

1 WS - 20 YATED MILL DR., FUQUAY-VARINA, NC 27526

Trademark Plus



**THE APEX - LH
'GEORGIAN'**

REVISION LOG	
REVISION:001	DATE: 07/22/2022
1. ADD STEM WALL SLAB FOUNDATION SHEETS 2. ADD "STEM WALL" TO CRAWL ELEVATION TITLES AND NOTE "SEE FOUNDATION PAGES FOR FOUNDATION TYPE". UPDATE SHEET TITLES.	
REVISION:002	DATE: 10/20/2023
1. STANDARD SHOWER REVISED TO BE 60X36. 2. CHANGED SHOWER SIZE FOR THE OWNER'S SHOWER/TUB OPTION TO 42"X42" AND MADE THE TUB DECK LARGER. CHANGED WINDOW OVER TUB TO 4/0X1/0 3. RELABELED FIREPLACES AS OPT. DENOTED FIREPLACE IN THE FAMILY ROOM AS AN INTERIOR FIREPLACE. NOTED THE WINDOWS FOR THIS OPTION TO BE 2/8X5/0. 4. CHANGE FRONT DOOR FOR THE SMART DOOR DELIVERY OPTION TO AN INSWING DOOR. 5. MODIFIED HALF WALL AT THE STAIRS TO BE A FULL WALL FOR THE DOUBLE POCKET OFFICE OPTION. THIS IS TO CARRY THE BEAM OVER THE STAIRS. 6. SMART DOOR DELIVERY EXTENDED 2'-0" TOWARD THE FRONT IN THE POCKET OFFICE OPTIONS. FOUNDATIONS WERE CHANGED TO MATCH.	
REVISION:003	DATE: 01/21/2024
1. CLARIFY NOTES TO INDICATE THAT THE OWNER'S BEDROOM 3/0X5/0 SIDE WINDOWS ARE OPTIONAL TO PURCHASE BUT ALSO STANDARD IF THE COVERED PORCH OPTION IS SELECTED ON THE REAR OF THE HOUSE. THE 2/0X2/0 SIDE WINDOWS ARE OPTIONAL TO PURCHASE. THE REAR 3/0X5/0 WINDOW NEAR THE CORNER BECOMES AN OPTIONAL PURCHASE WHEN COVERED PORCH IS SELECTED.	

5-10-24 - INITIAL REDLINES - JJ

5-22-24 -Add Foundation Dimension & Roof Pitch Adjustment on the Garage roof - JJ



THIRD CAR GARAGE

SIDE LOAD 2-CAR

CRAWL SPACE FOUNDATION

SQUARE FOOTAGE		
	'GEORGIAN' ELEVATION	
	UNHEATED	HEATED
FIRST FLOOR	0	1342
SECOND FLOOR	0	1508
FRONT PORCH	144	0
BALCONY	117	0
REAR PATIO/DECK	188	0
2 CAR GARAGE	469	0
SUBTOTALS	918	2850
TOTAL UNDER ROOF	2760	
OPTIONS		
	UNHEATED S.F.	HEATED S.F.
POCKET OFFICE	0	+51
EXTENDED FRONT PORCH W/ POCKET OFFICE	+27	0
EXTENDED GAME ROOM W/ FF POCKET OFFICE	0	+74
SMART DOOR	-42	+42
SITTING ROOM	0	+152
OPT. 3RD CAR GARAGE	+260	0
OPT. 3RD CAR GARAGE w/ SIDE LOAD	+288	0
Screen In COVERED PATIO/DECK	188	0
Uncovered EXTENDED COVERED PATIO/DECK	+137	0

ARCHITECTURAL DRAWINGS	
Sheet No.	Sheet Description
0.0	Cover Sheet
1.1	Foundation (Slab)
1.1.1	Foundation Options (Slab)
1.1.2	Foundation Options (Slab)
1.2	Foundation (Crawl)
1.2.1	Foundation Options (Crawl)
1.2.2	Foundation Options (Crawl)
1.3	Foundation (Stem Wall Slab)
1.3.1	Foundation Options (Stem Wall Slab)
1.3.2	Foundation Options (Stem Wall Slab)
2.1	First Floor Plan
2.1.1	First Floor Plan Options
2.2	Second Floor Plan
2.2.1	Second Floor Plan Options
2.4	Covered Porch Plans & Elevations (Slab)
2.4.1	Covered Porch Plans & Elevations (Crawl/Stem Wall)
2.4.2	Opt. Owner's Sitting w/ Covered Porch Plans & Elevations (Slab)
2.4.3	Opt. Owner's Sitting w/ Covered Porch Plans & Elevations (Crawl/Stem Wall)
2.5	Extended Cafe Elevations & Roof Plan (Slab)
2.5.1	Extended Cafe Elevations & Roof Plan (Crawl)
2.5.2	Opt. Owner's Sitting w/ Ext. Cov. Porch Elevations & Roof Plan (Slab)
2.5.3	Opt. Owner's Sitting w/ Ext. Cov. Porch Elevations & Roof Plan (Crawl/ Stem)
2.6	2-Car Side Load Garage Plans
2.6.1	2-Car Side Load Garage Elevations
2.7	3-Car Garage Plans
2.7.1	3-Car Garage Elevations
2.8	2 Car Side Load with Third Car Garage Plans
2.8.1	2 Car Side Load with Third Car Garage Elevation(SLAB)
2.8.2	2 Car Side Load with Third Car Garage Elevation(SLAB)
3.1	Front & Rear Elevations (Slab)
3.1.1	Front & Rear Elevations (Crawl/Stem Wall)
3.2	Side Elevations (Slab)
3.2.1	Side Elevations (Crawl/Stem Wall)
3.3	Roof Plan
5.1	First Floor Electrical
5.1.1	First Floor Options Electrical
5.1.2	Two Car Side Load w/ Third Car Garage Electrical
5.2	Second Floor Electrical
5.2.1	Second Floor Options Electrical

DESIGN CRITERIA:

THIS PLAN IS TO BE BUILT IN CONFORMANCE WITH THE 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE

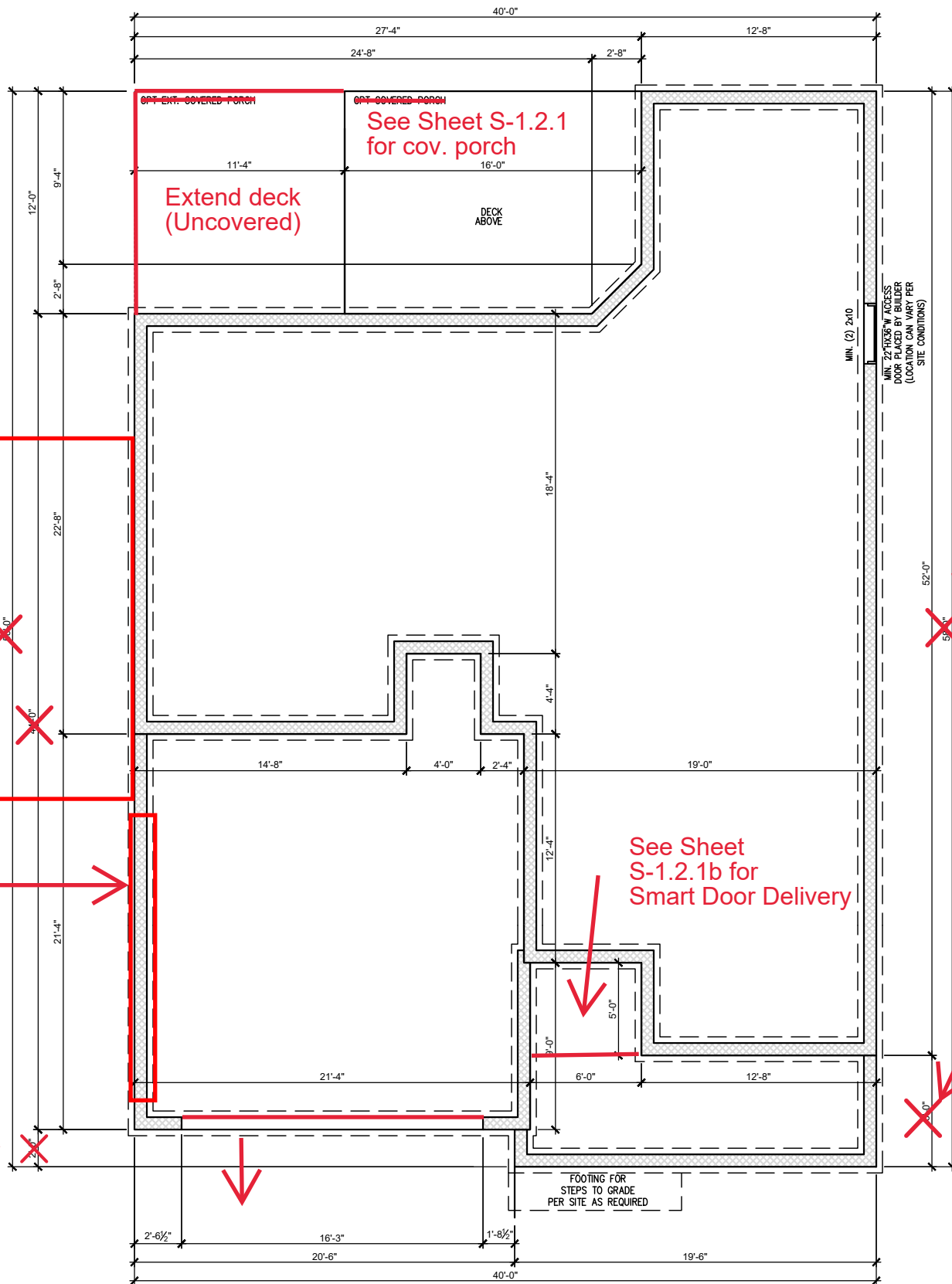
DIMENSIONS SHALL GOVERN OVER SCALE, AND CODE SHALL GOVERN OVER DIMENSIONS.

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THE APEX - LH
Cover Sheet 'Georgian'

DRAWN BY:
South Designs
ISSUE DATE:
7/1/2021
CURRENT REVISION DATE:

SCALE:
1/8" = 1'-0"
SHEET
0.0b



59'-0" OVERALL FRONT OF PORCH TO REAR WALL OF HOUSE

See Sheet 1.2.2b for third car garage and 2 car side load see new garage dimensions

1'-8" PORCH

See Sheet S-1.2.1b for Smart Door Delivery

59'-0"

7'-0" PORCH

CRAWL SPACE FOUNDATION 'GEORGIAN'
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

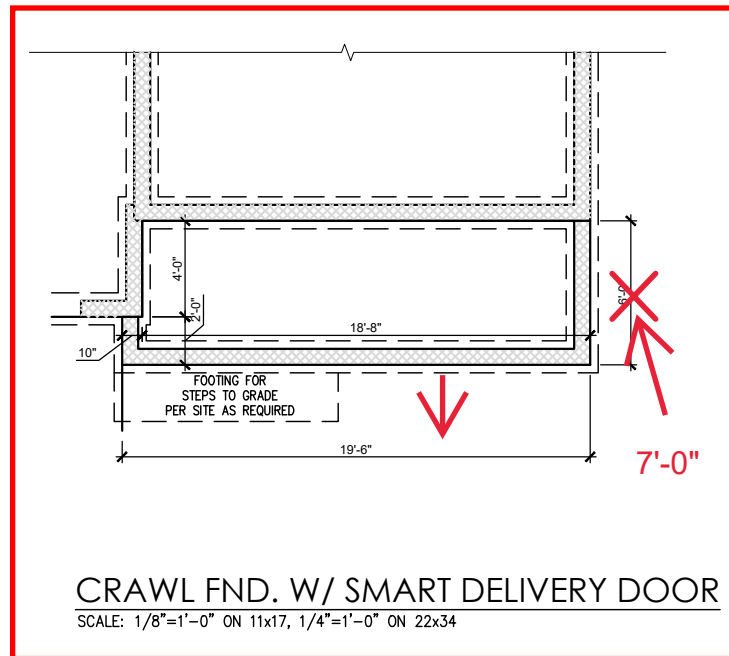
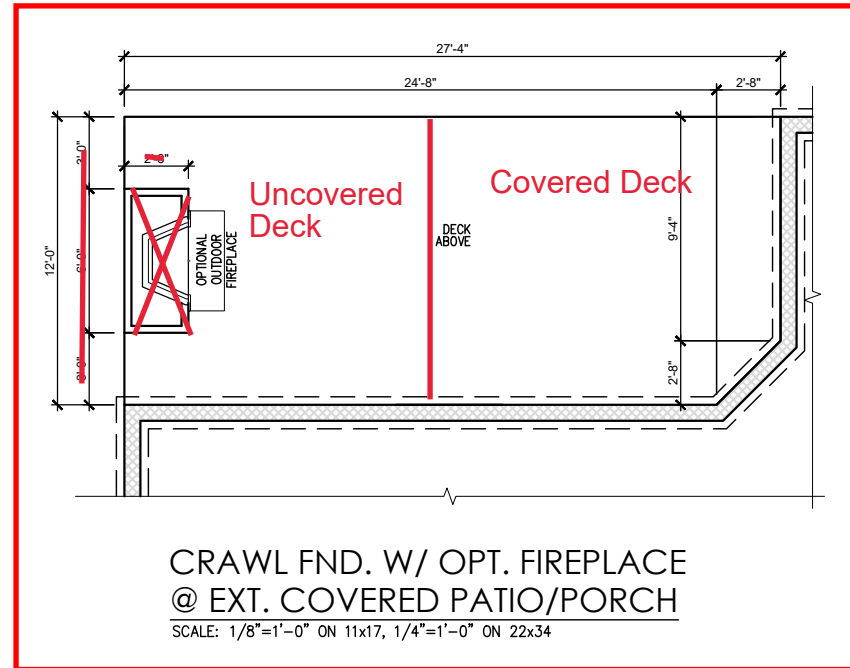
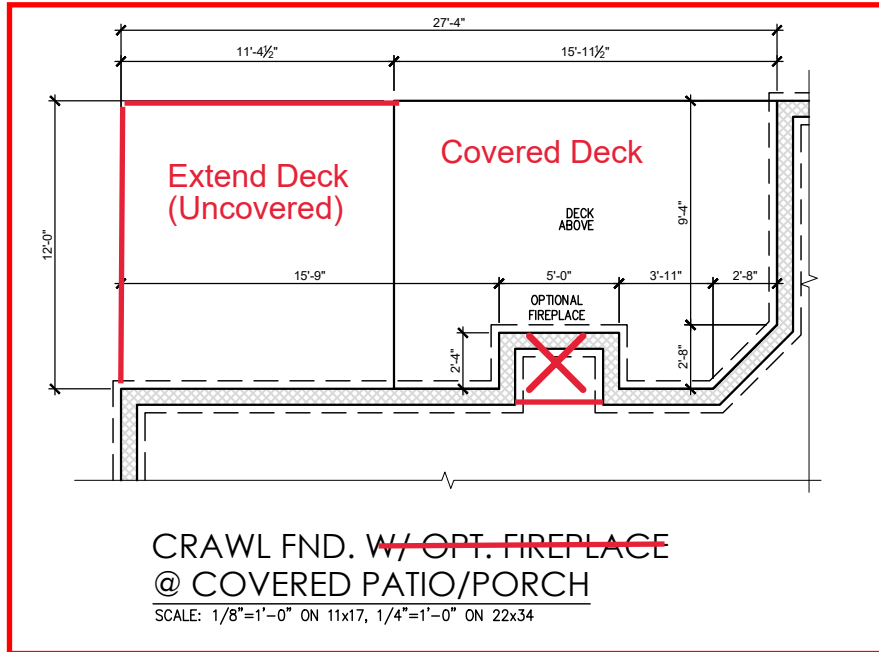
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THE APEX - LH
Crawl Foundation 'Georgian'

DRAWN BY:
South Designs
ISSUE DATE:
7/1/2021
CURRENT REVISION DATE:

SCALE:
1/8" = 1'-0"

SHEET
1.2b



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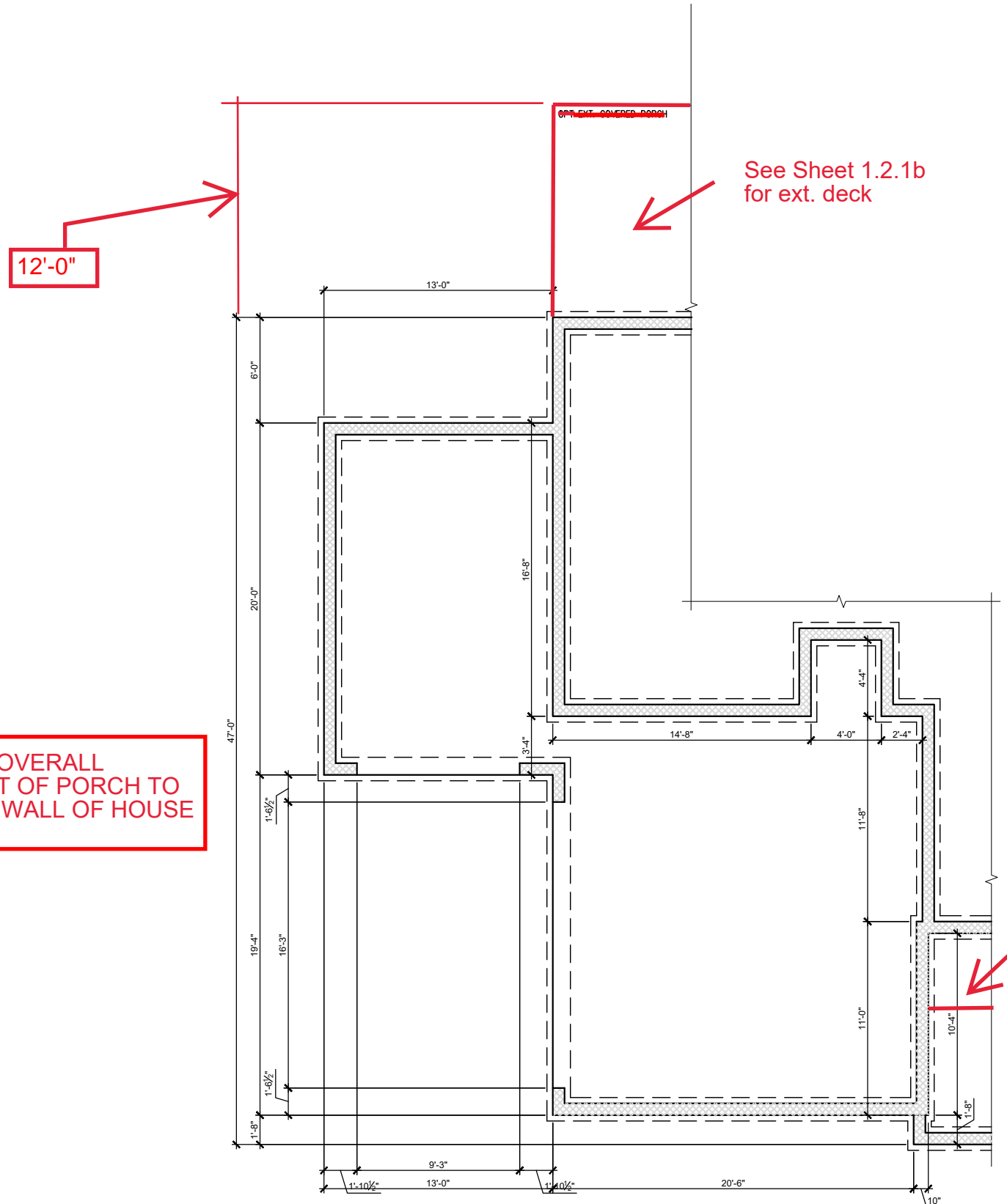
THE APEX - LH

 Crawl Foundation Options 'Georgian'

DRAWN BY:
 South Designs
 ISSUE DATE:
 7/1/2021
 CURRENT REVISION DATE:

SCALE:
 1/8" = 1'-0"

SHEET
1.2.1b



59'-0" OVERALL FRONT OF PORCH TO REAR WALL OF HOUSE

12'-0"

See Sheet 1.2.1b for ext. deck

See Sheet 1.2.1b for Smart Door Delivery

CRAWL FND. W/ OPT.SIDE LOAD & 3-CAR GARAGE
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

