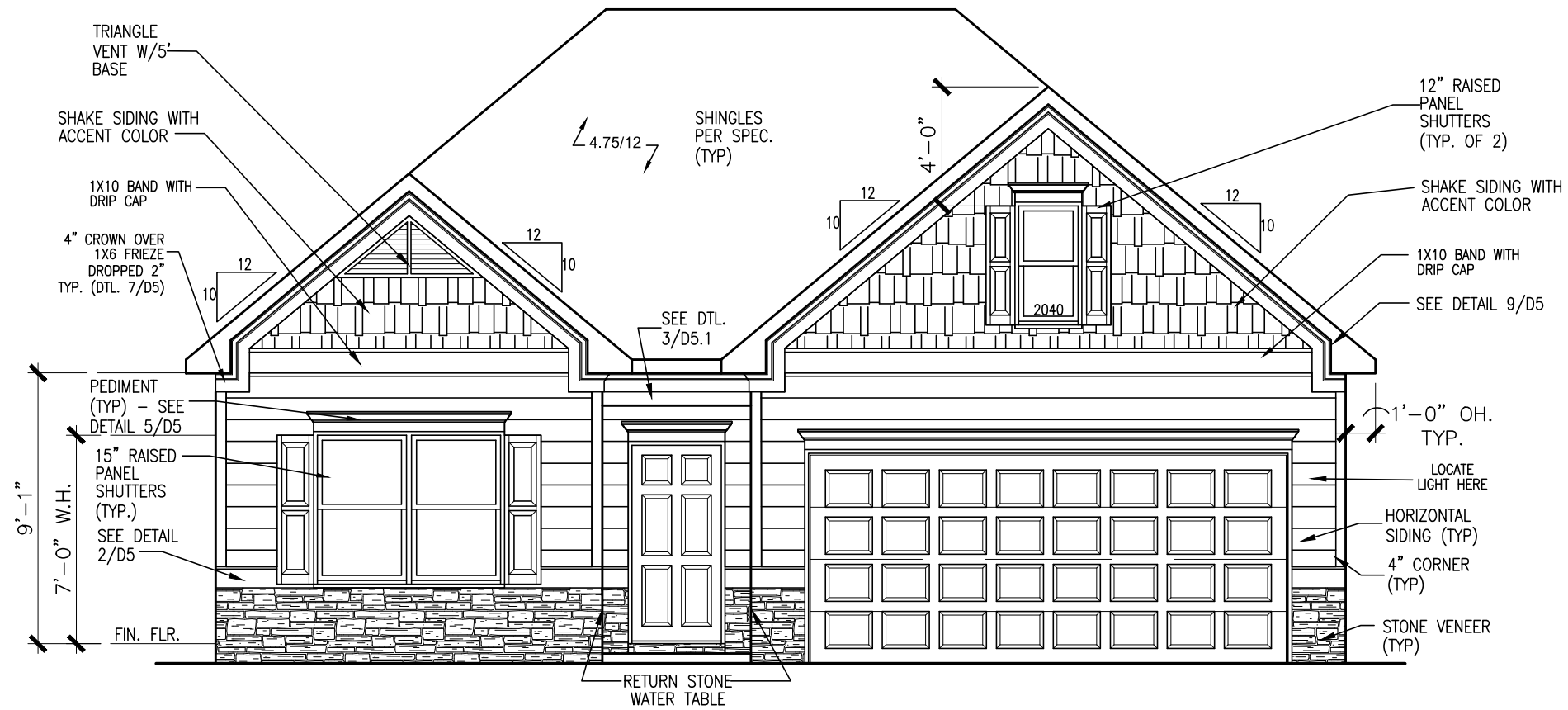




# HARRINGTON PLACE LOT 0009



FRONT ELEVATION "C"

SCALE: 3/16"=1'-0"

ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

BY	REVISION	DATE
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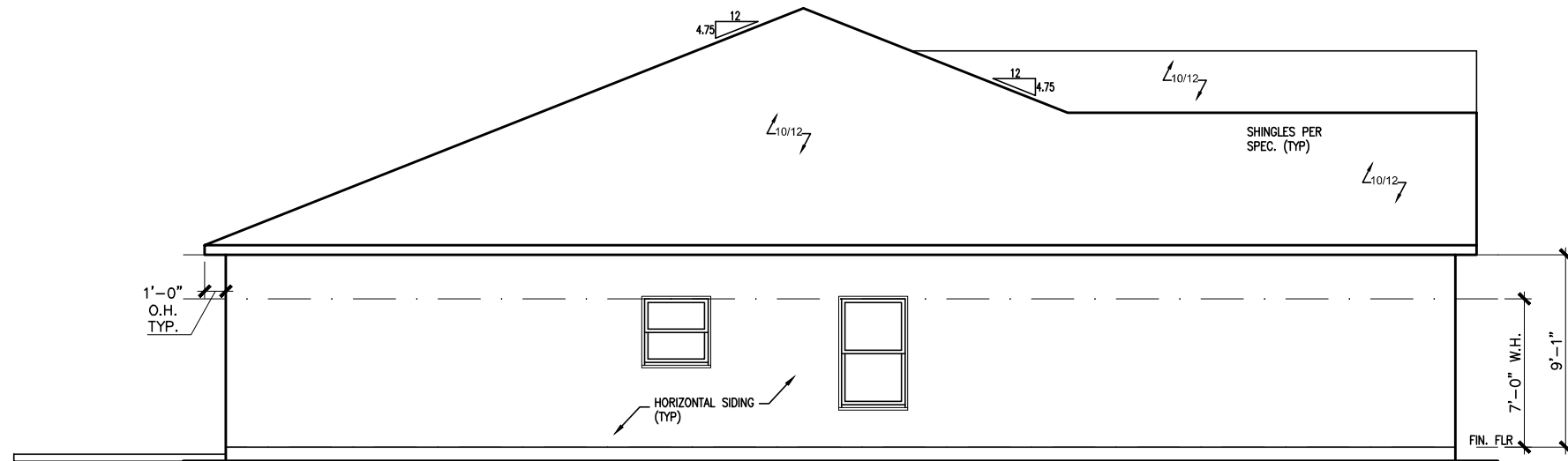
ELEVATIONS  
FRONT ELEVATION  
BRADLEY

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SUITE 115  
WOODSTOCK, GA 30188  
www.smithdouglas.com

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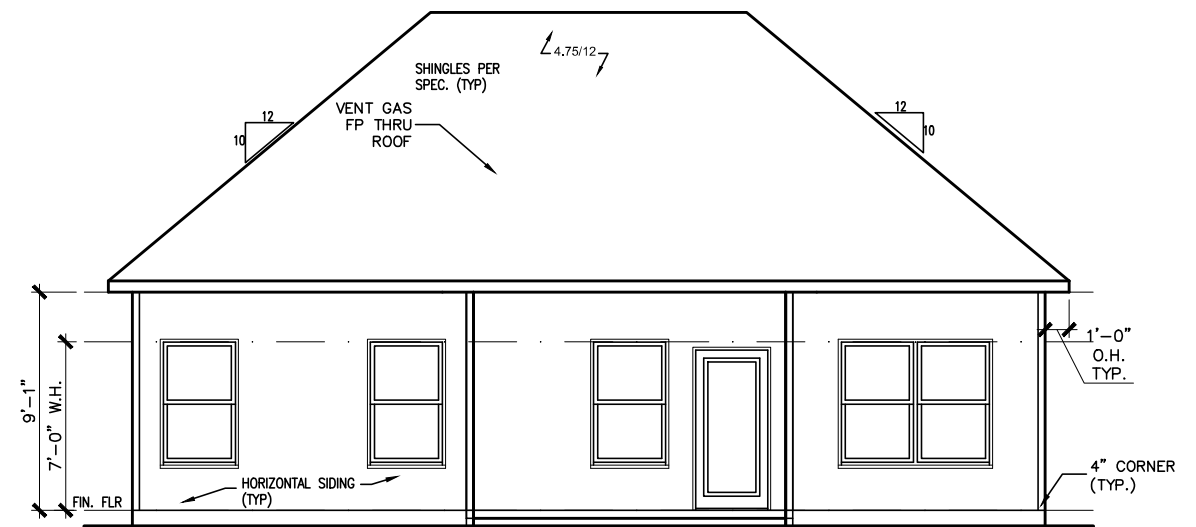
BY: TJJ	CH: AW
DATE: 12/07/2023	
FACADE OPT: C	
PLAN ID:	
FND: ALL	ELEV: C
PAGE NO: A1.1	

