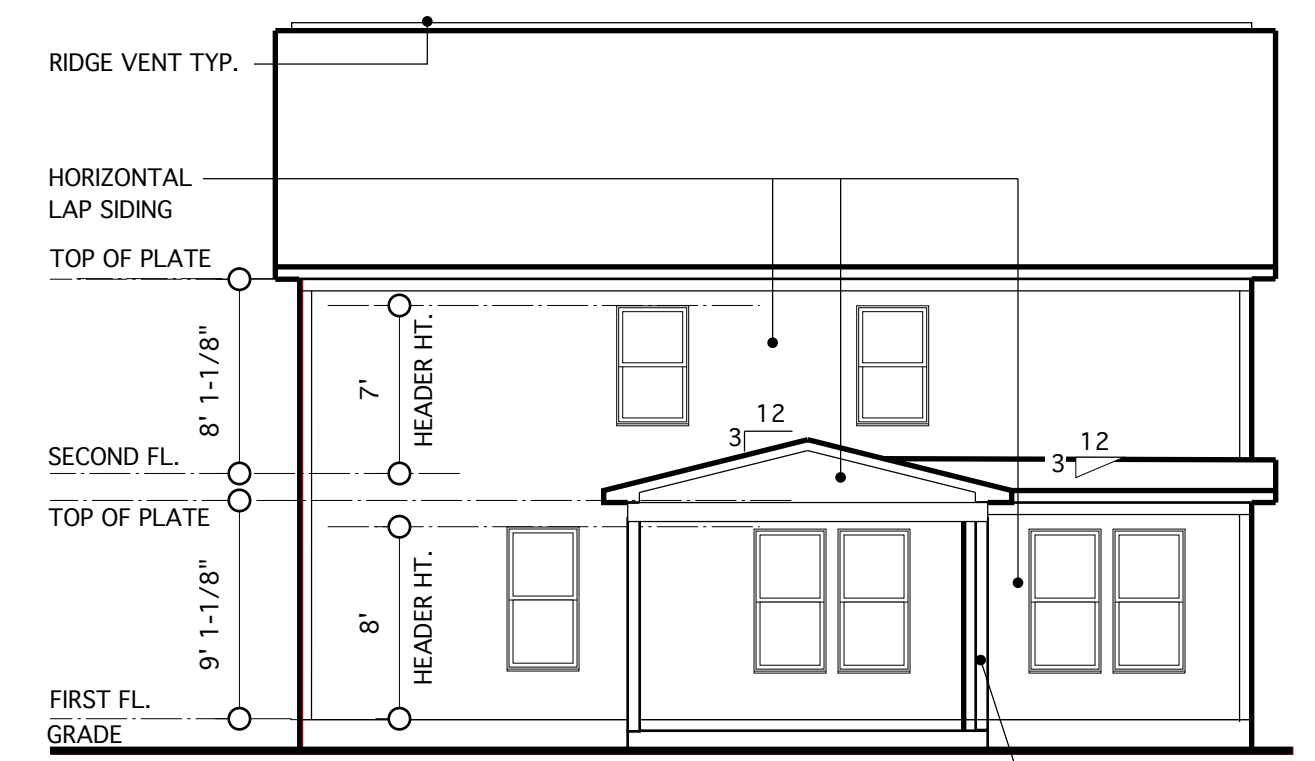
RIGHT ELEVATION
SCALE: 1/8"=1'-0"



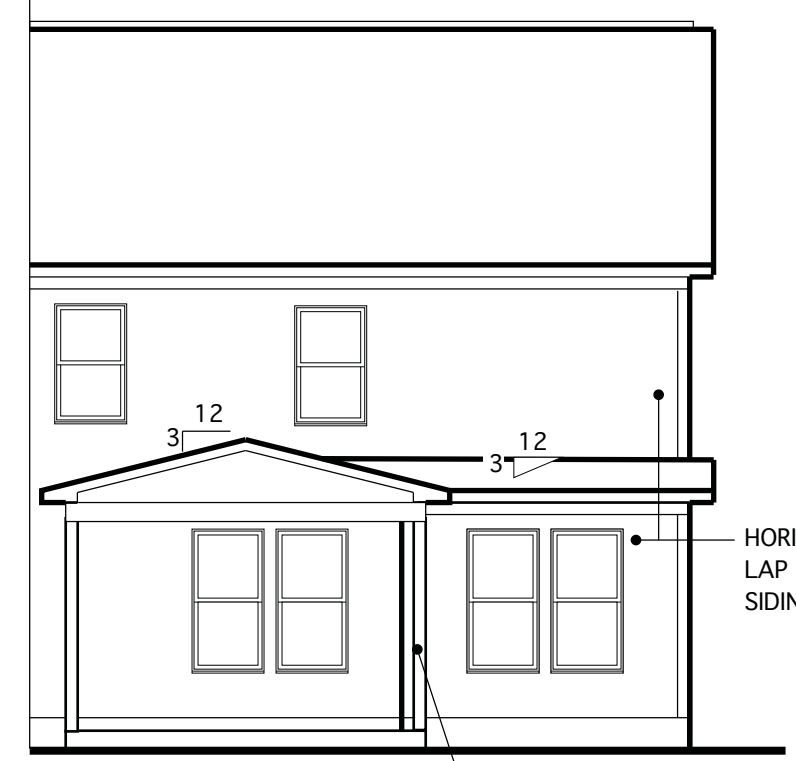
@ OPT. COVERED PORCH
SCALE: 1/8"=1'-0"



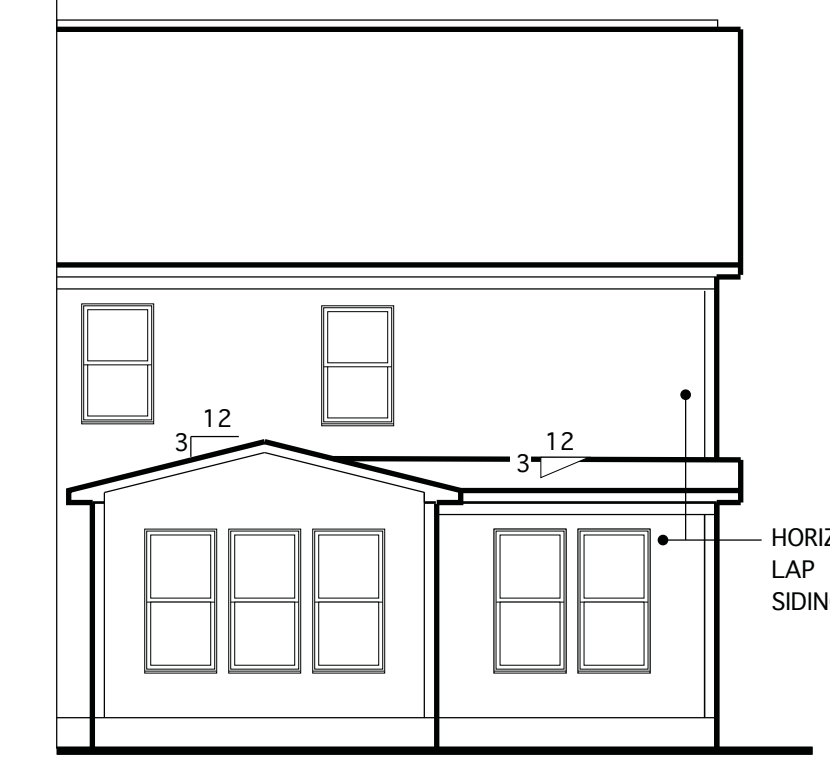
@ OPT. SUNROOM
SCALE: 1/8"=1'-0"



REAR ELEVATION
SCALE: 1/8"=1'-0"



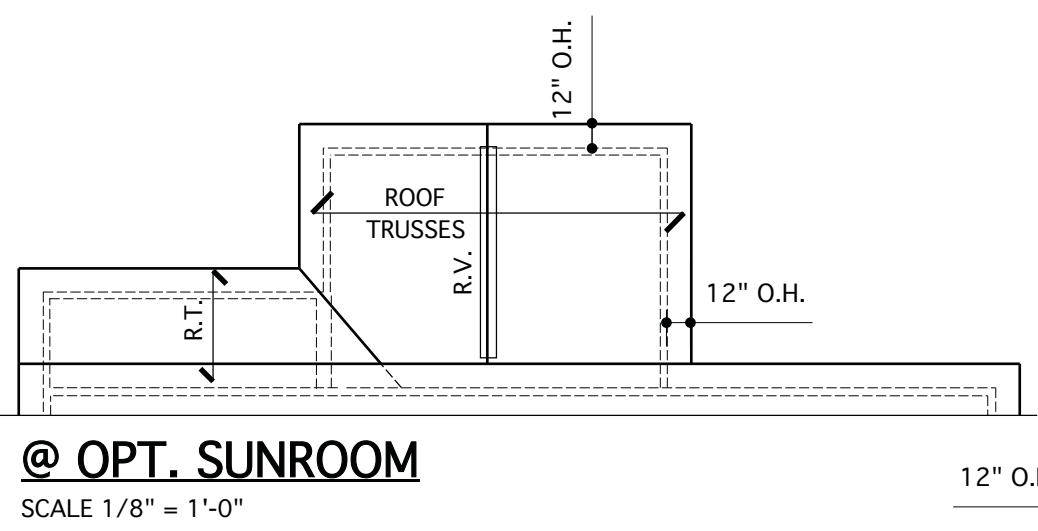
REAR ELEVATION @ OPT. COVERED PORCH
SCALE: 1/8"=1'-0"



REAR ELEVATION @ OPT. SUNROOM
SCALE: 1/8"=1'-0"



FRONT ELEVATION W/ SIDE LOAD GARAGE
SCALE: 1/8"=1'-0"



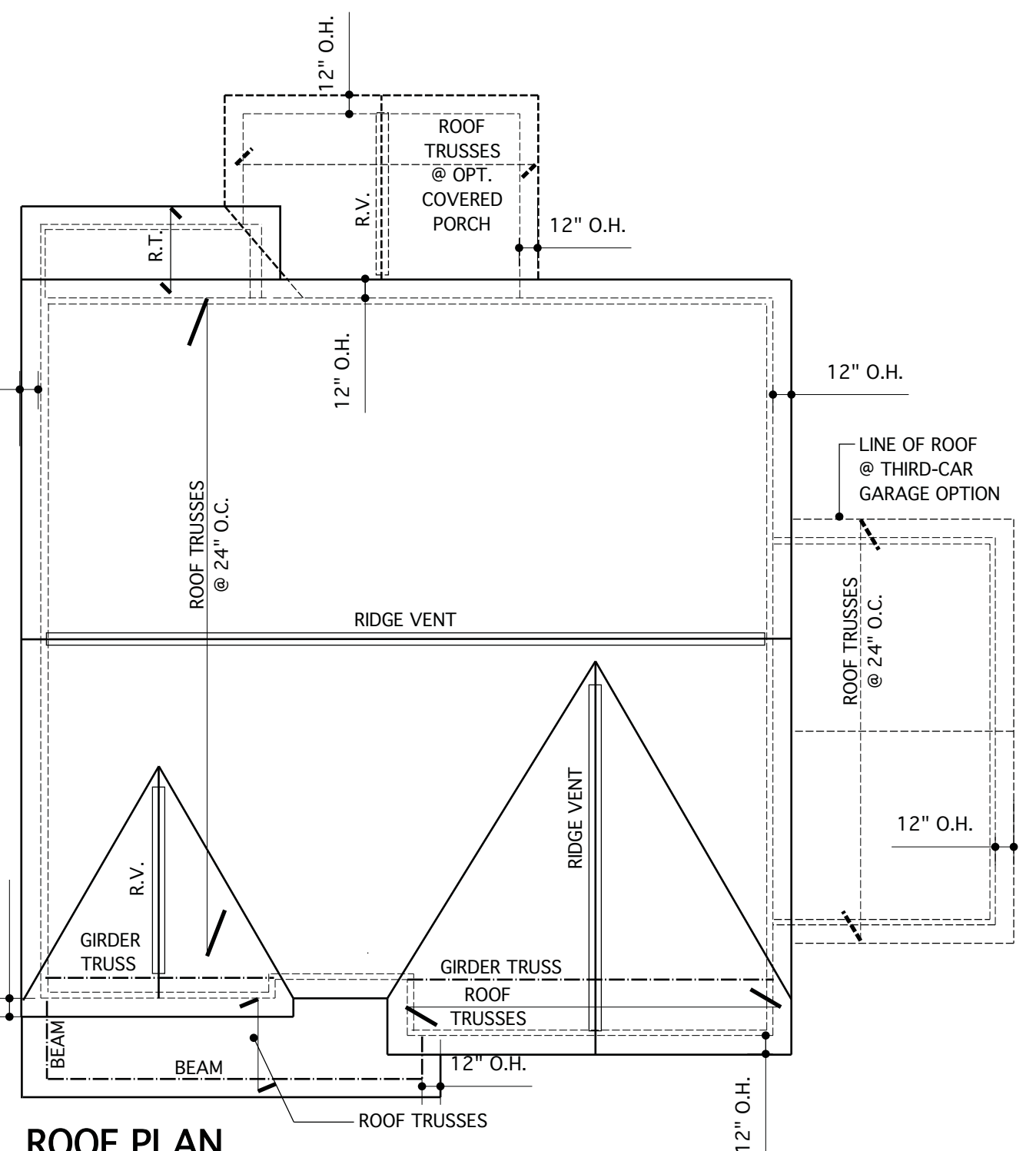
REQUIRED VENTILATION SCHEDULE - SUNROOM

| | |
|---|---|
| 142 SQ. FT. OF CEILING AREA / 300 | = 0.48 SQ. FT. REQ. |
| ROOF VENTS 0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 18 SQ. IN. = 2 (18 SQ. IN. PER LIN. FT.) | = 2 LIN. FT. REQ. 12 LIN. FT. PROVIDED |
| SOFFIT VENTS 0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 9 SQ. IN. = 3.8 LIN. FT. (9 SQ. IN. VENT PER LIN. FT.) | = 3.8 LIN. FT. REQ. 24 LIN. FT. PROVIDED |

REQUIRED VENTILATION SCHEDULE - MAIN HOUSE

| | |
|---|--|
| 1,806 SQ. FT. OF CEILING AREA / 300 | = 6 SQ. FT. REQ. |
| ROOF VENTS 6 X 0.5 = 3 SQ. FT. 3 SQ. FT. X 144 = 432 SQ. IN. 432 SQ. IN. / 18 SQ. IN. = 24 (18 SQ. IN. PER LIN. FT.) | = 24 LIN. FT. REQ. 70 LIN. FT. PROVIDED |
| SOFFIT VENTS 6 X 0.5 = 3 SQ. FT. 3 SQ. FT. X 144 = 432 SQ. IN. 432 SQ. IN. / 9 SQ. IN. = 48 LIN. FT. (9 SQ. IN. VENT PER LIN. FT.) | = 48 LIN. FT. REQ. 78 LIN. FT. PROVIDED |

CODE REFERENCE: 2018 NCSBC, RESIDENTIAL CODE, R806.2



ROOF PLAN
SCALE: 1/8"=1'-0"



FRONT ELEVATION D
SCALE: 1/4"=1'-0"

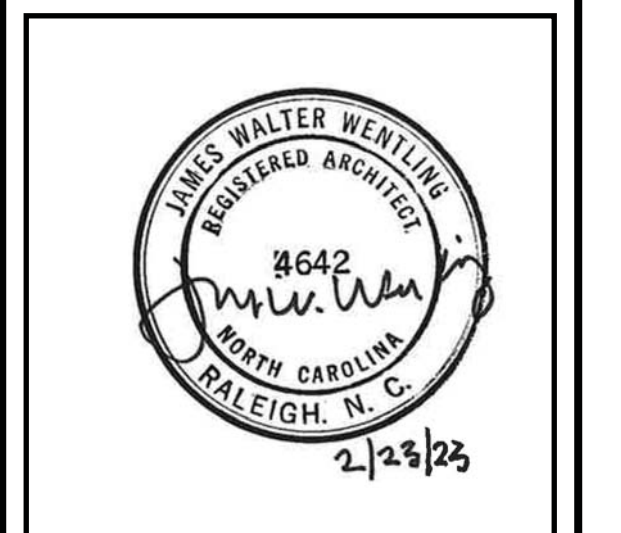
JAMES WENTLING/ ARCHITECT

LAND TITLE BUILDING
100 SOUTH BROAD STREET,
SUITE 1524
PHILADELPHIA, PA 19110

(215) 568-2550
email: information@wentlinghouseplans.com

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LAND PLANNING
GRAPHICS

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REVISIONS

| MARK | DATE | DESCRIPTION |
|------|----------|--|
| AL | 12-10-19 | WINDOW UPDATE |
| CH | 12-10-19 | 3RD CAR GARAGE EXT. |
| AM | 01-14-21 | RE stamps SHEET |
| AM | 09-09-21 | M. BATH WINDOW |
| JW | 02-07-23 | NEILL'S POINT/FARM |
| DN | 02-15-23 | OPT. EXT. FINISHES |
| DN | 02-23-23 | 1'-0" DINING EXTENSION/ STRUCT. DWGS. REV. |

PROJECT NO. 113-88

DATE 01-08-18

SCALE AS NOTED

DRAWN BY DN

CHECKED BY JW

ISSUED FOR PERMITS/CONSTRUCTION

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT

CLIENT
CHESAPEAKE HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE
ELEVATION D AND ROOF PLAN

SHEET
4.3

Copyright 2018 James Wentling/ Architect

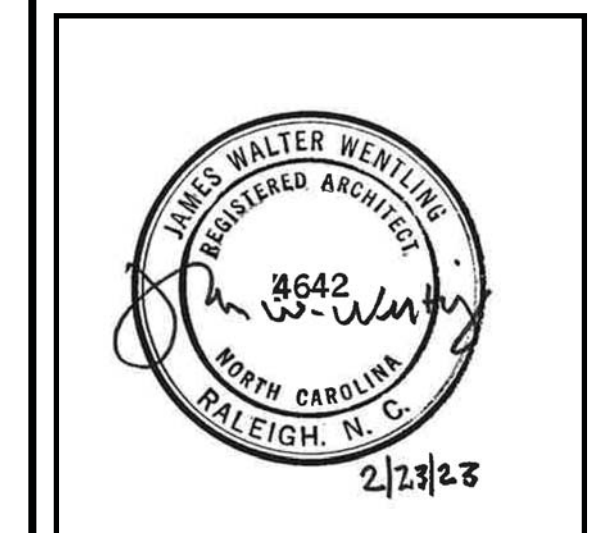
**JAMES WENTLING/
ARCHITECT**

LAND TITLE BUILDING
100 SOUTH BROAD STREET,
SUITE 1524
PHILADELPHIA, PA 19110

(215) 568-2555
email: jwentling@wentlinghouseplans.com

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| DN | 02-15-23 | OPT. EXT. FINISHES |
| DN | 02-23-23 | 1'-0" DINING EXTENSION/ STRUCT. DWGS. REV. |

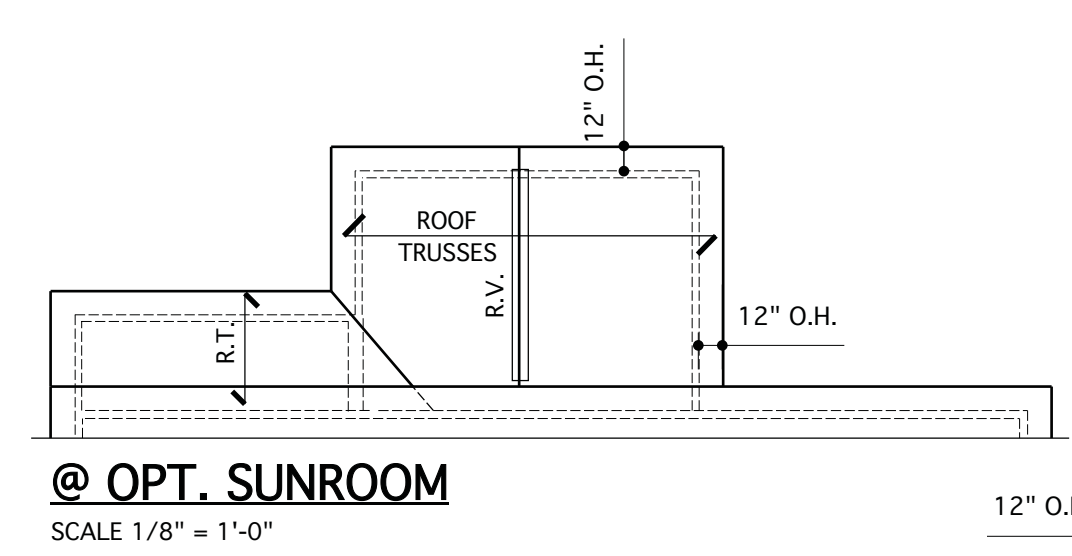
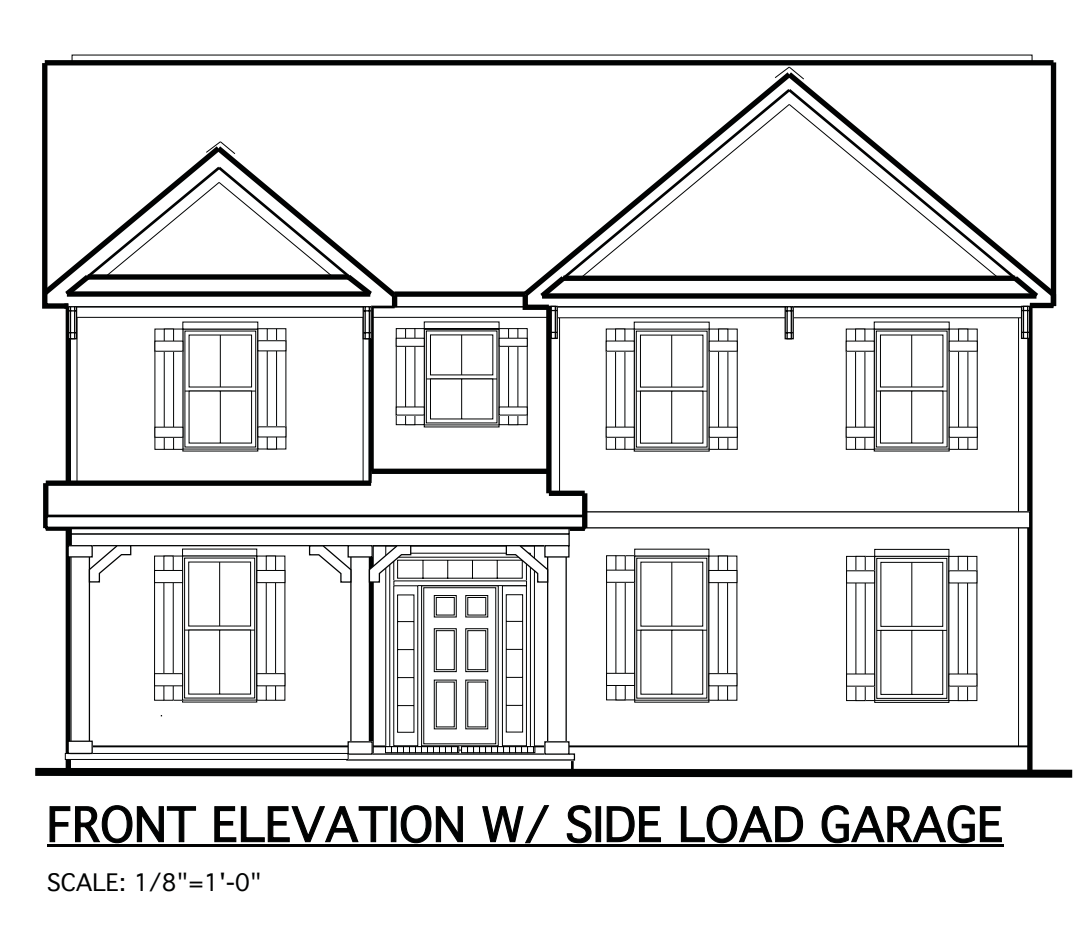
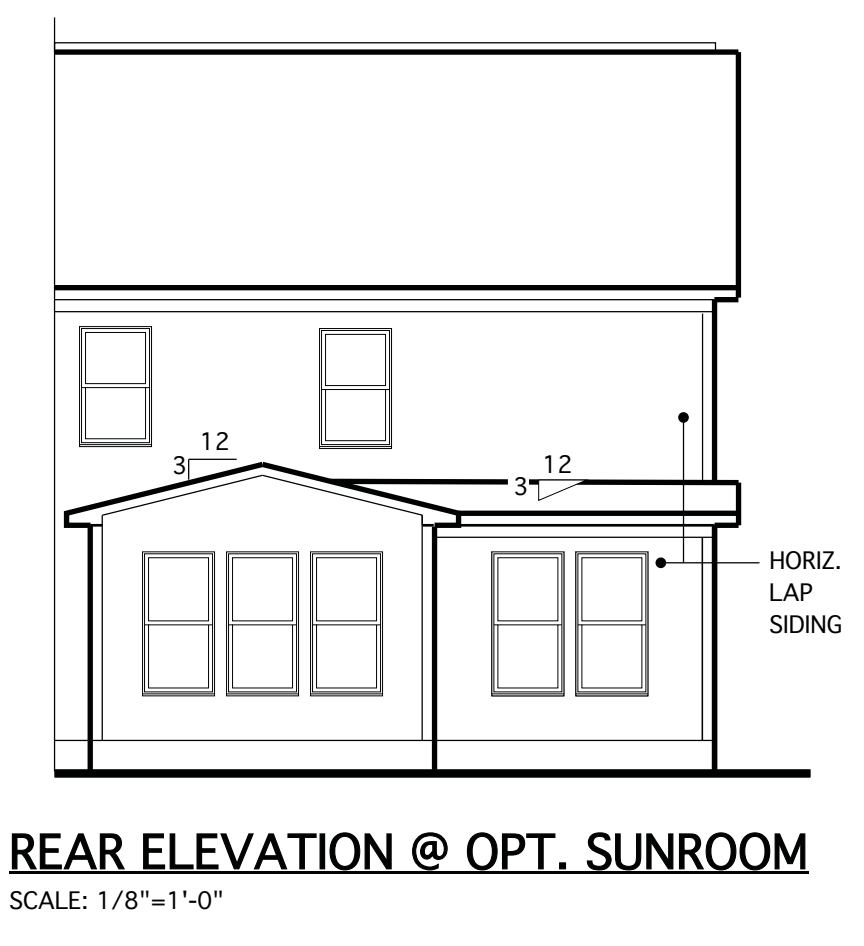
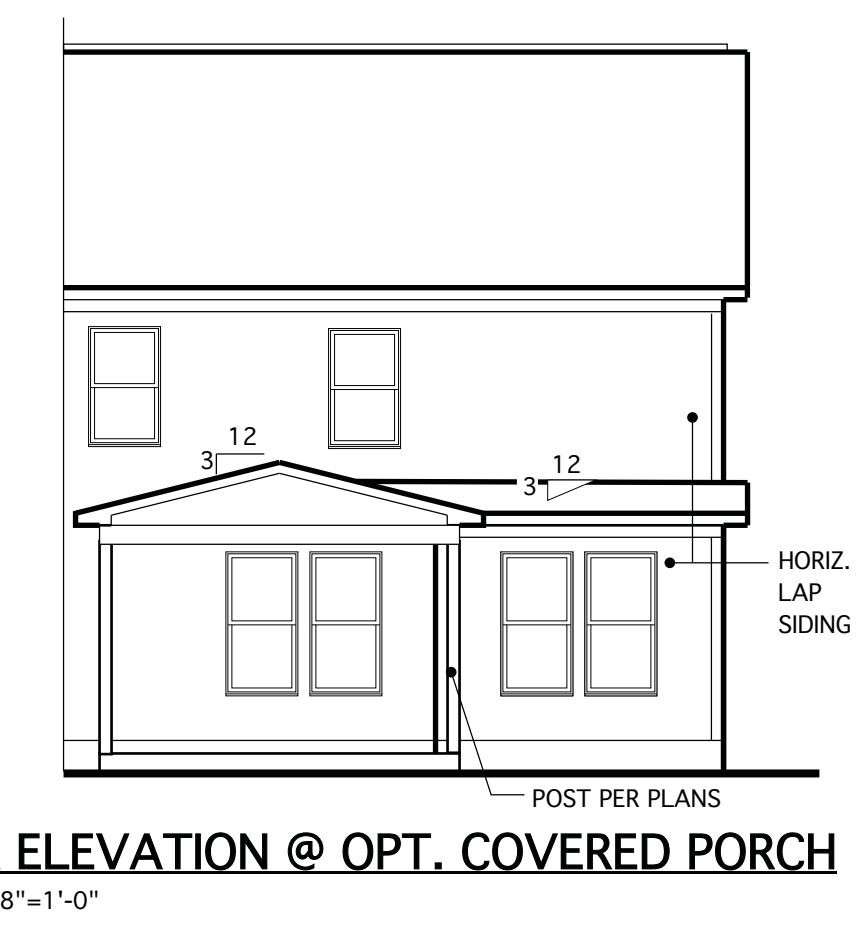
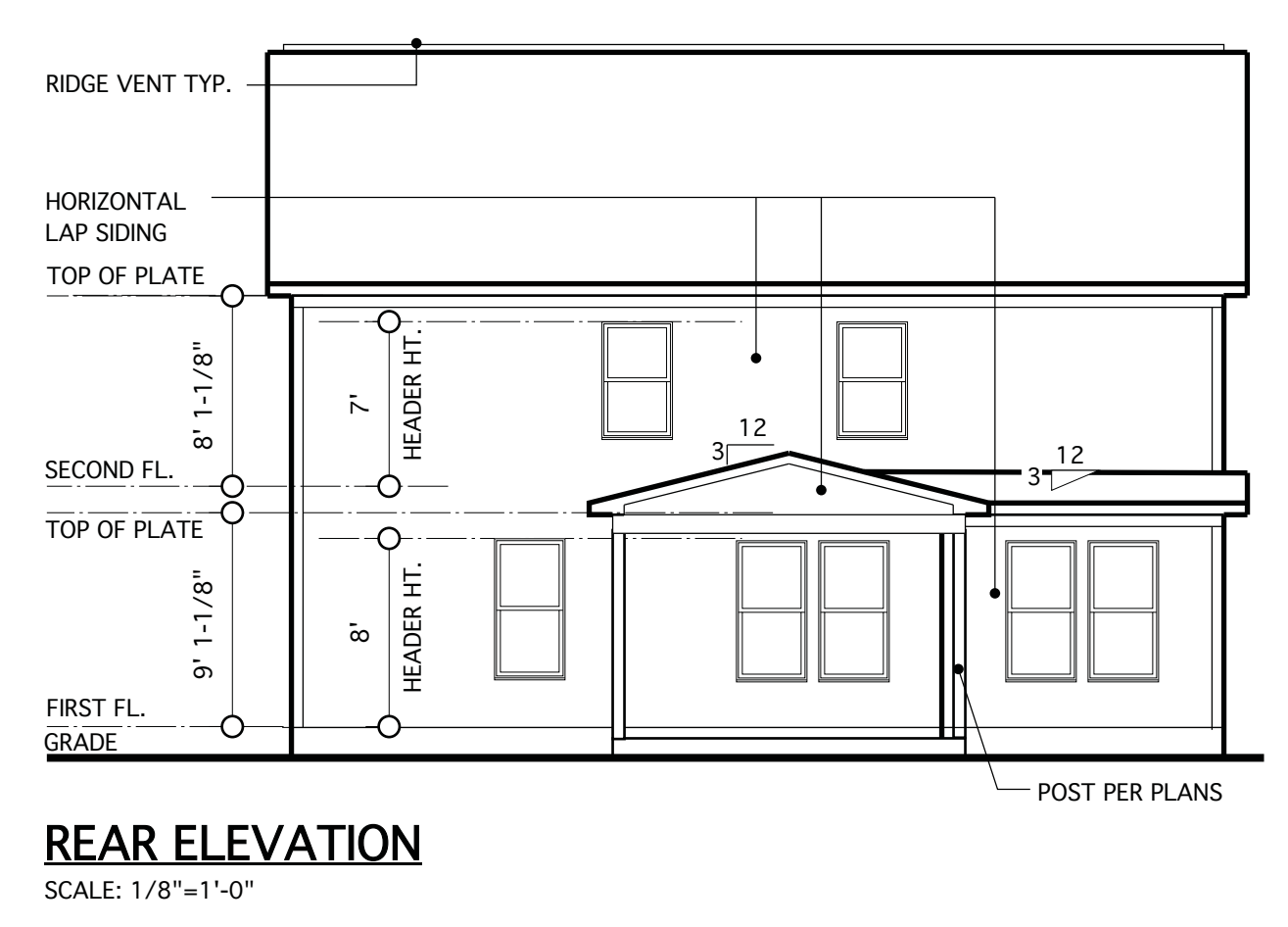
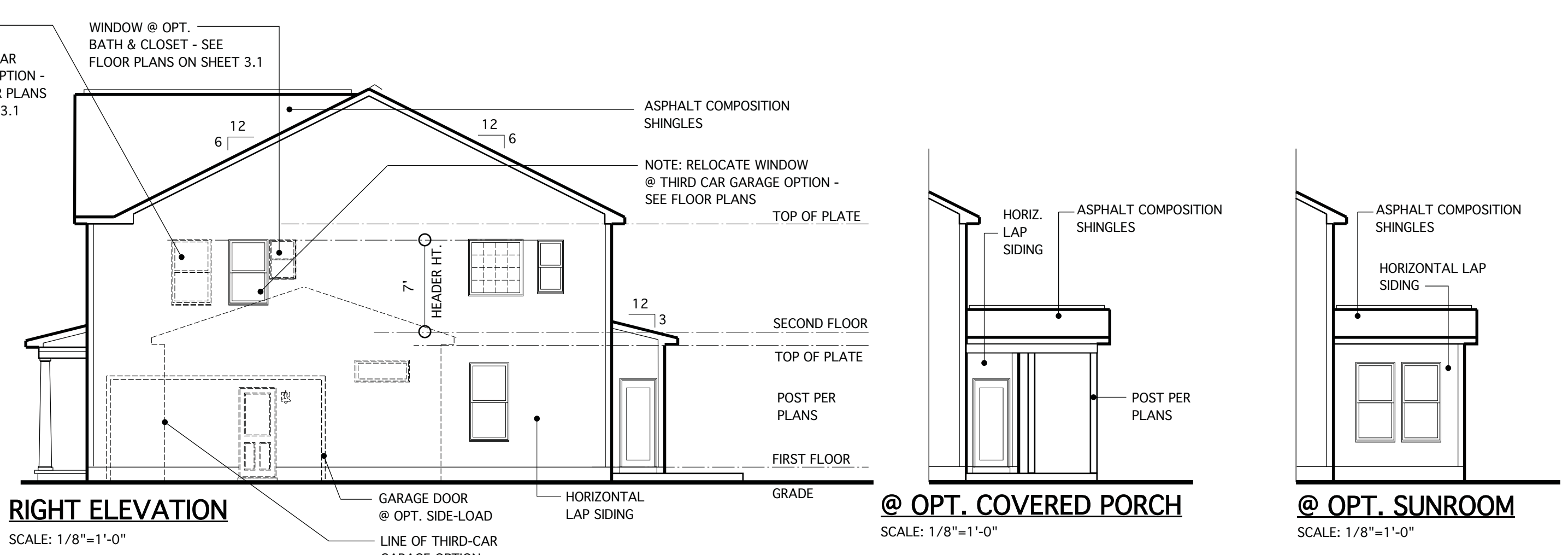
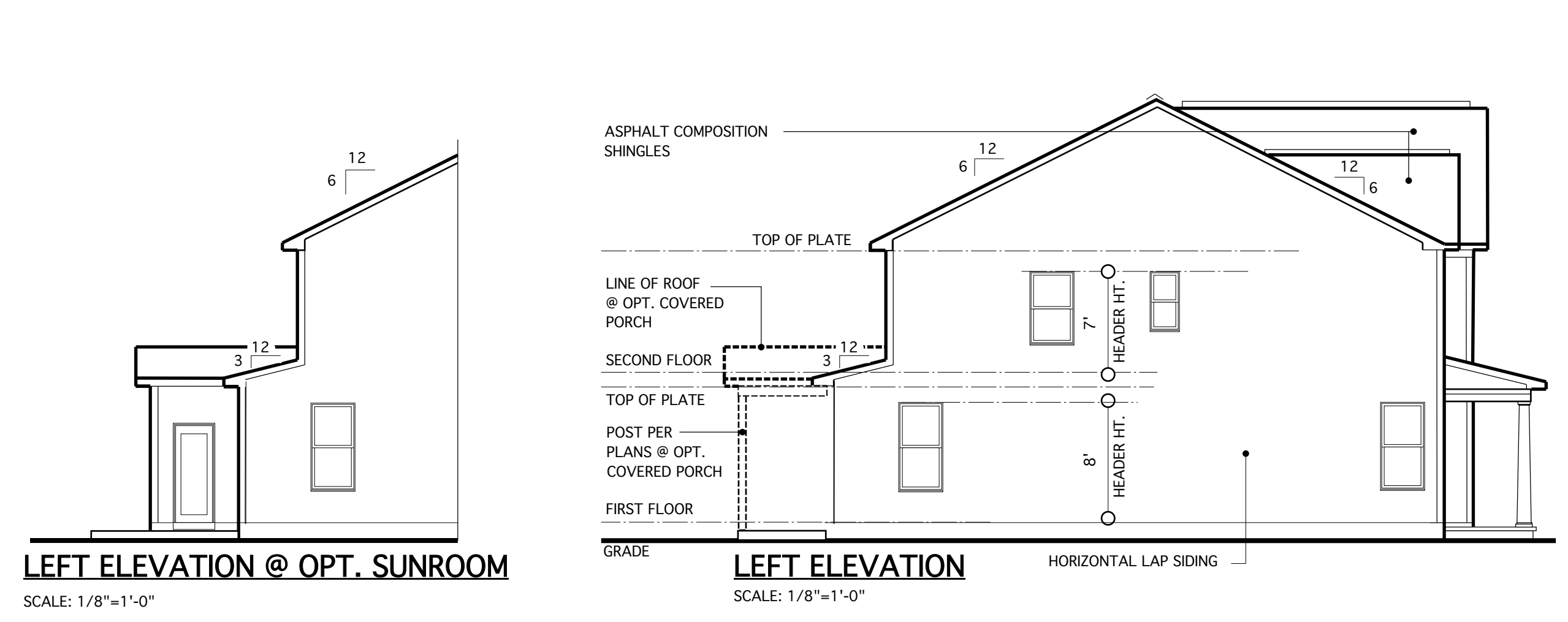
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|-------------|----------------------|
| PROJECT NO. | 113-88 |
| DATE | 01-08-18 |
| SCALE | AS NOTED |
| DRAWN BY | DN |
| CHECKED BY | JW |
| ISSUED FOR | PERMITS/CONSTRUCTION |