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THE APEX - LH

 Crawl Foundation Options 'Georgian'

DRAWN BY:
 South Designs
 ISSUE DATE:
 7/1/2021
 CURRENT REVISION DATE:

SCALE:
 1/8" = 1'-0"
 SHEET
1.2.2b

General Floor Plan Notes

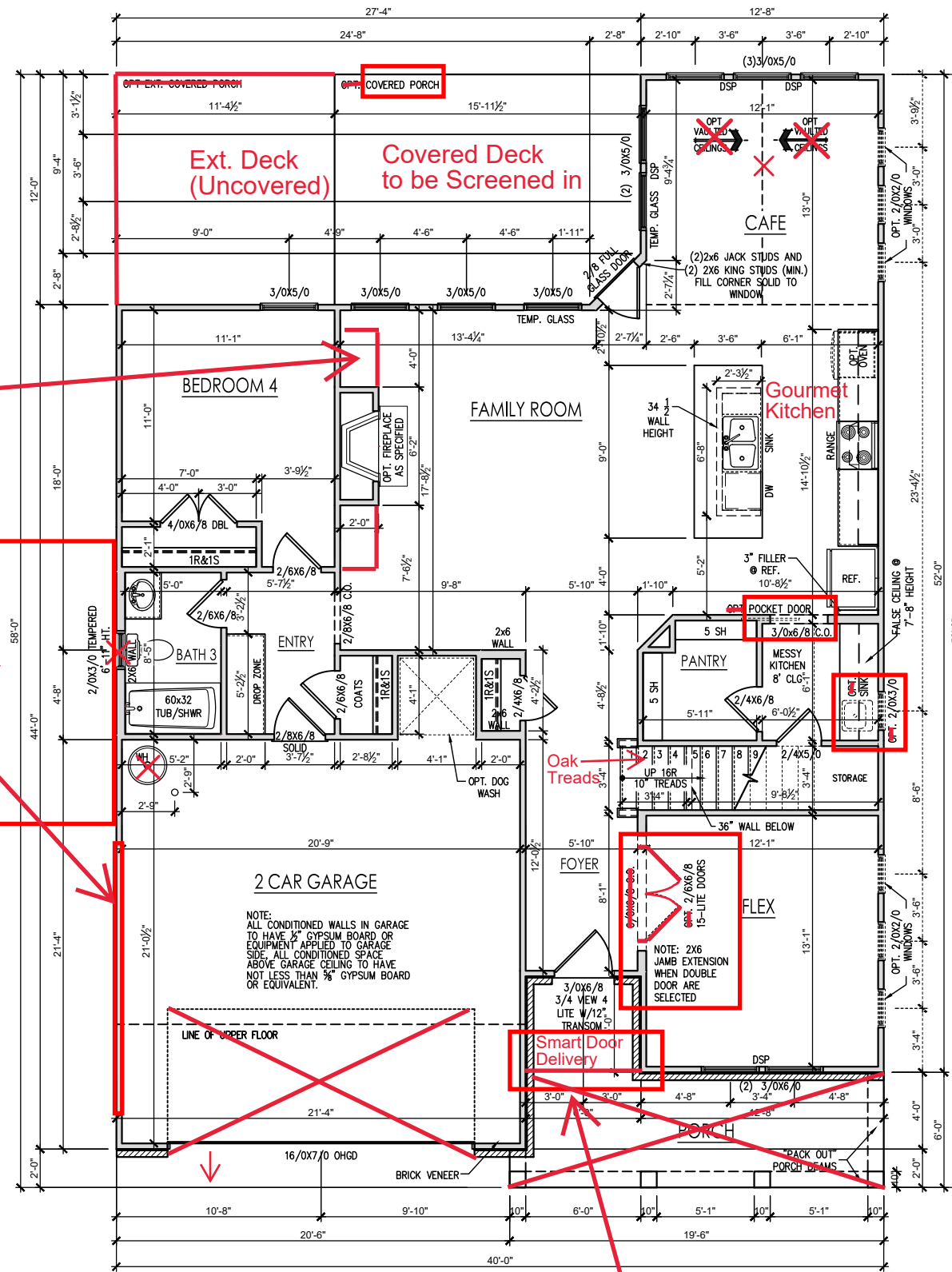
General Floor Plan Notes shall apply unless noted otherwise on plan.

1. Wall Heights: Typically 9'-1 1/2" at first floor and second floor, and 9'-1 1/2" at attics U.N.O. All walls are constructed using a double top plate. Splices at Double Top Plate do not need to occur at Vertical Studs but must be at least 24" apart from Joint in other Top Plate layer. Special wall heights are noted on plans where they occur.
2. Wall Thickness is typically 3 1/2". 2x6 frame shall be used at walls that back up to plumbing fixtures. Walls greater than 10' high shall be framed with 2x6 framing or greater and will be noted as a special condition where it occurs on plan.
3. Typical header height shall be 7'-8" AFF at First Floor, and 7'-4" AFF at Second Floor U.N.O.
4. Jacks: Openings up to 3'-4" wide shall have (1) 2x4 jack stud SPF on each side. Openings greater than 3'-4" wide shall have (2) 2x4 jack studs SPF on each side.
5. Soffits, Coffered Ceilings, Tray Ceilings and other significant ceiling plan elements are shown on the floor plans and are denoted as single dashed lines. Unless specifically call out as included, Kitchens do not include soffits over wall cabinetry.
6. Door & Window Frames, where occurring near corners, shall be a minimum of 4 1/2" from corner. Except for walk-in closets with doors near a corner, doors at closets shall be centered on closet.
7. Windows: Shall have at least (1) window in each sleeping room, that meets egress. Shall be provided with tempered glass at hazardous glazing areas. False windows shall be installed with obscure glazing.
8. Closets for clothing or coat storage shall be equipped with 1 rod/shelf. Closets for linen shall have 4 open equal shelves. Closets for pantries shall have 4 equal wood shelves, painted.
9. Stair treads shall be a min of 9" deep, risers shall be a maximum of 8 1/4", unless noted otherwise, per the current North Carolina Residential Code
10. Handrails and Guards of stairs shall be 34" above the finished surface of the ramp surface of the stair. Handrails at landings and overlooks of multilevel spaces shall be 36" above finished floor. Guards (pickets or balusters) shall be spaced with no more than 4" between guards.
11. Attic Access shall be provided at all attic area with a height greater than 30". Minimum clear attic access shall be 20" x 30". Pull down stairs and access doors in knee walls meeting minimum criteria are also acceptable.
12. Garage Door to Living Space shall be 2'-8" x 6'-8" minimum size and shall be 20 minute fire rated and weather sealed.
13. Garage Walls, as a minimum, shall be separated from living space by installing 1/2" gypsum board on the garage side of the wall. With habitable space above, the inside of all garage walls require 1/2" GWB supporting 5/8" type X GWB on ceiling.

See Sheet S-2.4.3 for Ext. Cov. Porch

See Sheet 2.1.1b for built ins

See Sheet 2.8b for third car garage and 2 car side entry



FIRST FLOOR PLAN 'GEORGIAN'
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

See Sheet 2.1.1b for smart door delivery

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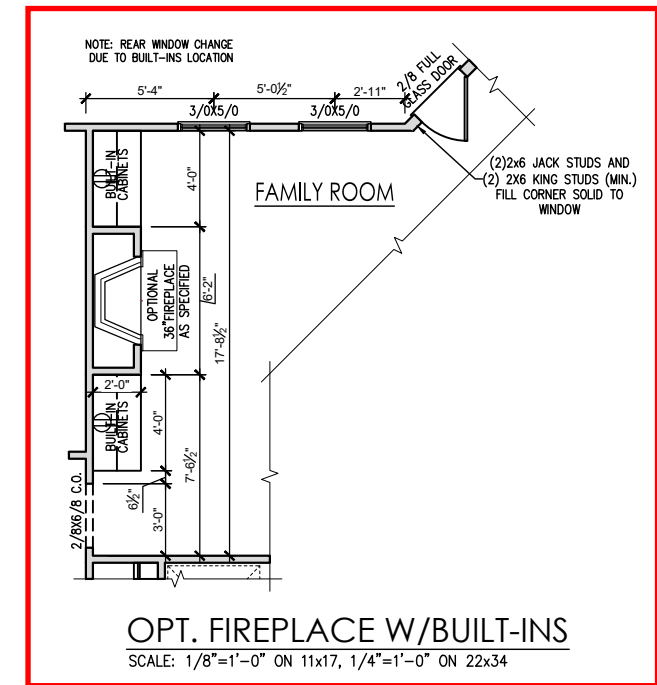
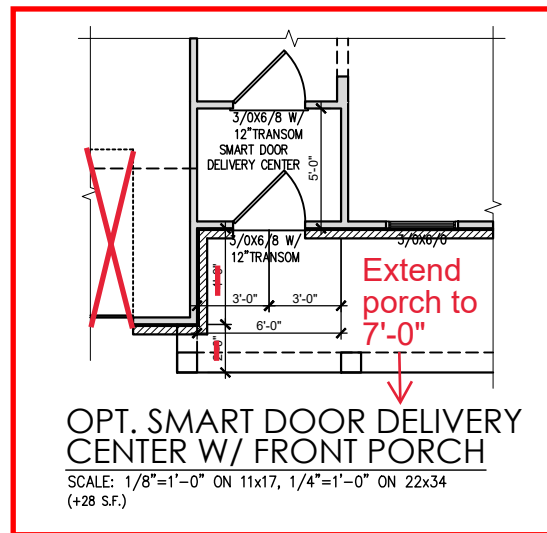
DRAWN BY:
South Designs
ISSUE DATE:
7/1/2021
CURRENT REVISION DATE:

SCALE:
1/8" = 1'-0"

General Floor Plan Notes

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12. Garage Door to Living Space shall be 2'-8" x 6'-8" minimum size and shall be 20 minute fire rated and weather sealed.
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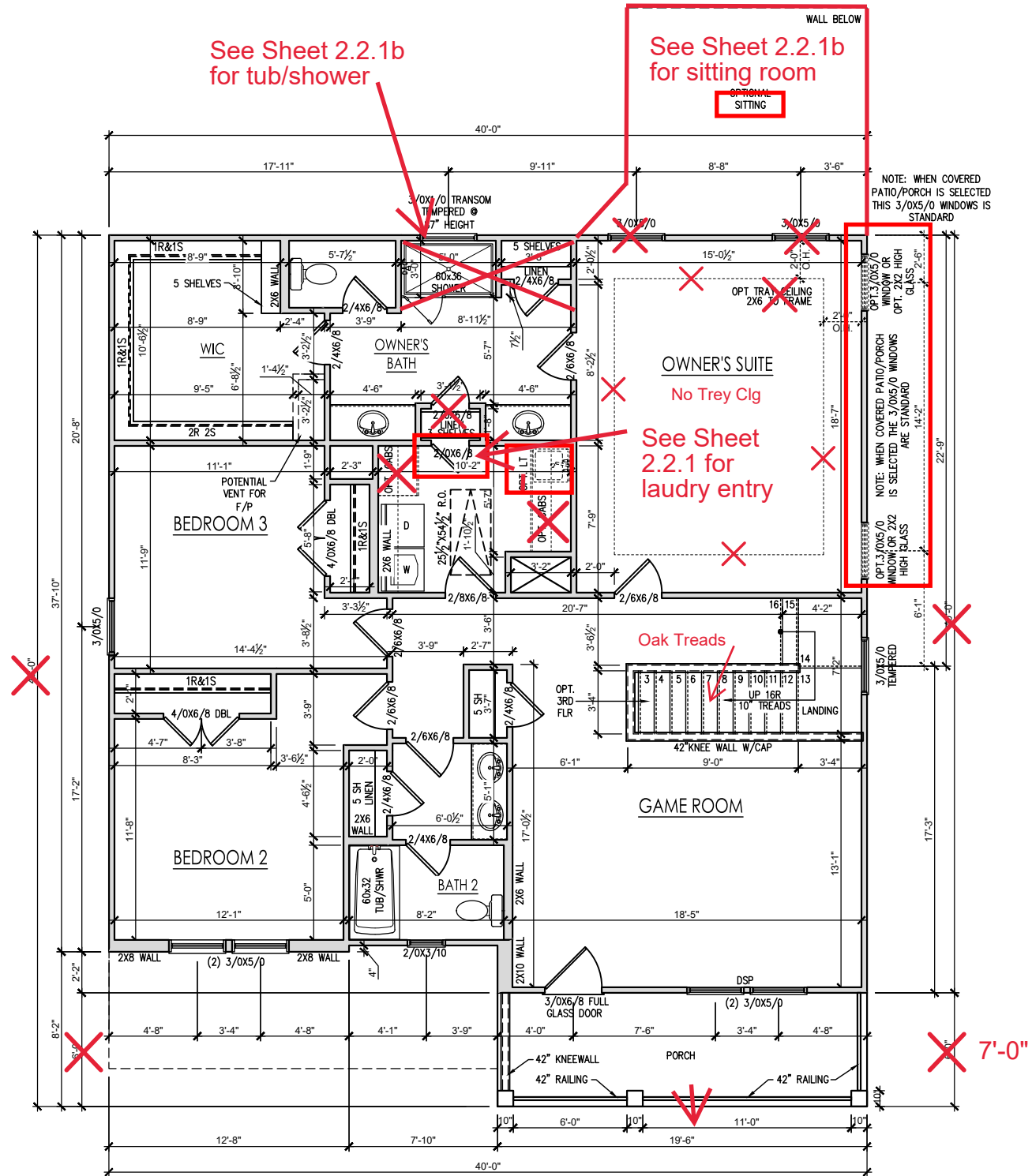


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General Floor Plan Notes

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- Wall Heights:** Typically 9'-1 1/2" at first floor and second floor, and 9'-1 1/2" at attics U.N.O. All walls are constructed using a double top plate. Splices at Double Top Plate do not need to occur at Vertical Studs but must be at least 24" apart from Joint in other Top Plate layer. Special wall heights are noted on plans where they occur.
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SECOND FLOOR PLAN 'GEORGIAN'
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

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THE APEX - LH

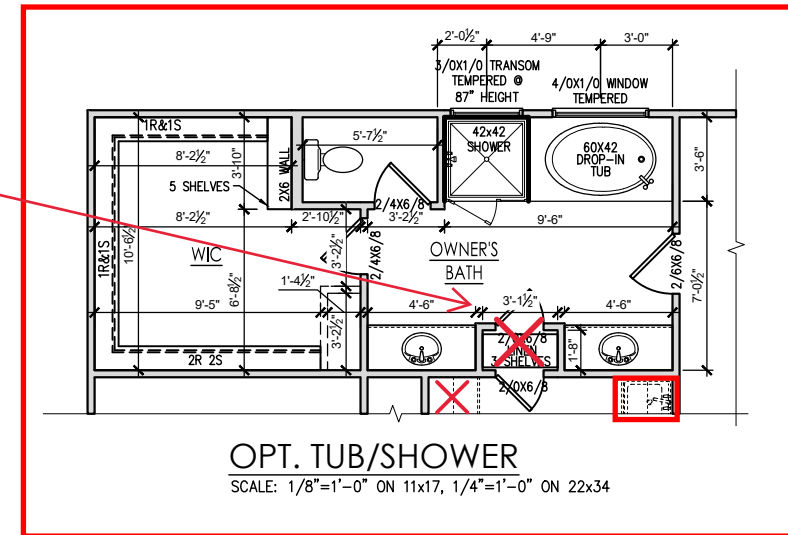
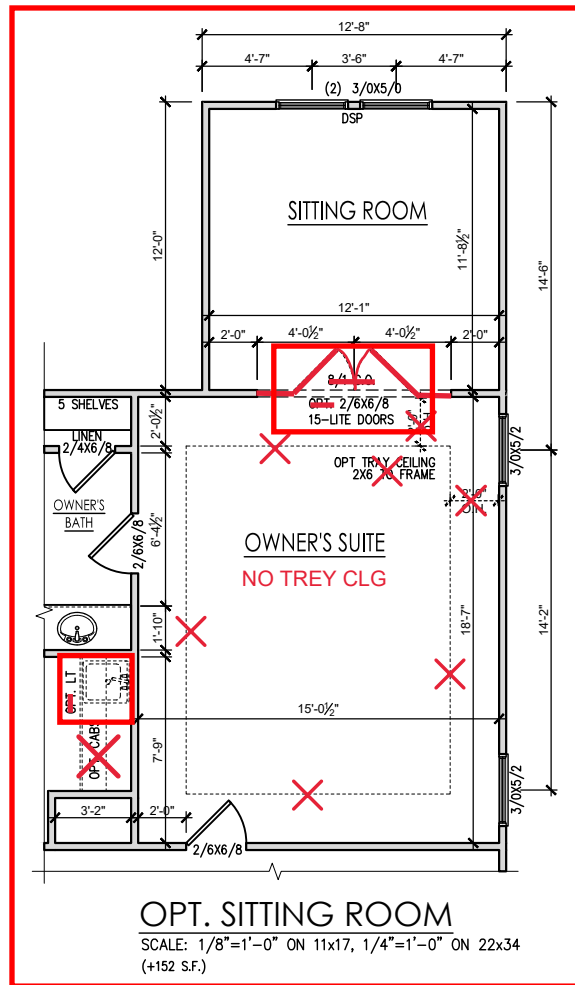
Second Floor Plan 'Georgian'

DRAWN BY: South Designs
ISSUE DATE: 7/1/2021
CURRENT REVISION DATE: ---
SCALE: 1/8" = 1'-0"
SHEET 2.2b

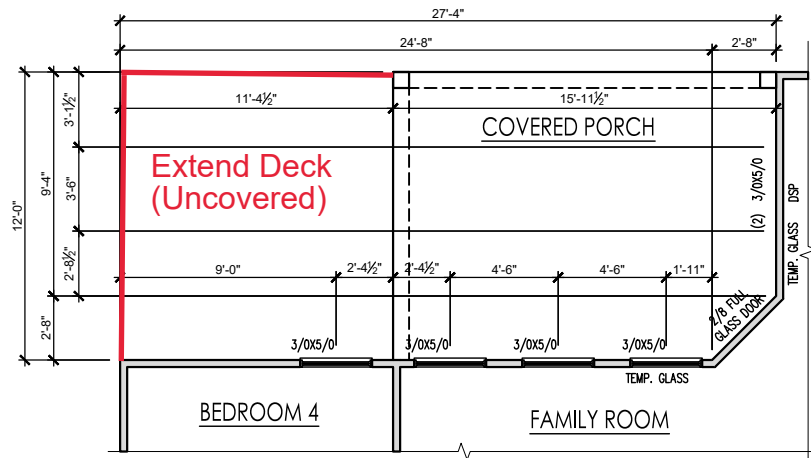
General Floor Plan Notes

General Floor Plan Notes shall apply unless noted otherwise on plan.