# HARRINGTON PLACE LOT 0009



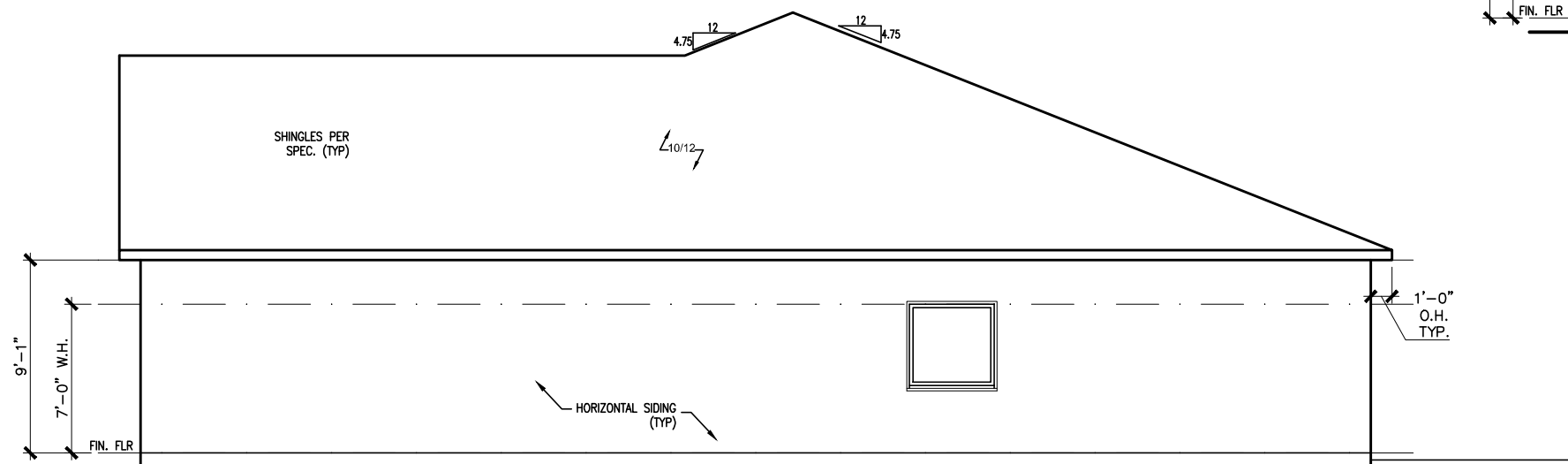
LEFT ELEVATION "C"

SCALE: 1/8" = 1'-0"



REAR ELEVATION "C"

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION "C"

SCALE: 1/8" = 1'-0"