PROJECT TITLE
**MODEL 6260 -
GARAGE RIGHT**

CLIENT
**CHESAPEAKE
HOMES OF NC**
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE
**ELEVATION F
AND ROOF PLAN**

SHEET
4.5

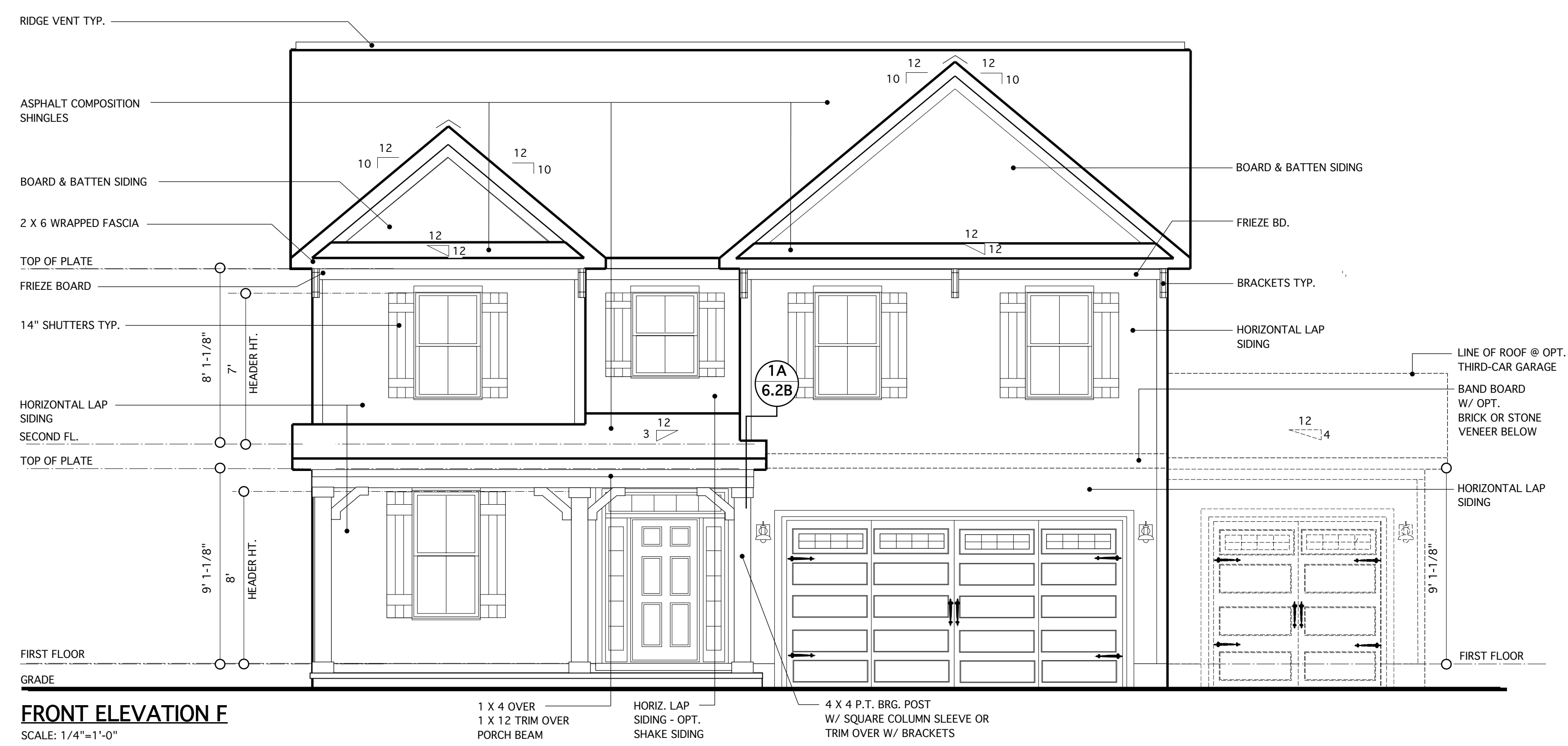
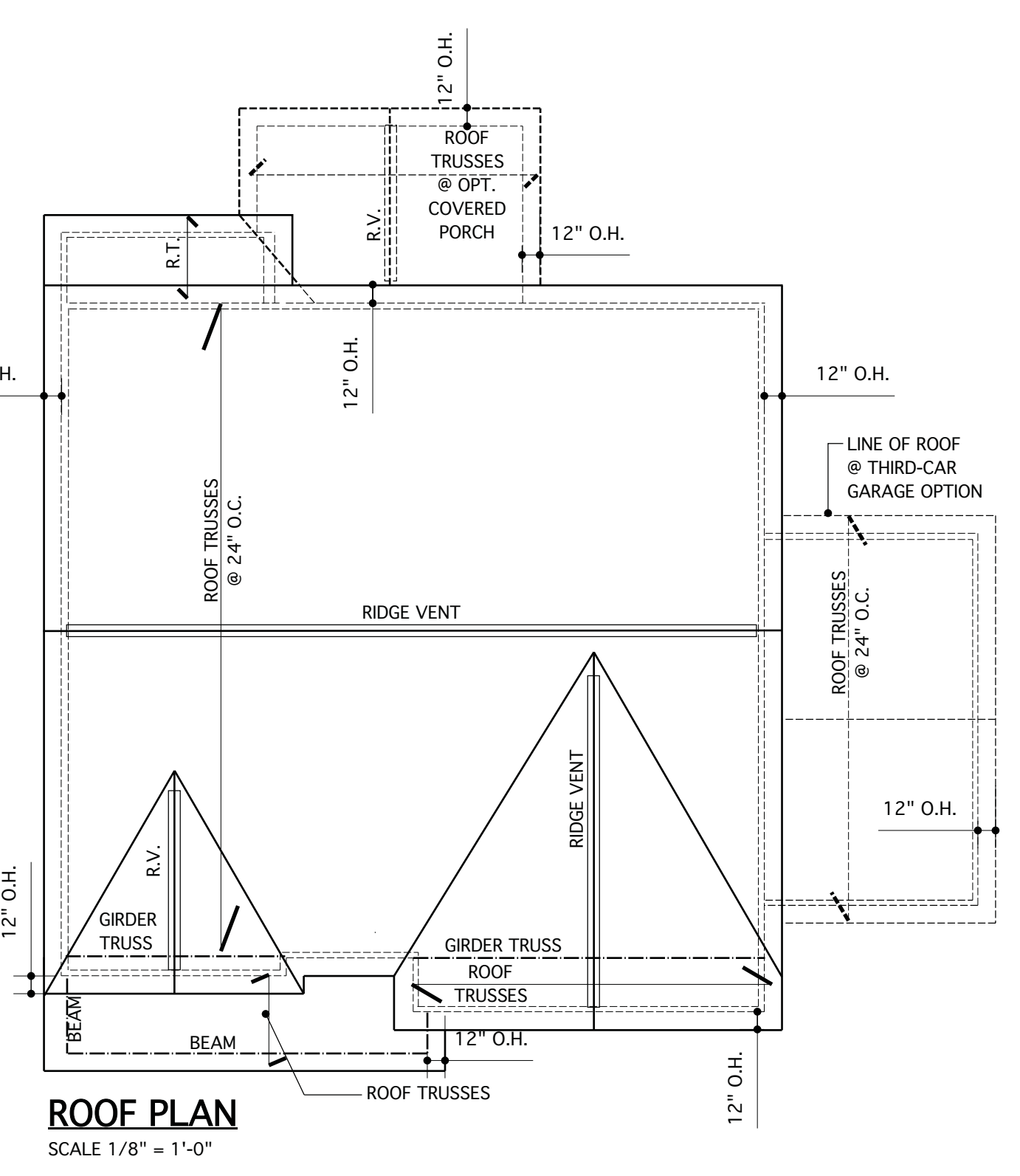


| REQUIRED VENTILATION SCHEDULE - SUNROOM | |
|---|---|
| 142 SQ. FT. OF CEILING AREA / 300 | = 0.48 SQ. FT. REQ. |
| ROOF VENTS 0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 18 SQ. IN. = 2 (18 SQ. IN. PER LIN. FT.) | = 2 LIN. FT. REQ. 12 LIN. FT. PROVIDED |
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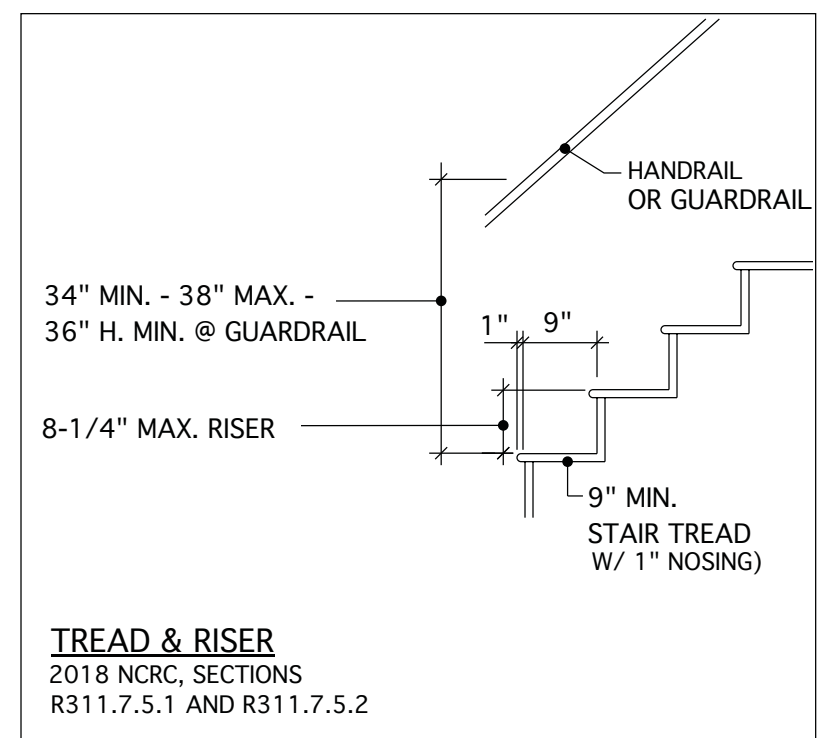
| REQUIRED VENTILATION SCHEDULE - MAIN HOUSE | |
|---|--|
| 1,806 SQ. FT. OF CEILING AREA / 300 | = 6 SQ. FT. REQ. |
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CODE REFERENCE: 2018 NCSBC, RESIDENTIAL CODE, R806.2

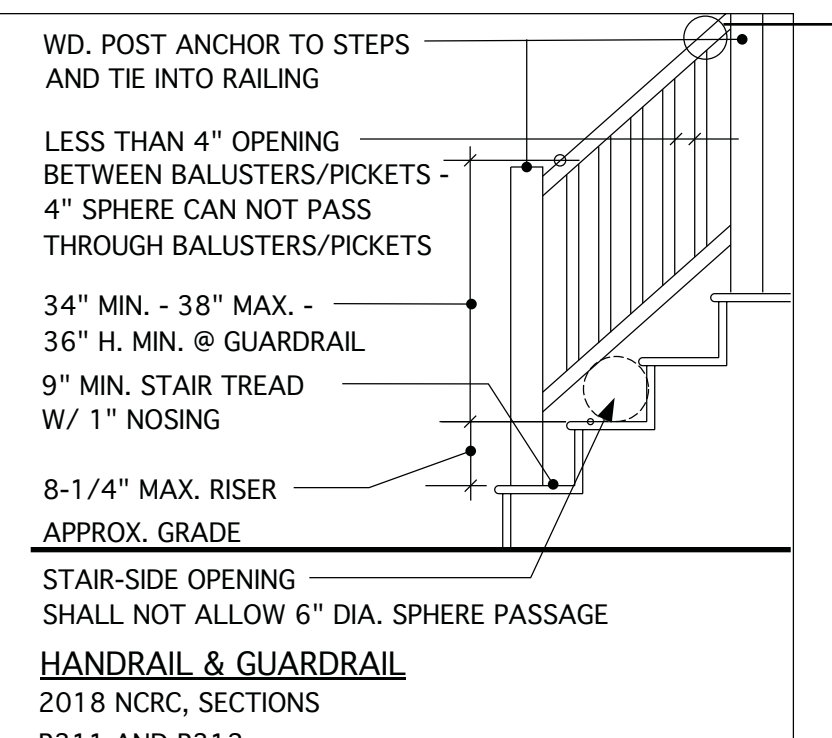
NOTE:
BUILDING ELEMENTS ARE TO BE APPLIED TO MEET LOCAL WINDLOAD REQUIREMENTS



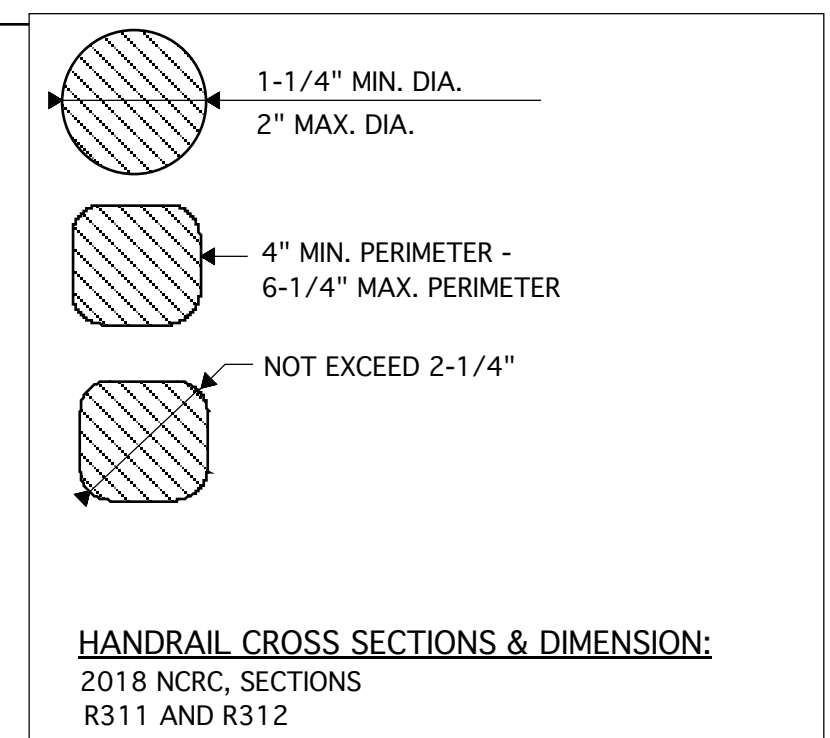
© Copyright 2018 James Wentling/ Architect



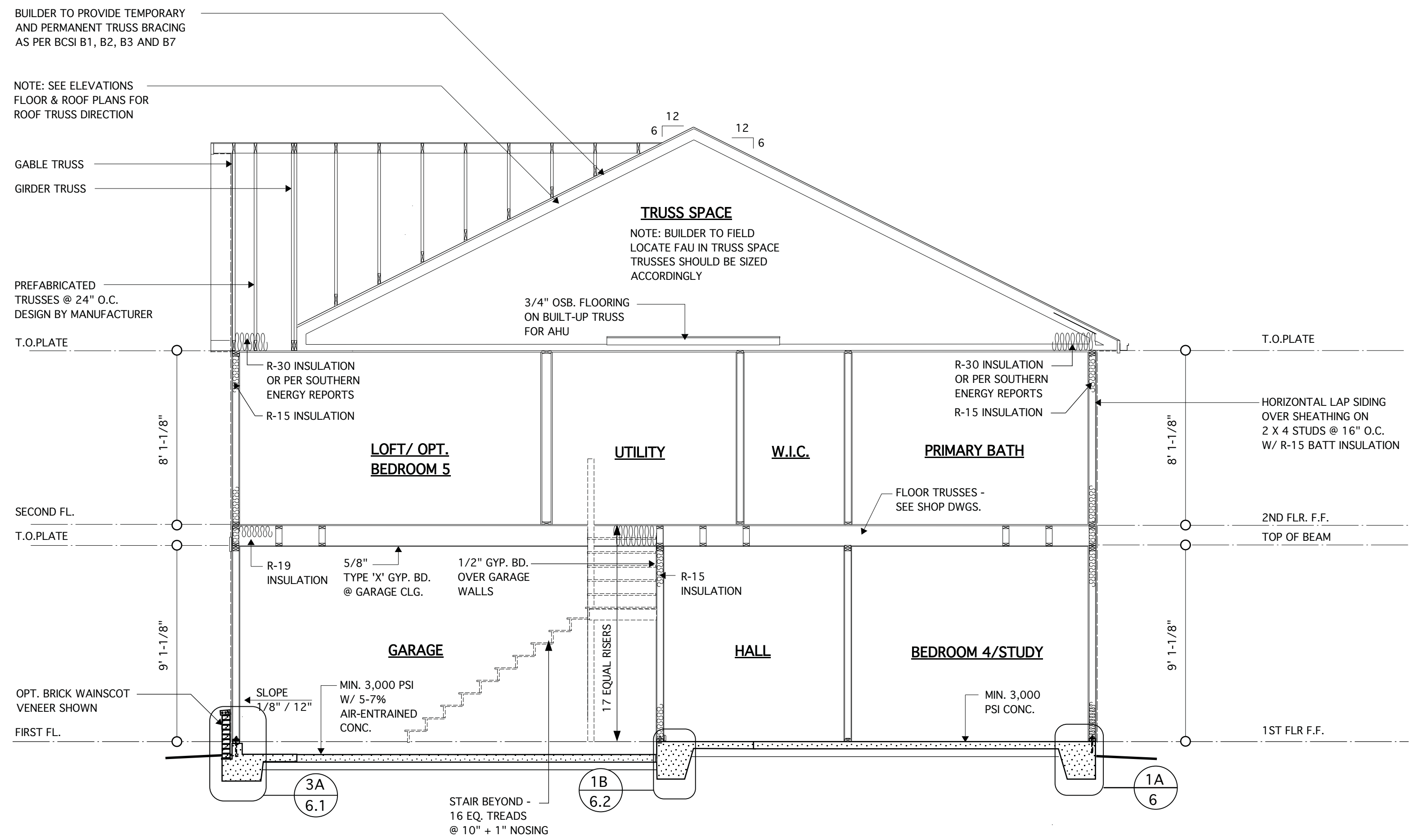
TYP. STAIR SECTION
 NO SCALE
 ALL STAIR AND GUARD REQUIREMENTS TO COMPLY WITH
 R-311 AND R312 NCRC 2018



TYPICAL RAILING @ PORCH/DECK
 SCALE: 1/2" = 1'-0"
 (PROVIDE GUARDRAIL BOTH SIDES WHEN HEIGHT ABOVE GRADE EXCEEDS 30\"/>



HANDRAIL CROSS SECTIONS & DIMENSION:
 2018 NCRC, SECTIONS
 R311 AND R312

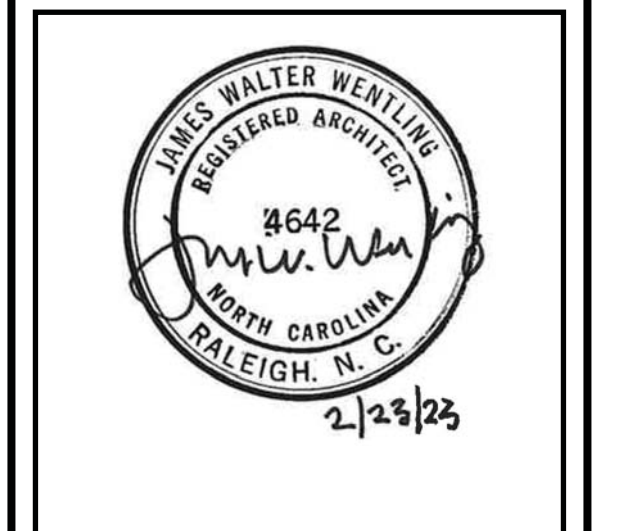


TYPICAL BUILDING SECTION
 SCALE: 1/4" = 1'-0"

**JAMES WENTLING/
 ARCHITECT**
 LAND TITLE BUILDING
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 PHILADELPHIA, PA 19110
 (215) 568-2551
 email - information@
 wentlinghouseplans.com

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 LAND PLANNING
 GRAPHICS

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REVISIONS

| MARK | DATE | DESCRIPTION |
|------|----------|---|
| DN | 01-14-19 | MINOR UPDATE |
| DN | 03-30-20 | BLDG. HT./CITY COMMENTS |
| DN | 05-11-20 | ADJUSTMENTS/NOTATIONS... CITY COMMENTS |
| AM | 01-14-21 | RE-STAMP SHEET |
| AM | 09-09-21 | RE-STAMP SHEET |
| JW | 02-07-23 | NEILL'S POINT/FARM |
| DN | 02-23-23 | 1'-0" DINING EXTENSION/STRUCT. DWGS. REV. |