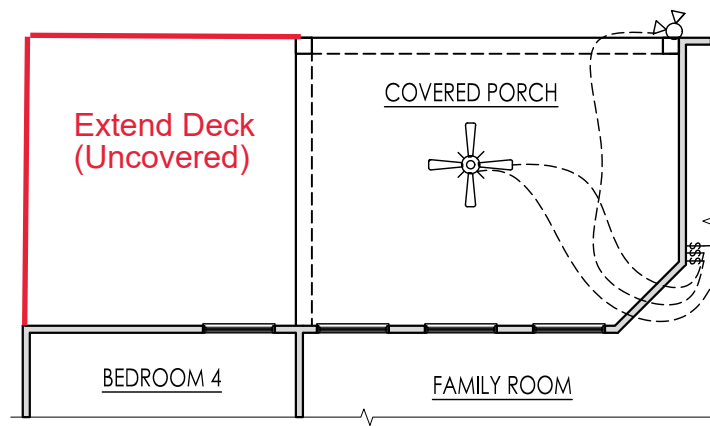
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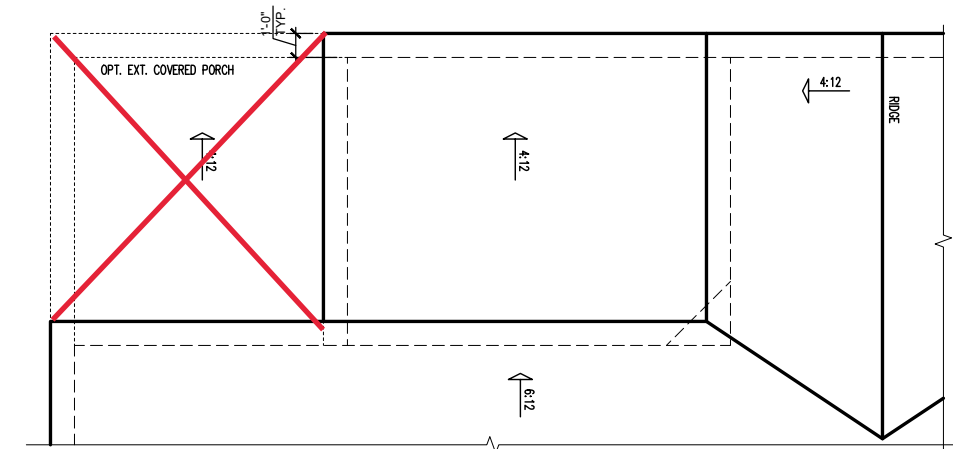
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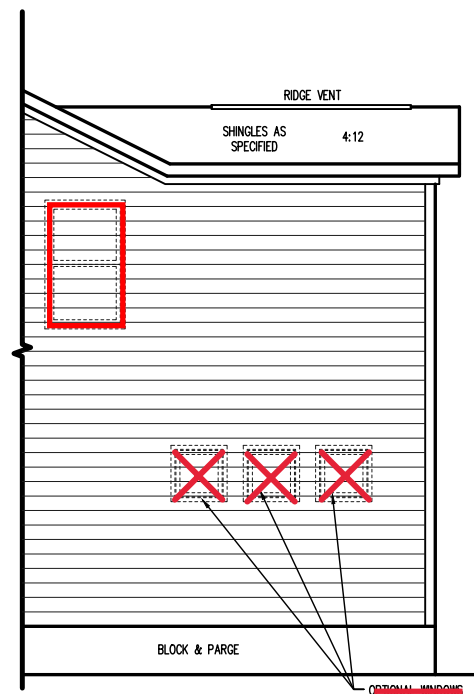
OPT. OWNER'S SITTING WITH COVERED PORCH FLOOR PLAN
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



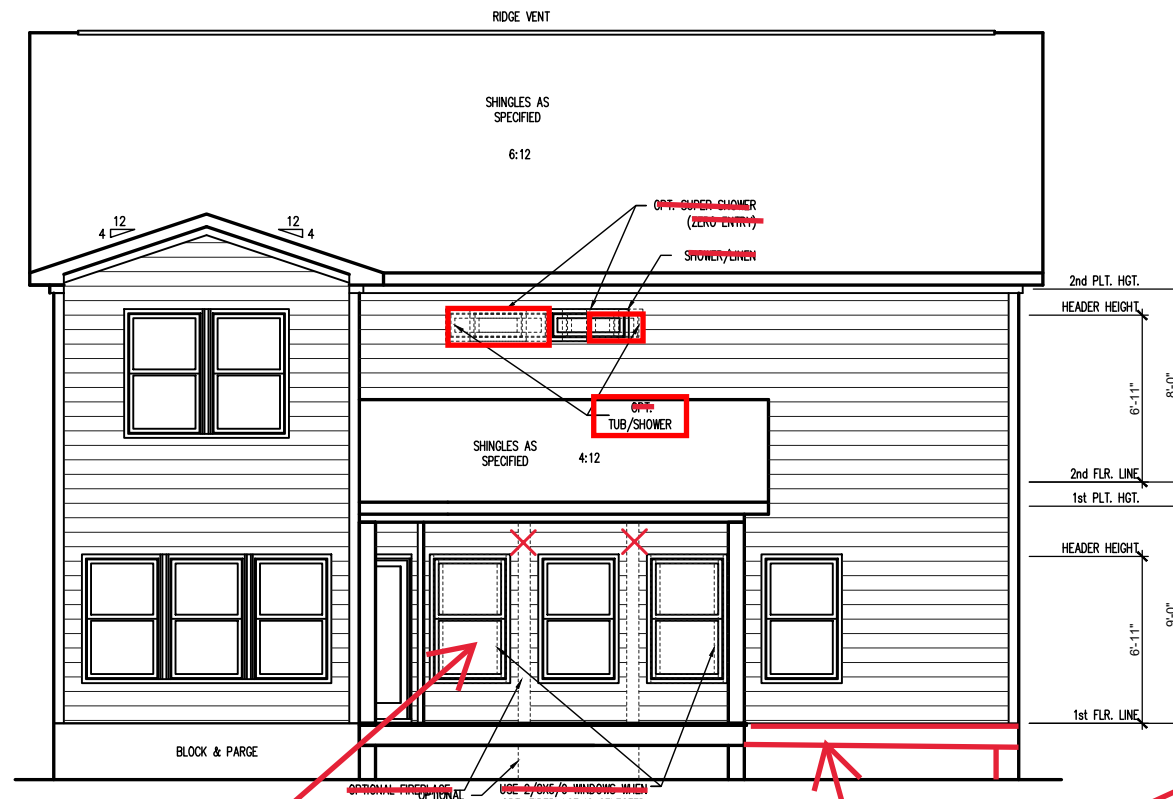
OPT. OWNER'S SITTING WITH COVERED PORCH ELECTRICAL
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



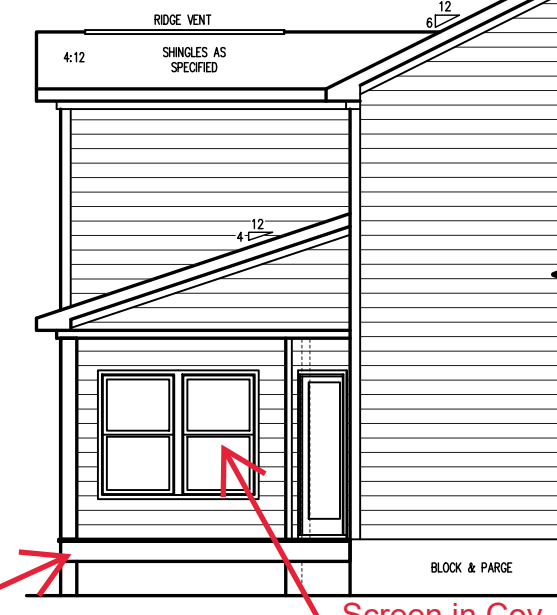
OPT. OWNER'S SITTING WITH COVERED PORCH ROOF PLAN
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



PARTIAL RIGHT SIDE ELEVATION (CRAWL STEM WALL)
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34
SEE FOUNDATION PAGES FOR FOUNDATION TYPE



OPT. OWNER'S SITTING WITH COVERED PORCH REAR ELEVATION (CRAWL STEM WALL)
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34
SEE FOUNDATION PAGES FOR FOUNDATION TYPE



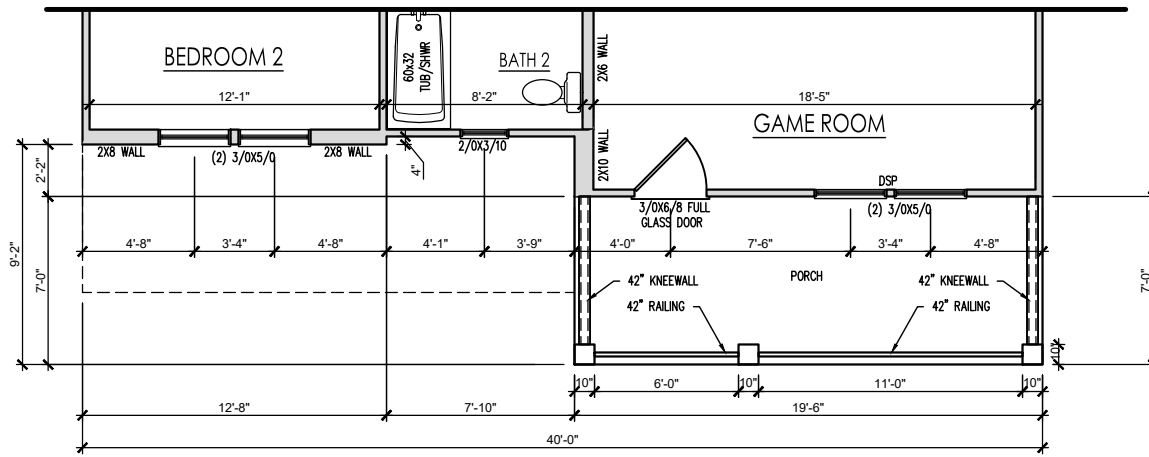
PARTIAL LEFT SIDE ELEVATION (CRAWL STEM WALL)
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34
SEE FOUNDATION PAGES FOR FOUNDATION TYPE

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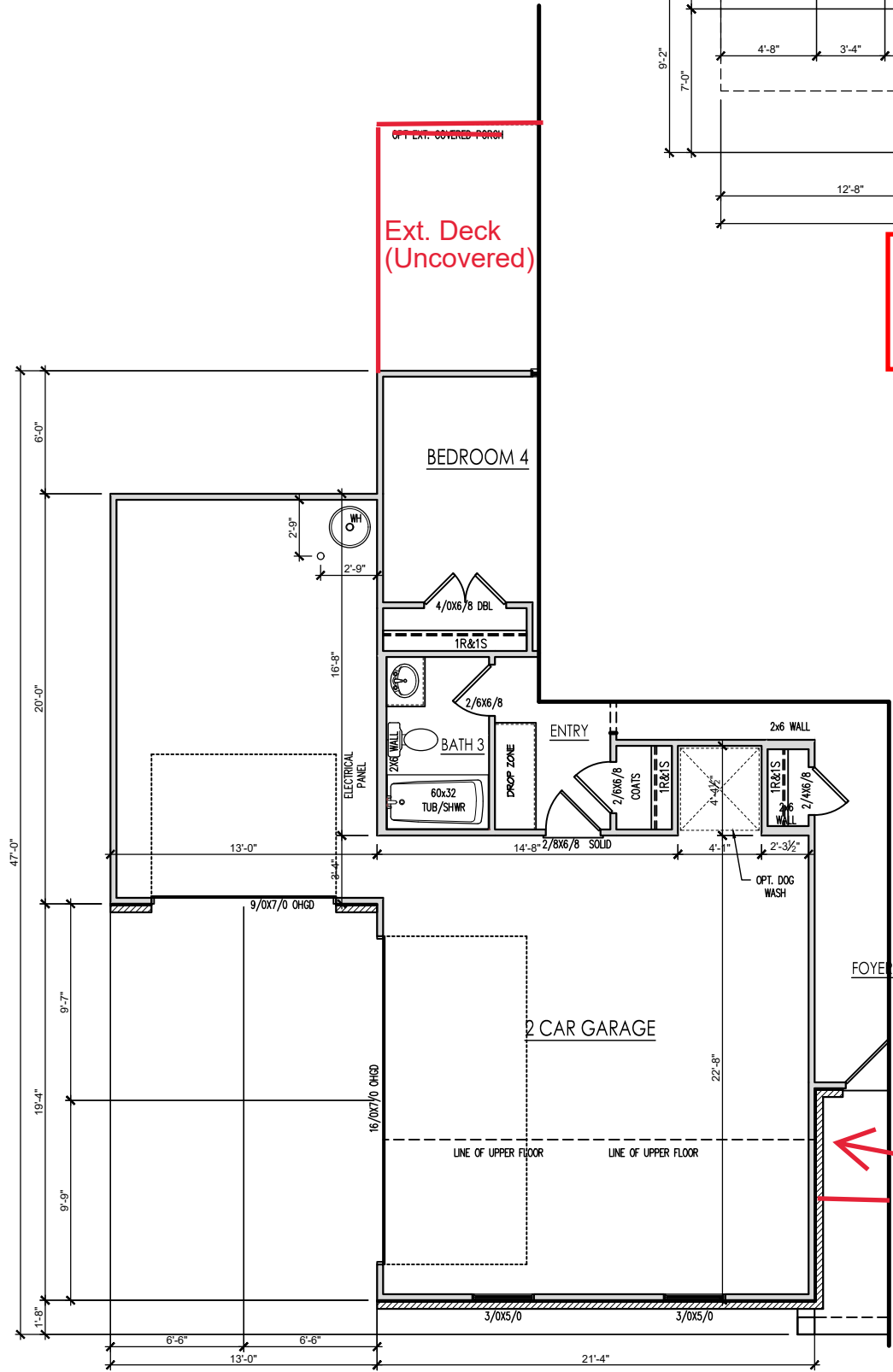
THE APEX - LH
Covered Porch with Second Floor Sitting Room - Crawl

DRAWN BY:
South Designs
ISSUE DATE:
7/1/2021
CURRENT REVISION DATE:

SCALE:
1/8" = 1'-0"



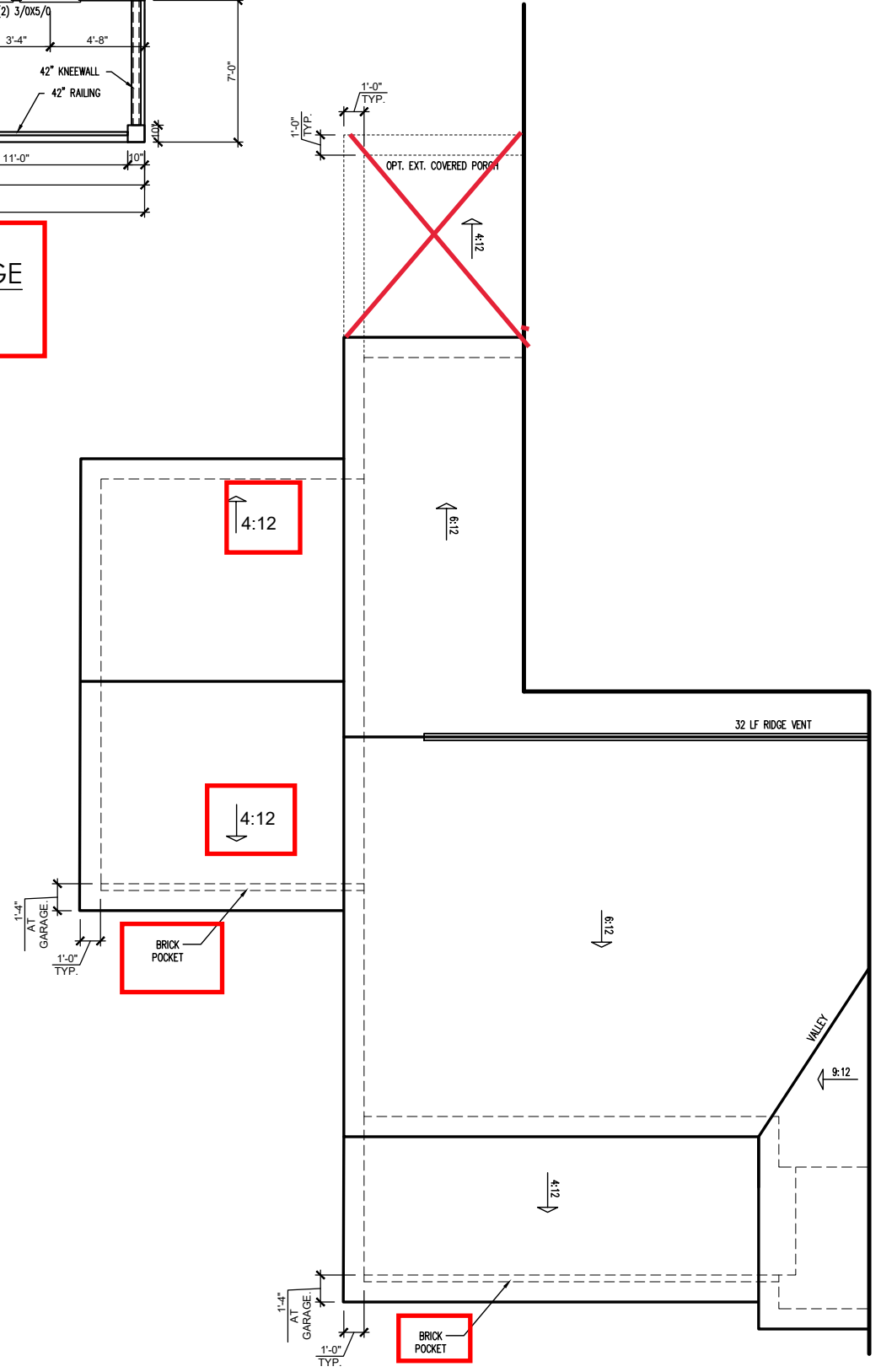
**SECOND FLOOR FOR THE
OPT. 2 SIDE LOAD W/ 3-CAR GARAGE
'GEORGIAN' FLOOR PLAN**
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**OPT. 2 SIDE LOAD W/ 3-CAR GARAGE
'GEORGIAN' FLOOR PLAN**
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

Ext. Deck
(Uncovered)

See Sheet
2.1.1b for
Smart Door Delivery



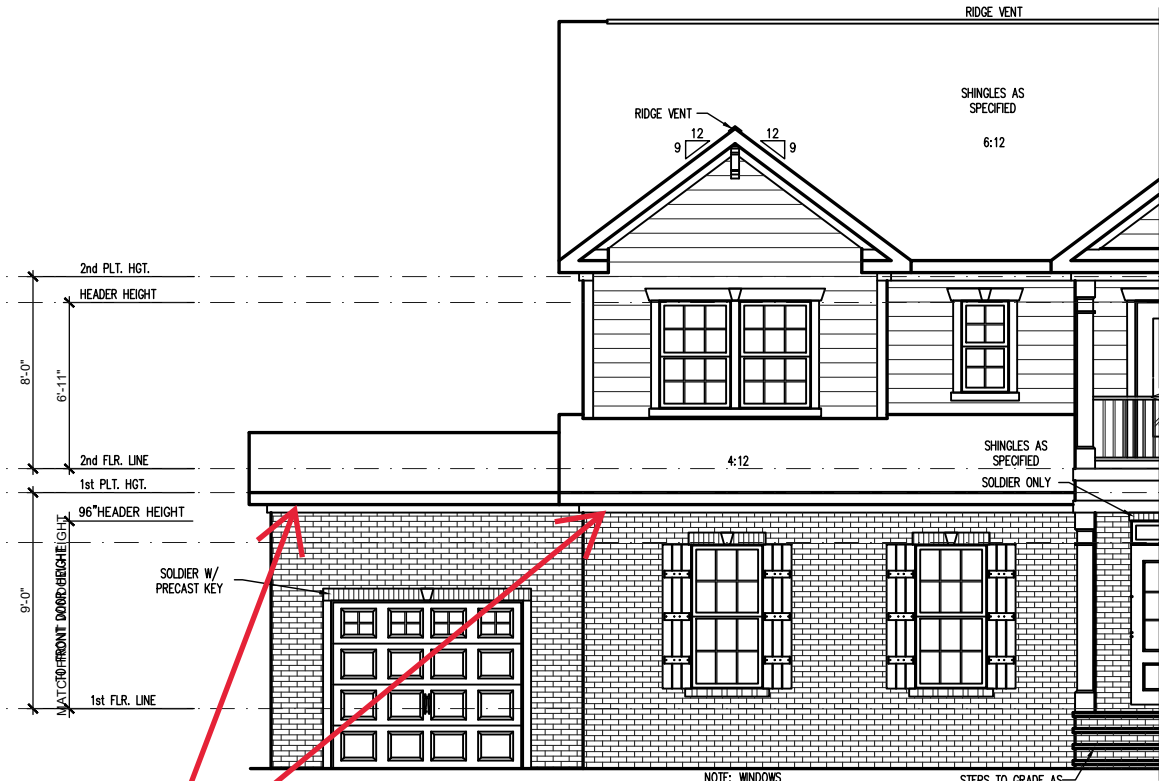
**OPT. 2 SIDE LOAD W/ 3-CAR GARAGE
'GEORGIAN' ROOF PLAN**
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

REV. #	DESCRIPTION	DATE
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THE APEX - LH
2 Car Side Load with Third Car Garage
Plans - Georgian