BY	REVISION	DATE
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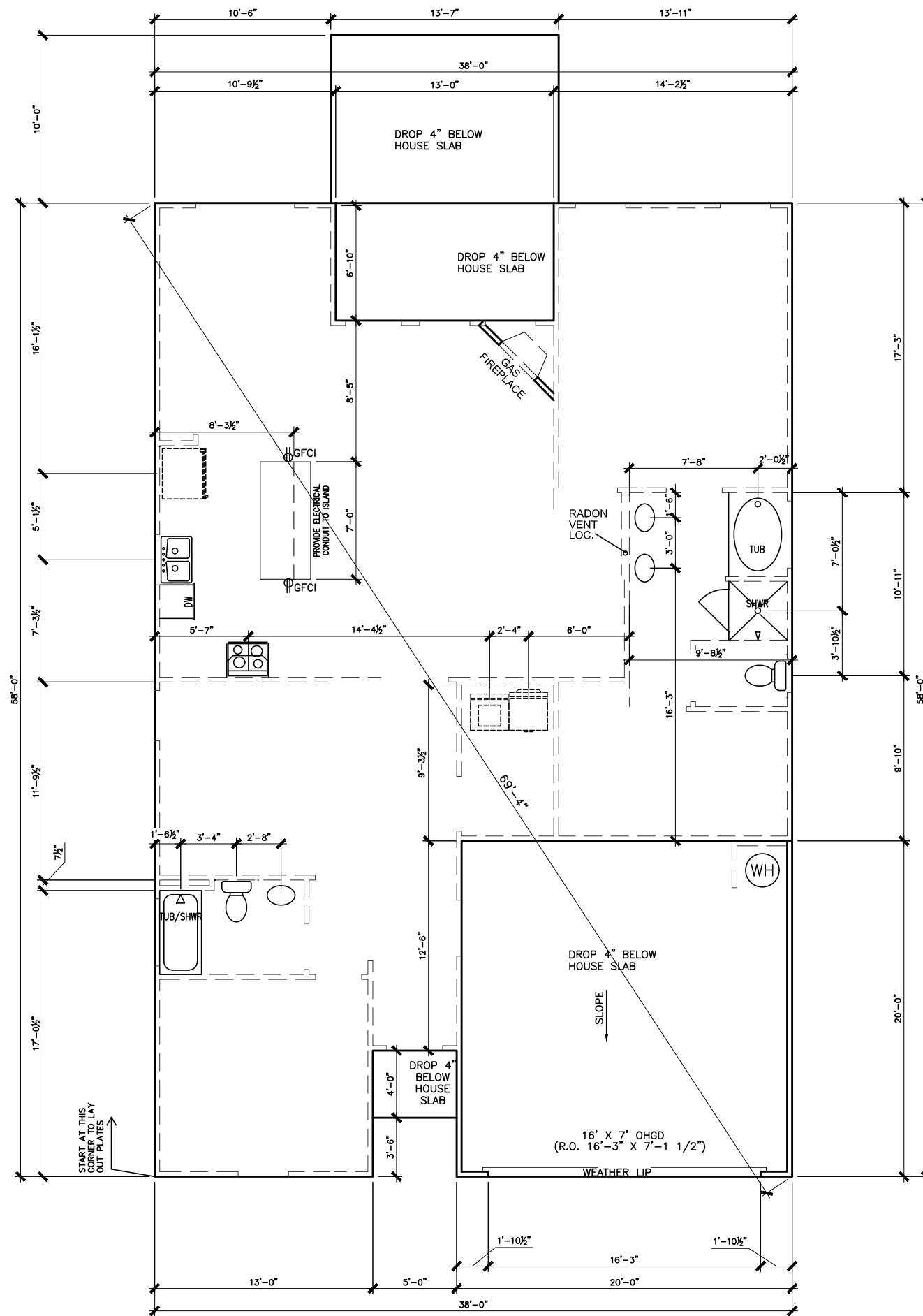
ELEVATIONS  
SIDES AND REAR  
BRADLEY

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DATE: 12/07/2023	
FACADE OPT: C	
PLAN ID:	
FND: ALL	ELEV: C
PAGE NO: A2.1	

# HARRINGTON PLACE LOT 0009



\*RADON VENT  
PROVIDED PER  
LOCAL CODE

REFER TO DETAIL 3/D1 FOR  
BRICK LEDGE DETAIL WHEN  
BRICK VENEER IS CHOSEN

SLAB PLAN

SCALE: 1/8" = 1'-0"