PROJECT NO. 113-88
 DATE 01-08-18
 SCALE AS NOTED
 DRAWN BY JK
 CHECKED BY JW
 ISSUED FOR PERMITS/CONSTRUCTION

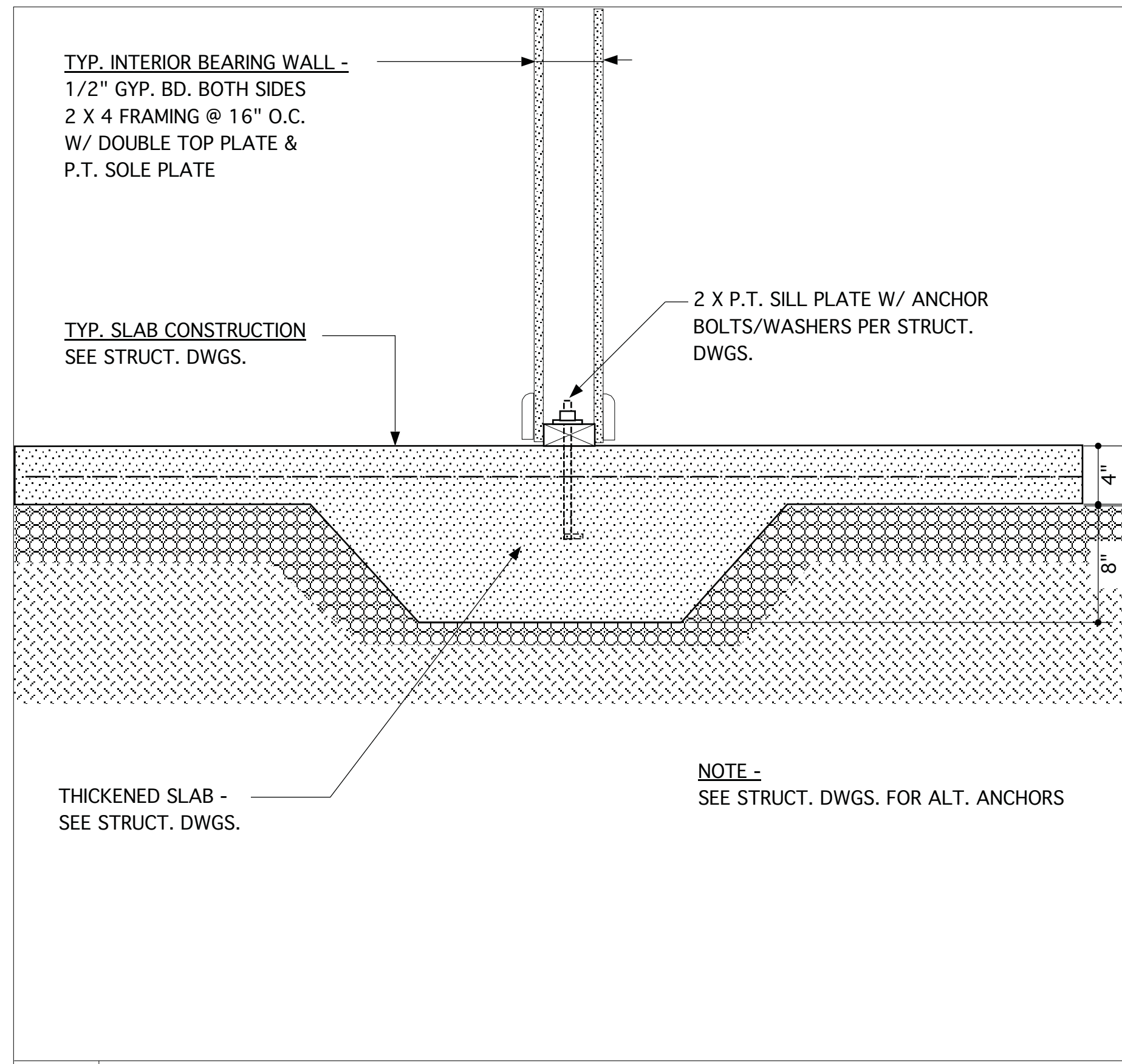
PROJECT TITLE
MODEL 6260 - GARAGE RIGHT

CLIENT
CHESAPEAKE HOMES OF NC
 3100 Smoketree Court,
 Suite 210
 Raleigh, NC 27604
 (919) 256-3060
 (919) 556-0690 Fax

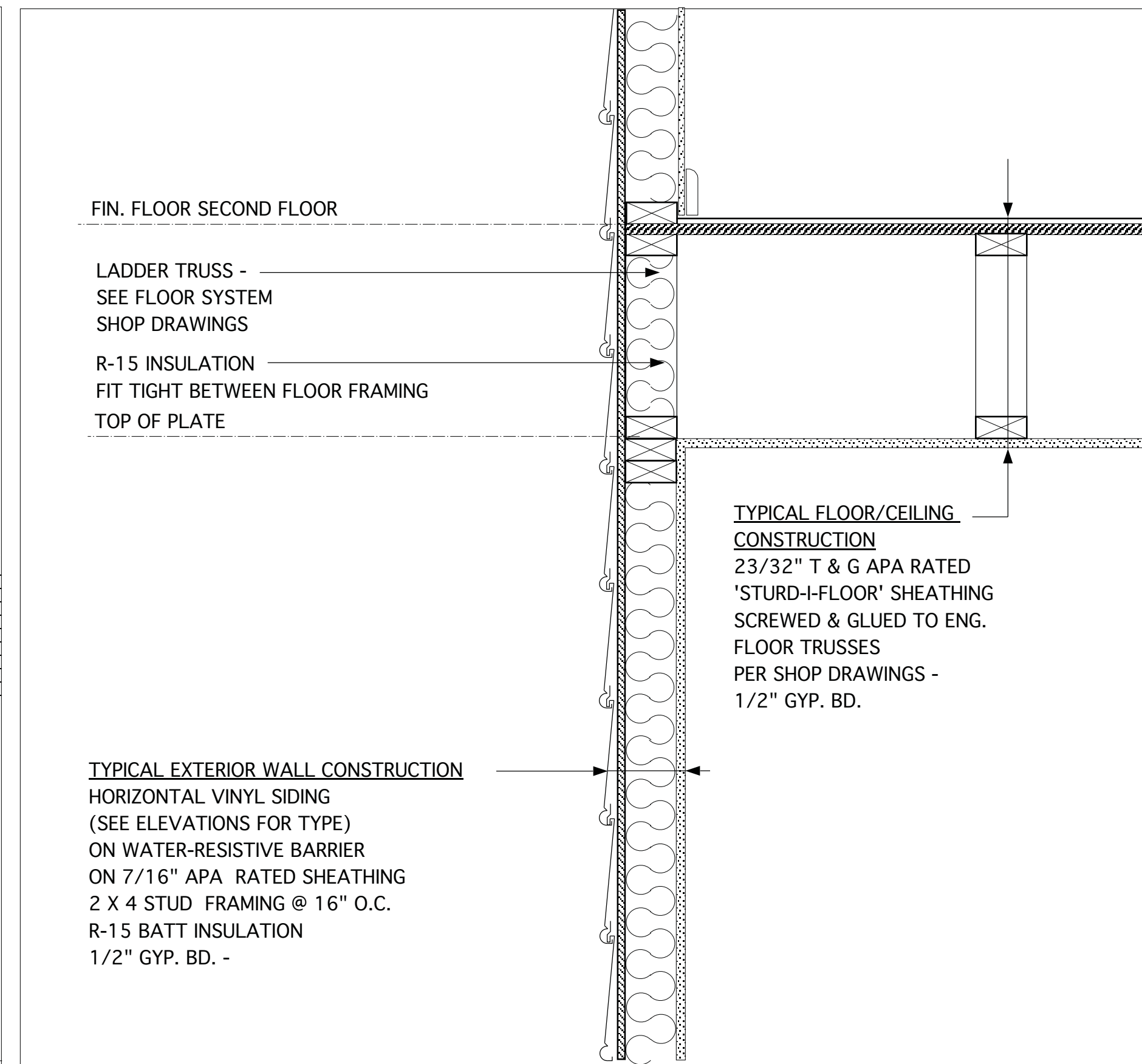
DRAWING TITLE
BUILDING SECTION

SHEET
5

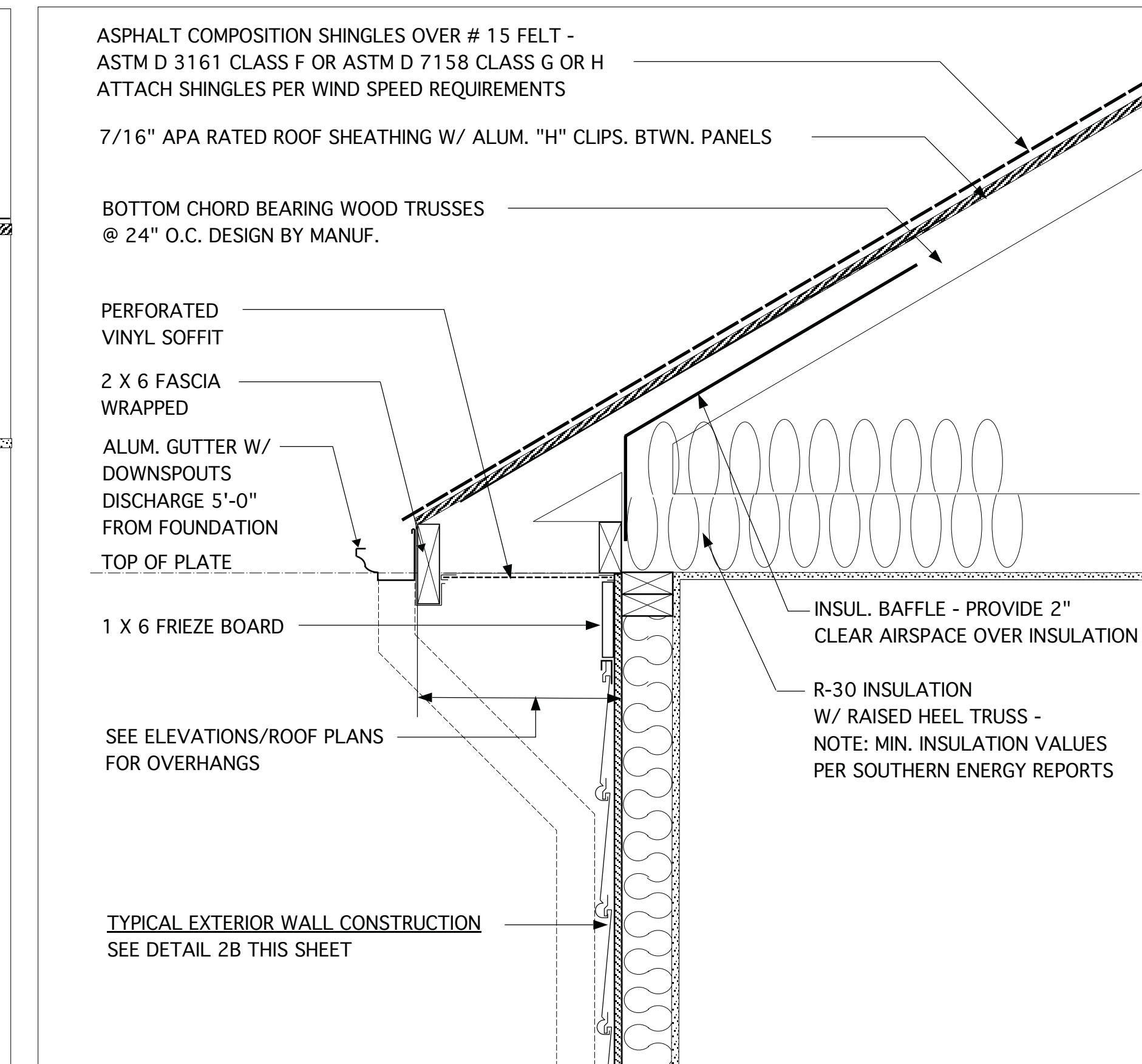
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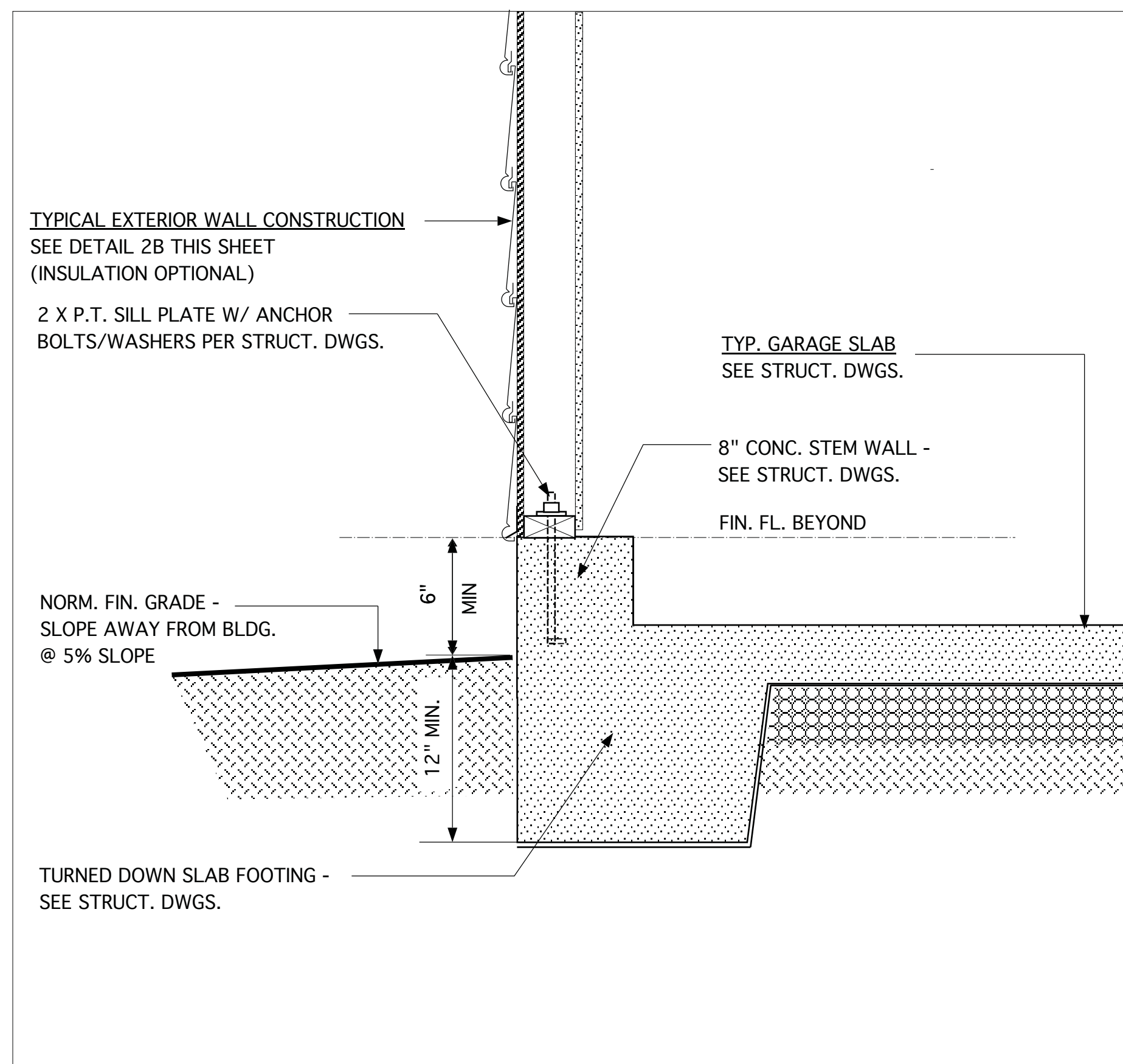
3B FOUNDATION DETAIL @ INTERIOR THICKENED SLAB



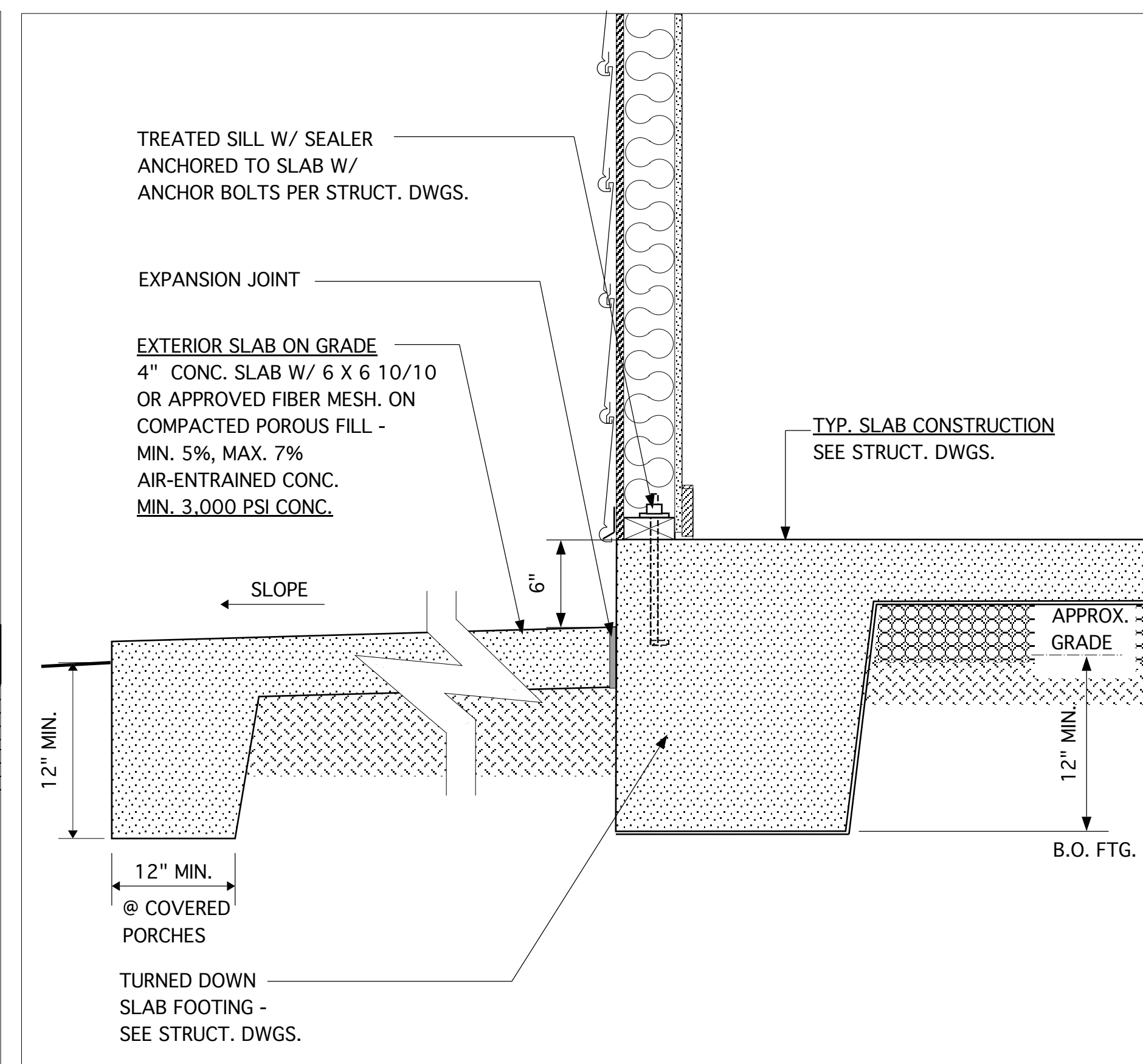
2B TYPICAL FLOOR / WALL DETAIL



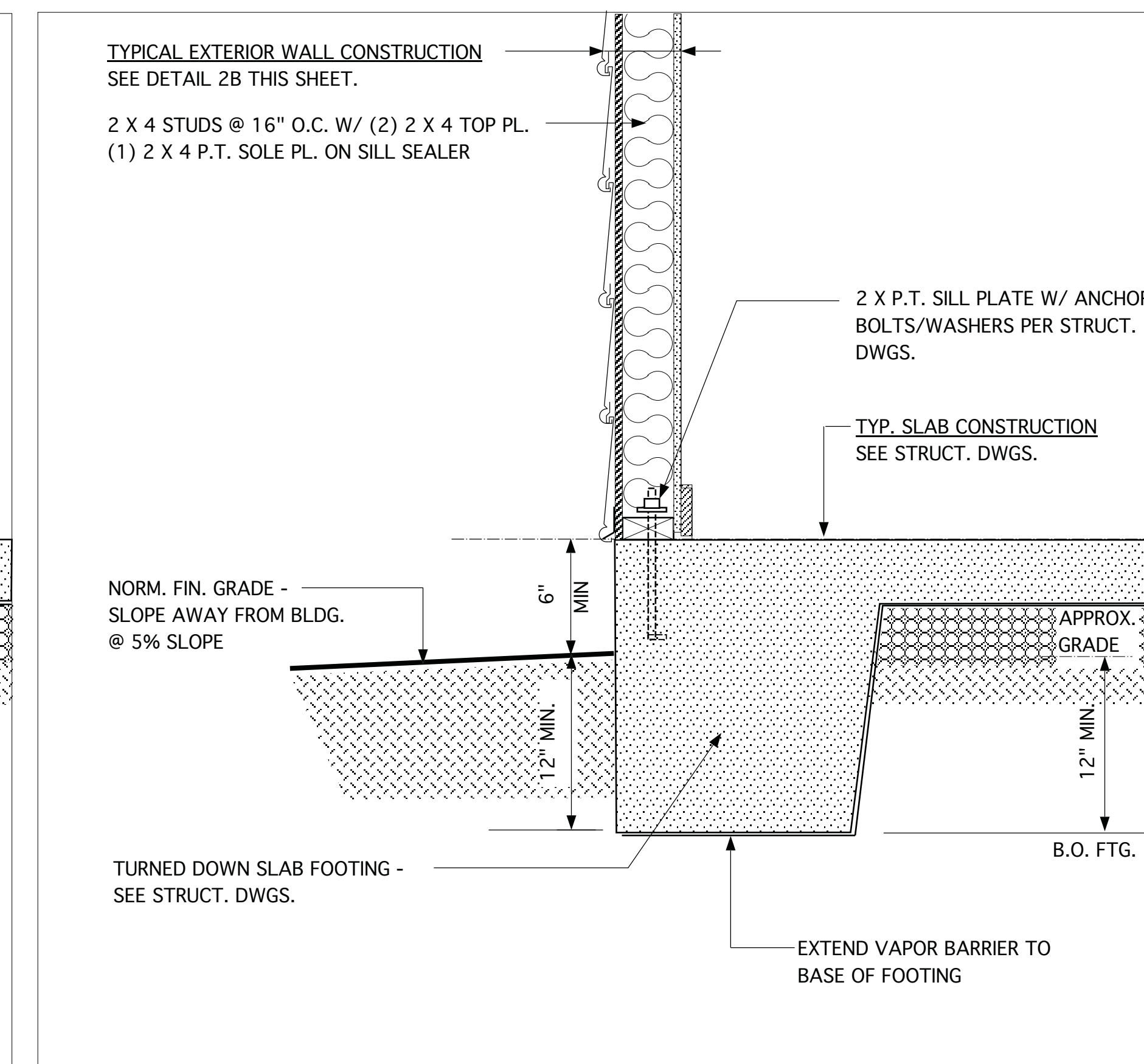
1B TYPICAL SOFFIT DETAIL



3A FOUND. DETAIL @ GARAGE EXTERIOR SIDE WALL



2A FOUND. DETAIL @ PATIO OR REAR COVERED PORCH



1A FOUND. DETAIL @ EXTERIOR WALL

**JAMES WENTLING/
ARCHITECT**

LAND TITLE BUILDING
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PHILADELPHIA, PA 19110

(215) 568-2551
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OR BUILDINGS BEING SEIZED AND/OR RAISED.

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JAMES WALTER WENTLING
REGISTERED ARCHITECT
18642
NORTH CAROLINA
RALEIGH, N. C.
2/27/23

| REVISIONS | | |
|-----------|----------|---------------------|
| MARK | DATE | DESCRIPTION |
| DN | 12-18-18 | CONVERT HIGHGATE |
| DN | 01-14-19 | MINOR UPDATE |
| AM | 01-14-21 | RE stamps SHEET |
| DN | 02-09-21 | OPT. PORCH FOOTINGS |
| AM | 09-09-21 | RE stamps SHEET |
| JW | 02-07-23 | NEILL'S POINT/FARM |

PROJECT NO.
113-88

DATE
10-16-17

SCALE
1-1/2" = 1'-0"

DRAWN BY
DN

CHECKED BY
JW

ISSUED FOR
PERMITS/CONSTRUCTION

PROJECT TITLE
**MODEL 6260 -
GARAGE RIGHT**

CLIENT
**CHESAPEAKE
HOMES OF NC**
3100 Smoketree Court,
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Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE
**MONOLITHIC SLAB
FOUNDATION, WALL
AND SOFFIT DETAILS**

SHEET
6

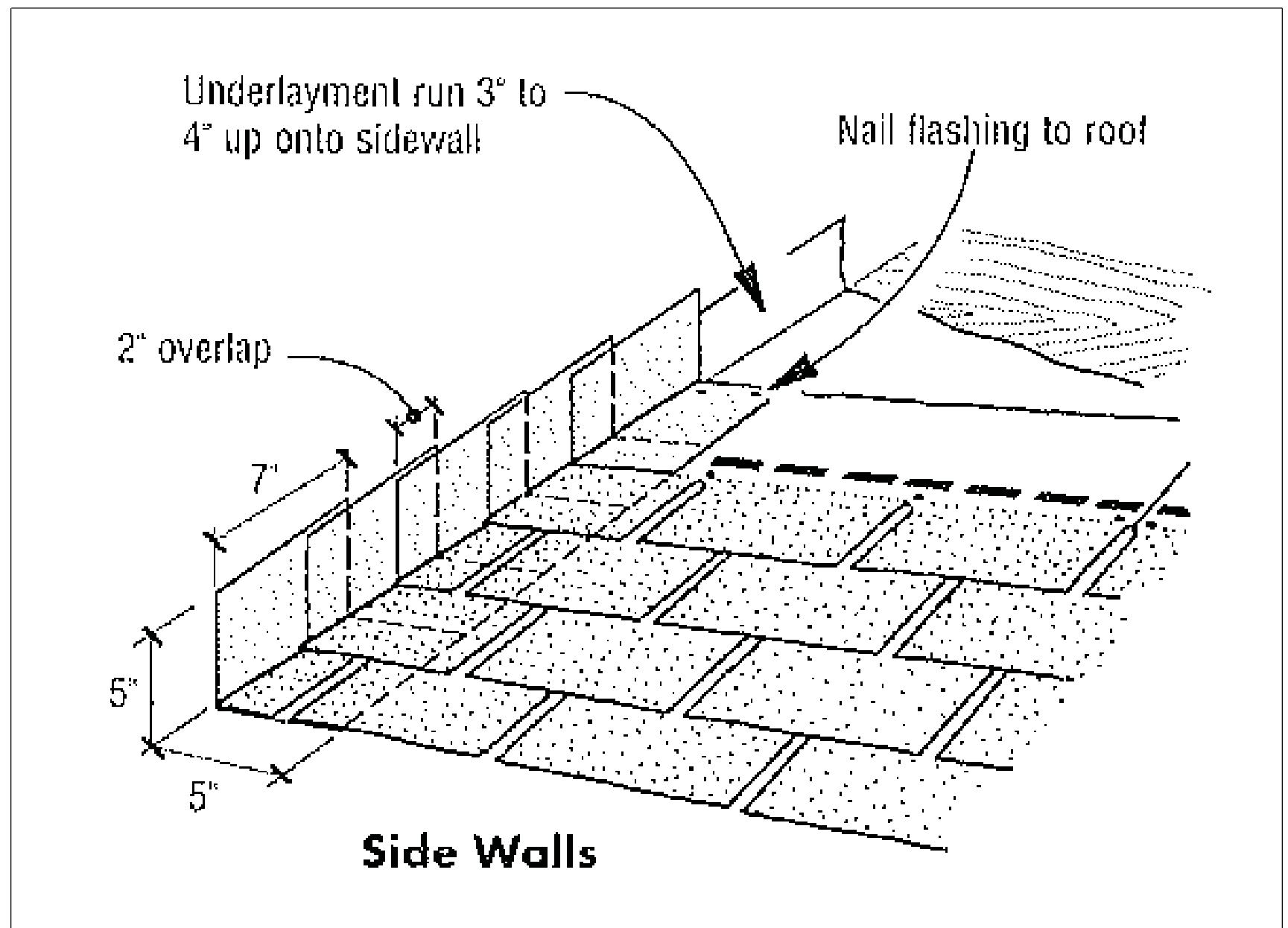
**JAMES WENTLING/
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PHILADELPHIA, PA 19110