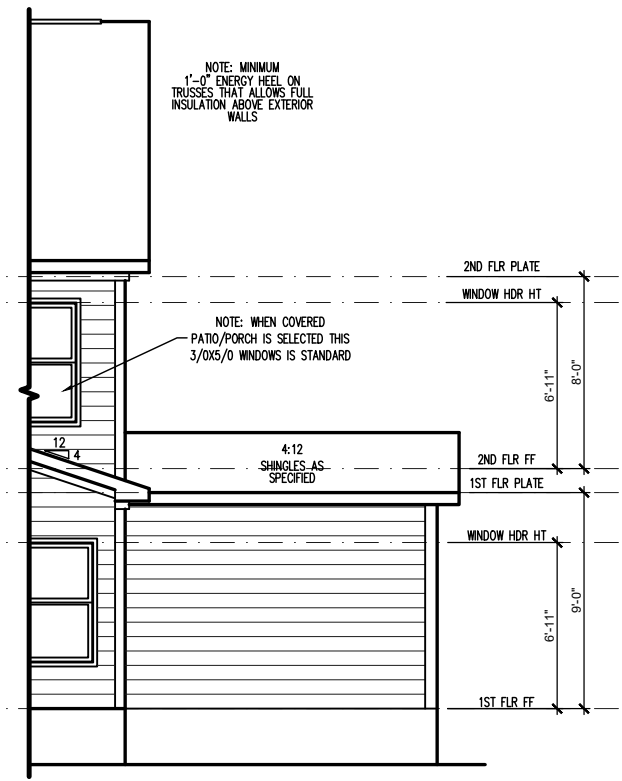
DRAWN BY:
South Designs
ISSUE DATE:
7/1/2021
CURRENT REVISION DATE:

SCALE:
1/8" = 1'-0"
SHEET
2.8b

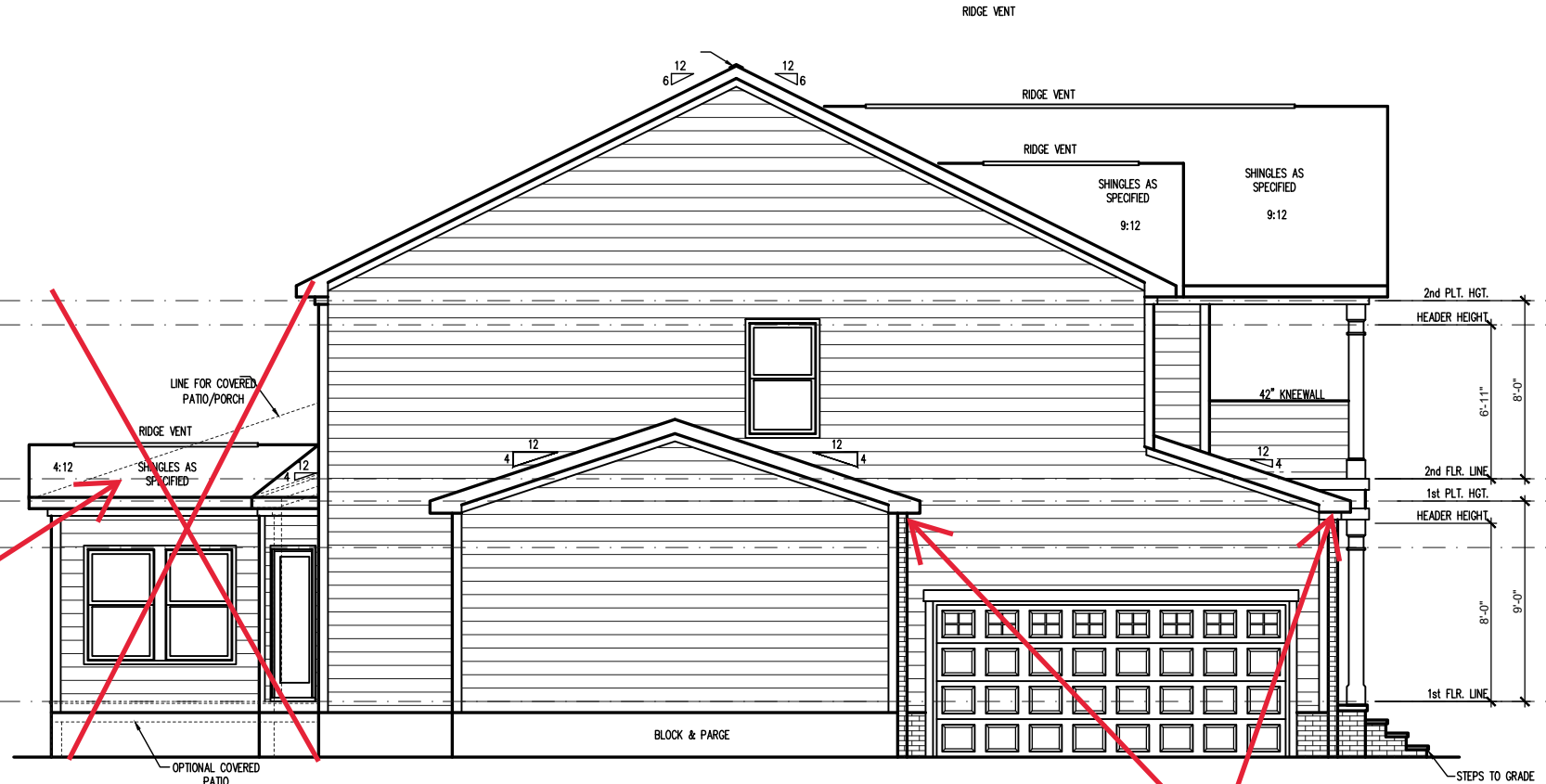


**OPT. 2-CAR SIDELOAD GARAGE w/ THIRD CAR GARAGE
FRONT ELEVATION 'GEORGIAN' (CRAWL/STEM WALL)**
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

Brick Pocket



**OPT. 3-CAR GARAGE
REAR ELEVATION (CRAWL/STEM WALL)**
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**OPT. 2-CAR SIDELOAD GARAGE w/ THIRD CAR GARAGE
LEFT SIDE ELEVATION 'GEORGIAN' (CRAWL/STEM WALL)**
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

See Sheet 2.4.3 for cov porch with sitting at second floor

Brick Pocket

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THE APEX - LH
2 Car Side Load with Third Car Garage
Elevations - Georgian Crawl

DRAWN BY:
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ISSUE DATE:
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CURRENT REVISION DATE:

SCALE:
1/8" = 1'-0"

SHEET
2.8.2b

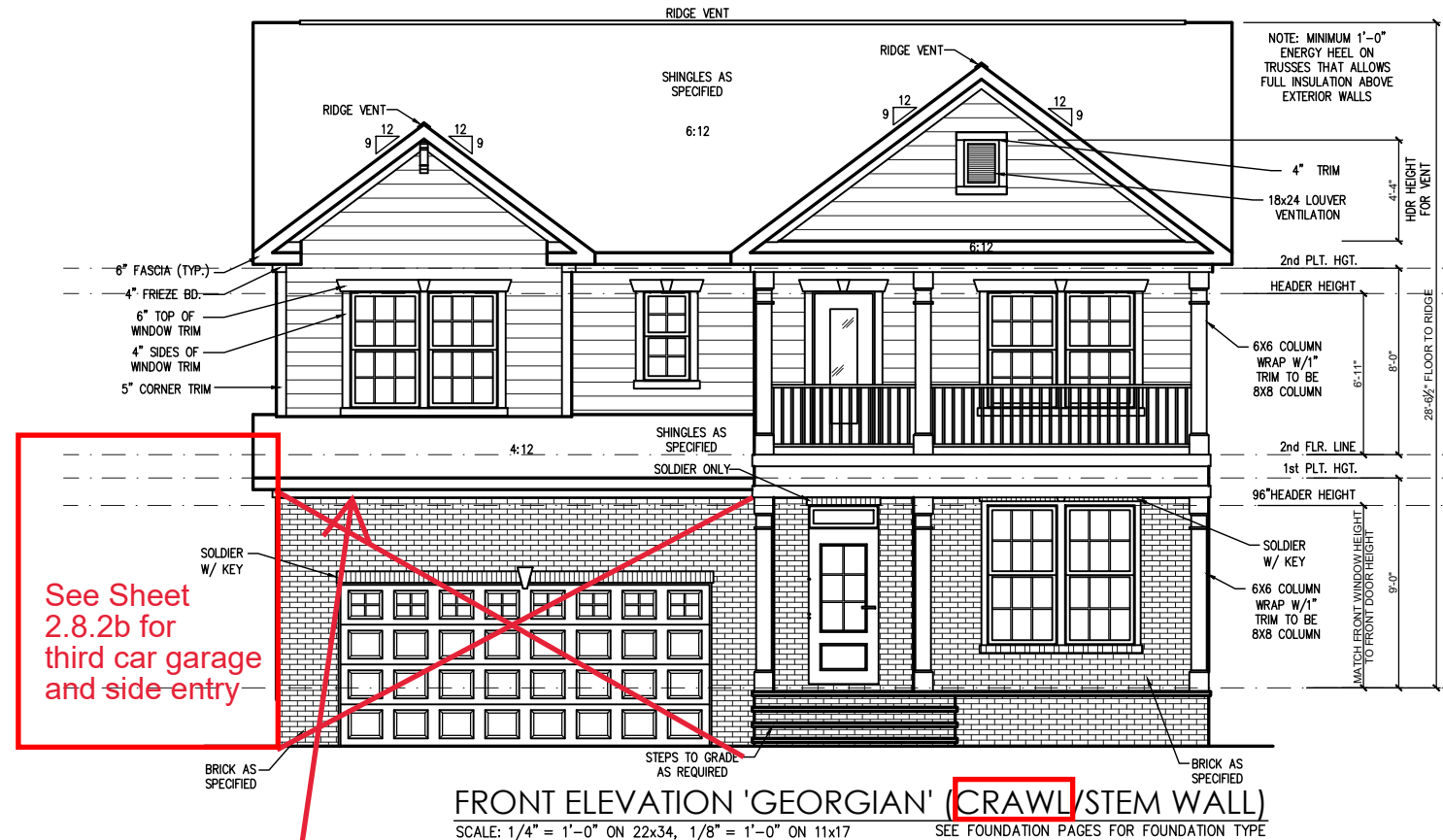
General Elevation Notes

General Elevation Notes shall apply unless noted otherwise on plan.

1. Roof shall be finished with architectural composition shingles with slopes as noted on plan.
2. Ridge Vent shall be provided and installed on all ridges greater than 6' in length per manufacturer's specifications.
3. Soffit Vent shall be continuous soffit vent
4. House Wrap, "Tyvek" or approved equal shall be installed over entire exterior wall per manufacturer's specifications and recommendations.
5. Flashing shall be provided above all door and window openings, above finish wall material changes and at wall surfaces where lower roof areas abut vertical wall surfaces.
6. Porch Railings shall be provided at all porch walking surfaces greater than 30" above adjacent finished grade. It shall be 36" high with guards spaced no more than 4" apart. Consult community specifications for material.
7. Finish Wall Material shall be as noted on elevation drawings.
8. Brick Veneer, if included on elevation shall be tied to wall surface with galvanized corrugated metal ties at a rate of 24" oc horizontally and 16" oc vertically so that no more than 2.67sf of brick is supported by (1) tie. Space between face of wall and back face of brick shall be limited to a maximum of 1". Flashing shall be provided behind brick above all wall openings and at base of brick wall. Flashing shall be a minimum of 6-mil poly or other corrosion resistant material and shall be installed so that it laps under the house wrap material a minimum of 2". Weepholes shall be provided at a rate of 48" oc and shall not be less than 3/16" in diameter and shall be located immediately above flashing.
9. Brick Veneer Support Lintels shall be provided if brick veneer is included on elevation. Lintels shall be provided as listed in the following schedule and shall have a minimum bearing length of 6". Masonry Lintels shall be provided so that deflection is limited to L/600.

Masonry Opening Lintel Schedule

Opening Size	Angle
up to 4'-0"	3-1/2" x 3-1/2" x 5/16"
4'-1" to 5'-6"	4" x 3-1/2" x 5/16" LLV
5'-7" to 6'-6"	5" x 3-1/2" x 5/16" LLV
6'-7" to 8'-4"	6" x 3-1/2" x 5/16" LLV
8'-5" to 16'-4"	7" x 4" x 3/8" LLV



See Sheet 2.8.2b for third car garage and side entry

Brick Pocket

FRONT ELEVATION 'GEORGIAN' (CRAWL/STEM WALL)
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17 SEE FOUNDATION PAGES FOR FOUNDATION TYPE

REV. #	DESCRIPTION	DATE
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THE APEX - LH

 Front & Rear Elev (Crawl or Stem Wall)
 'Georgian'

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 CURRENT REVISION DATE:

 SCALE:
1/8" = 1'-0"
 SHEET
3.1.1b

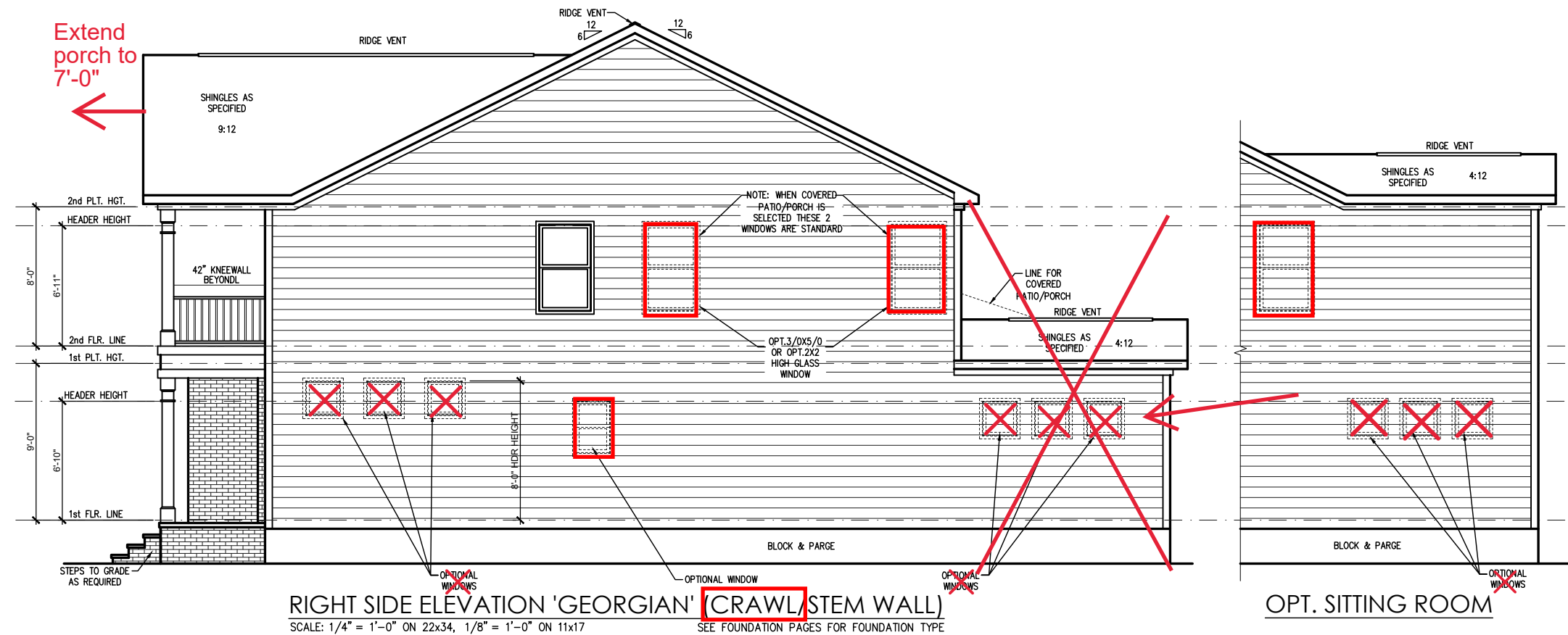
General Elevation Notes

General Elevation Notes shall apply unless noted otherwise on plan.

1. Roof shall be finished with architectural composition shingles with slopes as noted on plan.
2. Ridge Vent shall be provided and installed on all ridges greater than 6' in length per manufacturer's specifications.
3. Soffit Vent shall be continuous soffit vent
4. House Wrap, "Tyvek" or approved equal shall be installed over entire exterior wall per manufacturer's specifications and recommendations.
5. Flashing shall be provided above all door and window openings, above finish wall material changes and at wall surfaces where lower roof areas abut vertical wall surfaces.
6. Porch Railings shall be provided at all porch walking surfaces greater than 30" above adjacent finished grade. It shall be 36" high with guards spaced no more than 4" apart. Consult community specifications for material.
7. Finish Wall Material shall be as noted on elevation drawings.
8. Brick Veneer, if included on elevation shall be tied to wall surface with galvanized corrugated metal ties at a rate of 24" oc horizontally and 16" oc vertically so that no more than 2.67sf of brick is supported by (1) tie. Space between face of wall and back face of brick shall be limited to a maximum of 1". Flashing shall be provided behind brick above all wall openings and at base of brick wall. Flashing shall be a minimum of 6-mil poly or other corrosion resistant material and shall be installed so that it laps under the house wrap material a minimum of 2". Weepholes shall be provided at a rate of 48" oc and shall not be less than 3/16" in diameter and shall be located immediately above flashing.
9. Brick Veneer Support Lintels shall be provided if brick veneer is included on elevation. Lintels shall be provided as listed in the following schedule and shall have a minimum bearing length of 6". Masonry Lintels shall be provided so that deflection is limited to 1/600.

Masonry Opening Lintel Schedule

Opening Size	Angle
up to 4'-0"	3-1/2" x 3-1/2" x 5/16"
4'-1" to 5'-6"	4" x 3-1/2" x 5/16" LLV
5'-7" to 6'-6"	5" x 3-1/2" x 5/16" LLV
6'-7" to 8'-4"	6" x 3-1/2" x 5/16" LLV
8'-5" to 16'-4"	7" x 4" x 3/8" LLV

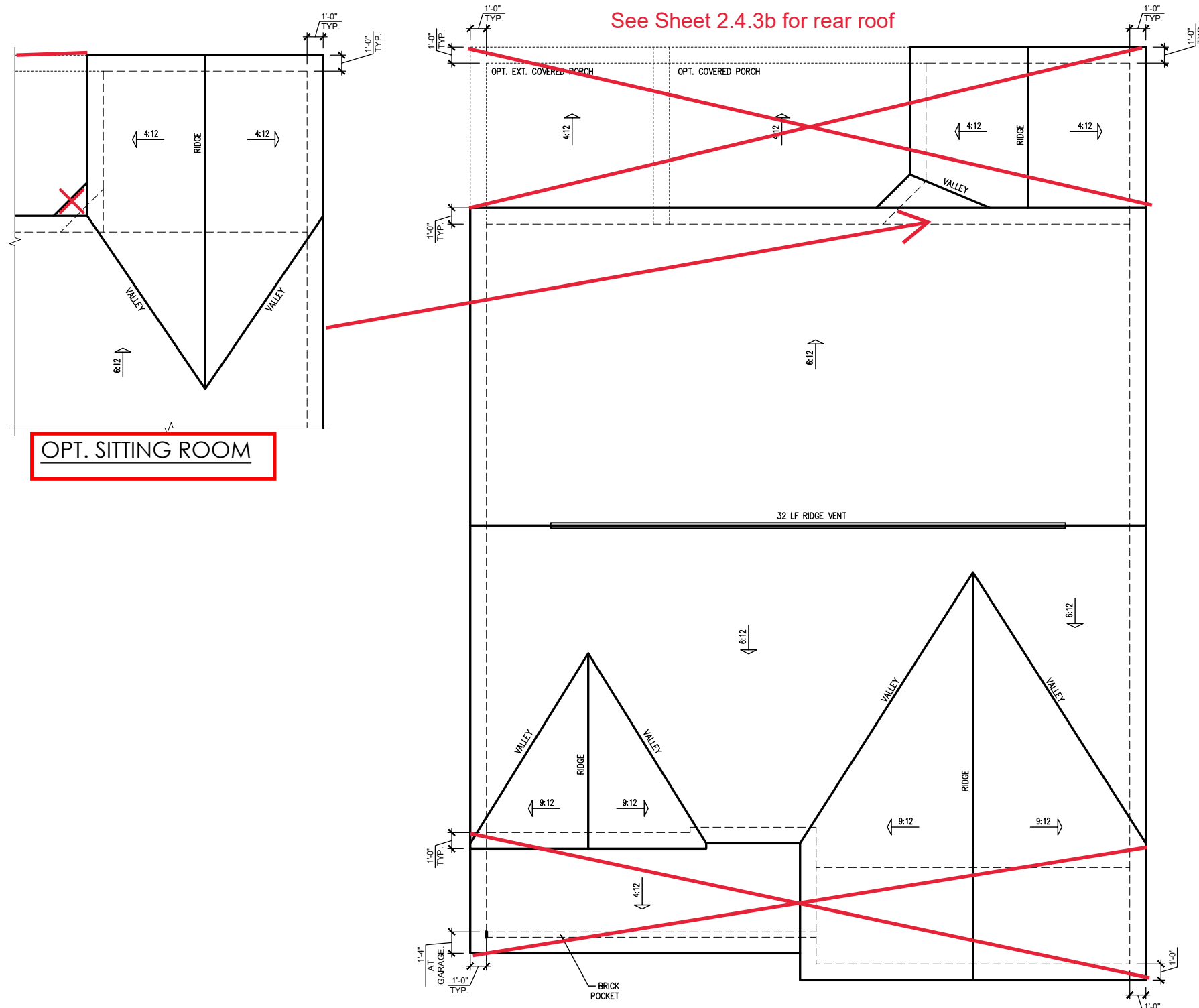


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THE APEX - LH
 Side Elevations (Crawl or Stem Wall)
 'Georgian'

DRAWN BY:
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 7/1/2021
 CURRENT REVISION DATE:

SCALE:
 1/8" = 1'-0"
 SHEET
3.2.1b



ATTIC VENT SCHEDULE								
'GEORGIAN' ELEVATION								
MAIN HOUSE		SQ FTG	1553	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. FT. EACH)	POT SMALL (SQ. FT. EACH)	RIDGE VENT (SQ. FT. PER LF)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. PER LF)
				0.4236	0.2778	0.125	0.1944	0.0625
RIDGE VENT	2.07 2.59	4.00	44.44	0	0	32.00		
SOFFIT VENTS	3.11 2.59	5.00	55.56				0	80.00
TOTAL (MIN)	5.18 5.18	9.00	100.00	POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE				

* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION



REV. #	DESCRIPTION	DATE
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THE APEX - LH

Roof Plan 'Georgian'

DRAWN BY:
South Designs

ISSUE DATE:
7/1/2021

CURRENT REVISION DATE:

SCALE:
1/8" = 1'-0"

SHEET
3.3b



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21-2780.1-LH

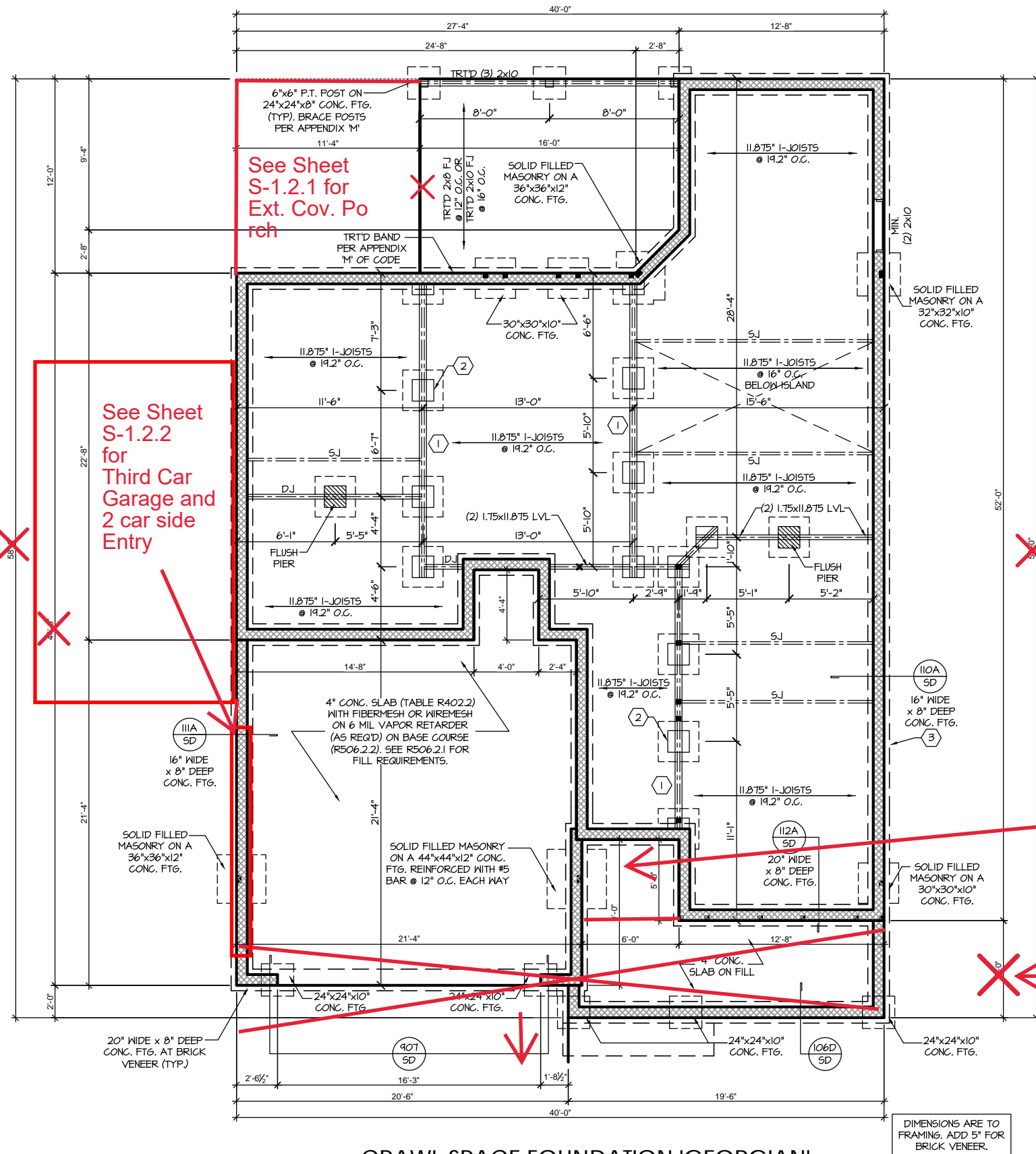
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Garage Left

S-1.2



CRAWL SPACE FOUNDATION 'GEORGIAN'
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

TRUSS SYSTEM REQUIREMENTS
NC (2018 NCRG); Wind: 115-120 mph

- TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE WITH SEALED STRUCTURAL PLANS. ANY NEED TO CHANGE TRUSSES SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
- TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
- ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SPF #2 OR #3 PLATES OR LEDGERS (UNO).
- ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

WOOD I-JOISTS
(SHALL BE ONE OF THE FOLLOWING OR EQUAL):

- TJI 210 BY TRUS JOIST
- LPI 20 PLUS BY LP
- BCI 5000s 1.8 BY BC

HEAVY WOOD I-JOISTS
(SHALL BE ONE OF THE FOLLOWING OR EQUAL):

- TJI 360 BY TRUS JOIST
- LPI 42 PLUS BY LP
- BCI 60s 2.0 BY BC

- ALL WOOD I-JOISTS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- INSTALL SQUASH BLOCKS, WEB STIFFENERS, ETC. AS REQUIRED BY AND ACCORDING TO THE I-JOIST MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
- HANGERS FOR I-JOISTS ARE THE RESPONSIBILITY OF THE I-JOIST SUPPLIER.
- FLOOR TRUSSES BY MANUFACTURER MAY BE SUBSTITUTED FOR ANY I-JOISTS.

FOUNDATION STRUCTURAL NOTES
NC (2018 NCRG); Wind: 115-120 mph - CRAWL

- (3) 2x10 SYP #2 OR SPF #2 GIRDER, TYPICAL UNO.
- CONCRETE BLOCK PIER SIZE SHALL BE:

SIZE	HOLLOW	SOLID
8x16	UP TO 32"	UP TO 5'-0"
12x16	UP TO 48"	UP TO 9'-0"
16x16	UP TO 64"	UP TO 12'-0"
24x24	UP TO 96"	

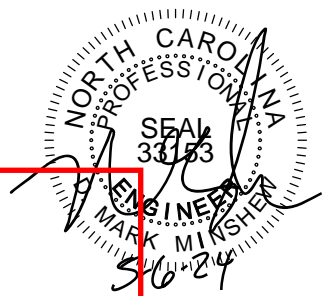
 WITH 30" x 30" x 10" CONCRETE FOOTING, UNO.
- WALL FOOTING AS FOLLOWS

DEPTH:	BRICK:
8" - UP TO 2 STORY	20" - 3 STORY
10" - 3 STORY	16" - 1 STORY
	20" - 2 STORY
	24" - 3 STORY
- FOR FOUNDATION WALL HEIGHT AND BACKFILL REQUIREMENTS, REFER TO CODE TABLE R404.11 (1 THRU 4) NOTE: ASSUMED SOIL BEARING CAPACITY = 2000 PSF. CONTRACTOR MUST VERIFY SITE CONDITIONS AND CONTACT SOILS ENGINEER IF MARGINAL OR UNSTABLE SOILS ARE ENCOUNTERED.
- (4) 2x10 SPF #2 OR SYP #2 GIRDER
- (2) 1.75x9.25 LVL OR LSL GIRDER
- (3) 1.75x9.25 LVL OR LSL GIRDER
- * DESIGNATES A SIGNIFICANT POINT LOAD TO HAVE SOLID BLOCKING TO PIER, SOLID BLOCK ALL BEAM BEARING POINTS NOTED TO HAVE THREE OR MORE STUDS TO FIND, TYPICAL.
- ABBREVIATIONS:
 - "S.J." = SINGLE JOIST
 - "D.J." = DOUBLE JOIST
 - "T.J." = TRIPLE JOIST
- ADJUST SUBFLOOR THICKNESS OR JOIST SPACING AS REQ'D FOR FLOOR FINISH MATERIALS.

See Sheet S-1.2.1 for Smart Door Delivery

7'-0"

DIMENSIONS ARE TO FRAMING. ADD 5" FOR BRICK VENEER.



PROJECT #
21-2780.1-LH

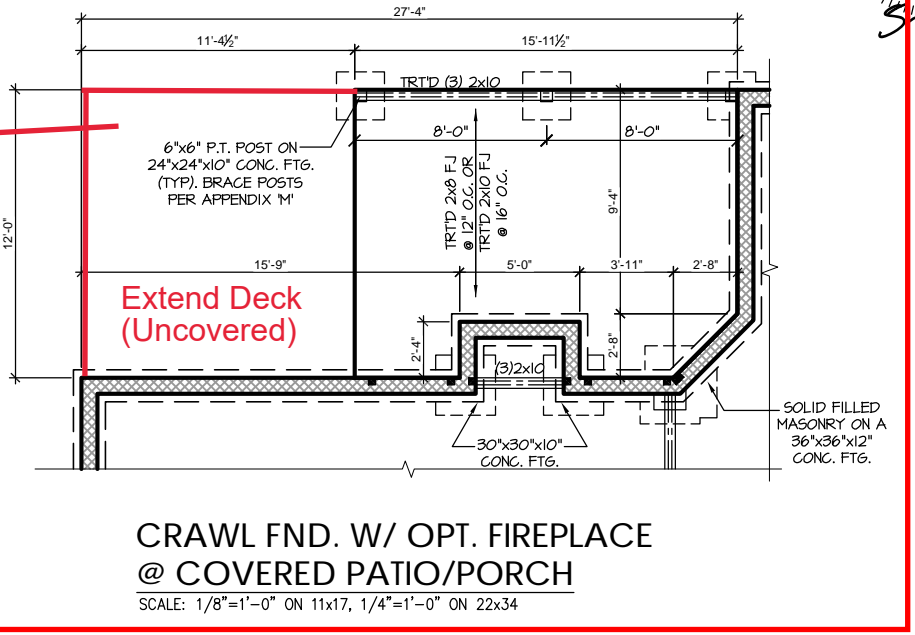
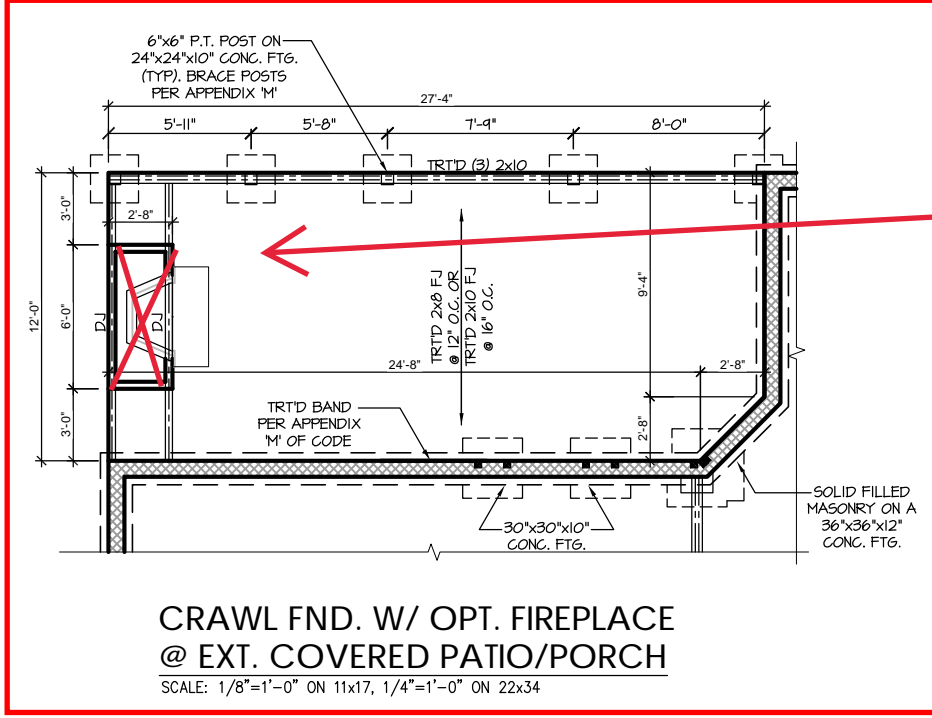
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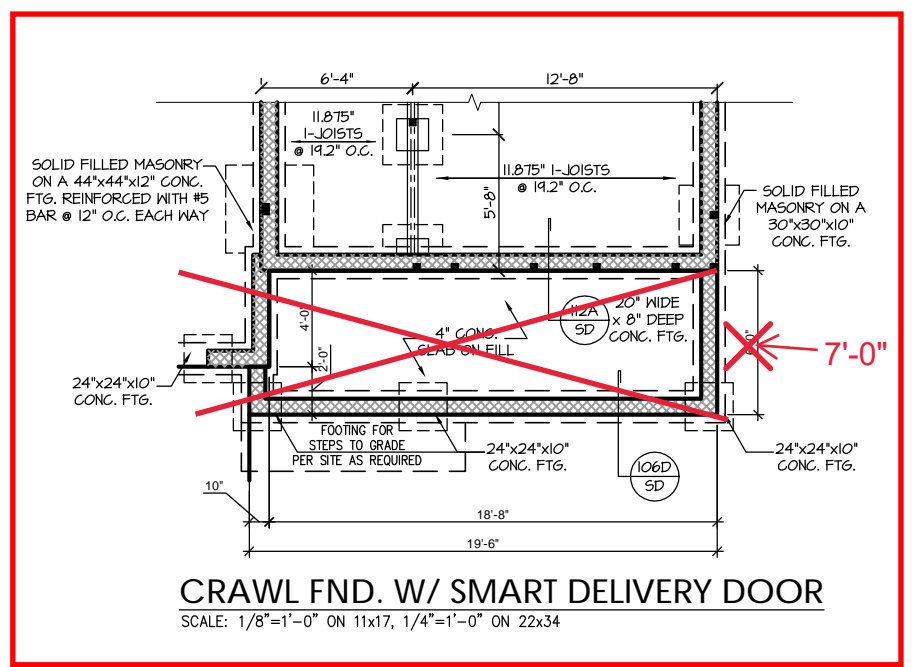
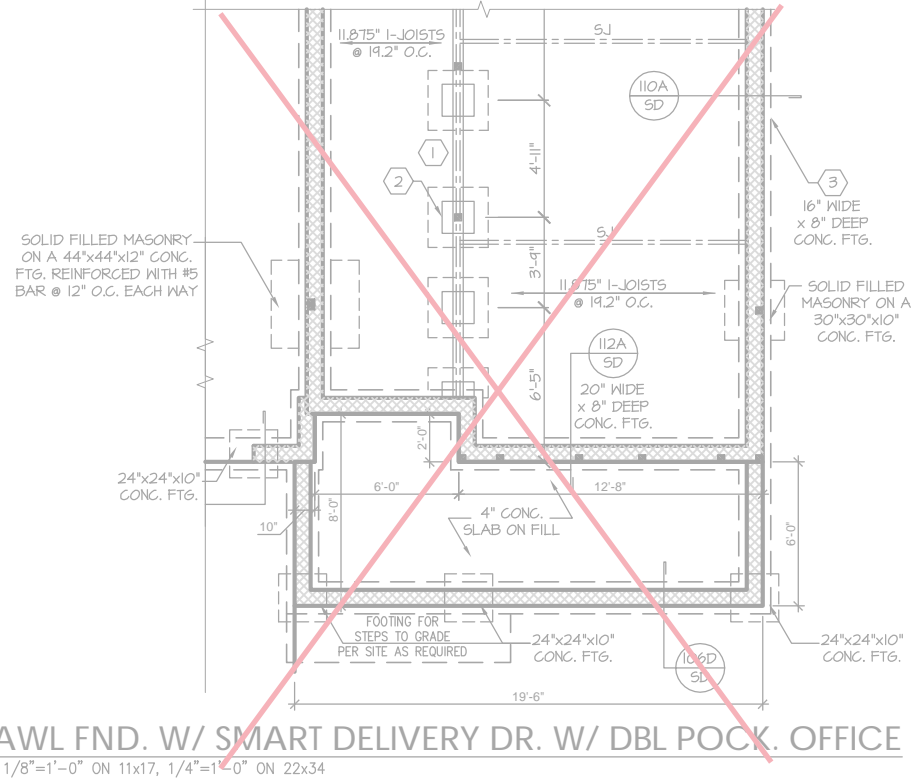
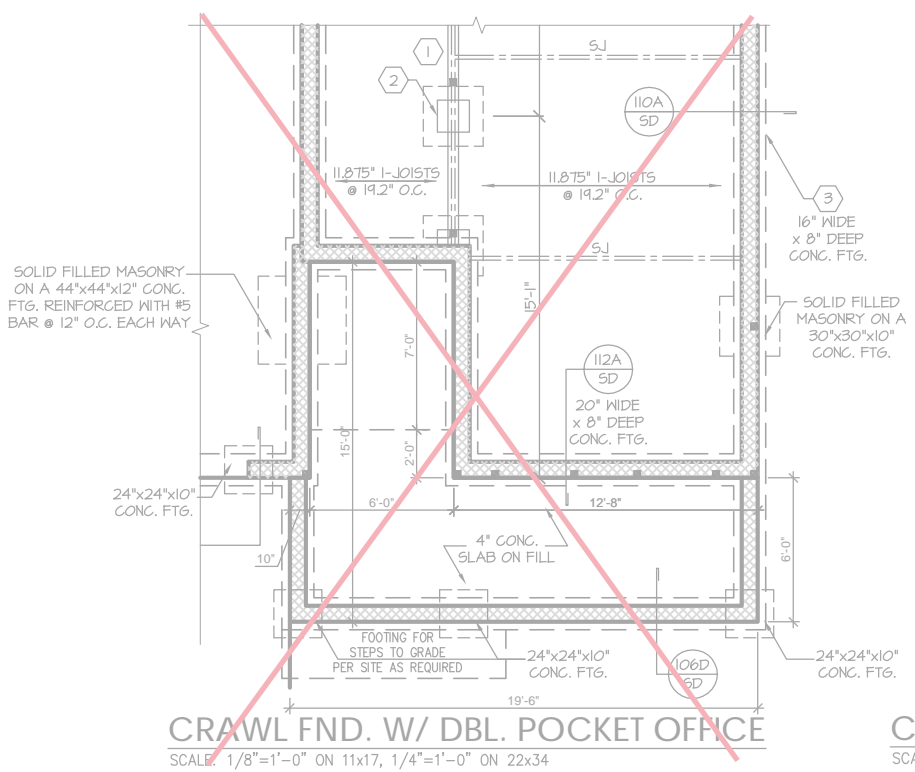
NEW HOME, INC.