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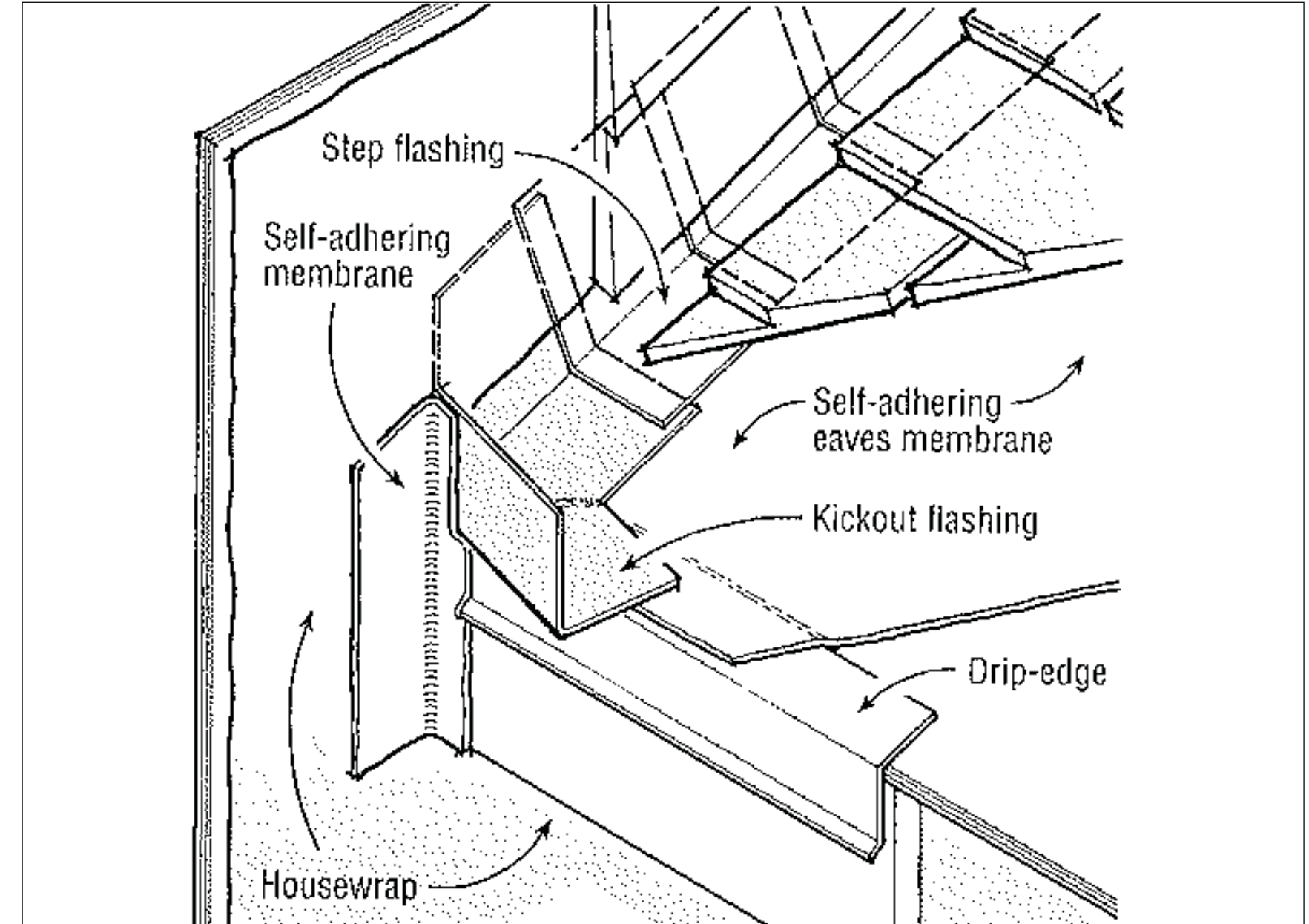
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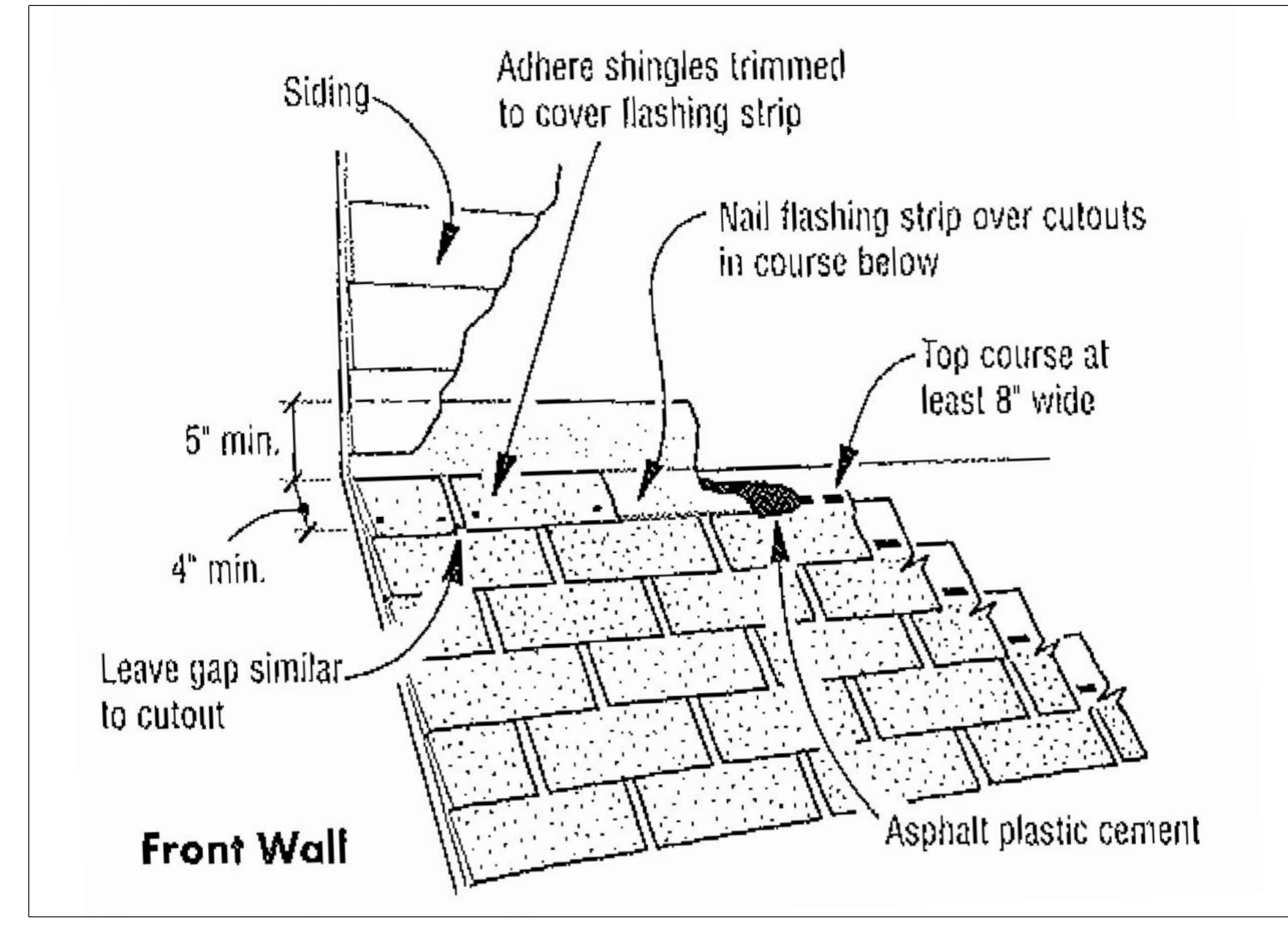
3B ROOF FLASHING AGAINST SIDE WALL DETAIL

N.T.S.



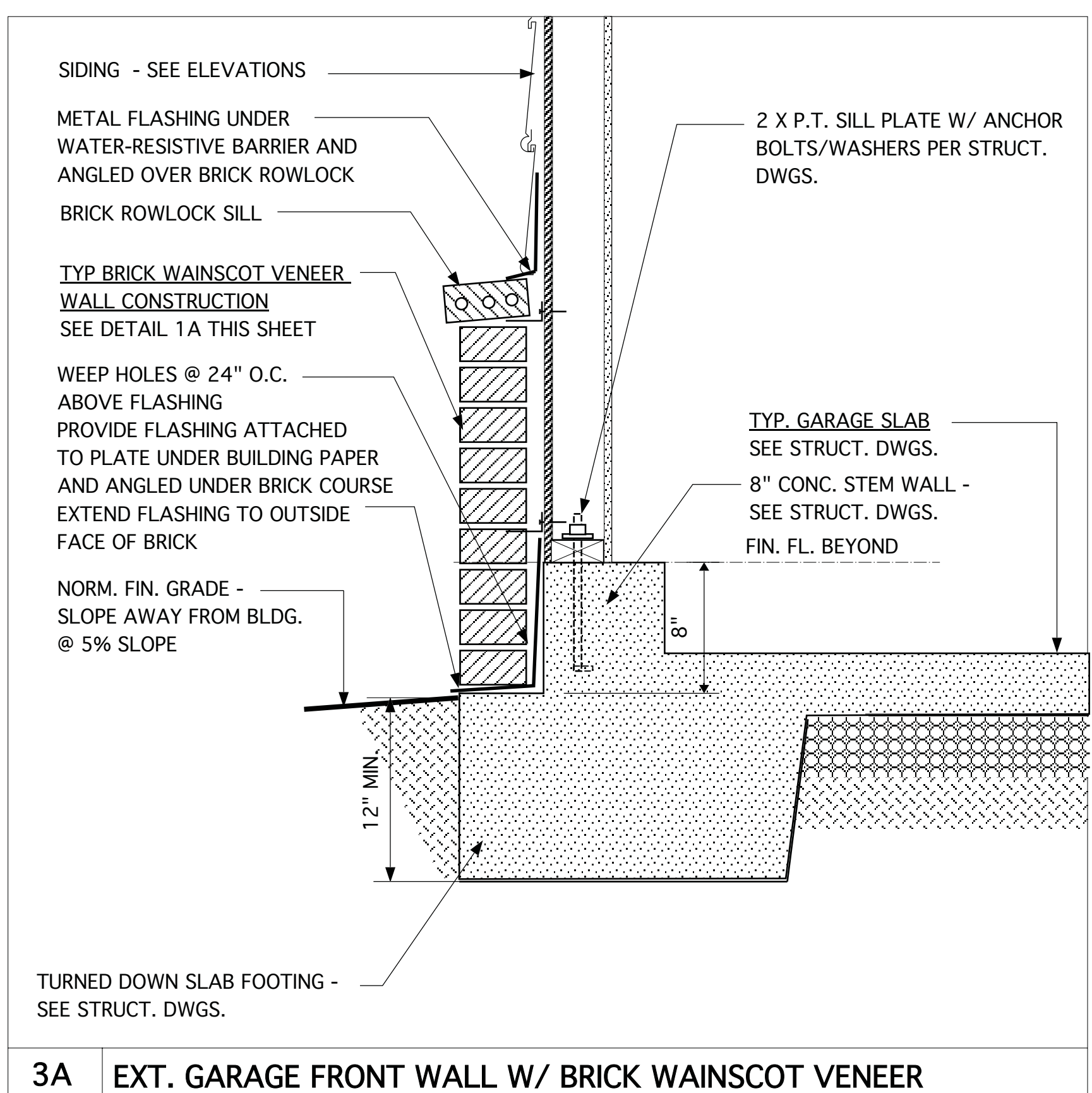
2B KICK-OUT FLASHING DETAIL AT ROOF FASCIA/WALL INTERSECTION

N.T.S.

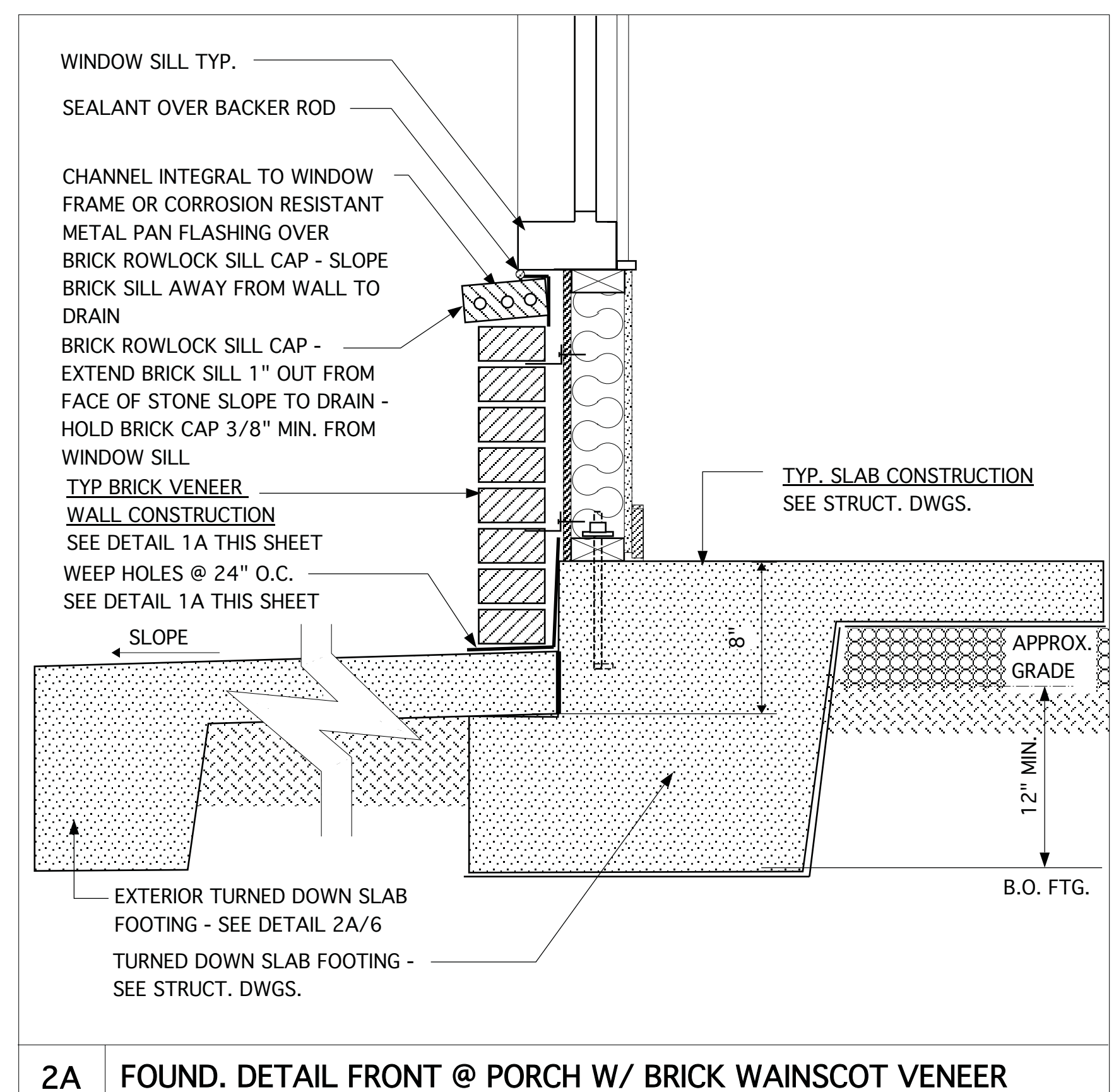


1B ROOF FLASHING AGAINST FRONT WALL DETAIL

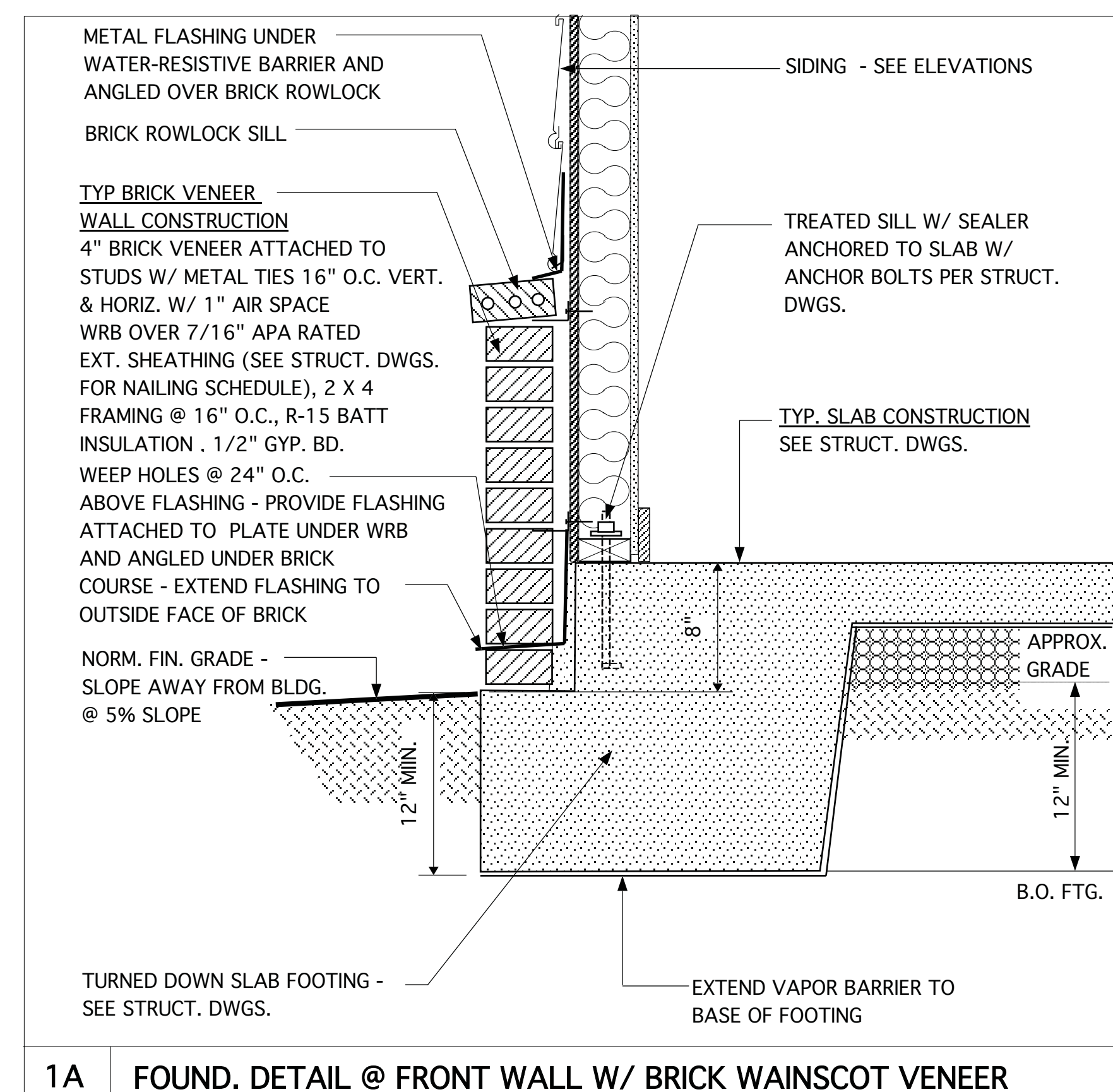
N.T.S.



3A EXT. GARAGE FRONT WALL W/ BRICK WAINSCOT VENEER



2A FOUND. DETAIL FRONT @ PORCH W/ BRICK WAINSCOT VENEER



1A FOUND. DETAIL @ FRONT WALL W/ BRICK WAINSCOT VENEER

| REVISIONS | | |
|-----------|----------|--------------------|
| MARK | DATE | DESCRIPTION |
| DN | 12-18-18 | CONVERT HIGHGATE |
| AM | 01-14-21 | RE-STAMP SHEET |
| AM | 09-09-21 | RE-STAMP SHEET |
| JW | 02-07-23 | NEILL'S POINT/FARM |

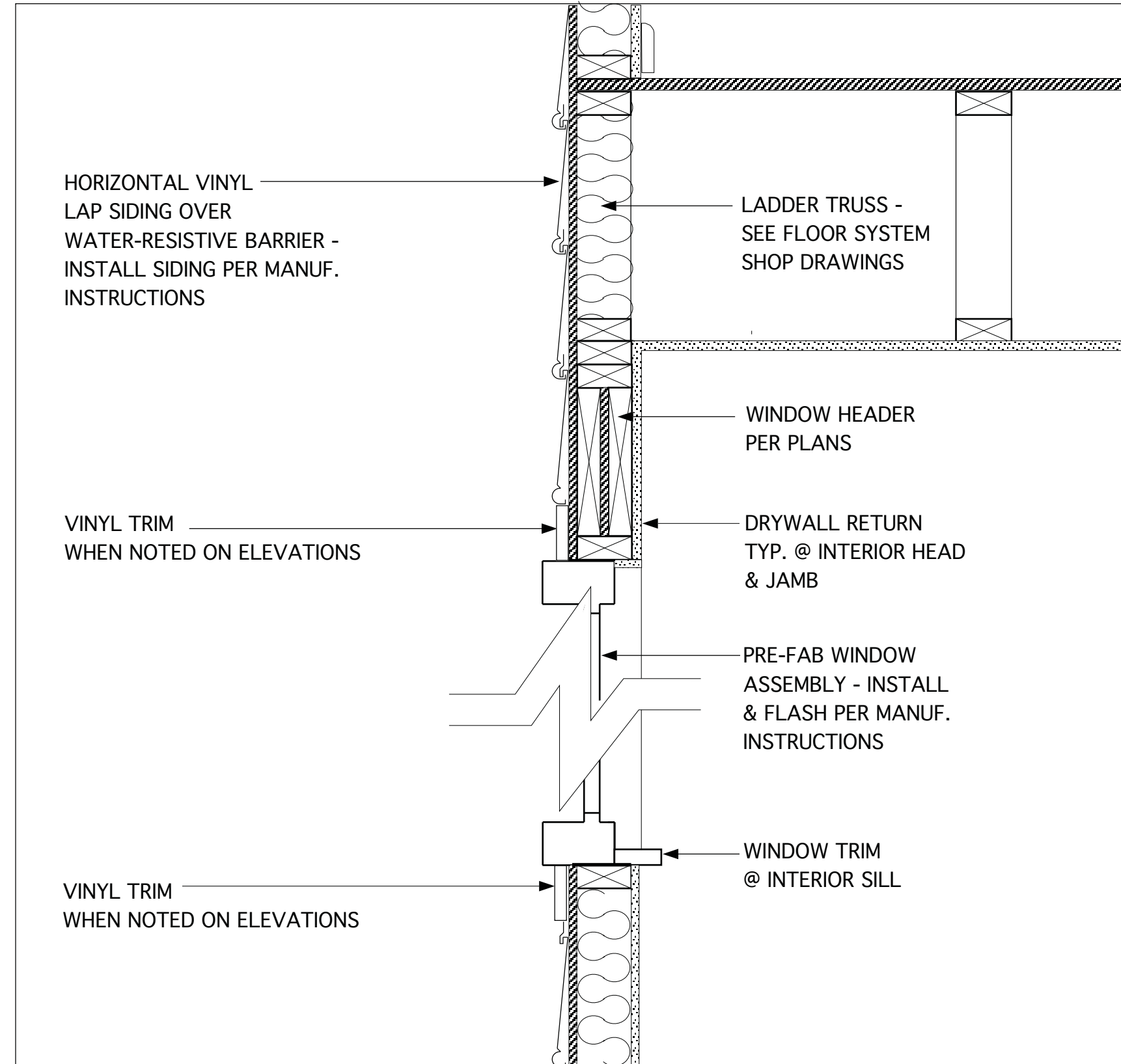
| | |
|-------------|-----------------------|
| PROJECT NO. | 113-88 |
| DATE | 10-16-17 |
| SCALE | 1-1/2" = 1'-0" U.N.O. |
| DRAWN BY | DN |
| CHECKED BY | JW |
| ISSUED FOR | PERMITS/CONSTRUCTION |

**MODEL 6260 -
GARAGE RIGHT**

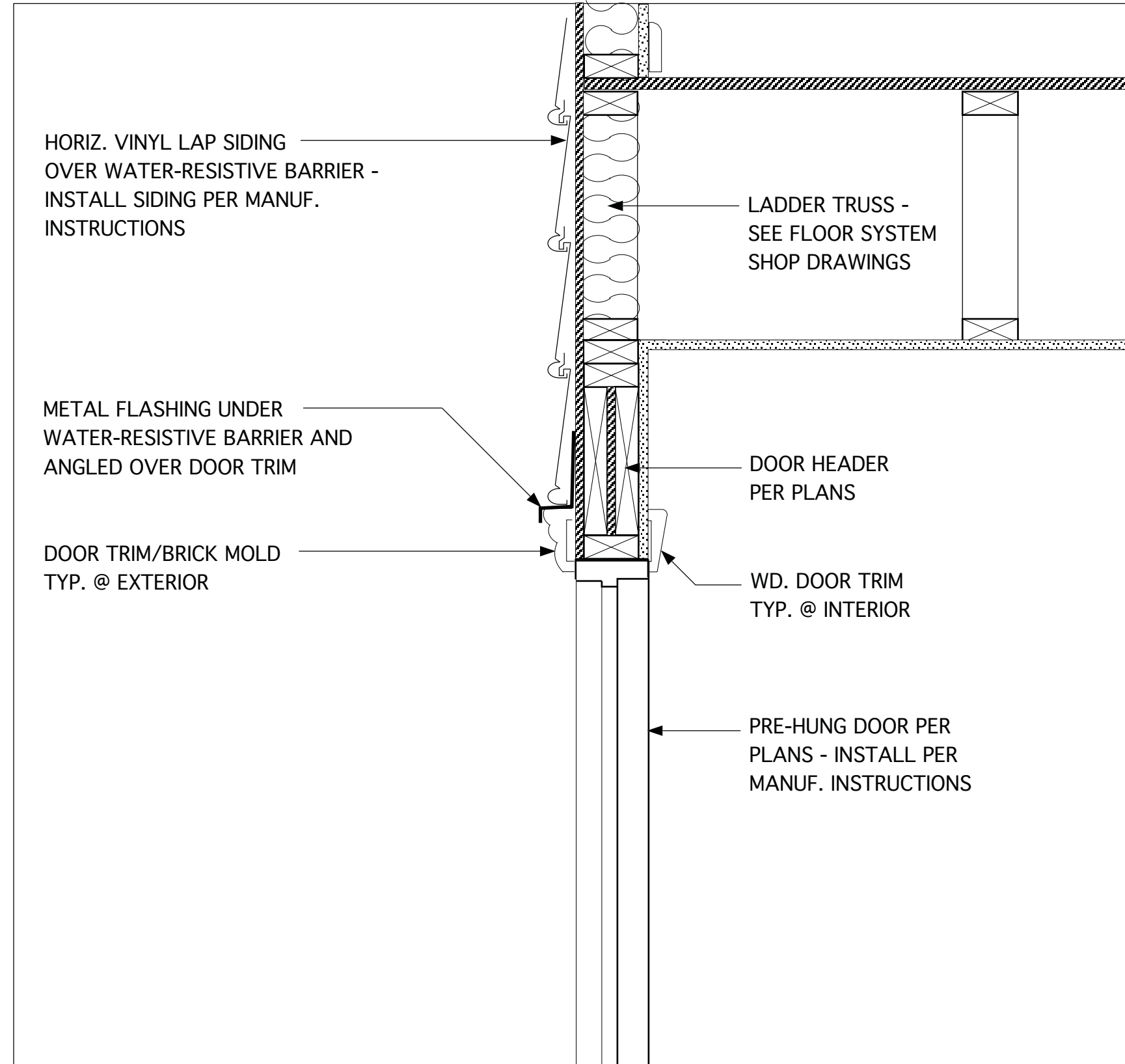
CLIENT
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Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