The Apex
Garage Lift

S-1.2.1



DIMENSIONS ARE TO FRAMING, ADD 5" FOR BRICK VENEER.





PROJECT #
21-2780.1-LH

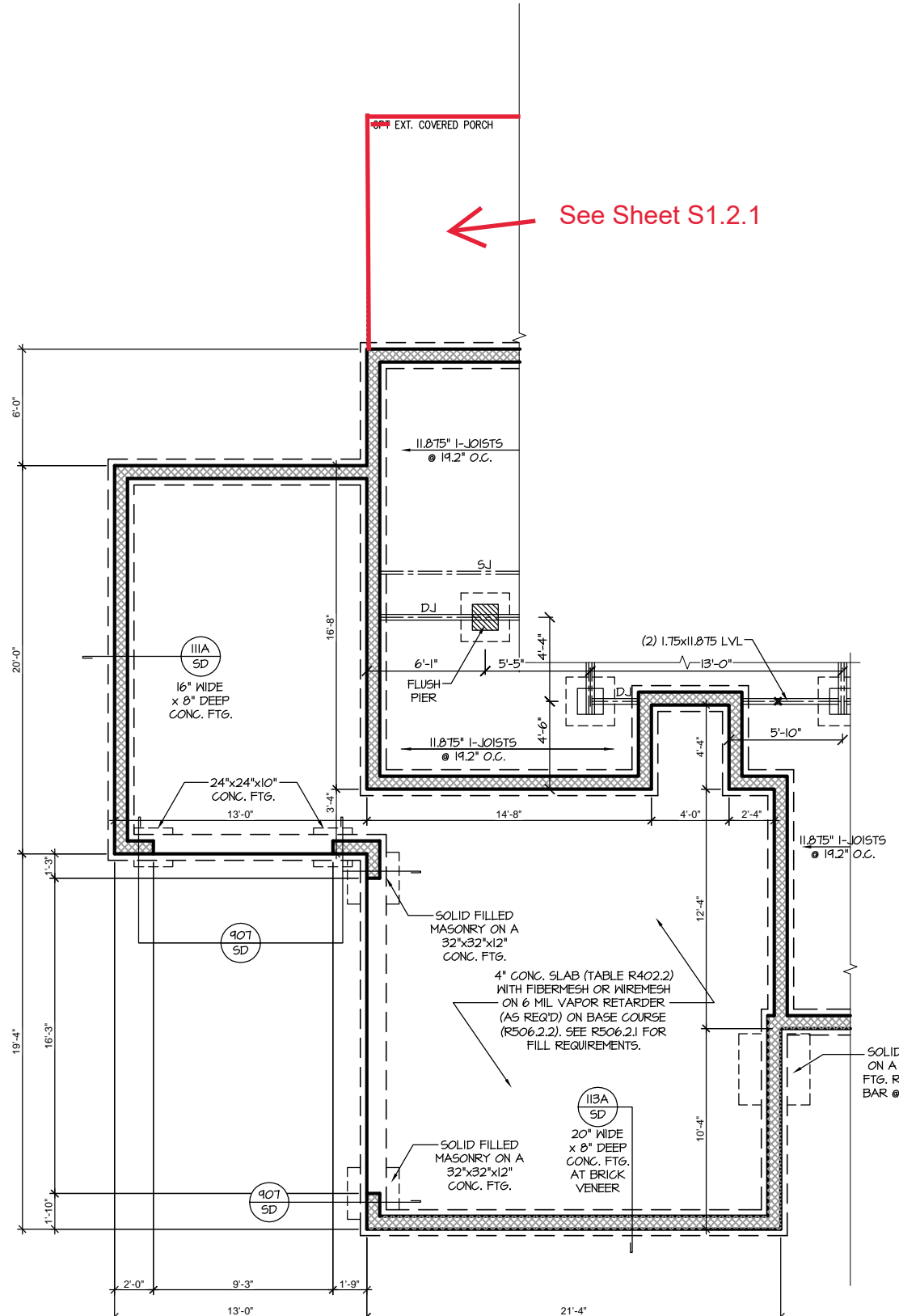
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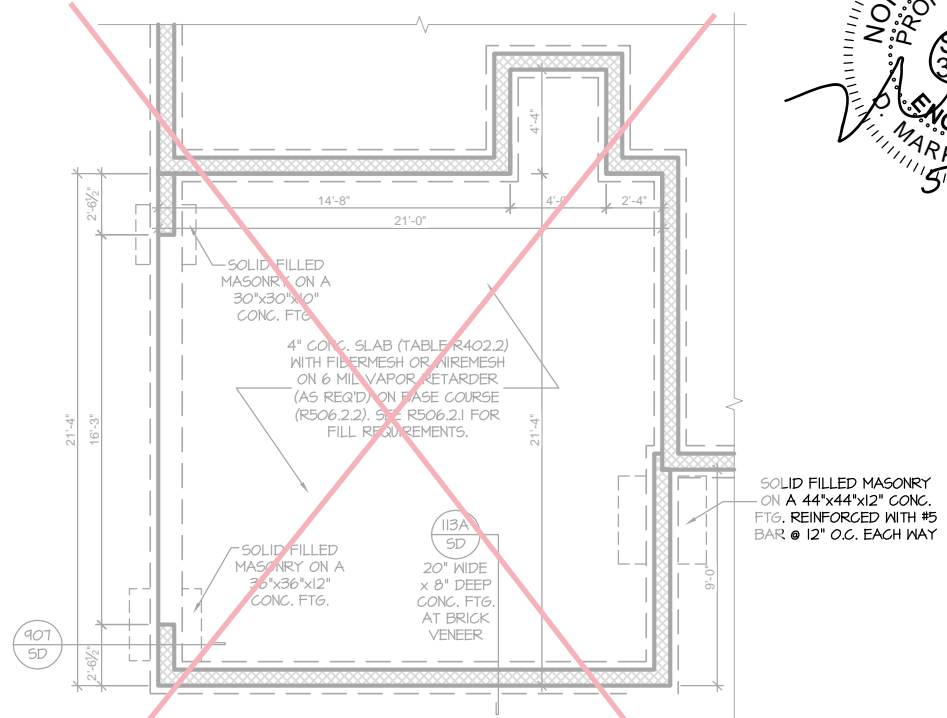
NEW HOME, INC.

The Apex
Garage Left

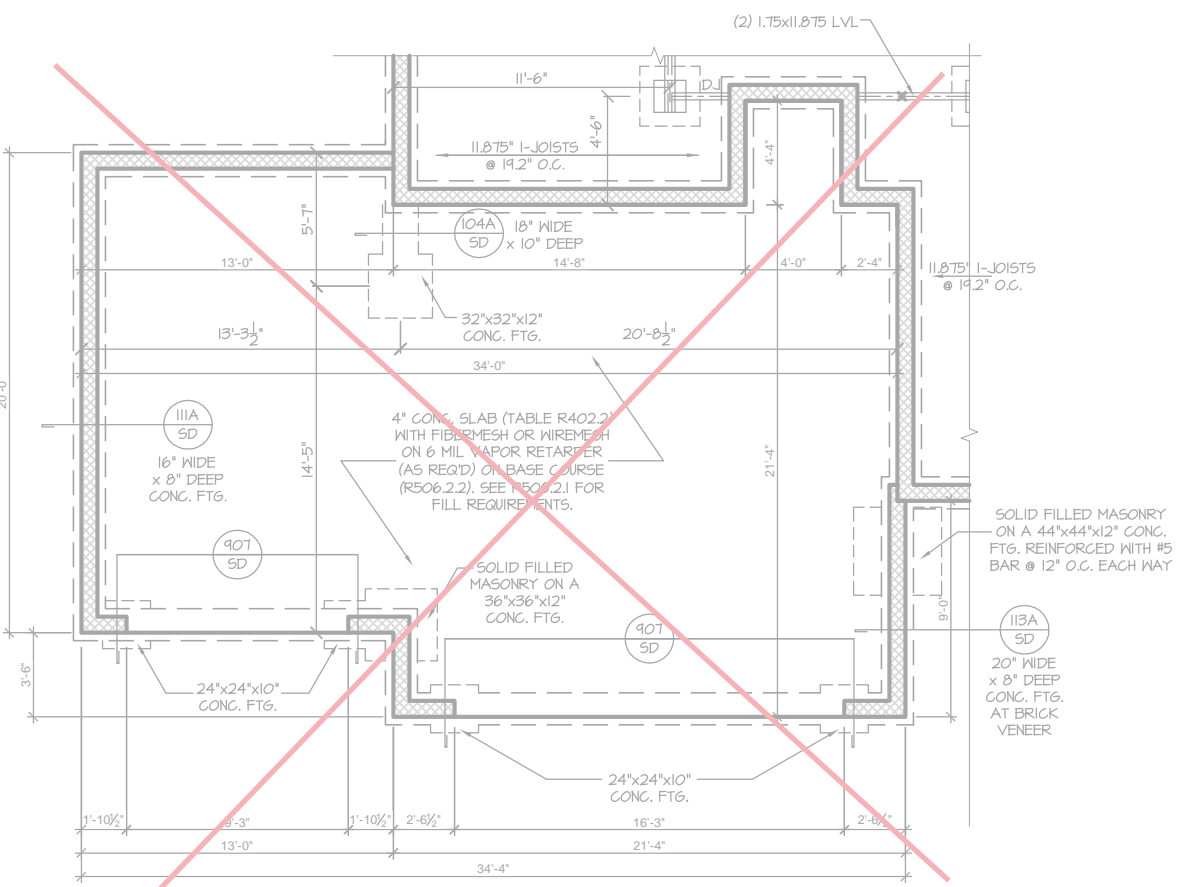
S-1.2.2



CRAWL FND. W/ OPT. SIDE LOAD & 3-CAR GARAGE
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

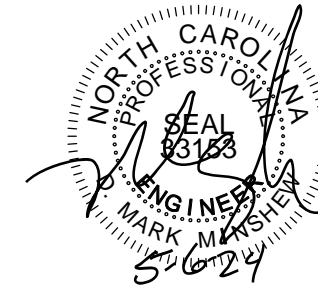


CRAWL FND. W/ OPT. SIDE LOAD GARAGE
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



CRAWL FND. W/ OPT. 3-CAR GARAGE
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

ADJUST GARAGE SLAB ELEVATION AS NECESSARY TO PROVIDE HEAD CLEARANCE AT BEAM.



PROJECT #
21-2780.1-LH

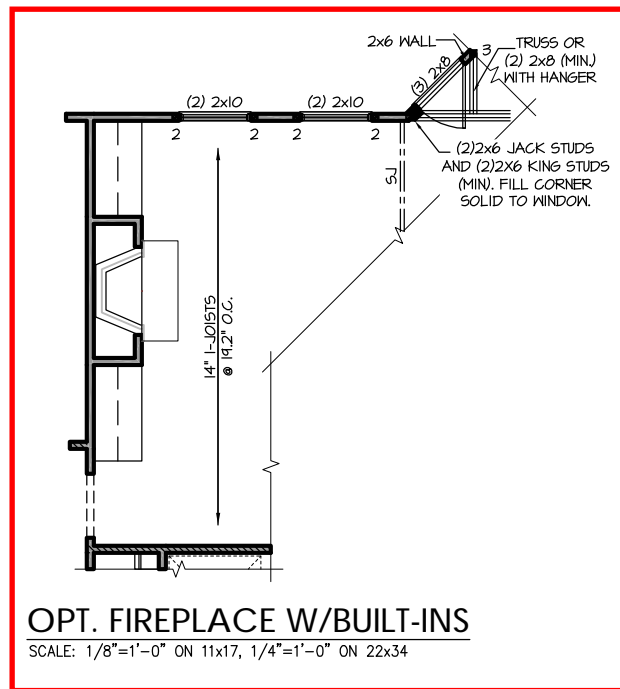
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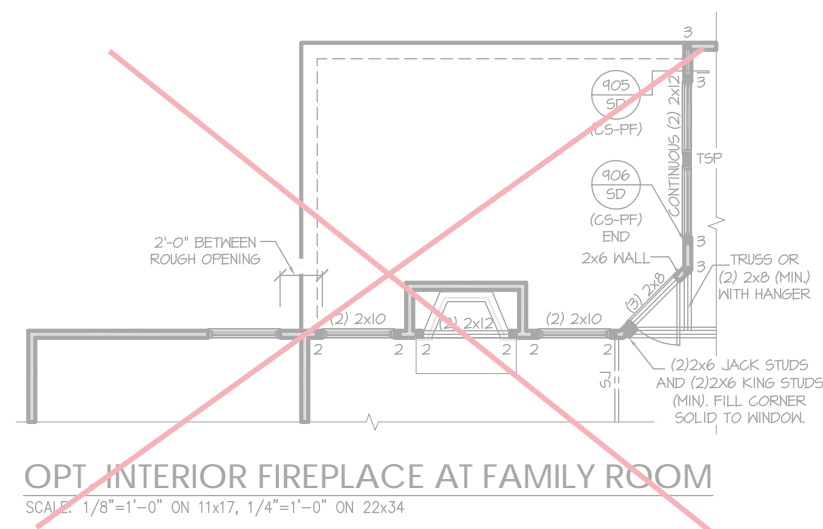
The Apex
Garage Loft

S-2.1.1



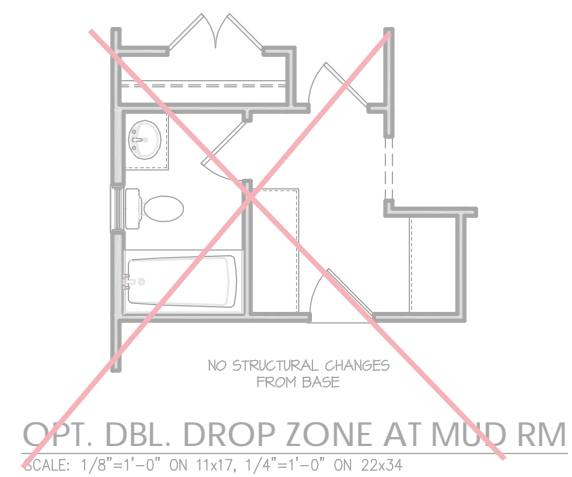
OPT. FIREPLACE W/BUILT-INS

SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



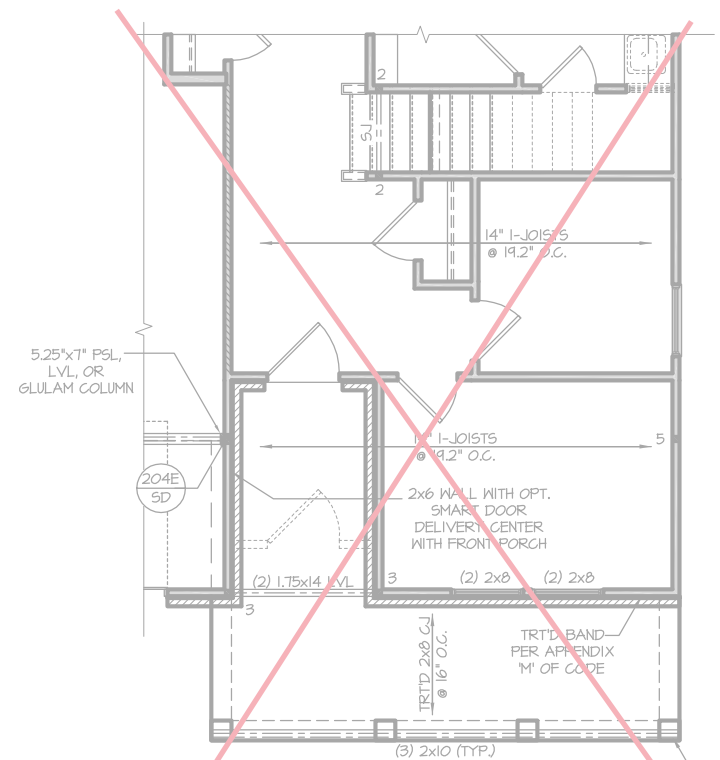
OPT. INTERIOR FIREPLACE AT FAMILY ROOM

SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



OPT. DBL. DROP ZONE AT MUD RM

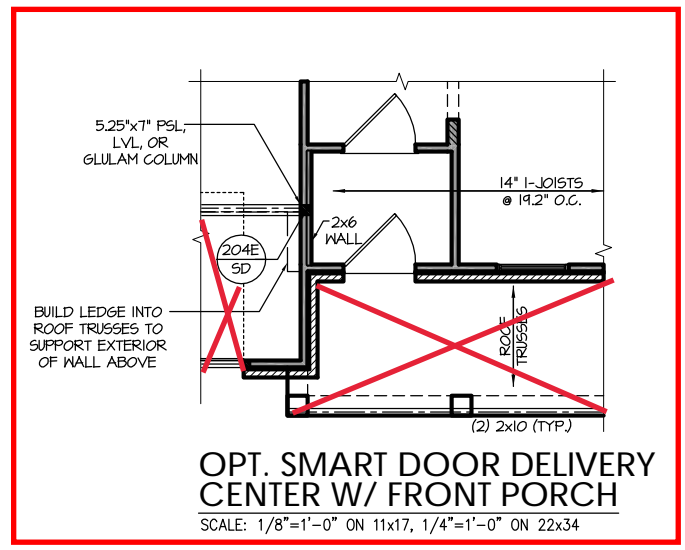
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



OPT. DBL. POCKET OFFICE

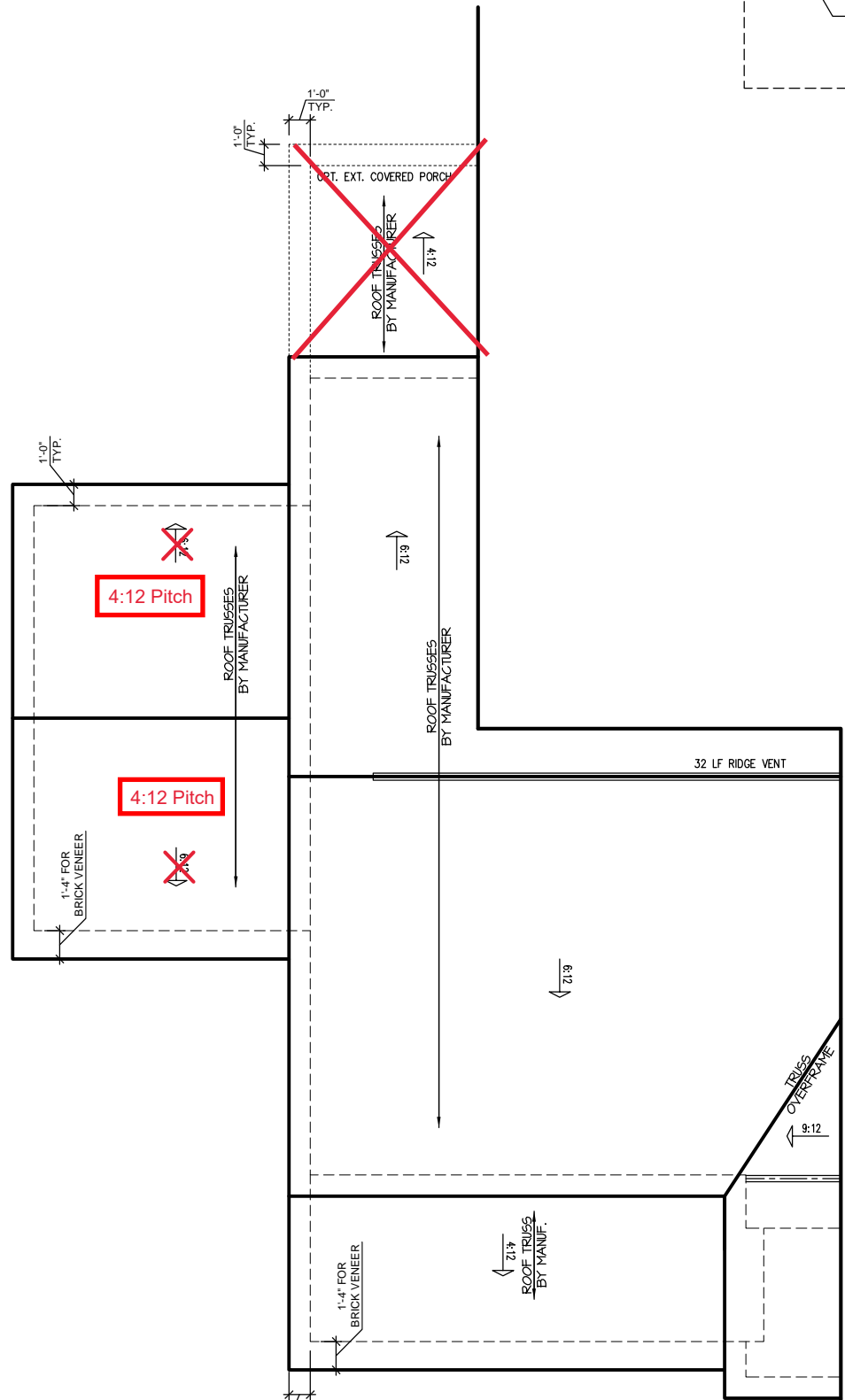
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