**MONOLITHIC SLAB
FOUNDATION AND
WALL DETAILS**

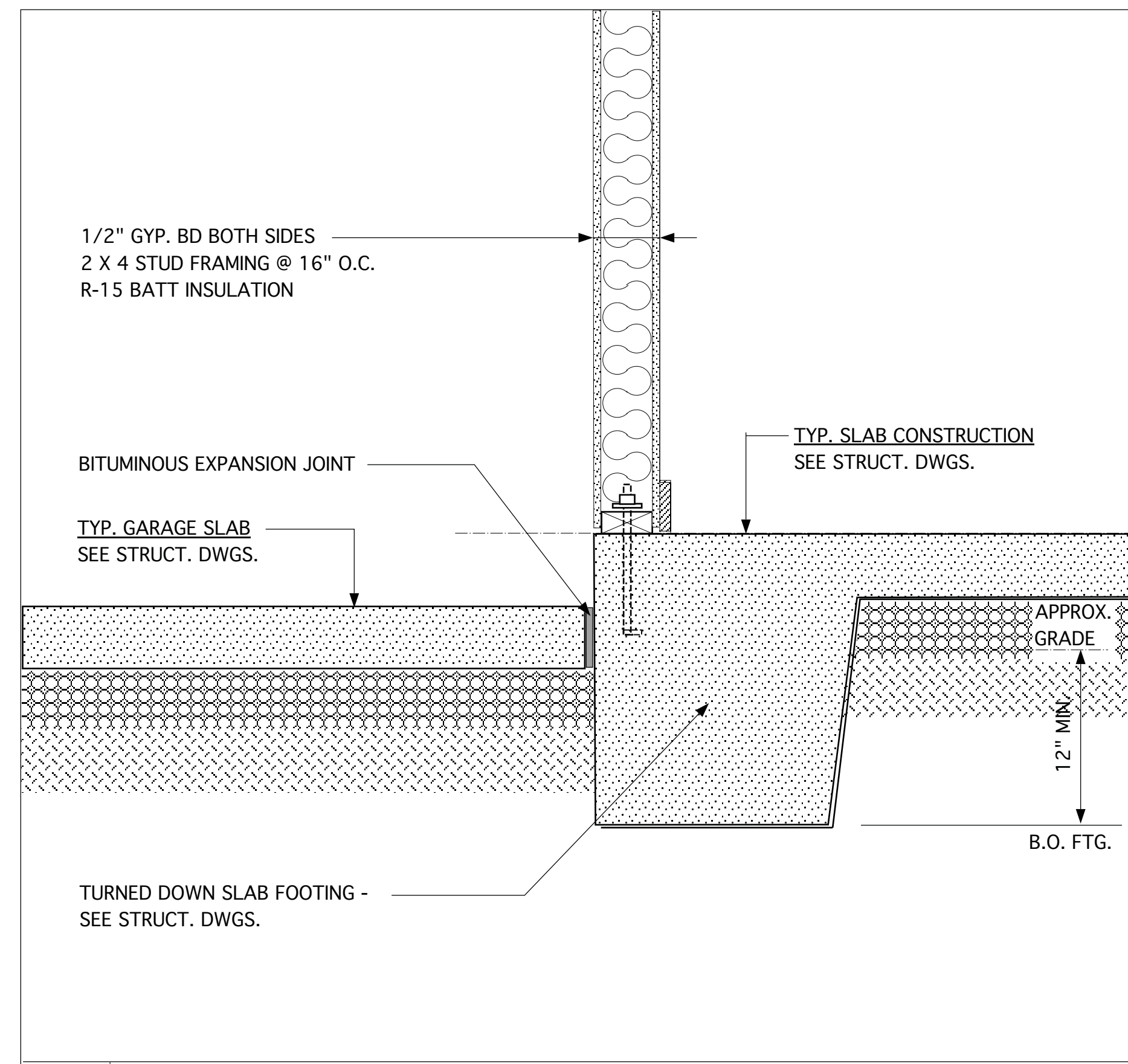
SHEET
6.1



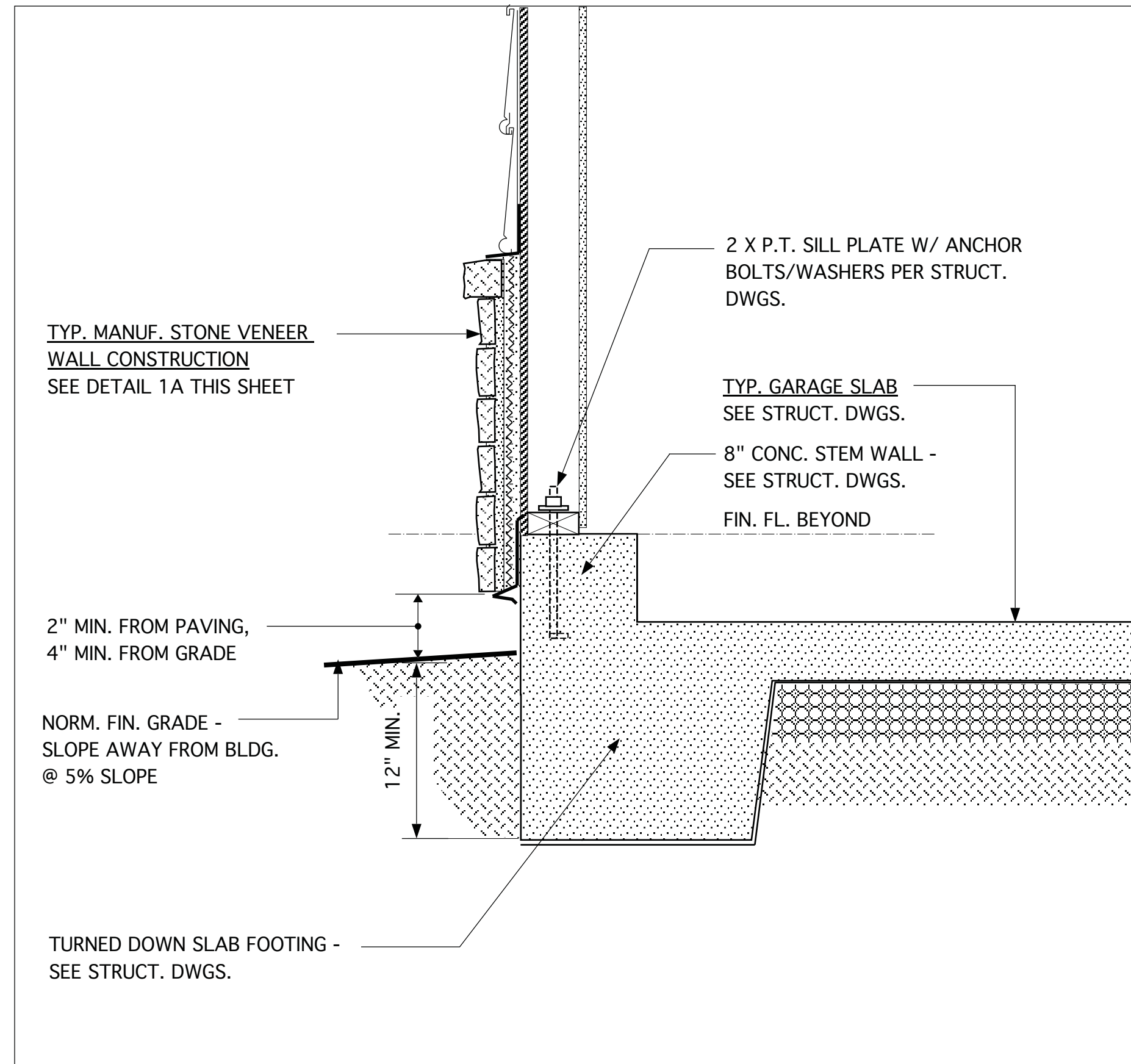
3B WINDOW TRIM & FLASHING DETAIL



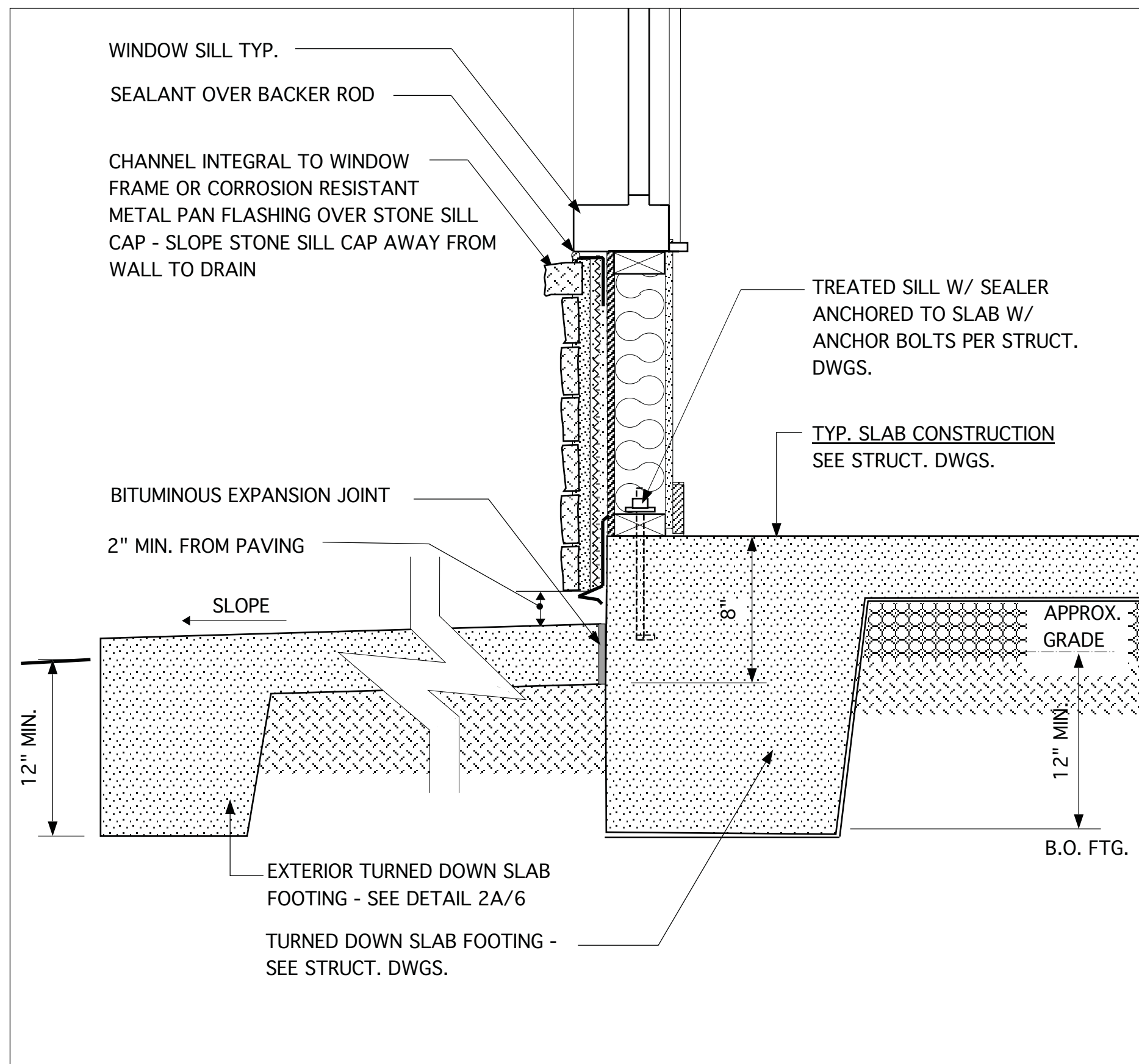
2B DOOR HEAD & FLASHING DETAIL



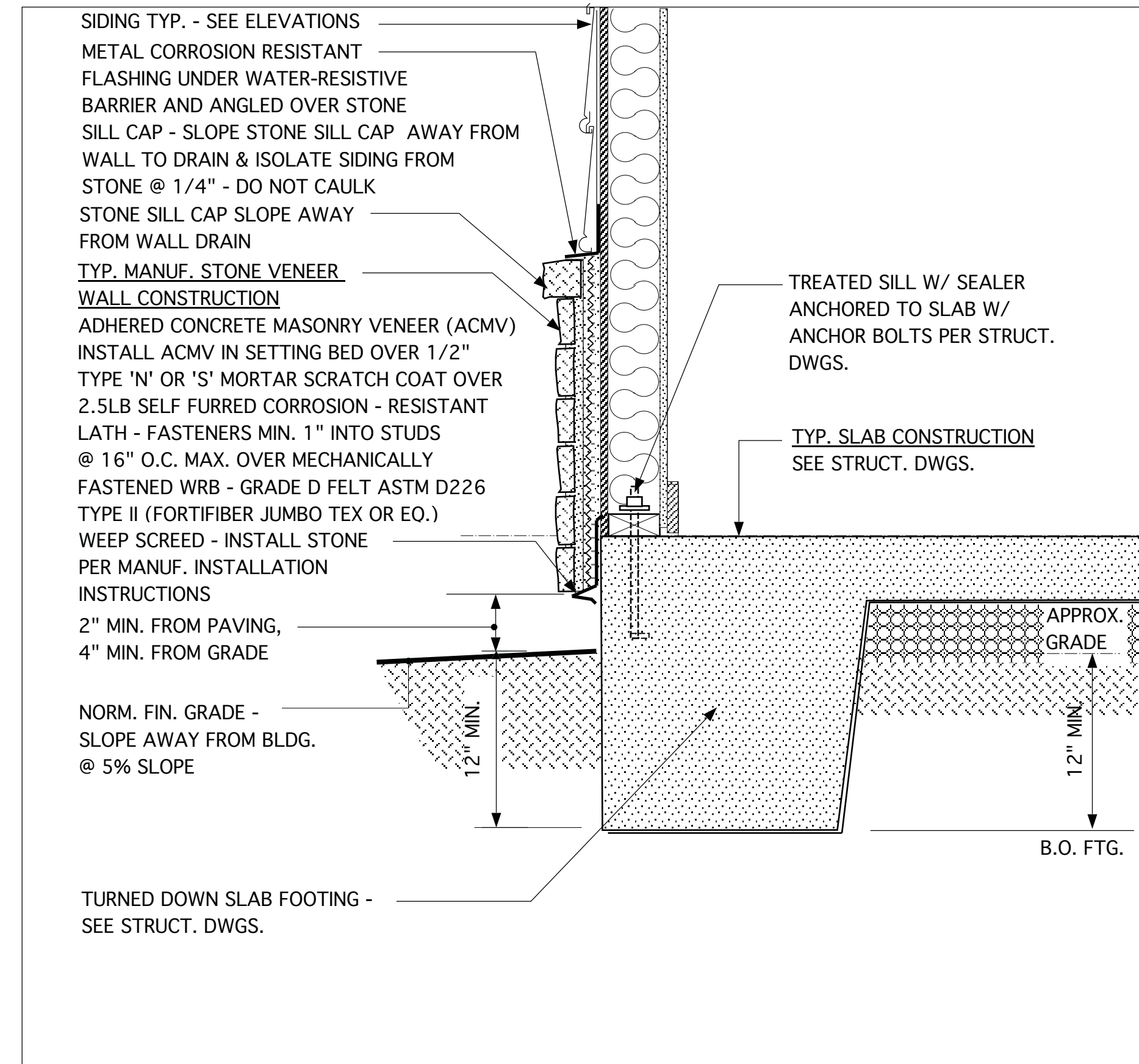
1B DETAIL @ GARAGE & INTERIOR



3A GARAGE EXT. FRONT WALL W/ STONE WAINSCOT VENEER



2A FRONT PORCH W/ STONE WAINSCOT VENEER @ WINDOW



1A DETAIL @ EXT. FRONT WALL W / STONE WAINSCOT VENEER

**JAMES WENTLING/
ARCHITECT**

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SUITE 1524
PHILADELPHIA, PA 19110

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LAND PLANNING
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| REVISIONS | | |
|-----------|----------|--------------------|
| MARK | DATE | DESCRIPTION |
| DN | 12-18-18 | CONVERT HIGHGATE |
| AM | 01-14-21 | RE stamps SHEET |
| AM | 09-09-21 | RE stamps SHEET |
| JW | 02-15-23 | NEILL'S POINT/FARM |

| | |
|-------------|----------------------|
| PROJECT NO. | 113-88 |
| DATE | 10-16-17 |
| SCALE | 1-1/2" = 1'-0" |
| DRAWN BY | DN |
| CHECKED BY | JW |
| ISSUED FOR | PERMITS/CONSTRUCTION |

PROJECT TITLE
**MODEL 6260 -
GARAGE RIGHT**

CLIENT
**CHESAPEAKE
HOMES OF NC**
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE
**MONOLITHIC SLAB
FOUNDATION
AND WALL DETAILS**

SHEET
6.2

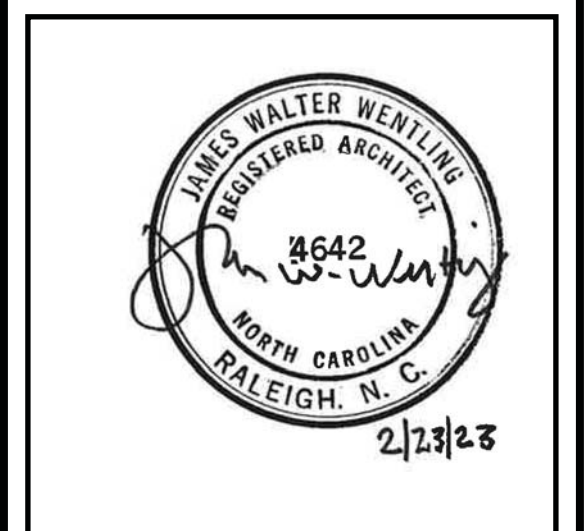
**JAMES WENTLING/
ARCHITECT**
LAND TITLE BUILDING
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| MARK | DATE | DESCRIPTION |
|------|----------|-------------------|
| DN | 12-18-18 | CONVERT HIGHGATE |
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| AM | 09-09-21 | RESTAMP SHEET |
| JW | 02-15-23 | NELL'S POINT/FARM |

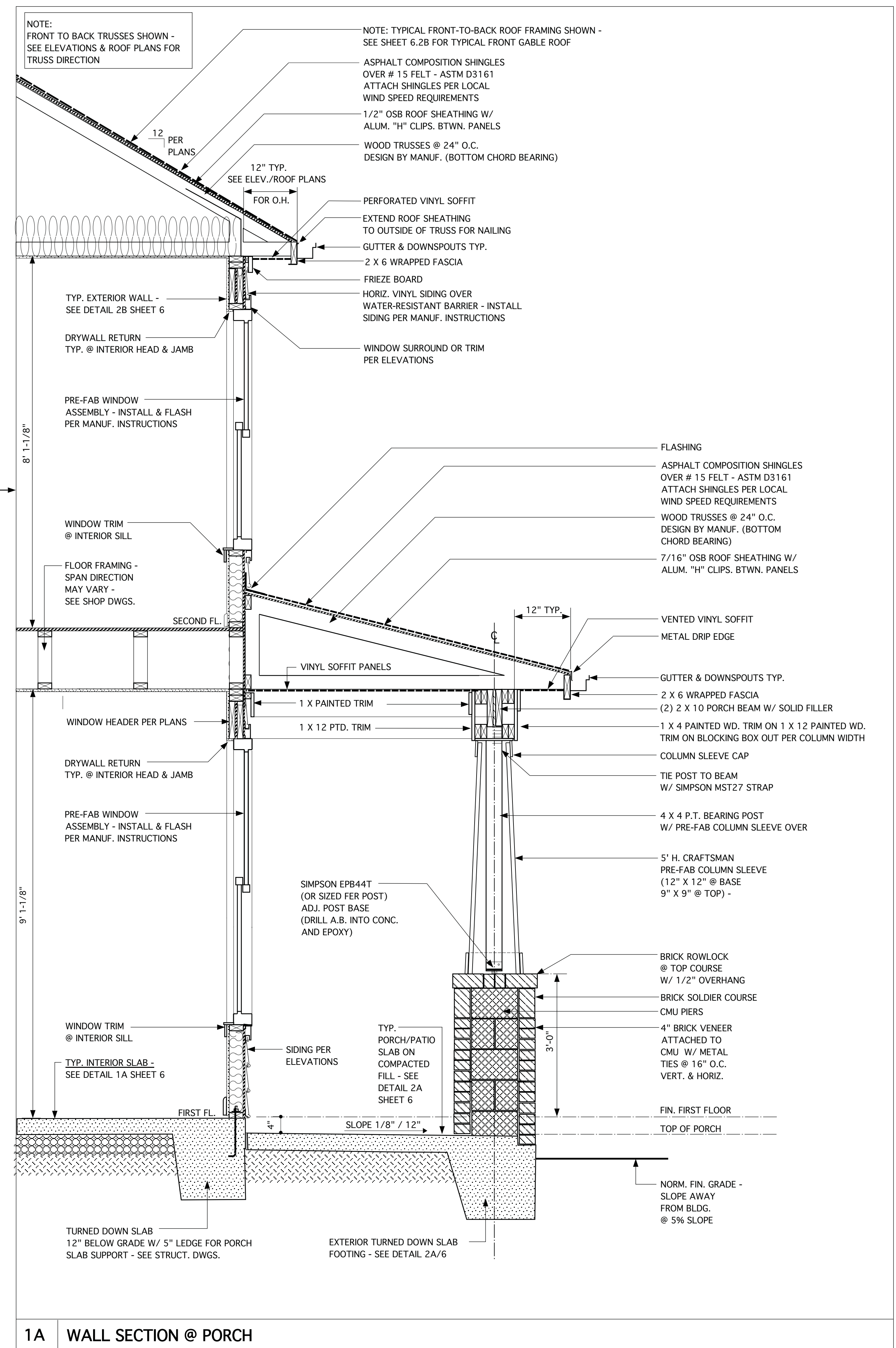
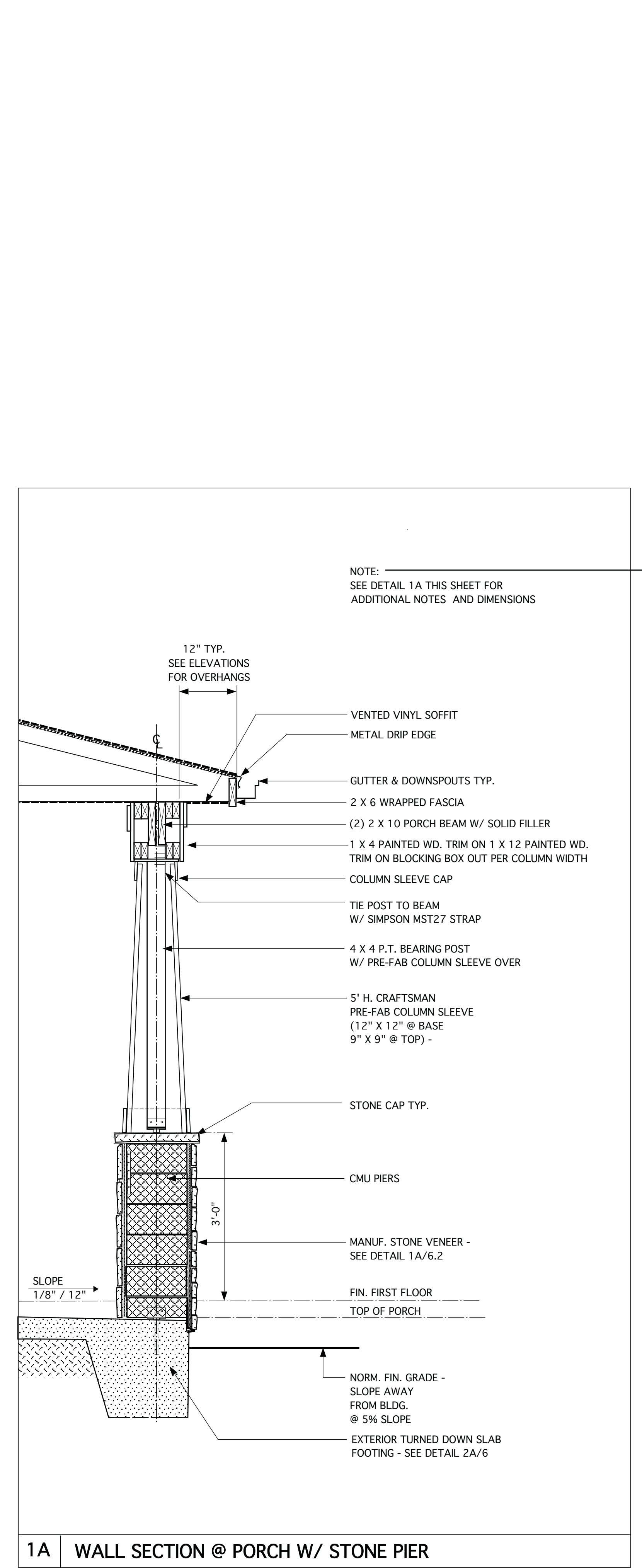
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| PROJECT NO. | 113-88 |
| DATE | 01-08-18 |
| SCALE | 3/4" = 1'-0" |
| DRAWN BY | DN |
| CHECKED BY | JW |
| ISSUED FOR | PERMITS/CONSTRUCTION |

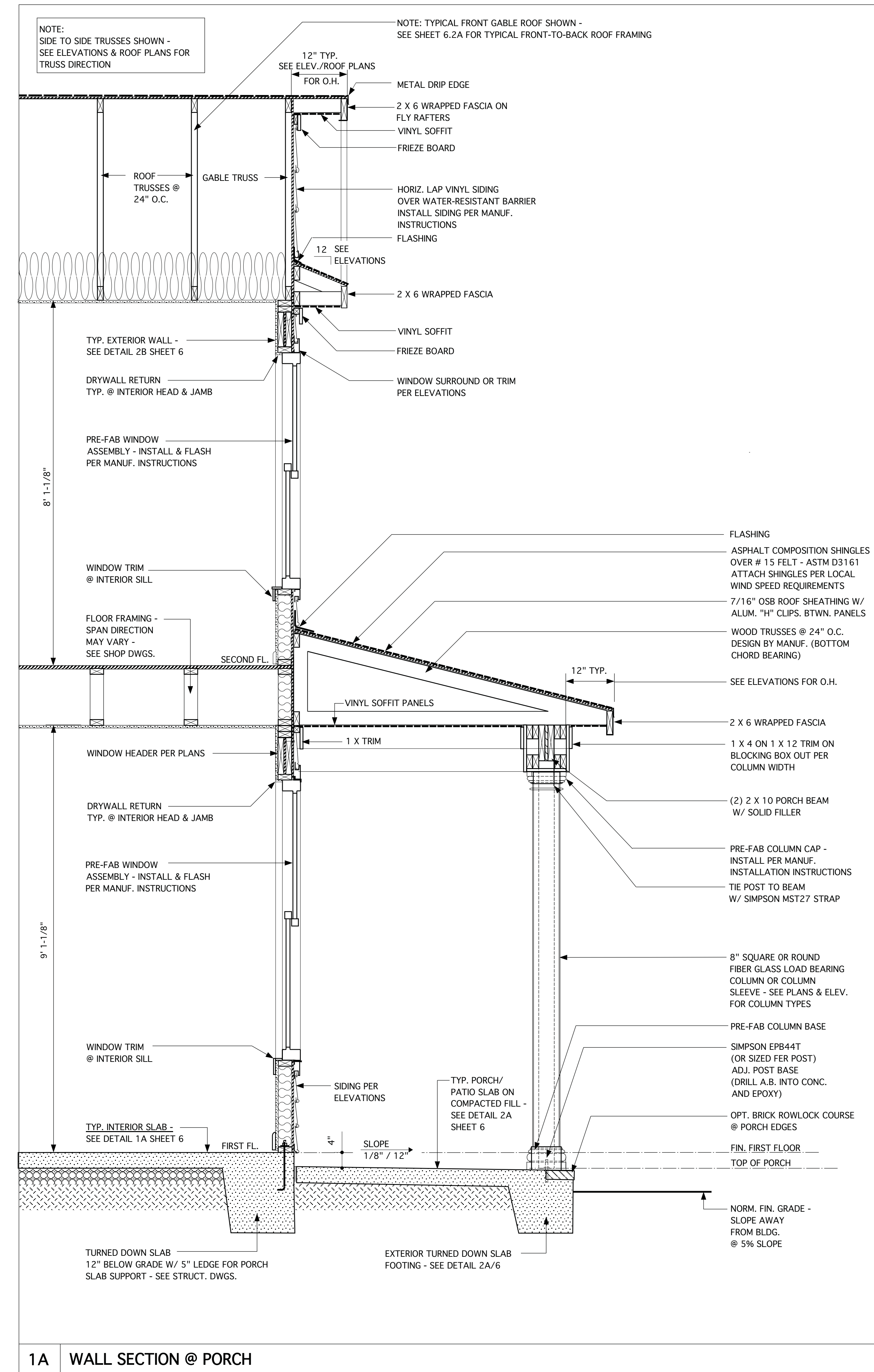
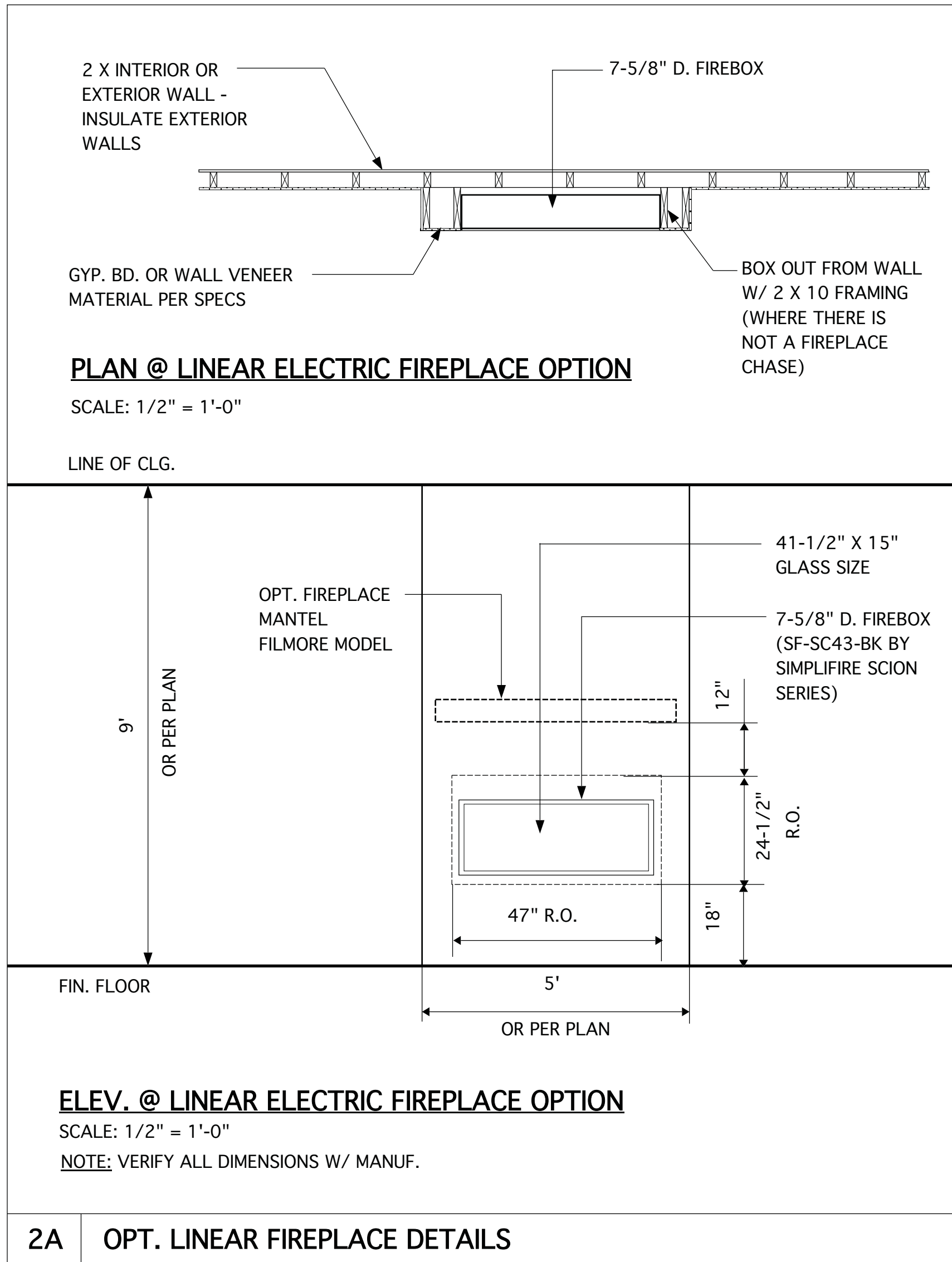
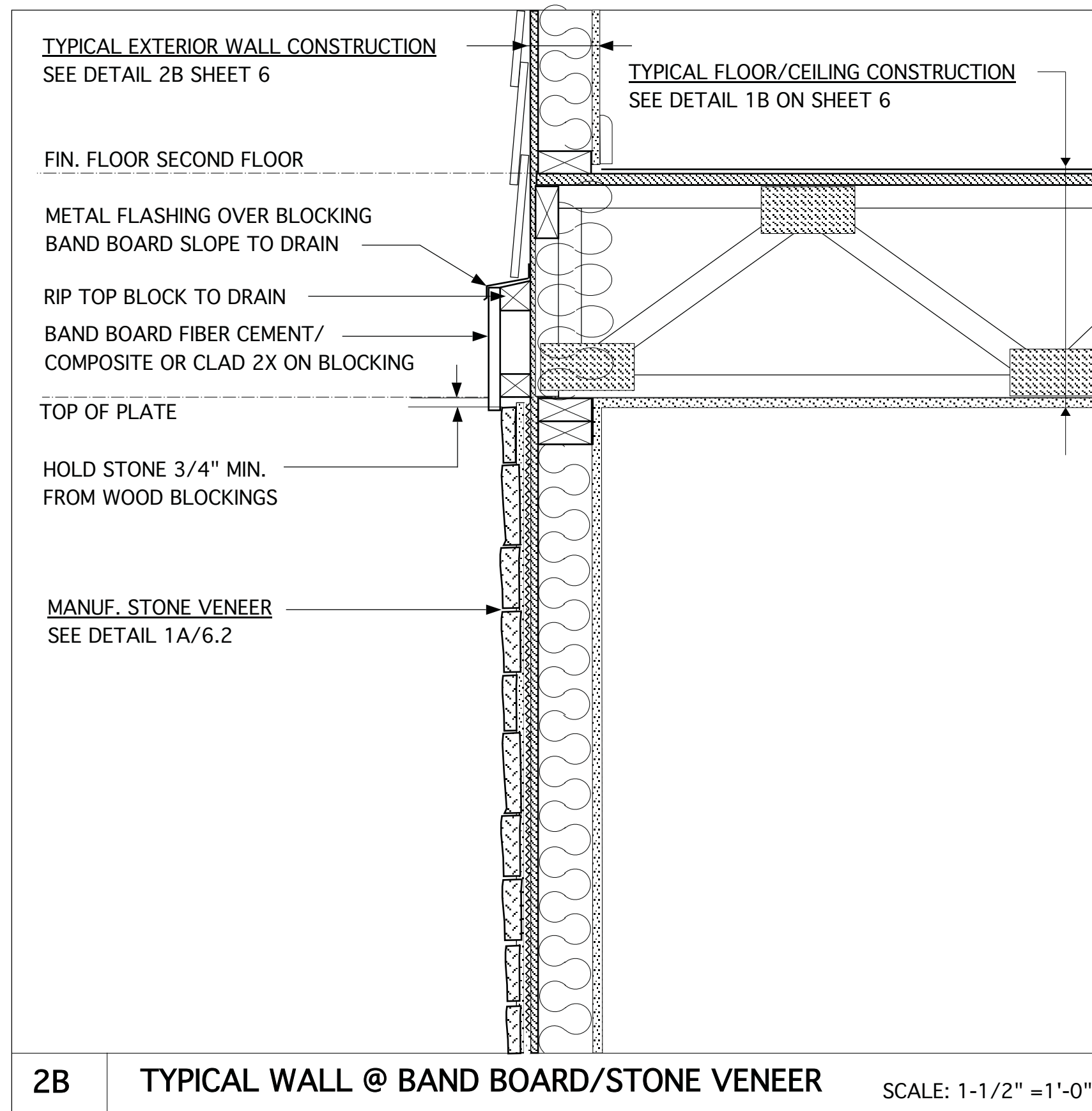
PROJECT TITLE
**MODEL 6260 -
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Raleigh, NC 27604
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(919) 556-0690 Fax

DRAWING TITLE
**ELEVATION A -
DETAILS**

SHEET
6.2A





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JAMES WALTER WENTLING
REGISTERED ARCHITECT
#642
2/23/23
NORTH CAROLINA
RALEIGH, N. C.

| REVISIONS | | |
|-----------|----------|--------------------|
| MARK | DATE | DESCRIPTION |
| DN | 12-18-18 | CONVERT HIGHGATE |
| AM | 01-14-21 | RESTAMP SHEET |
| AM | 09-09-21 | RESTAMP SHEET |
| JW | 02-15-23 | NEILL'S POINT/FARM |

PROJECT NO.
113-88

DATE
01-08-18

SCALE
3/4" = 1'-0" U.N.O.

DRAWN BY
DN

CHECKED BY
JW

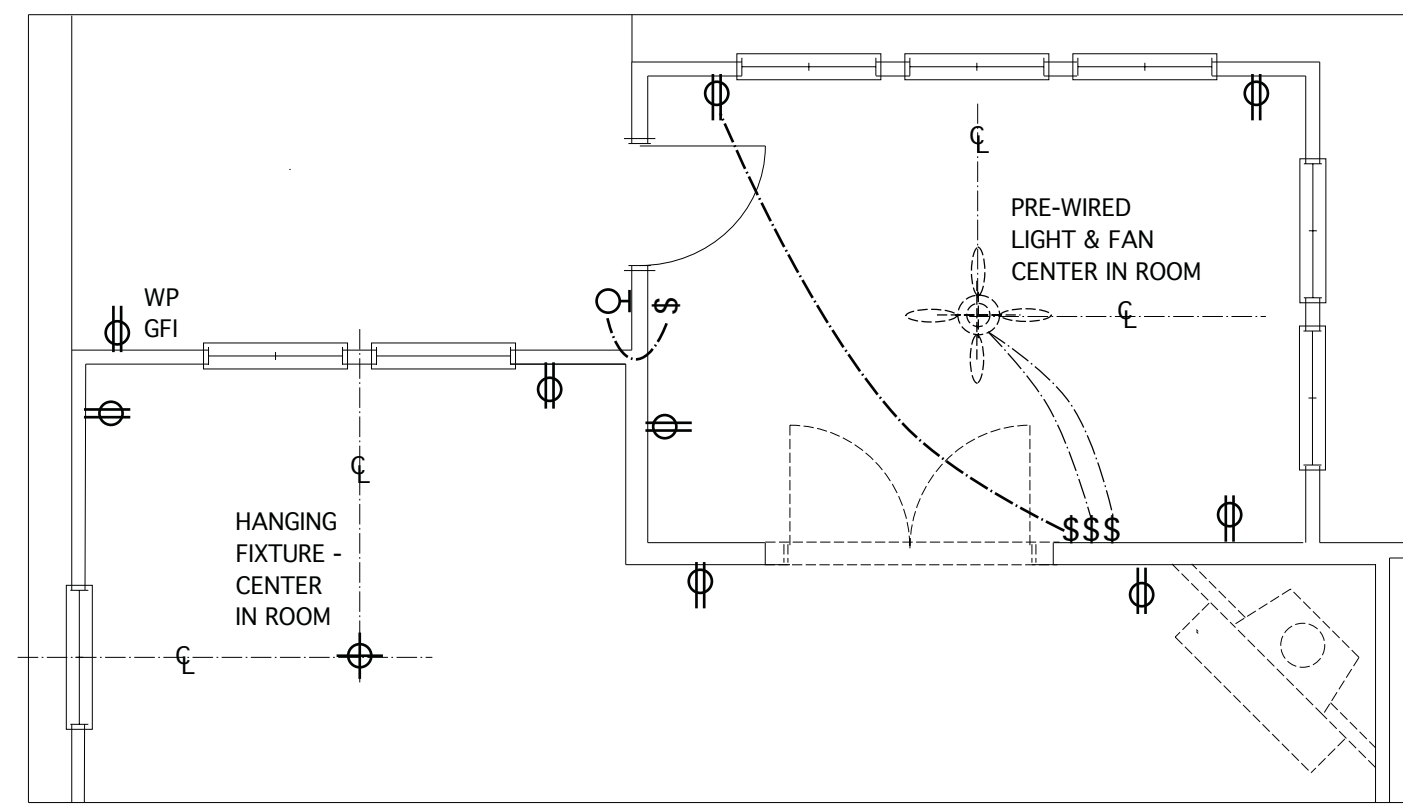
ISSUED FOR
PERMITS/CONSTRUCTION

PROJECT TITLE
**MODEL 6260 -
GARAGE RIGHT**

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HOMES OF NC**
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Raleigh, NC 27604
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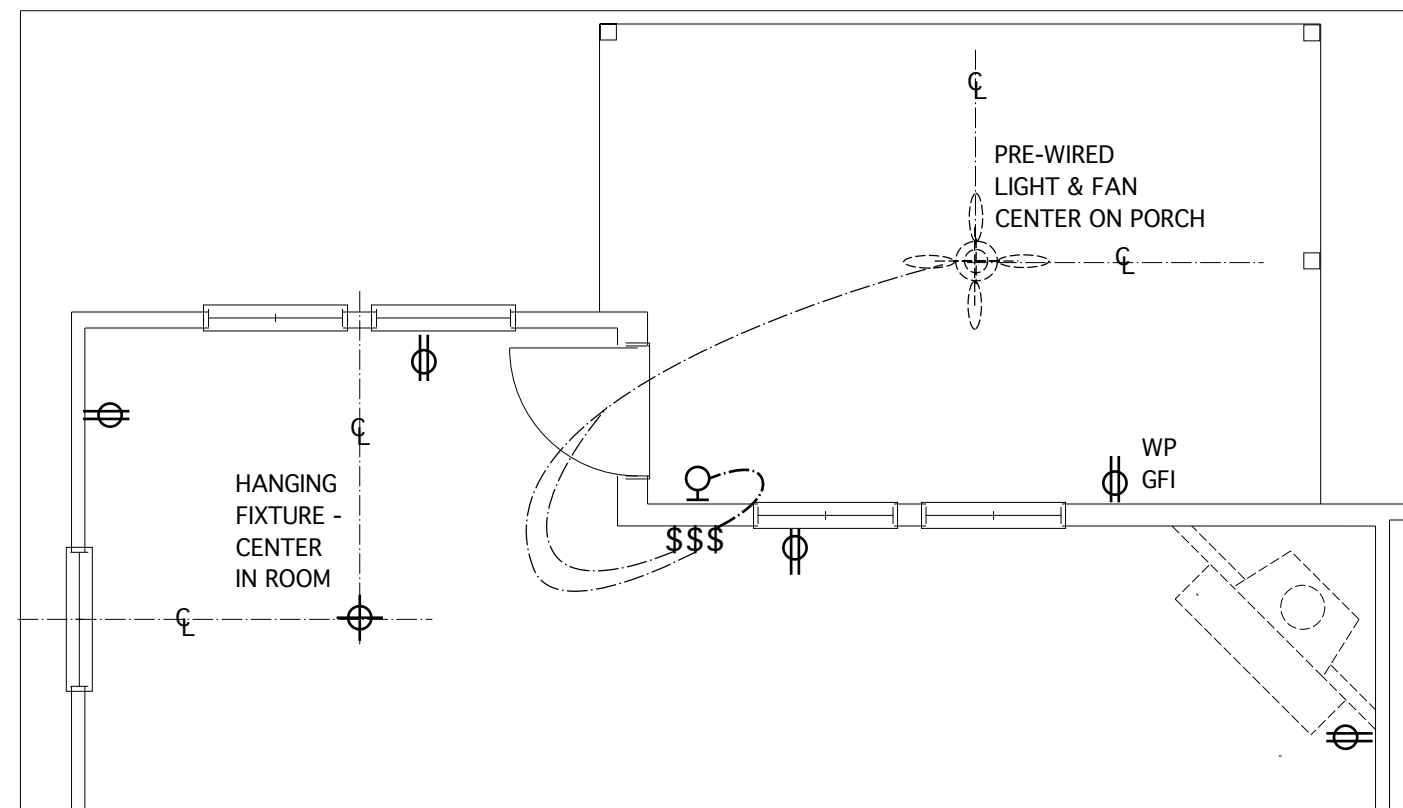
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**ELEVATION B/C/D/F -
DETAILS**

SHEET
6.2B



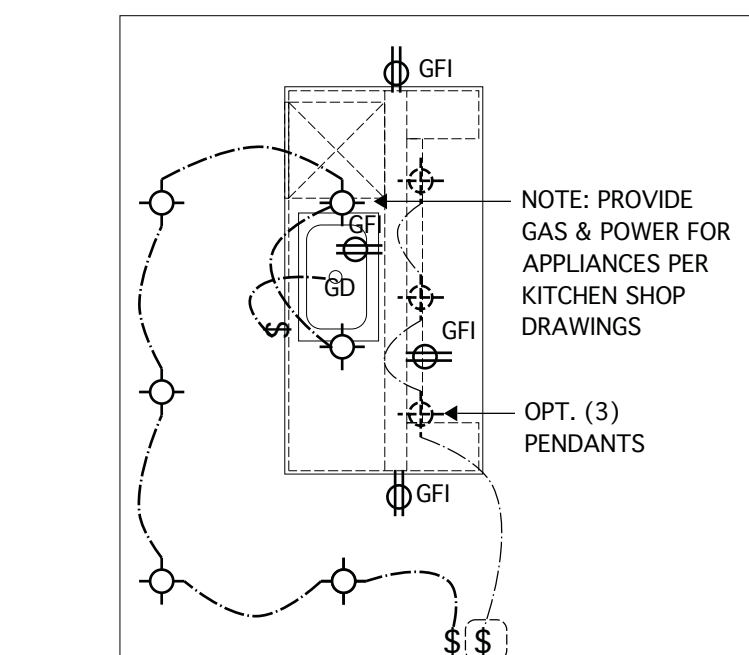
@ OPT. SUNROOM

SCALE 1/4" = 1'-0"



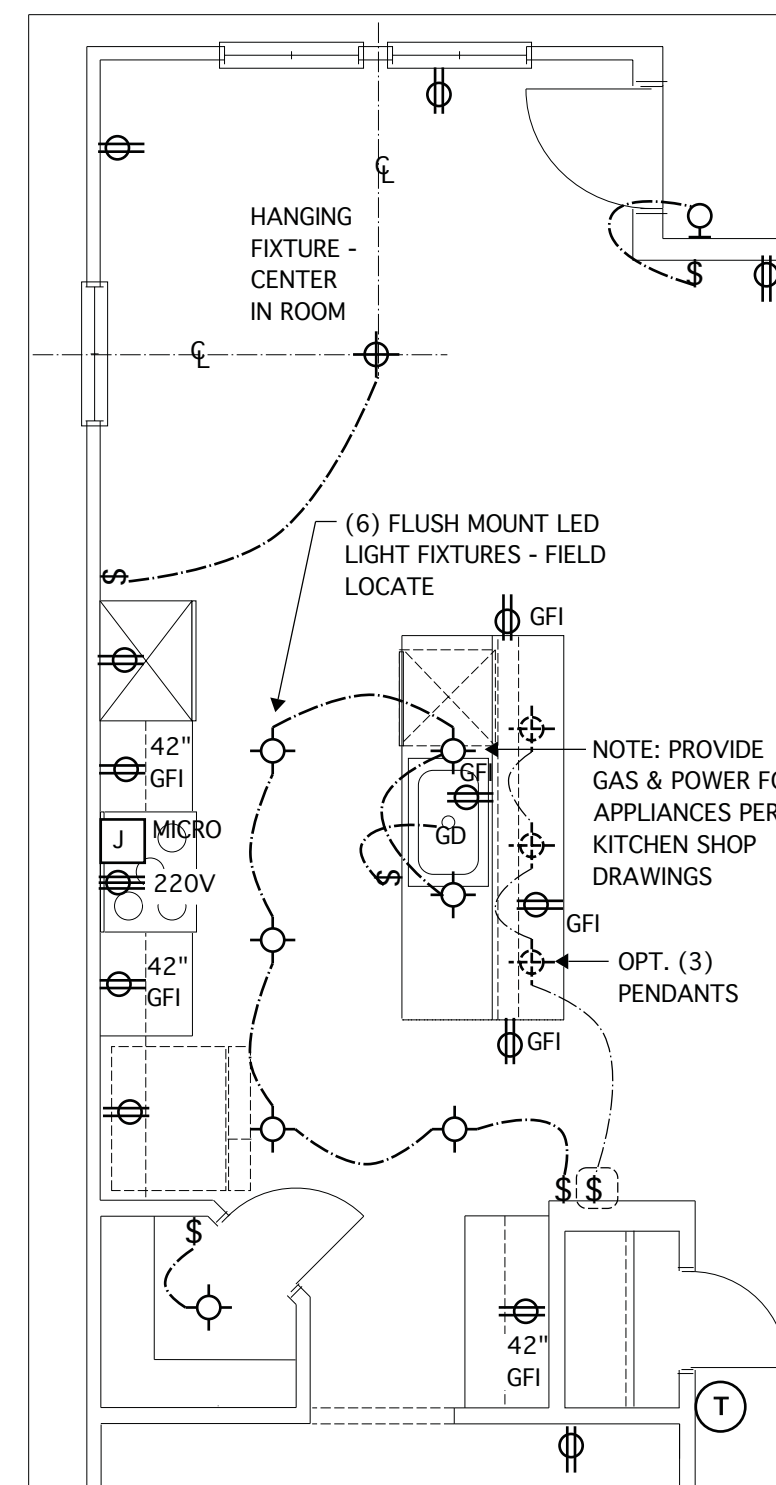
@ OPT. COVERED PORCH

SCALE 1/4" = 1'-0"



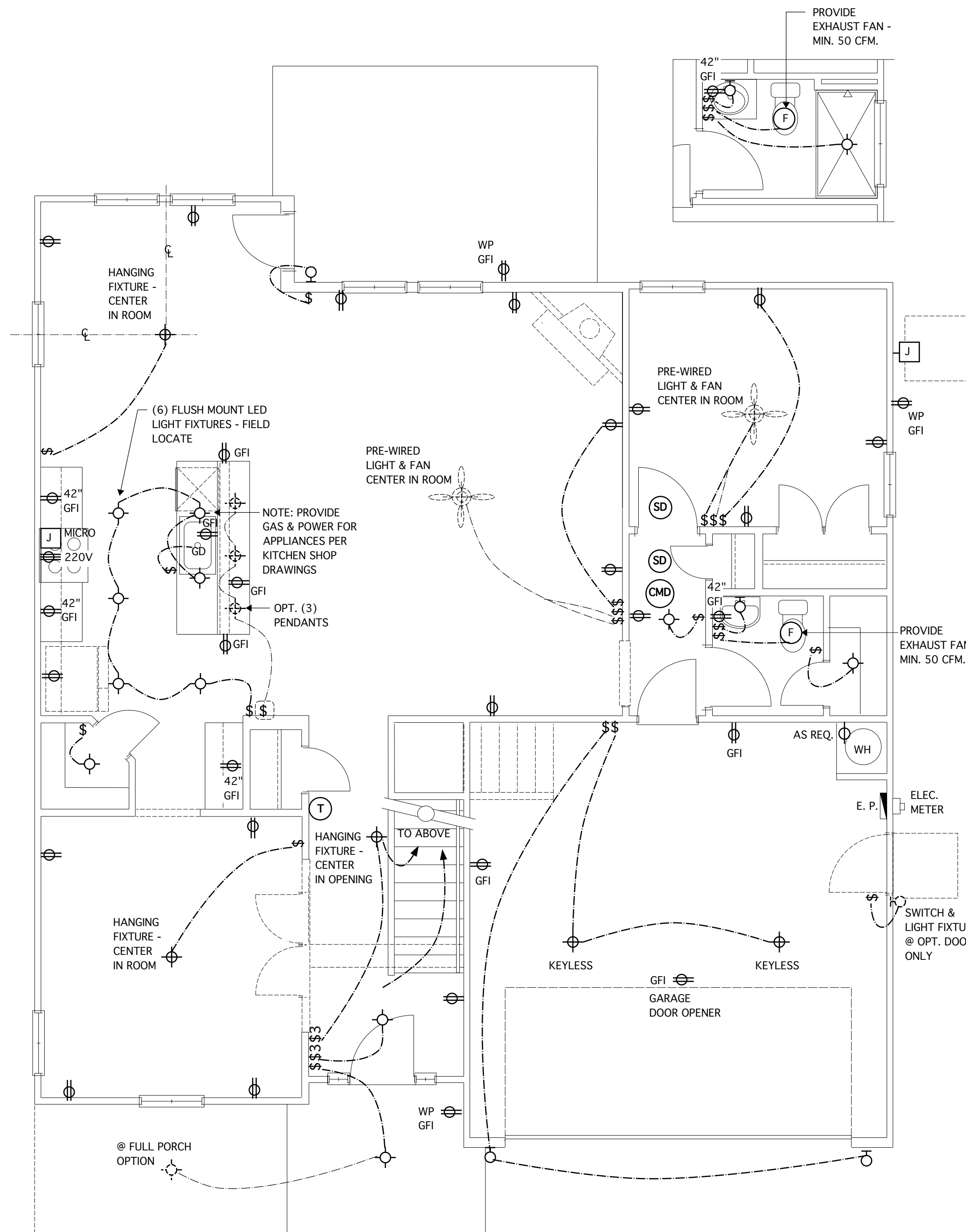
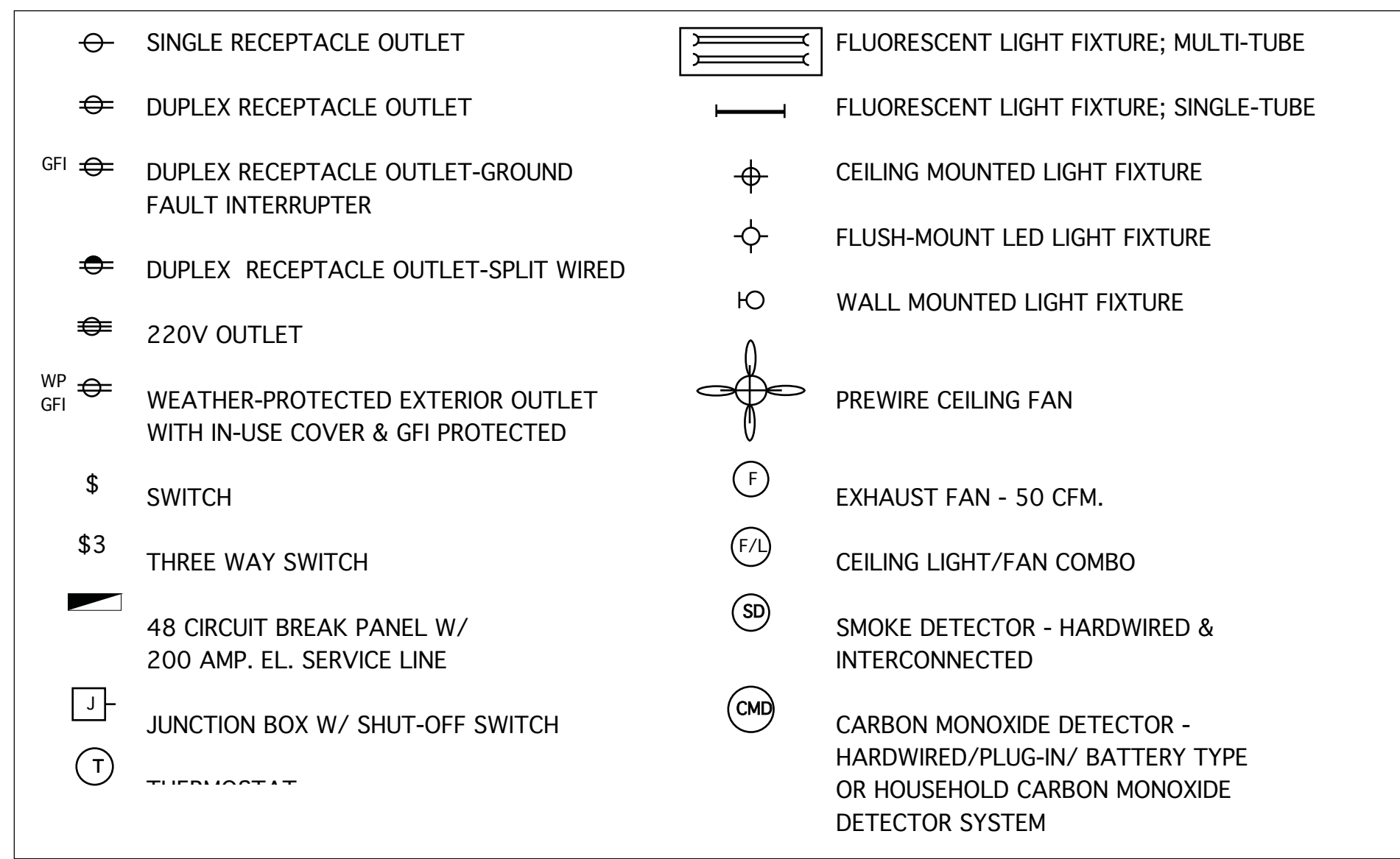
OPT. GOURMET KITCHEN ISLAND

SCALE 1/4" = 1'-0"



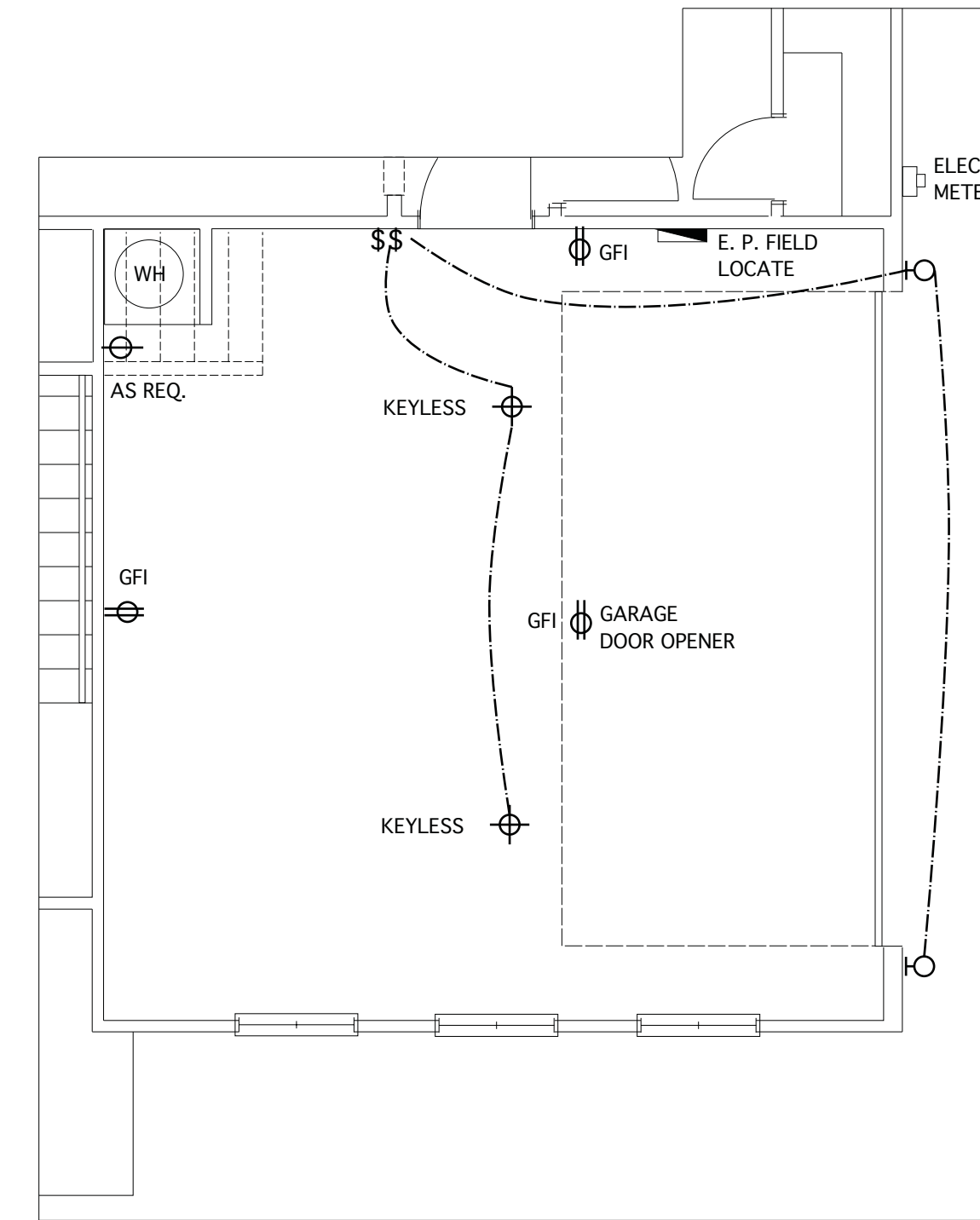
OPT. GOURMET KITCHEN

SCALE 1/4" = 1'-0"