6"x6" TRTD POST (OR EQUAL).
SEE "PORCH POST NOTES"

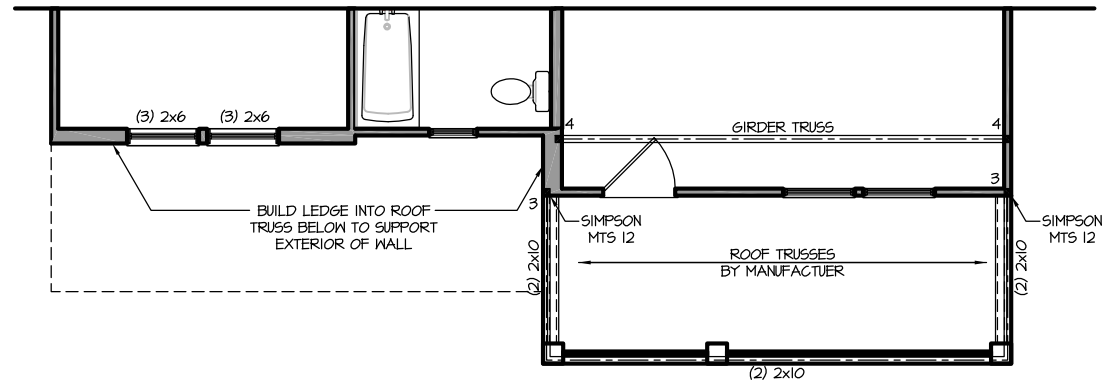


OPT. SMART DOOR DELIVERY CENTER W/ FRONT PORCH

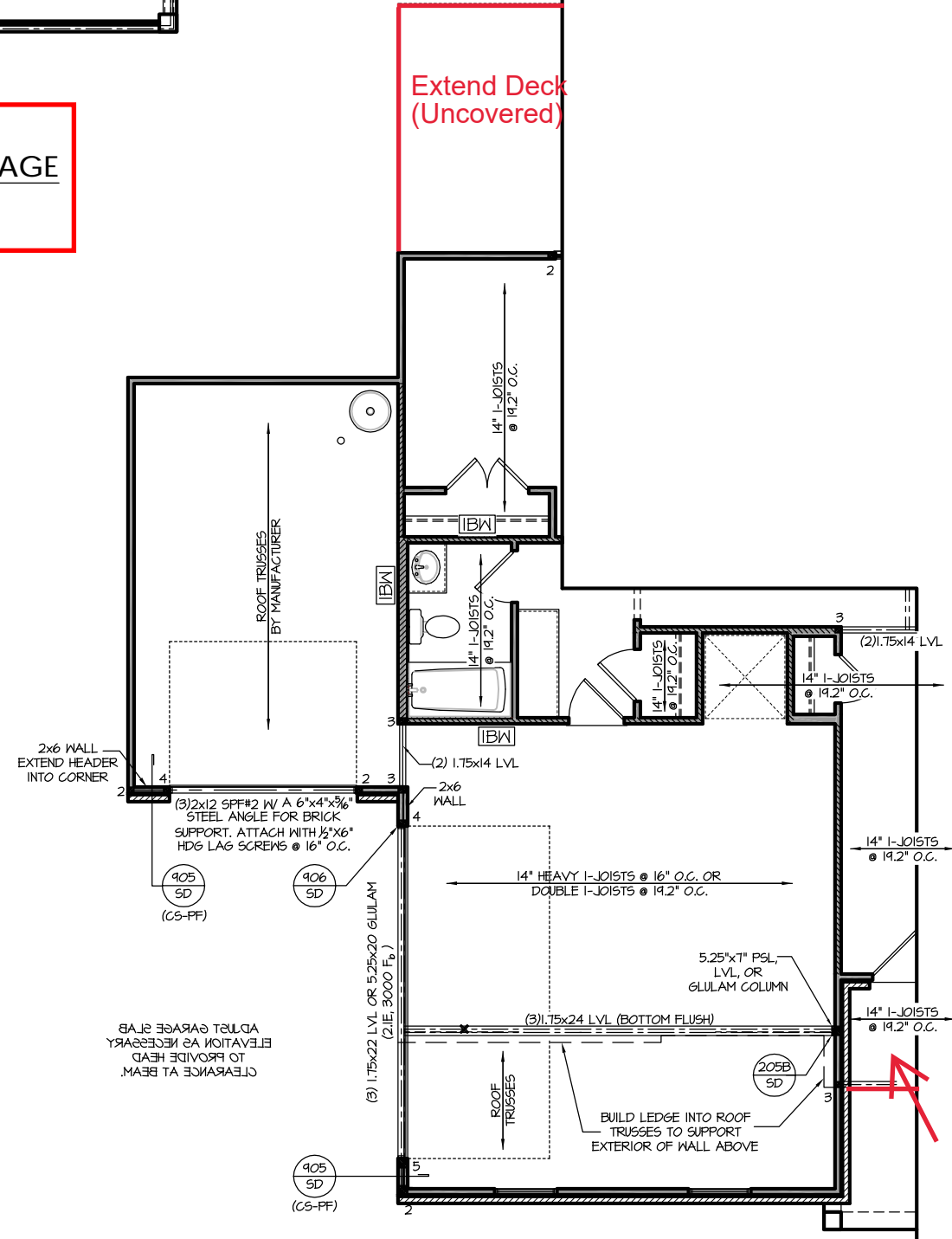
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



OPT. 2 SIDE LOAD W/ 3-CAR GARAGE 'GEORGIAN' ROOF PLAN
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

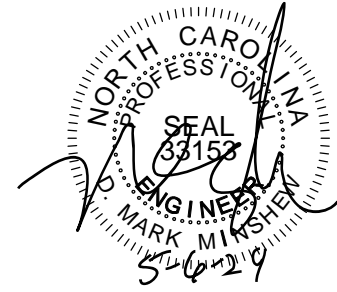


SECOND FLOOR FOR THE OPT. 2 SIDE LOAD W/ 3-CAR GARAGE 'GEORGIAN' FLOOR PLAN
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



OPT. 2 SIDE LOAD W/ 3-CAR GARAGE 'GEORGIAN' FLOOR PLAN
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

See Sheet S-2.1.1 for Smart Door Delivery



PROJECT # 21-2780.1-LH

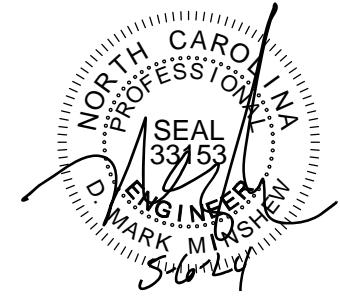
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The Apex Garage Left

S-2.1.3



PROJECT #
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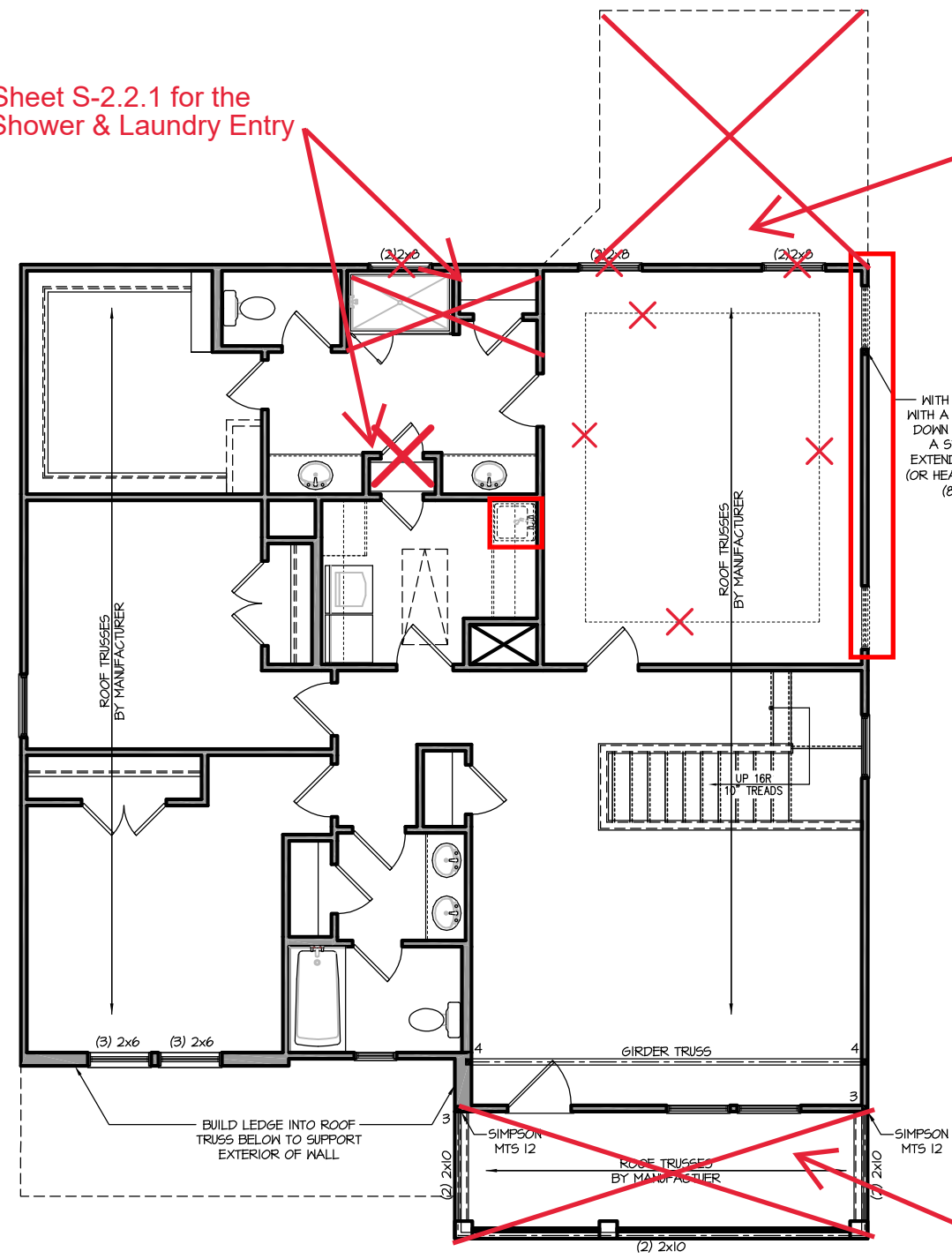
The Apex
Garage Left

S-2.2

See Sheet S-2.2.1 for the Tub/Shower & Laundry Entry

See Sheet S-2.2.1 for sitting room

See Sheet S-2.1.3 for Second Floor Balcony



TRUSS SYSTEM REQUIREMENTS
NC (2018 NCRG): Wind: 115-120 mph

- TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE WITH SEALED STRUCTURAL PLANS. ANY NEED TO CHANGE TRUSSES SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
- TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
- ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON 9FF #2 OR #3 PLATES OR LEDGERS (UNO).
- ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

PORCH POST NOTES:

- 4X4 (6x6) TRTD POST (OR EQUAL).
 - ATTACH TRUSSES (RAFTERS) AT PORCH WITH HURRICANE CONNECTORS.
 - POST CAP: SIMPSON AC4-MAX (AC6-MAX)
 - POST CAP AT CORNER: (2) SIMPSON LCE4 (MITER HEADER AT CORNER). HIGH WIND; ADD (1) SIMPSON H6.
 - POST BASE: SIMPSON ABU44 (ABU66).
 - MONO: 3/8" ANCHOR (EMBED 1")
 - CMU: 3/8" ANCHOR (EXTEND TO FOOTING - HIGH WIND ONLY)
 - POST BASE: WOOD FOUNDATION: (2) SIMPSON CS16 STRAPS AT POSTS. EXTEND 12" ONTO EACH POST (UPPER AND LOWER) OR TO GIRDER.
- NOTE: THE ABOVE CONNECTORS ARE SUGGESTIONS. EQUIVALENT CONNECTORS THAT MEET THE REQUIREMENTS OF THE NC RESIDENTIAL BUILDING CODE, LOCAL CODES, AND/OR ARE APPROVED BY THE BUILDING INSPECTOR MAY BE SUBSTITUTED.

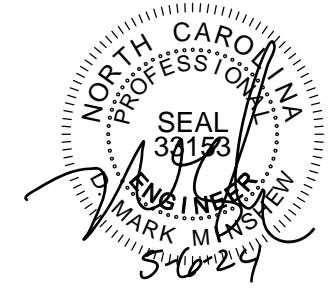
HEADER/BEAM & COLUMN NOTES

- ALL EXTERIOR AND LOAD BEARING HEADERS SHALL BE MIN. (2)2x6 (4" WALL) OR (3)2x6 (6" WALL) WITH (1) SUPPORT STUD, UNLESS NOTED OTHERWISE.
- THE NUMBER SHOWN AT BEAM AND HEADER SUPPORTS INDICATES THE NUMBER OF SUPPORT STUDS REQUIRED IN STUD POCKET OR COLUMN. THE NUMBER OF KING STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS SHALL BE ACCORDING TO ITEM "d" IN TABLE R602.3(5) OR AS BELOW PER NCD01 COMMENTARY "KING STUDS AT WALL OPENINGS" REVISED 1-4-2020:
 - UP TO 3' SPAN: (1) KING STUD
 - OVER 3' UP TO 6' SPAN: (2) KING STUDS
 - OVER 6' UP TO 9' SPAN: (3) KING STUDS
 - OVER 9' UP TO 12' SPAN: (4) KING STUDS
 - OVER 12' UP TO 15' SPAN: (5) KING STUDS

FRAMING NOTES
NC (2018 NCRG): Wind: 115-120 mph

- BRACING METHOD AND TYPE: CONTINUOUSLY SHEATHED WSP. CS-WSP. NOTE THAT THE WALL BRACING AMOUNT PROVIDED ON THE PLANS (DETAILS AND SPECIFICATIONS) IS GREATER THAN THE AMOUNT OF WALL BRACING REQUIRED BY SECTION R602.10 OF THE CODE. SEE NOTES BELOW FOR DETAILS AND SPECIFICATIONS FOR WALL BRACING AND WALL FRAMING.
- EXTERIOR WALL SHEATHING: WALLS SHALL BE BRACED BY SHEATHING WALLS ON ALL STORIES WITH WOOD STRUCTURAL PANEL SHEATHING (WSP) (EXPOSURE B: 1/16" EXPOSURE C: 15/32"). SHEATHING SHALL BE ATTACHED WITH 8d NAILS AT A 6"/12" NAILING PATTERN (6" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES.
- WSP SHEATHING SHALL EXTEND TO THE UPPERMOST DOUBLE BEARING PLATE. BLOCK AT ROOF PER SECTION R602.10.4.5 AND ATTACH BRACED WALLS PER CODE. WSP SHEATHING BETWEEN FLOORS SHALL BE SPLICED ALONG CONTINUOUS BAND OR THE WSP SHEATHING MAY BE SPLICED ACROSS STUDS (CONTINUOUS ACROSS FLOOR SYSTEM) WITH BLOCKING AT PANEL EDGES. (MINIMUM 12" BEYOND FLOOR BREAK) OR OTHER APPROVED METHOD.
- "HD" = HOLD-DOWN: HOLD-DOWN DEVICE (NOTED AS "HD" ON PLANS) SHALL BE AN 800 POUND CAPACITY ASSEMBLY AS NOTED ON PLANS. SEE DETAILS FOR HD ASSEMBLY.
 - **GROUND/FIRST FLOOR: USE "HD HOLD-DOWN DETAIL" ON 5D SHEET (OR EQUIV.)
 - **UPPER FLOORS: ATTACH BASE OF KING STUD WITH A SIMPSON CS20 OR CSHP20 STRAP DOWN ACROSS THE BAND AND DOWN TO A STUD BELOW OR HEADER BELOW. EXTEND STRAP 1" MIN ALONG EACH STUD (OR HEADER) AND ATTACH EACH END W/ (1) 8d NAILS.
- INTERIOR BRACED WALL: (NOTED AS "IBW" ON PLANS) ATTACH 1/2" GYPSUM BOARD (GB) ON EACH SIDE OF WALL WITH A MIN. OF 5d COOLER NAILS OR #6 SCREWS @ 1" O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS. SEE SECTION R602.10.4.4 OF THE CODE.
- INTERIOR BRACED WALL-WOOD STRUCTURAL PANEL: (NOTED AS "IBW-WSP" ON PLANS). ATTACH ONE SIDE WITH 3/8" WSP SHEATHING WITH 8d NAILS AT A 6"/12" NAILING PATTERN (6" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES. ATTACH GB OVER WSP AS REQUIRED. ATTACH OPPOSITE SIDE WITH 1/2" GB WITH A MIN. OF 5d COOLER NAILS OR #6 SCREWS @ 1" OC ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS. SEE SECTION R602.10.4.4 OF THE CODE.