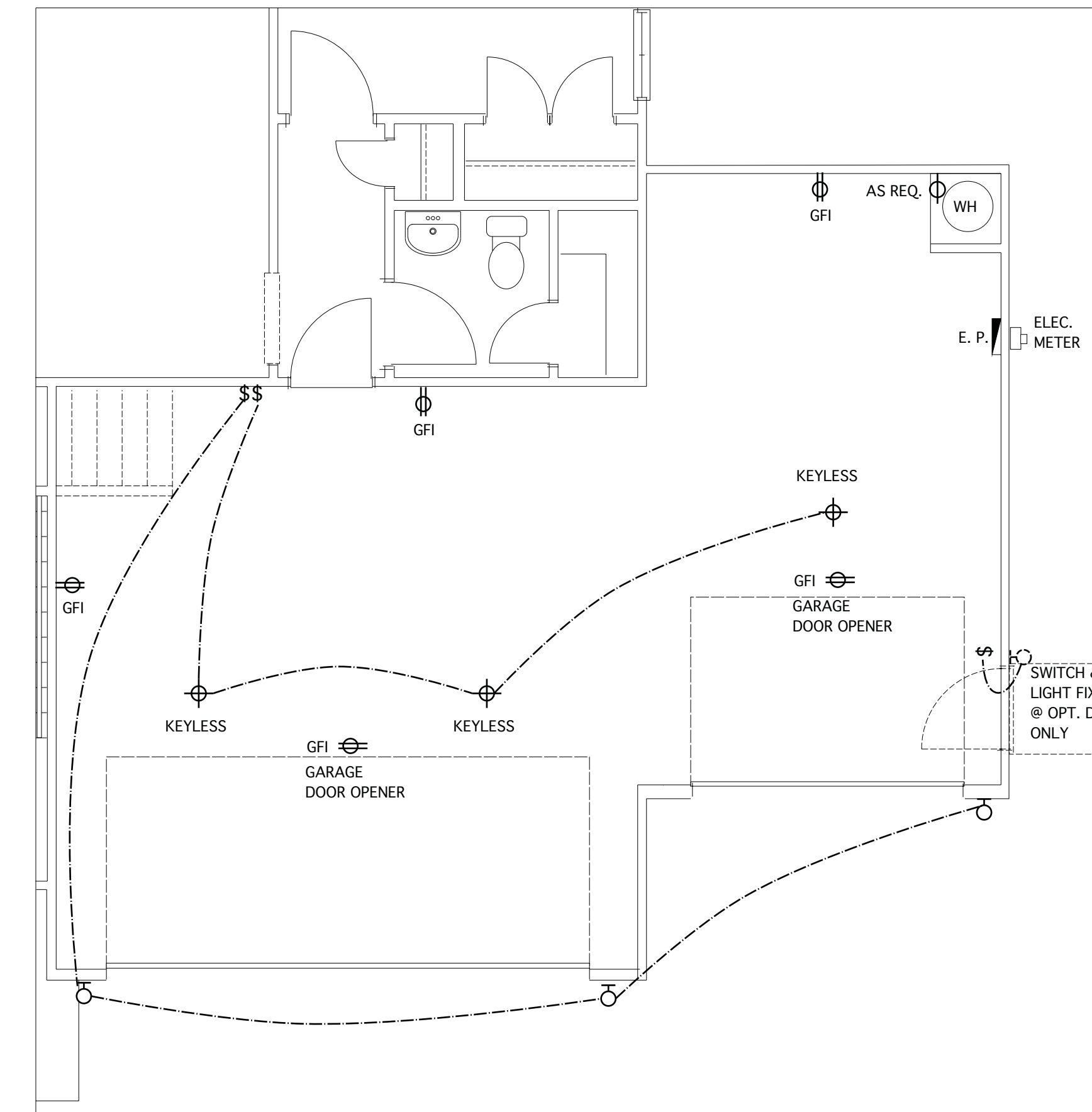
FIRST FLOOR ELECTRICAL PLAN

SCALE 1/4" = 1'-0"



@ OPT. SIDE-LOAD GARAGE @ ELEV. A

SCALE 1/4" = 1'-0"



FLOOR PLAN @ OPT. THIRD-CAR GARAGE

SCALE 1/4" = 1'-0"

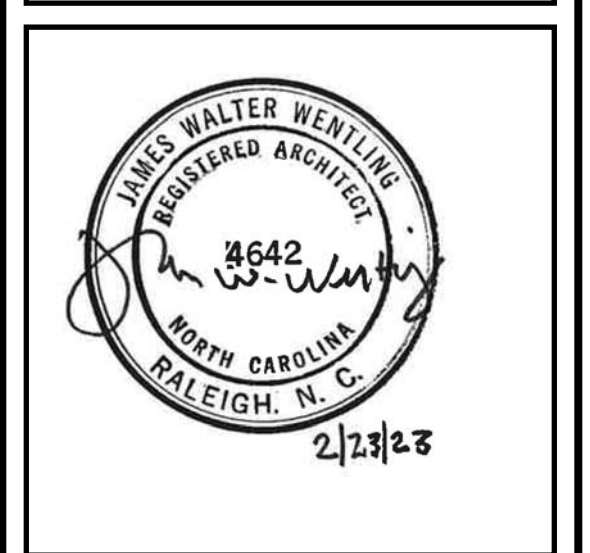
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| REVISIONS | | |
|-----------|----------|---|
| MARK | DATE | DESCRIPTION |
| DN | 01-14-19 | STRUCT. DWGS. REV. |
| CH | 05-28-19 | ELEVATIONS |
| CH | 12-10-19 | 3RD CAR GARAGE EXT. |
| AM | 01-14-21 | RE-STAMP SHEET |
| AM | 09-09-21 | RE-STAMP SHEET |
| JW | 02-15-23 | NEILL'S POINT/FARM |
| DN | 02-23-23 | 1'-0" DINING EXTENSION/ STRUCT. DWGS. REV. |

| | |
|-------------|----------------------|
| PROJECT NO. | 113-88 |
| DATE | 01-08-18 |
| SCALE | AS NOTED |
| DRAWN BY | JK |
| CHECKED BY | JW |
| ISSUED FOR | PERMITS/CONSTRUCTION |

PROJECT TITLE
**MODEL 6260 -
GARAGE RIGHT**

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DRAWING TITLE
**FIRST FLOOR
ELECTRICAL PLANS**

SHEET
7

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| REVISIONS | | |
|-----------|----------|---|
| MARK | DATE | DESCRIPTION |
| DN | 01-14-19 | STRUCT. DWGS. REV. |
| CH | 05-28-19 | FULL PORCH OPT. |
| AM | 01-14-21 | RE-STAMP SHEET |
| AM | 09-09-21 | M. BATH WINDOW REV. |
| JW | 02-15-23 | NEILL'S POINT/FARM |
| DN | 02-23-23 | 1'-0" DINING EXTENSION/STRUCT. DWGS. REV. |

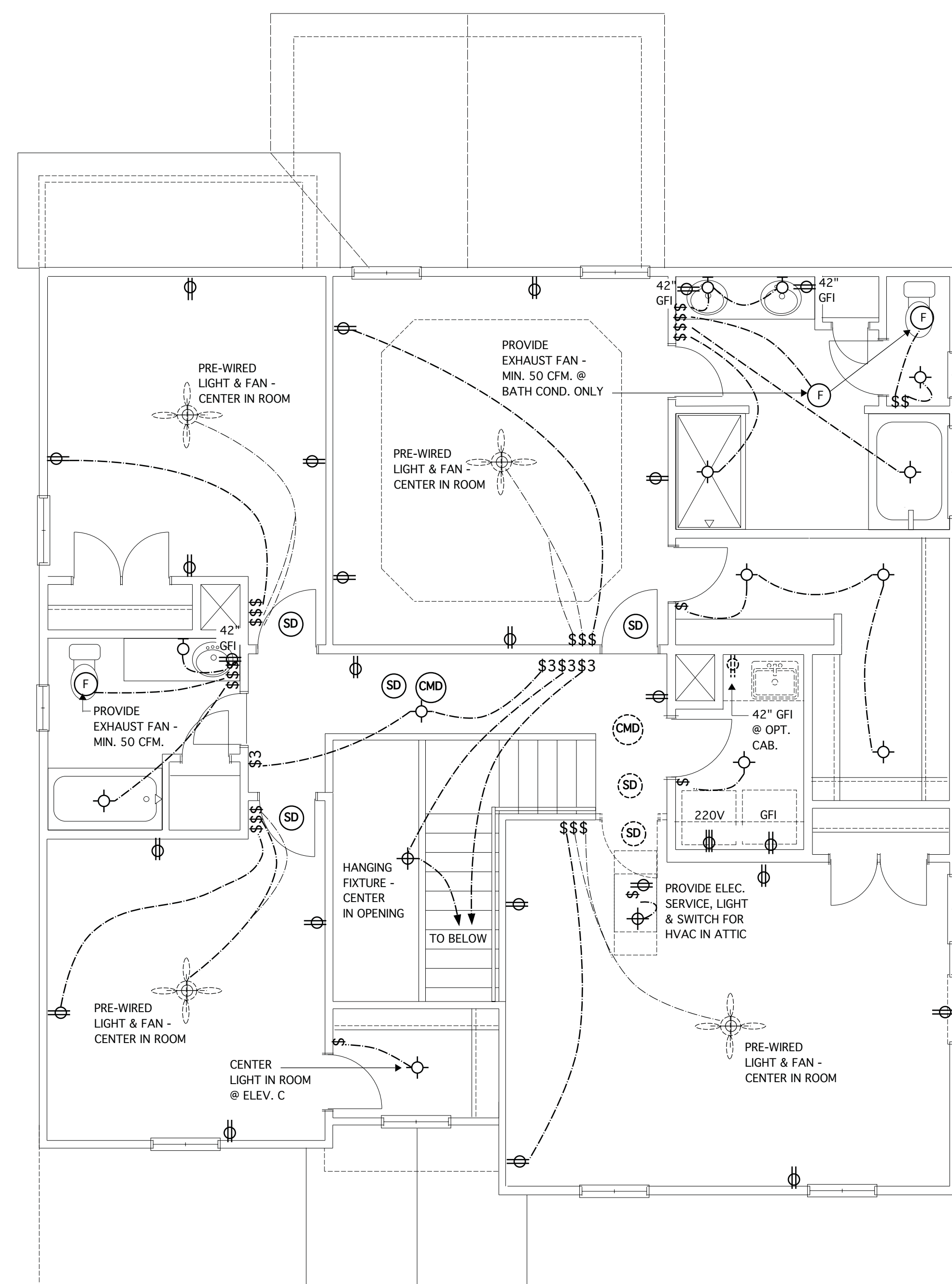
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|-------------|----------------------|
| PROJECT NO. | 113-88 |
| DATE | 01-08-18 |
| SCALE | AS NOTED |
| DRAWN BY | JK |
| CHECKED BY | JW |
| ISSUED FOR | PERMITS/CONSTRUCTION |

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT

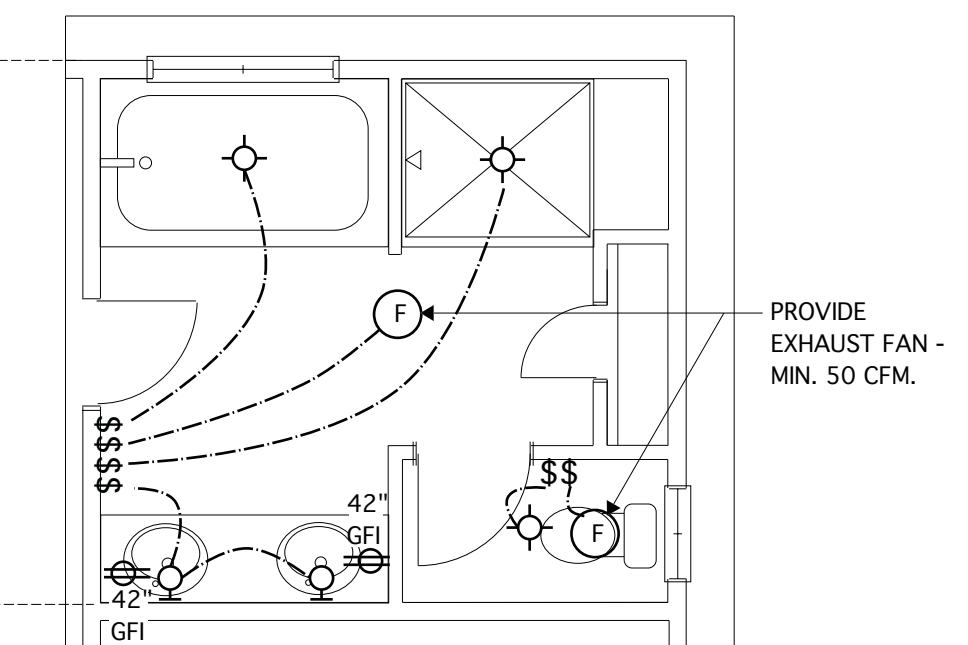
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Suite 210
Raleigh, NC 27604
(919) 256-3060
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DRAWING TITLE
SECOND FLOOR ELECTRICAL PLANS

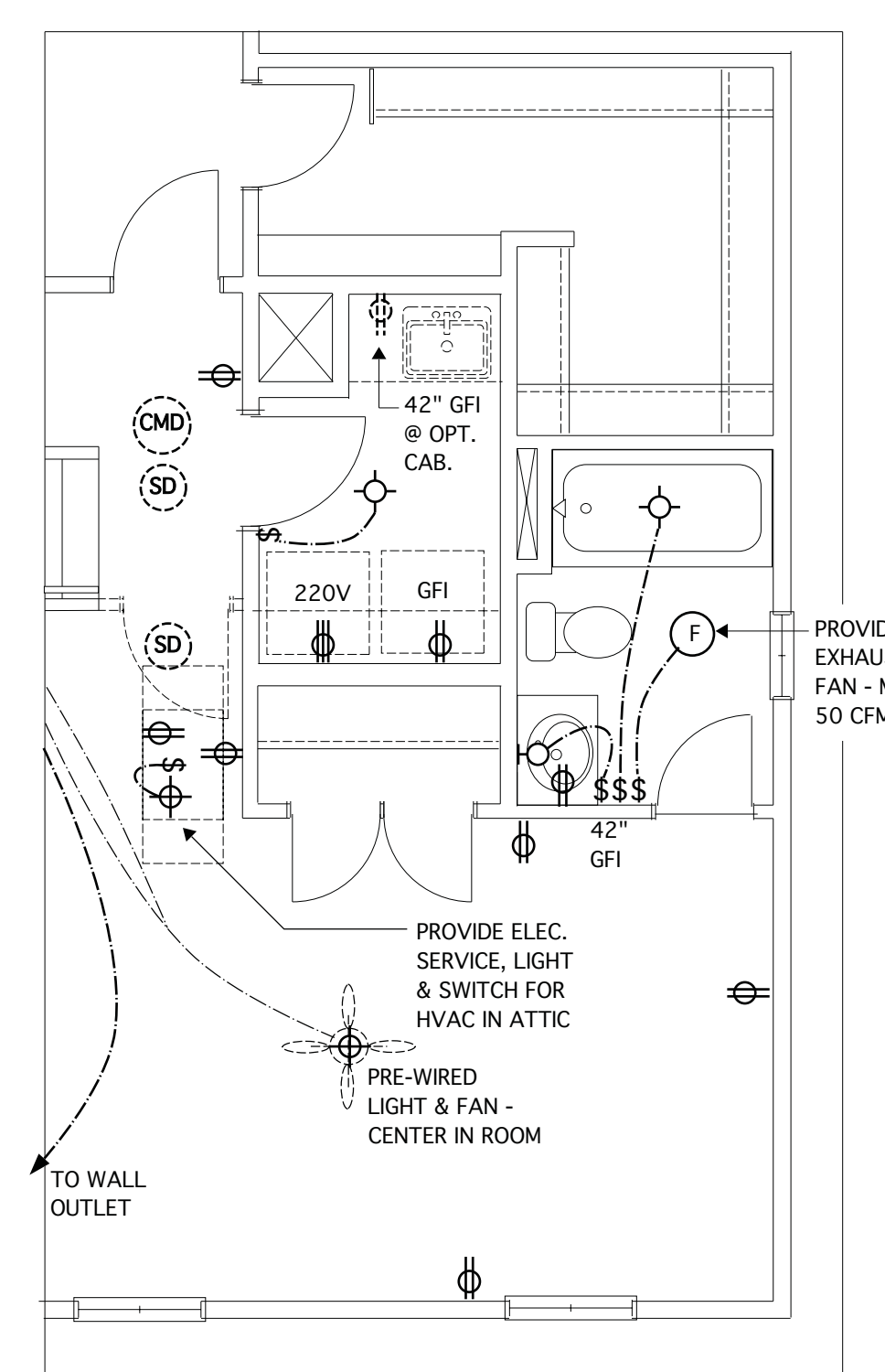
SHEET
7.1



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



@ OPT. DELUXE PRIMARY BATH
SCALE 1/4" = 1'-0"



OPT. BATH & CLOSET
SCALE 1/4" = 1'-0"

| | | | |
|--|---|--|---|
| | SINGLE RECEPTACLE OUTLET | | FLUORESCENT LIGHT FIXTURE; MULTI-TUBE |
| | DUPLEX RECEPTACLE OUTLET | | FLUORESCENT LIGHT FIXTURE; SINGLE-TUBE |
| | DUPLEX RECEPTACLE OUTLET-GROUND FAULT INTERRUPTER | | CEILING MOUNTED LIGHT FIXTURE |
| | DUPLEX RECEPTACLE OUTLET-SPLIT WIRED | | FLUSH-MOUNT LED LIGHT FIXTURE |
| | 220V OUTLET | | WALL MOUNTED LIGHT FIXTURE |
| | WEATHER-PROTECTED EXTERIOR OUTLET WITH IN-USE COVER & GFI PROTECTED | | PREWIRE CEILING FAN |
| | SWITCH | | EXHAUST FAN - 50 CFM. |
| | THREE WAY SWITCH | | CEILING LIGHT/FAN COMBO |
| | 48 CIRCUIT BREAK PANEL W/ 200 AMP. EL. SERVICE LINE | | SMOKE DETECTOR - HARDWIRED & INTERCONNECTED |
| | JUNCTION BOX W/ SHUT-OFF SWITCH | | CARBON MONOXIDE DETECTOR - HARDWIRED/PLUG-IN/ BATTERY TYPE OR HOUSEHOLD CARBON MONOXIDE DETECTOR SYSTEM |
| | FIRE EXTINGUISHER | | |

STRUCTURAL NOTES

NC (2018 NCRG); Wind: 115-120 mph

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPs, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS AND HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIER & GIRDER SYSTEM FOOTING, AND PILING SYSTEM. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM. ALL REQUIREMENTS FOR PROFESSIONAL CERTIFICATION SHALL BE PROVIDED BY THE APPROPRIATE PROFESSIONAL SOUTHERN ENGINEERS, P.A. CERTIFIES ONLY THE STRUCTURAL COMPONENTS AS SPECIFICALLY STATED.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE 2018 NC RESIDENTIAL CODE, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK, NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. "CONSTRUCTION REVIEW" SERVICES ARE NOT PART OF OUR CONTRACT. ALL MEMBERS SHALL BE FRAMED, ANCHORED, TIED AND BRACED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE AND THE BUILDING CODE.
- DESIGN LOADS (LISTED AS: LIVE LOAD, DEAD LOAD, DEFLECTION)
 - ROOMS OTHER THAN SLEEPING ROOMS: (40 PSF, 10 PSF, L/360)
 - SLEEPING ROOMS: (30 PSF, 10 PSF, L/360)
 - ATTIC WITH PERMANENT STAIRS: (40 PSF, 10 PSF, L/360)
 - ATTIC WITHOUT STORAGE: (10 PSF, 10 PSF, L/240)
 - STAIRS: (40 PSF, 10 PSF, L/360)
 - EXTERIOR BALCONIES: (60 PSF, 10 PSF, L/360)
 - DECKS: (40 PSF, 10 PSF, L/360)
 - GUARDRAILS AND HANDRAILS: (200 LBS)
 - PASSENGER VEHICLE GARAGES: (50 PSF, 10 PSF, L/360)
 - FIRE ESCAPES: (40 PSF, 10 PSF, L/360)
 - SNOW: (20 PSF)
- WALLS SHALL BE BRACED BY SHEATHING WALLS ON ALL STORIES WITH WOOD STRUCTURAL PANELS. SEE FRAMING NOTES FOR THICKNESS AND NAILING REQUIREMENTS.
- SEE APPENDIX M (DC46) FOR EXTERIOR DECK REQUIREMENTS INCLUDING ATTACHMENTS FOR LATERAL LOADS.
- CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF 5 INCHES UNLESS NOTED OTHERWISE (NO). AIR ENTRAINMENT PER TABLE 402.2. ALL CONCRETE SHALL BE PROPORTIONED, MIXED, HANDLED, SAMPLED, TESTED, AND PLACED IN ACCORDANCE WITH ACI STANDARDS. ALL SAMPLES FOR PUMPING SHALL BE TAKEN FROM THE EXT. END OF THE PUMP. CONTROL JOINTS IN SLABS SHALL BE SPACED ON A GRID OF +30 TIMES THE DEPTH (D). CONTROL JOINTS SHALL BE SAWCUT TO A DEPTH OF 1/3 (I.E. 4" CONCRETE SLABS SHALL HAVE 1/2" DEEP CONTROL JOINTS SAWCUT IN SLAB ON A +10'-0" x +10'-0" GRID).
- ALLOWABLE SOIL BEARING PRESSURE ASSUMED TO BE 2000 PSF. THE CONTRACTOR MUST CONTACT A GEOTECHNICAL ENGINEER AND THE STRUCTURAL ENGINEER IF UNSATISFACTORY SUBSURFACE CONDITIONS ARE ENCOUNTERED. THE SURFACE AREA ADJACENT TO THE FOUNDATION WALL SHALL BE PROVIDED WITH ADEQUATE DRAINAGE, AND SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS.
- ALL FRAMING LUMBER SHALL BE SYP #2 (Fb = 875 PSF) UNLESS NOTED OTHERWISE (NO). ALL TREATED LUMBER SHALL BE SYP #2. PLATE MATERIAL MAY BE SYP #3 OR SYP #3 (F_uperp) = 425 PSI - MIN.
- L.V.L. SHALL BE LAMINATED VENEER LUMBER: Fb=2600 PSI, Fv=285 PSI, E=1.4x10⁶ PSI.
 - F.S.L. SHALL BE PARALLEL STRAND LUMBER: Fb=2400 PSI, Fv=290 PSI, E=2.0x10⁶ PSI.
 - L.S.L. SHALL BE LAMINATED STRAND LUMBER: Fb=2250 PSI, Fv=400 PSI, E=1.55x10⁶ PSI.
 INSTALL ALL CONNECTIONS PER MANUFACTURER'S INSTRUCTIONS.
- ALL ROOF TRUSS AND I-JOIST LAYOUTS SHALL BE PREPARED IN ACCORDANCE WITH THE SEALED STRUCTURAL DRAWINGS. TRUSSES AND I-JOISTS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. ANY CHANGE IN TRUSS OR I-JOIST LAYOUT SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
- ALL STRUCTURAL STEEL SHALL BE ASTM A-36. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" INCHES AND FULL FLANGE WIDTH. PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED TO EACH SUPPORT WITH TWO LAG SCREWS (1/2" DIAMETER x 4" LONG). LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOIST ARE TOE NAILED TO THE SOLE PLATE, AND SOLE PLATE IS NAILED OR BOLTED TO THE BEAM FLANGE @ 48" O.C. ALL STEEL TUBING SHALL BE ASTM A500.
- REBAR SHALL BE DEFORMED STEEL, ASTM#615, GRADE 60. LAP ALL REBAR SPLICES 30 BAR DIAMETERS.
- FLITCH BEAMS SHALL BE BOLTED TOGETHER USING (2) ROWS OF 1/2" DIAMETER BOLTS (ASTM A325) WITH WASHERS PLACED UNDER THE THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" O.C. (MAX) AND STAGGERED AT THE TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH 2 BOLTS LOCATED AT 6" FROM EACH END.
- BRICK LINTELS (WHEN REQUIRED) SHALL BE 3 1/2"x3 1/2"x1/4" STEEL ANGLE FOR UP TO 6'-0" SPAN AND 6"x4"x3/8" STEEL ANGLE WITH 6" LEG VERTICAL FOR SPANS UP TO 9'-0". SEE PLANS FOR SPANS OVER 9'-0". SEE ALSO SECTION R103.B.3 LINTELS.

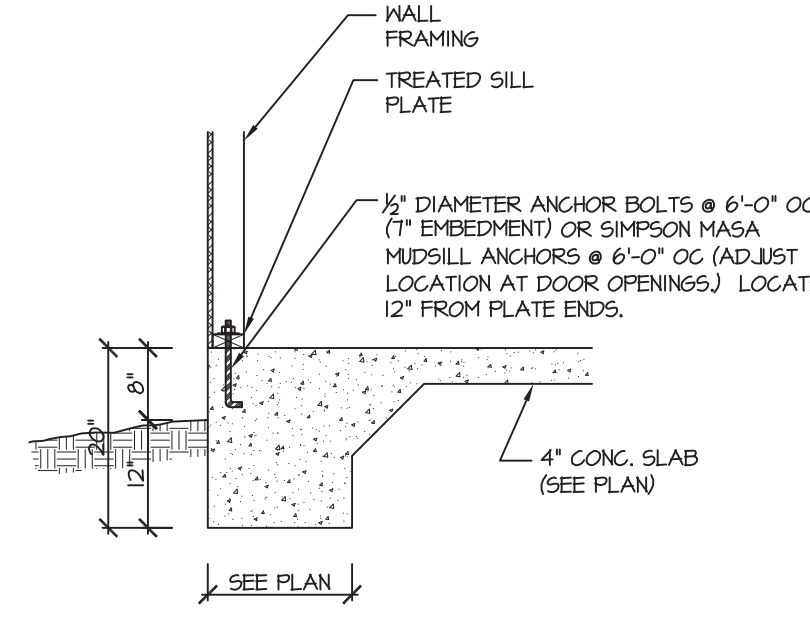
FRAMING NOTES

NC (2018 NCRG); Wind: 115-120 mph

- BRACING METHOD AND TYPE. CONTINUOUSLY SHEATHED WSP, CS-WSP. NOTE THAT THE WALL BRACING AMOUNT PROVIDED ON THE PLANS (DETAILS AND SPECIFICATIONS) IS GREATER THAN THE AMOUNT OF WALL BRACING REQUIRED BY SECTION R602.10 OF THE CODE. SEE NOTES BELOW FOR DETAILS AND SPECIFICATIONS FOR WALL BRACING AND WALL FRAMING.
- EXTERIOR WALL SHEATHING: WALLS SHALL BE BRACED BY SHEATHING WALLS ON ALL STORIES WITH WOOD STRUCTURAL PANEL SHEATHING (WSP) (EXPOSURE B, 7/16" EXPOSURE C, 15/32"). SHEATHING SHALL BE ATTACHED WITH 8d NAILS AT A 6"x12" NAILING PATTERN (6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES.
- WSP SHEATHING SHALL EXTEND TO THE UPPERMOST DOUBLE BEARING PLATE. BLOCK AT ROOF PER SECTION R602.10.4.5 AND ATTACH BRACED WALLS PER CODE. WSP SHEATHING BETWEEN FLOORS SHALL BE SPICED ALONG CONTINUOUS BAND OR THE WSP SHEATHING MAY BE SPICED ACROSS STUDS (CONTINUOUS ACROSS FLOOR SYSTEM) WITH BLOCKING AT PANEL EDGES, (MINIMUM 12" BEYOND FLOOR BREAK) OR OTHER APPROVED METHOD.
- "HD" = HOLD-DOWN. HOLD-DOWN DEVICE (NOTED AS "HD" ON PLANS) SHALL BE AN 800 POUND CAPACITY ASSEMBLY AS NOTED ON PLANS. SEE DETAILS FOR HD ASSEMBLY.
 - **SECOND/FIRST FLOOR: USE "HD HOLD-DOWN DETAIL" ON SD SHEET (OR EQUIV.)
 - **UPPER FLOORS: ATTACH BASE OF KING STUD WITH A SIMPSON CS22 STRAP DOWN ACROSS THE BAND AND DOWN TO A STUD BELOW OR HEADER BELOW. EXTEND STRAP 1" MIN ALONG EACH STUD (OR HEADER) AND ATTACH EACH END W/ (1) 8d NAILS.
- INTERIOR BRACED WALL: (NOTED AS "IBW" ON PLANS) ATTACH 1/2" GYPSUM BOARD (GB) ON EACH SIDE OF WALL WITH A MIN. OF 5d COOLER NAILS OR #6 SCREWS @ 1" O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.
- INTERIOR BRACED WALL-WOOD STRUCTURAL PANEL: (NOTED AS "IBWP" ON PLANS). ATTACH ONE SIDE WITH 3/8" WSP SHEATHING WITH 8d NAILS AT A 6"x12" NAILING PATTERN (6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES. ATTACH GB OVER WSP AS REQUIRED. ATTACH OPPOSITE SIDE WITH 5d GB WITH A MIN. OF 5d COOLER NAILS OR #6 SCREWS @ 1" O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.

HEADER/BEAM & COLUMN NOTES

- ALL EXTERIOR AND LOAD BEARING HEADERS SHALL BE MIN. (2)2x6 (4" WALL) OR (3)2x6 (6" WALL) WITH (1) SUPPORT STUD, UNLESS NOTED OTHERWISE.
- THE NUMBER SHOWN AT BEAM AND HEADER SUPPORTS INDICATES THE NUMBER OF SUPPORT STUDS REQUIRED IN STUD POCKET OR COLUMN. THE NUMBER OF KING STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS SHALL BE ACCORDING TO ITEM 15" IN TABLE R602.3(5) OR AS BELOW PER NCGO1 COMMENTARY "KING STUDS AT WALL OPENINGS" REVISED 1-4-2020.
 - UP TO 3' SPAN: (1) KING STUD
 - OVER 3' UP TO 6' SPAN: (2) KING STUDS
 - OVER 6' UP TO 12' SPAN: (3) KING STUDS
 - OVER 12' UP TO 15' SPAN: (4) KING STUDS
 - OVER 15' UP TO 18' SPAN: (5) KING STUDS



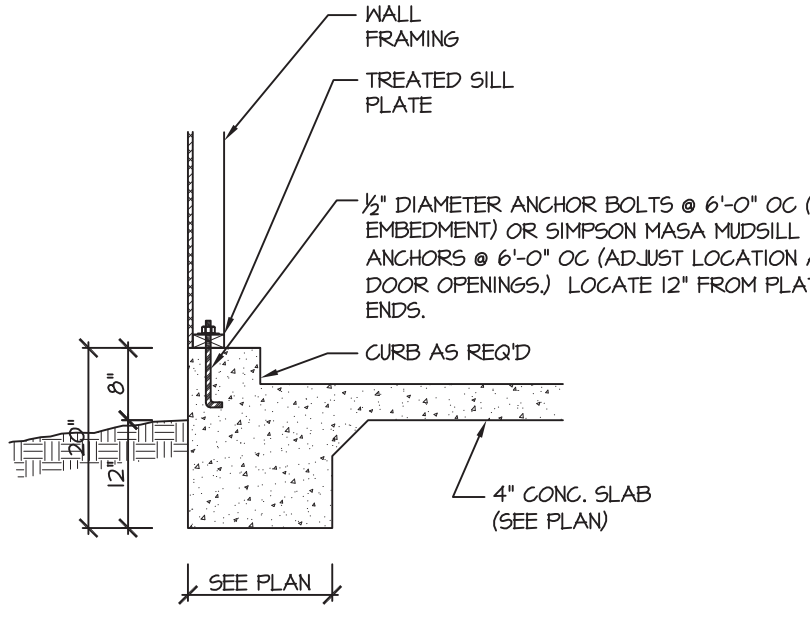
115-120 MPH (104A) SD THICKENED SLAB (INTERIOR BEARING WALL)

TRUSS SYSTEM REQUIREMENTS

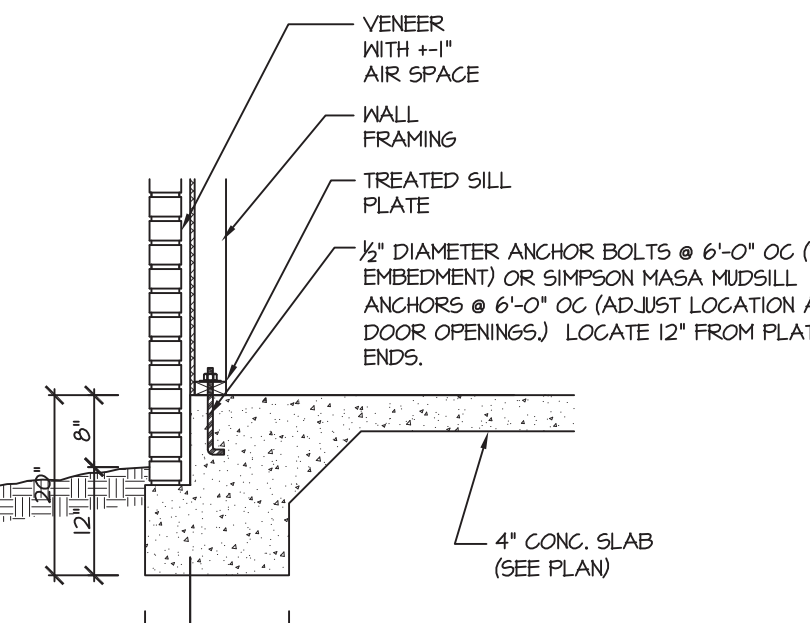
NC (2018 NCRG); Wind: 115-120 mph

- TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE WITH SEALED STRUCTURAL PLANS. ANY NEED TO CHANGE TRUSSES SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
- TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
- ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SFP #2 OR #3 PLATES OR LEDGERS (MIN).
- ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

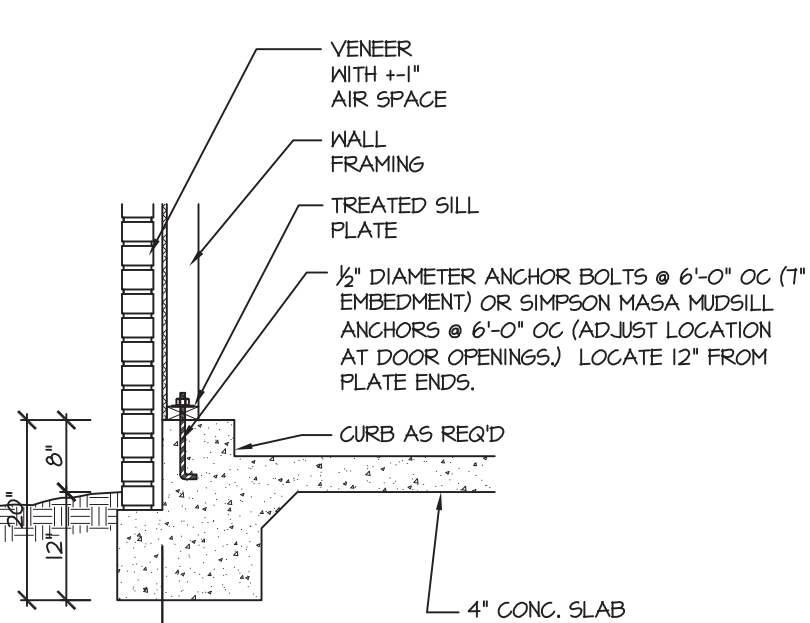
115-120 MPH (100A) SD MONOLITHIC SLAB FOOTING (SIDING OR EQUAL)



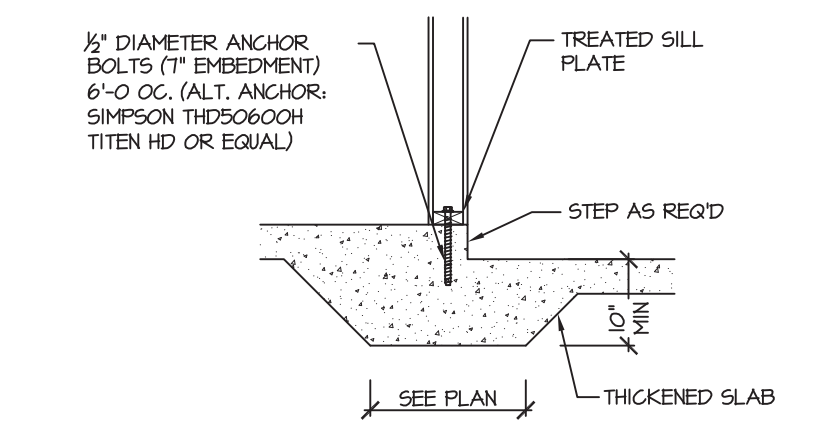
115-120 MPH (101A) SD MONOLITHIC SLAB @ GARAGE (SIDING OR EQUAL)



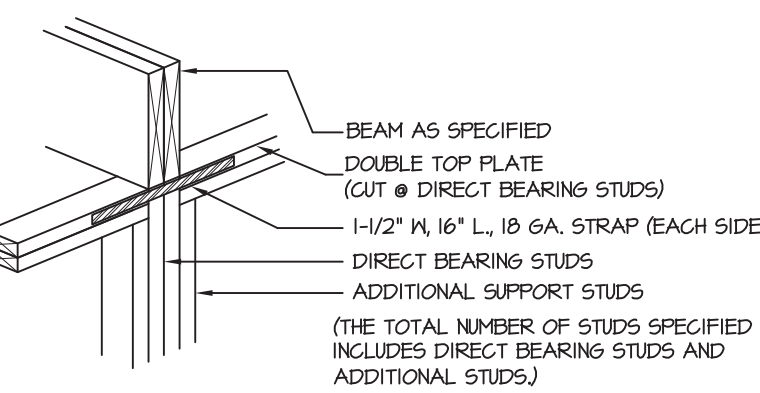
115-120 MPH (102A) SD MONOLITHIC SLAB FOOTING (VENEER)



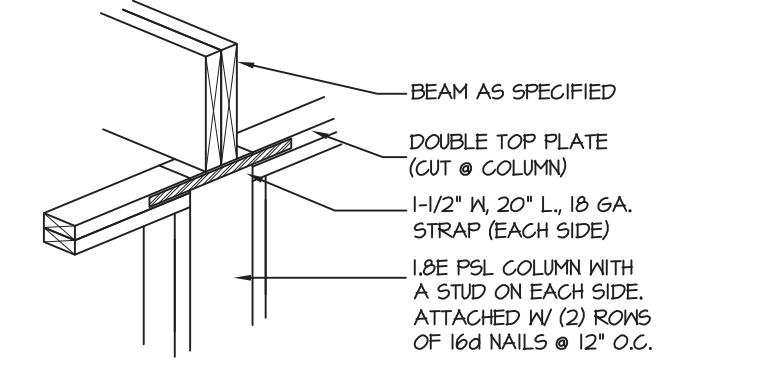
115-120 MPH (103A) SD MONOLITHIC SLAB @ GARAGE (VENEER)



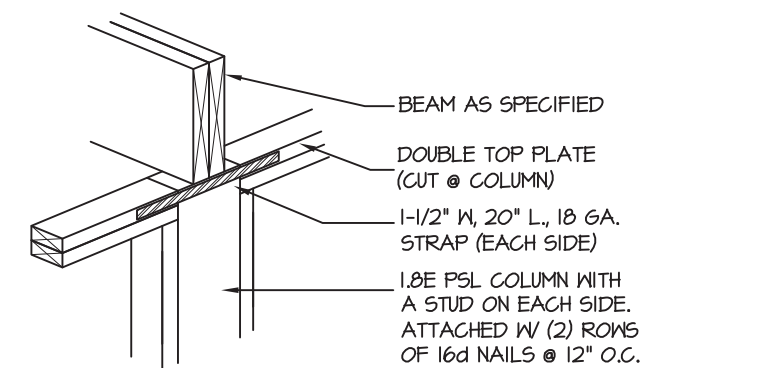
115-120 MPH (105A) SD THICKENED SLAB @ GARAGE (INTERIOR GARAGE WALL)



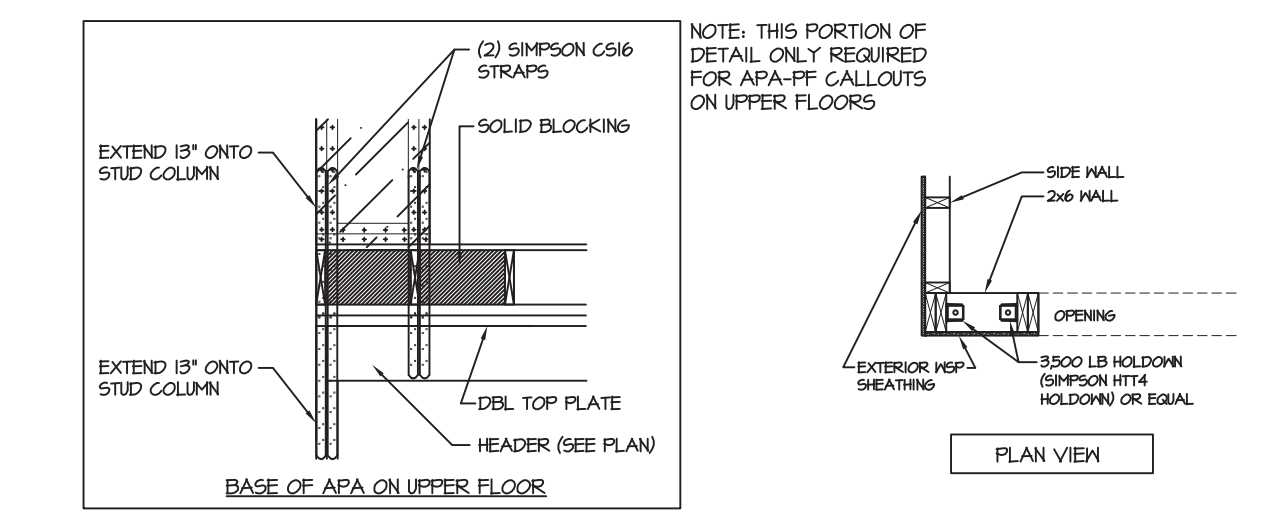
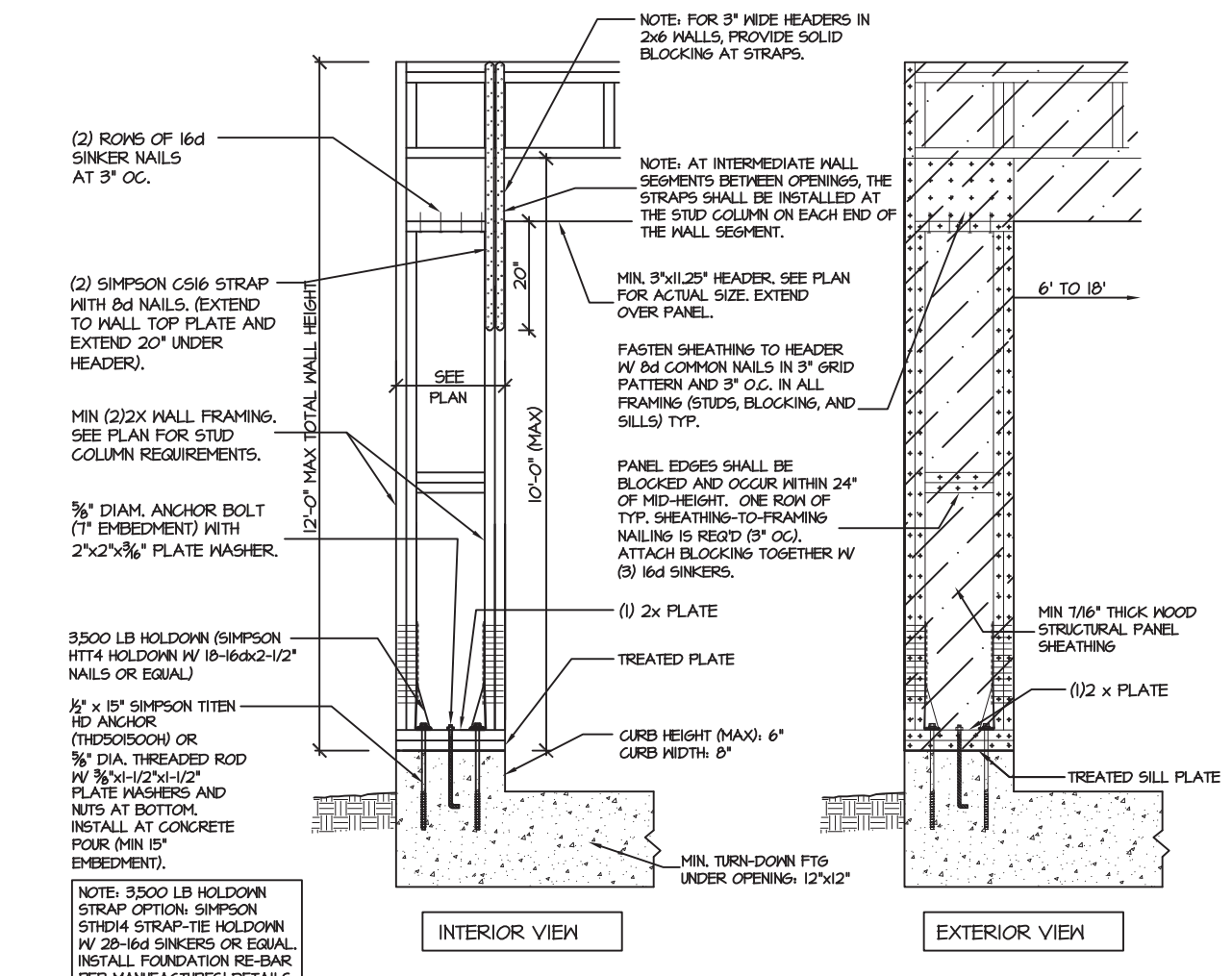
209A) SD DIRECT STUD BEARING NTS



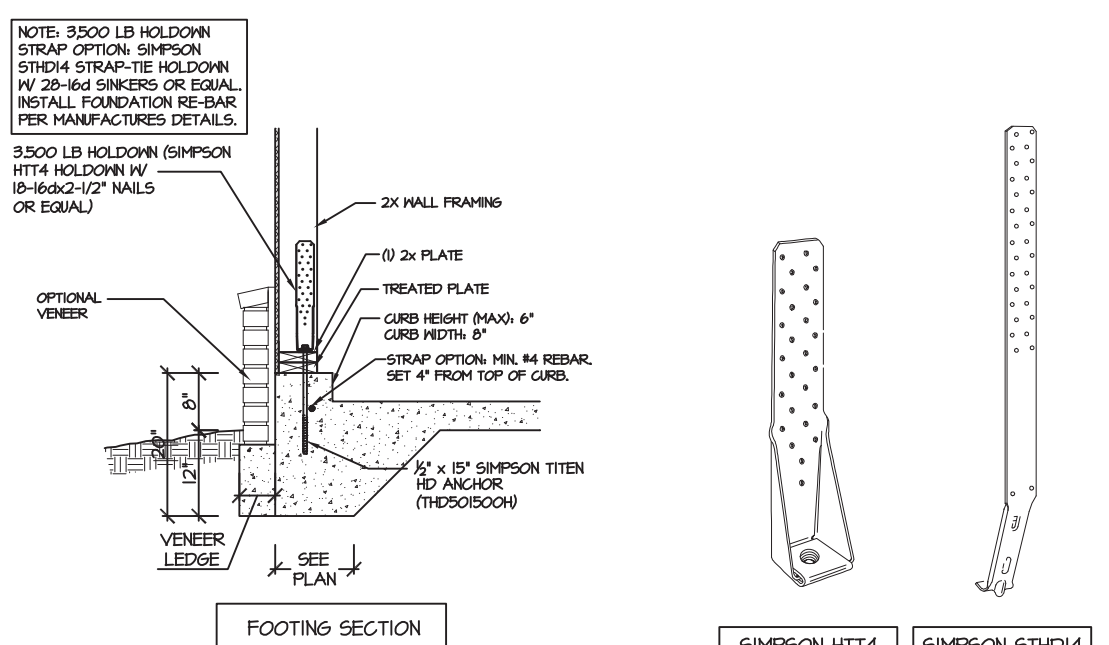
209B) SD DIRECT BEAM BEARING NTS



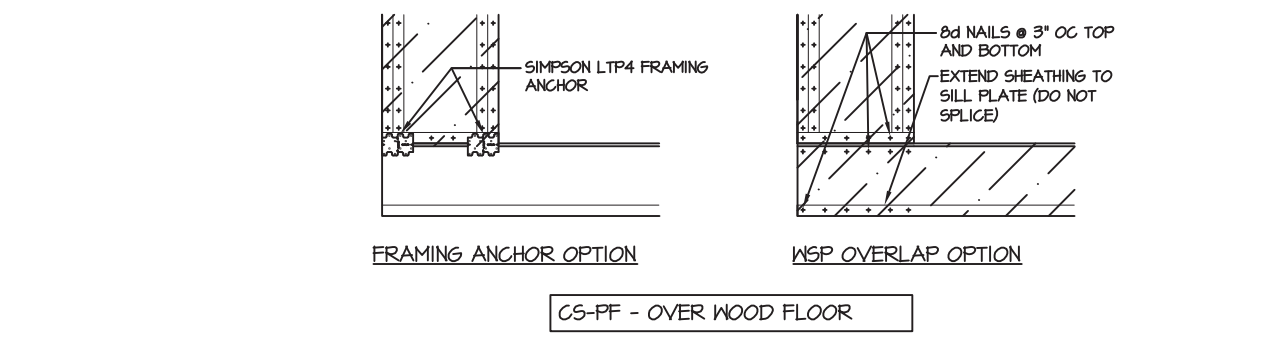
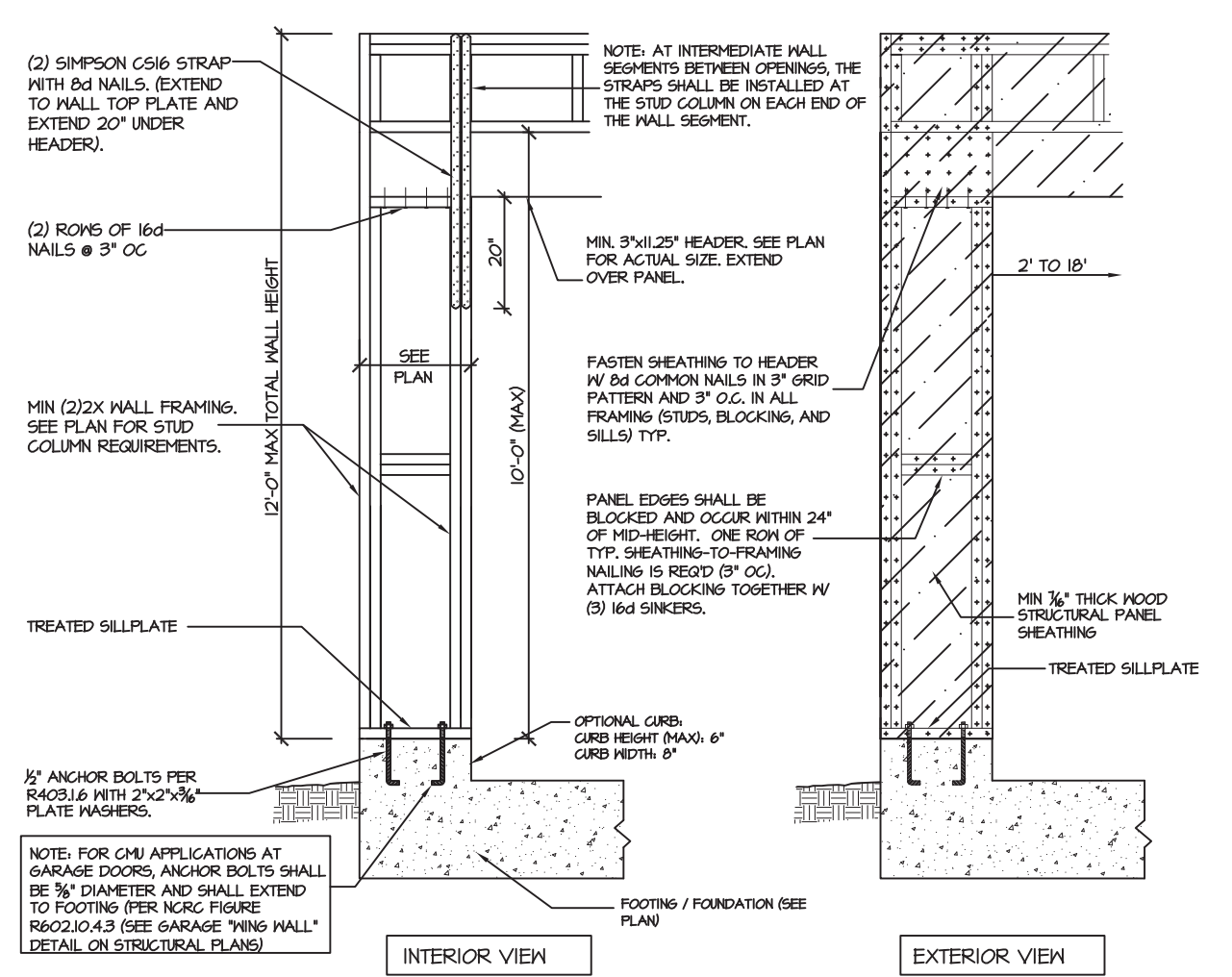
209B) SD DIRECT BEAM BEARING NTS



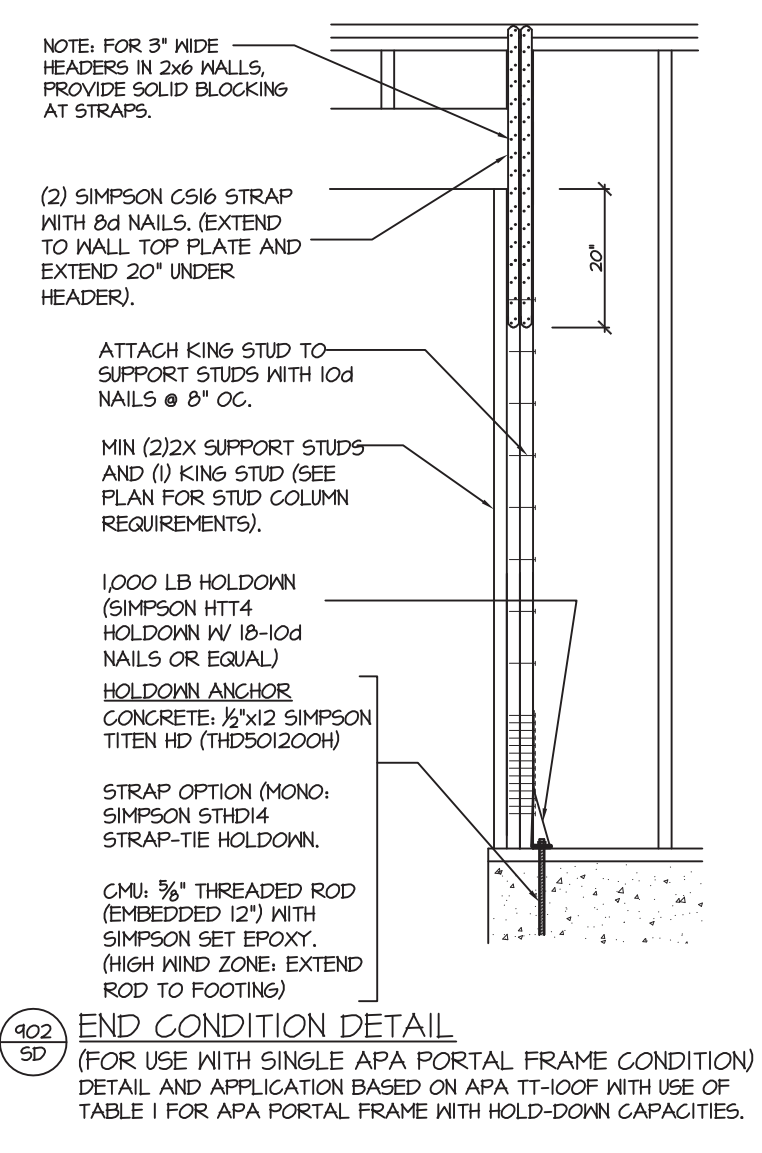
400) SD APA PORTAL FRAME W/ HOLD-DOWNS (DETAIL AND APPLICATION BASED ON APA TT-100P WITH USE OF TABLE 1 FOR APA PORTAL FRAME WITH HOLD-DOWN CAPACITIES)



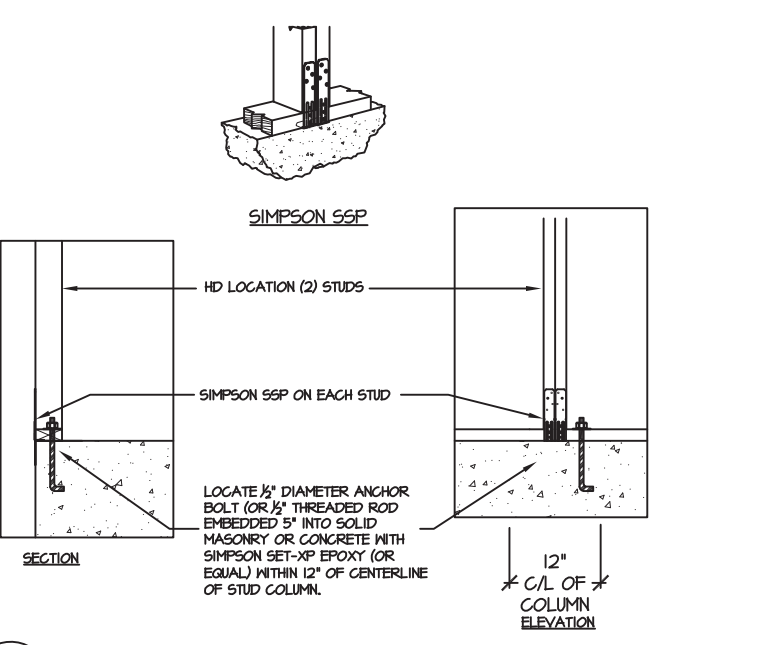
400) SD APA PORTAL FRAME W/ HOLD-DOWNS (DETAIL AND APPLICATION BASED ON APA TT-100P WITH USE OF TABLE 1 FOR APA PORTAL FRAME WITH HOLD-DOWN CAPACITIES)



400) SD CS-PF: CONTINUOUS PORTAL FRAME CONSTRUCTION (FOR USE WITH SINGLE CS-PF CONDITION) DETAIL AND APPLICATION BASED ON NCRG FIGURE R602.10.1 - PORTAL FRAME CONSTRUCTION



402) SD END CONDITION DETAIL (FOR USE WITH SINGLE APA PORTAL FRAME CONDITION) DETAIL AND APPLICATION BASED ON APA TT-100P WITH USE OF TABLE 1 FOR APA PORTAL FRAME WITH HOLD-DOWN CAPACITIES.



403) SD BRACED WALL END CONDITION "HD" HOLD-DOWN DETAIL. NOTE: SIMPSON DTT-12 IS ACCEPTABLE ALTERNATE. NOTE: ALTERNATE HD HOLD-DOWN DEVICES OR SYSTEMS MAY BE USED TO MEET THE CODE REQUIRED 800 LB CAPACITY IN LIEU OF THE ABOVE DETAIL.

406) SD CS-PF: END CONDITION DETAIL (FOR USE WITH SINGLE CS-PF CONDITION) DETAIL AND APPLICATION BASED ON NCRG FIGURE R602.10.1 - PORTAL FRAME CONSTRUCTION



PROJECT #
Multiple

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Architect

Standard Details
and Notes
Chesapeake Homes of NC

SD-1
MONO