SECOND FLOOR PLAN 'GEORGIAN'
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



PROJECT #
21-2780.1-LH

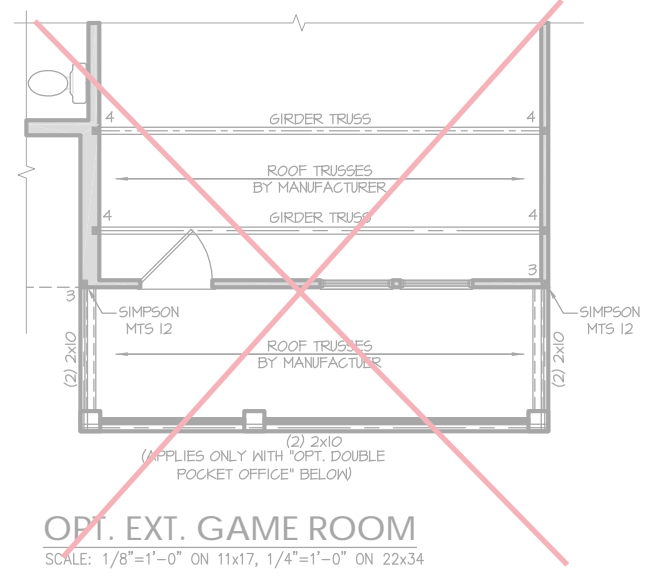
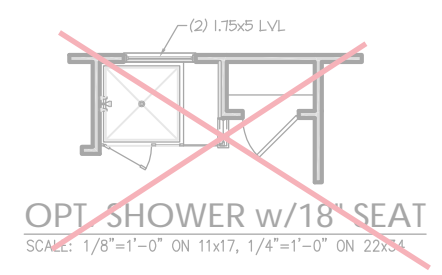
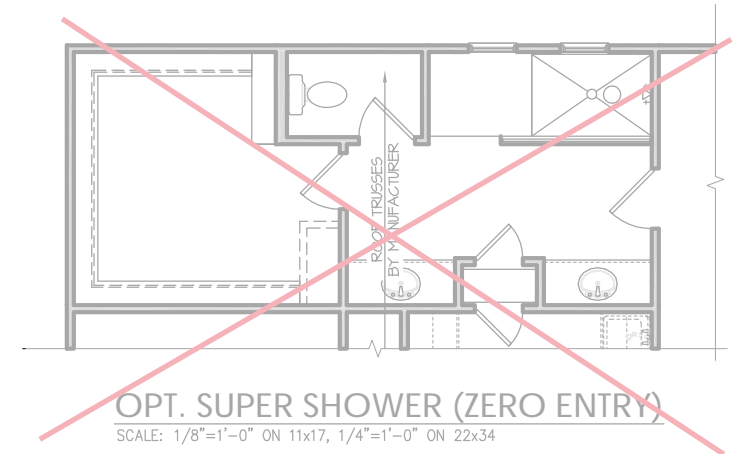
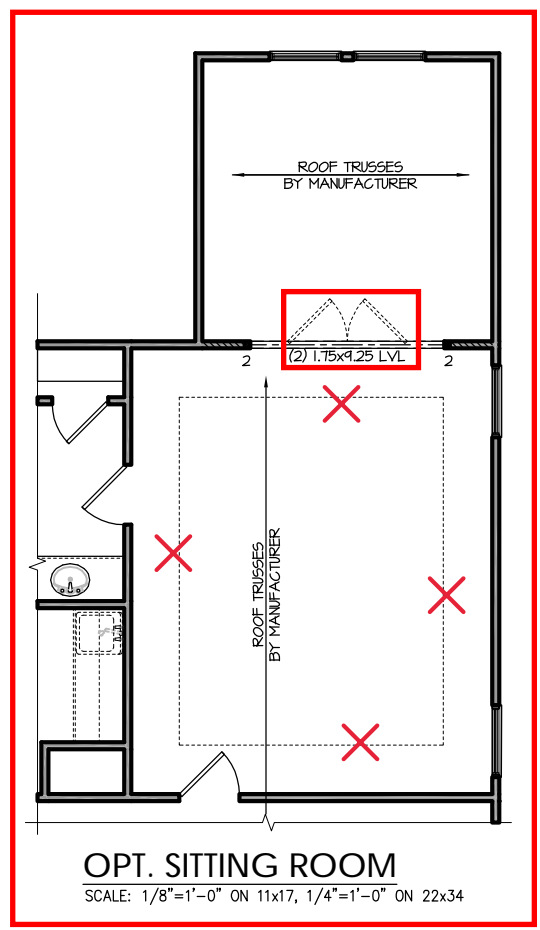
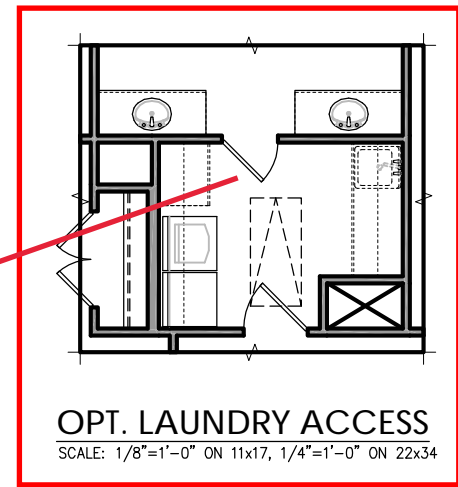
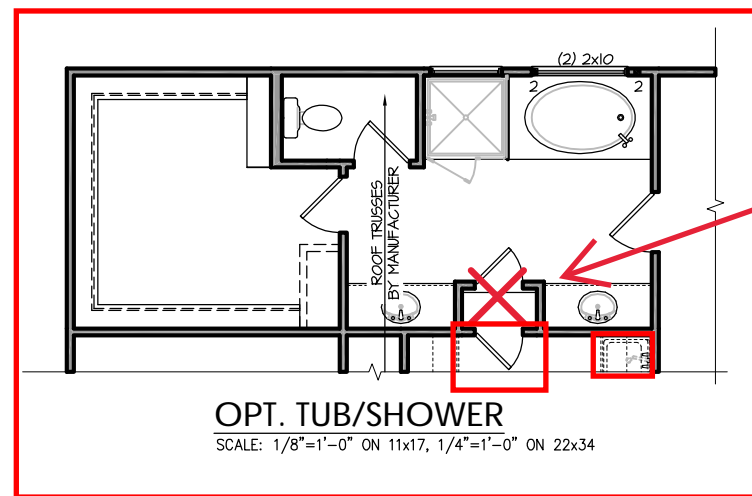
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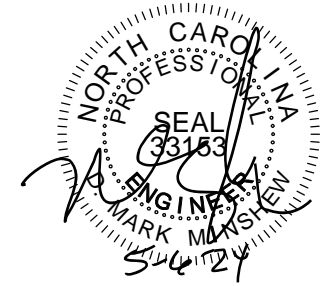
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S-2.2.1



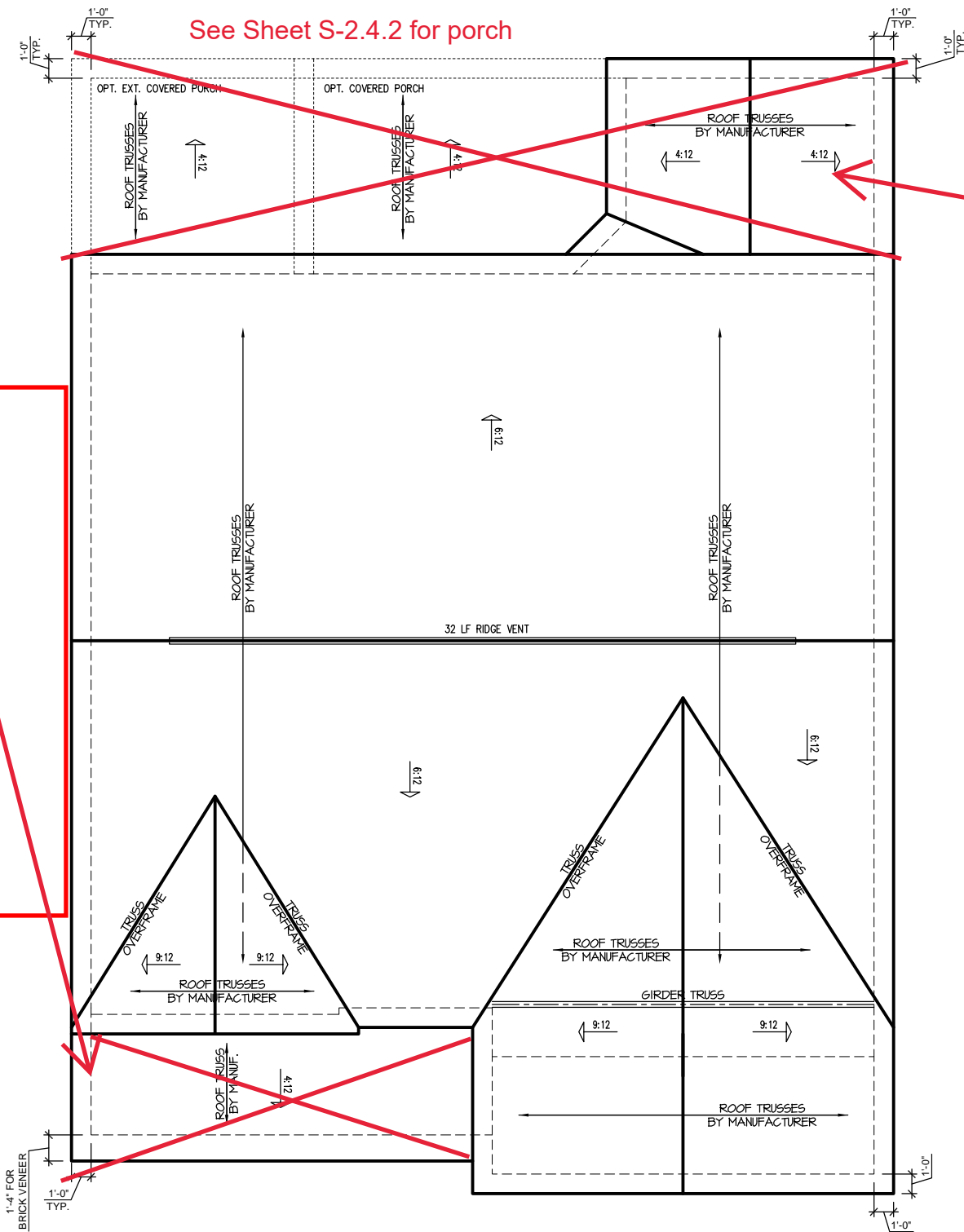


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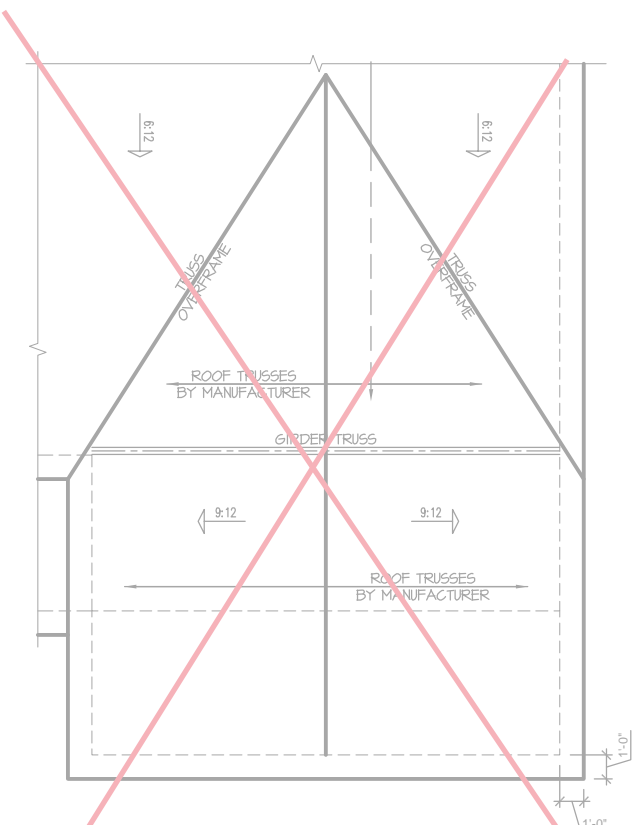
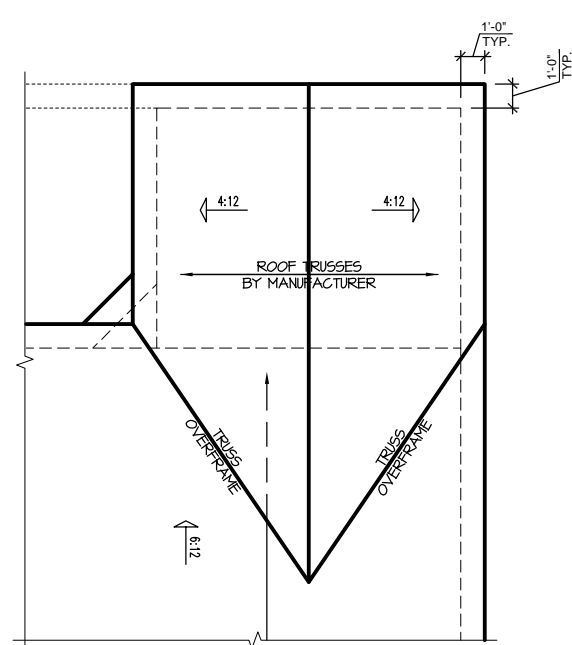
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'GEORGIAN' ELEVATION ROOF PLAN

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

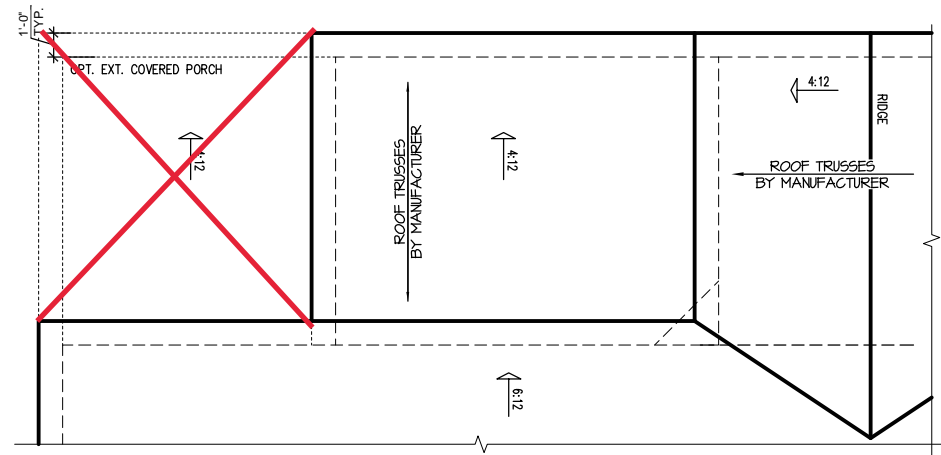


TRUSS SYSTEM REQUIREMENTS

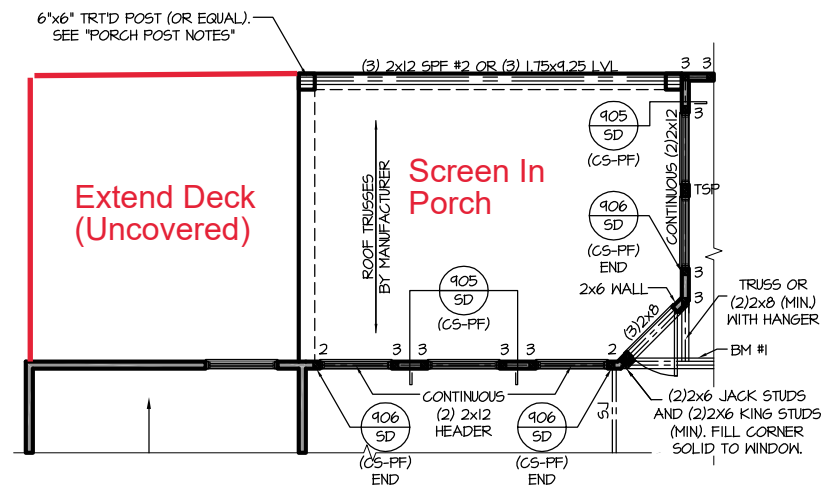
NC (2018 NCRG); Wind: 115-120 mph

1. TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE WITH SEALED STRUCTURAL PLANS. ANY NEED TO CHANGE TRUSSES SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
2. TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
3. ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SFF #2 OR #3 PLATES OR LEDGERS (UNO).
4. ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

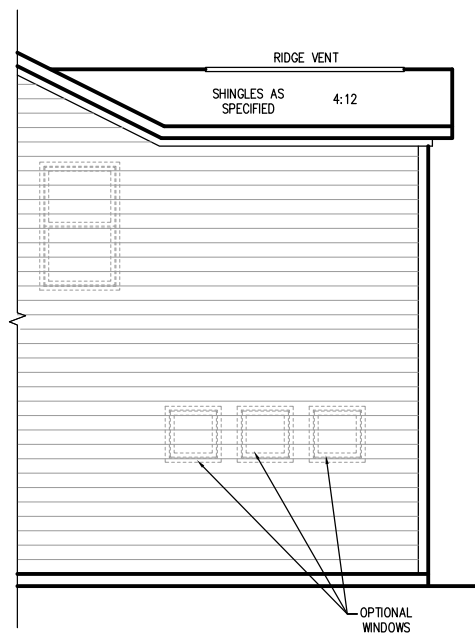
NOTE: WHEN THE OPT. DBL. POCKET OFFICE ARE SELECTED THE EXT. GAME ROOM IS ADDED



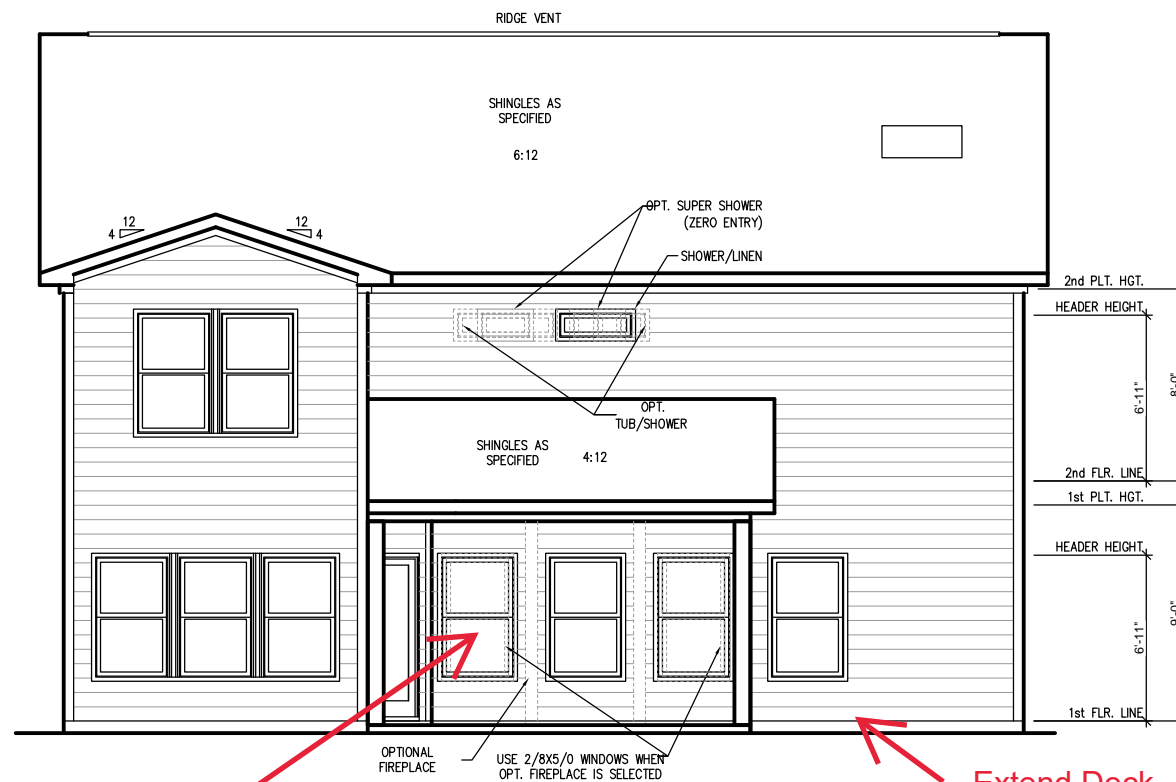
OPT. OWNER'S SITTING WITH COVERED PORCH ROOF PLAN
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



OPT. OWNER'S SITTING WITH COVERED PORCH FLOOR PLAN
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



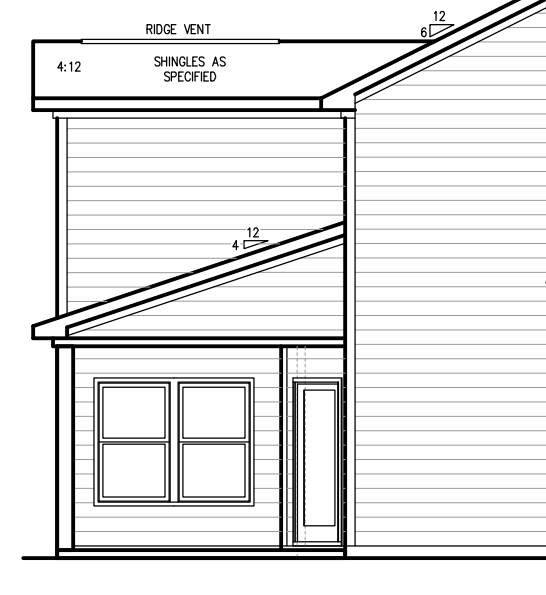
PARTIAL LEFT SIDE ELEVATION
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



Porch to be Screened in

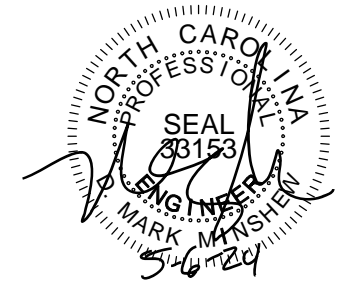
Extend Deck (Uncovered)

OPT. OWNER'S SITTING WITH COVERED PORCH REAR ELEVATION
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



PARTIAL RIGHT SIDE ELEVATION
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

To be on a crawl space foundation



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