BY	REVISION	DATE
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FOUNDATION PLAN  
SLAB PLAN  
BRADLEY

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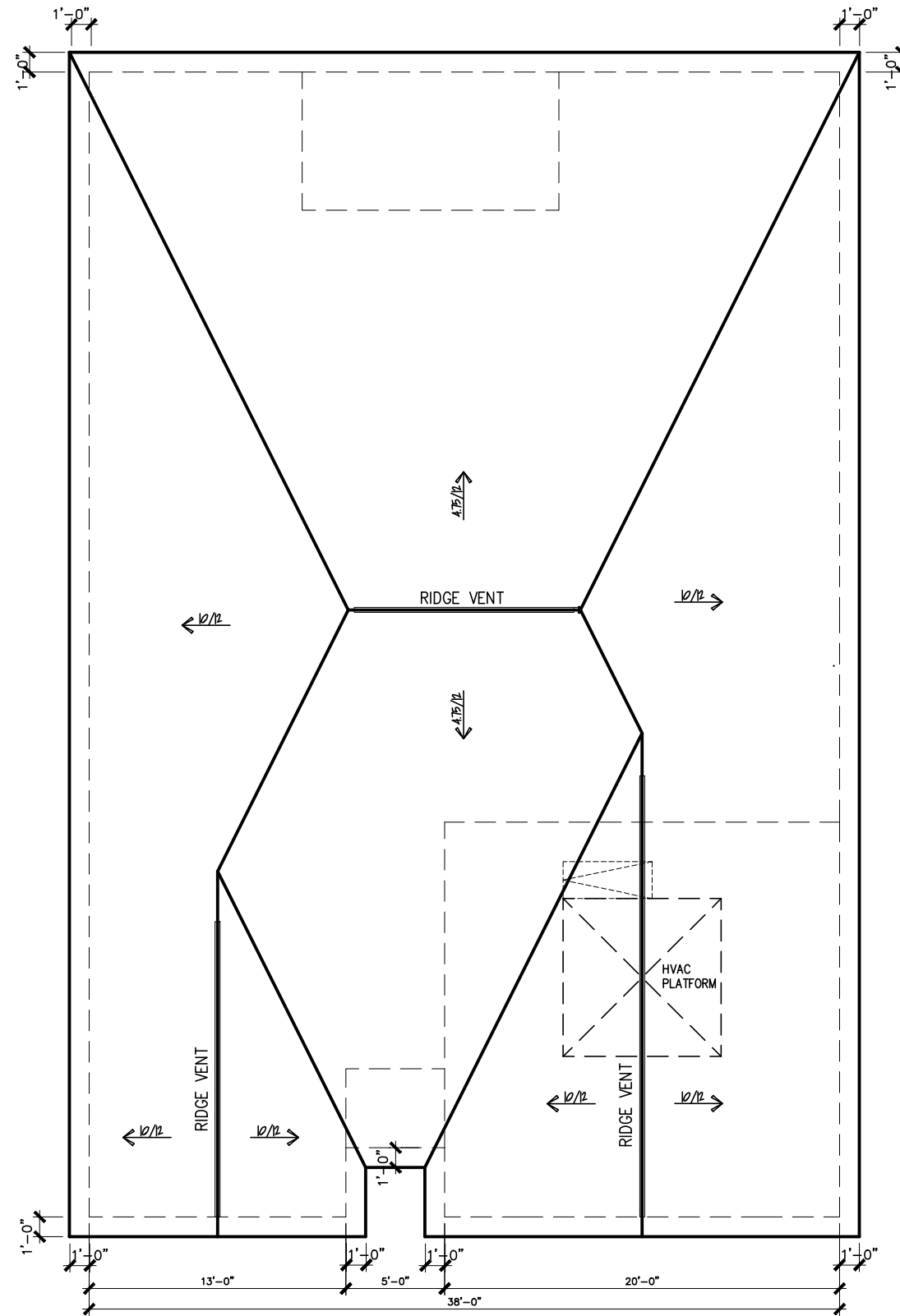
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FACADE OPT: C	
PLAN ID:	
FND: ALL	ELEV: C
PAGE NO: A3.1	





# HARRINGTON PLACE LOT 0009



ROOF PLAN "C"

SCALE: 1/8" = 1'-0"

DATE	REVISION	BY
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ROOF PLAN  
ROOF PLAN  
BRADLEY

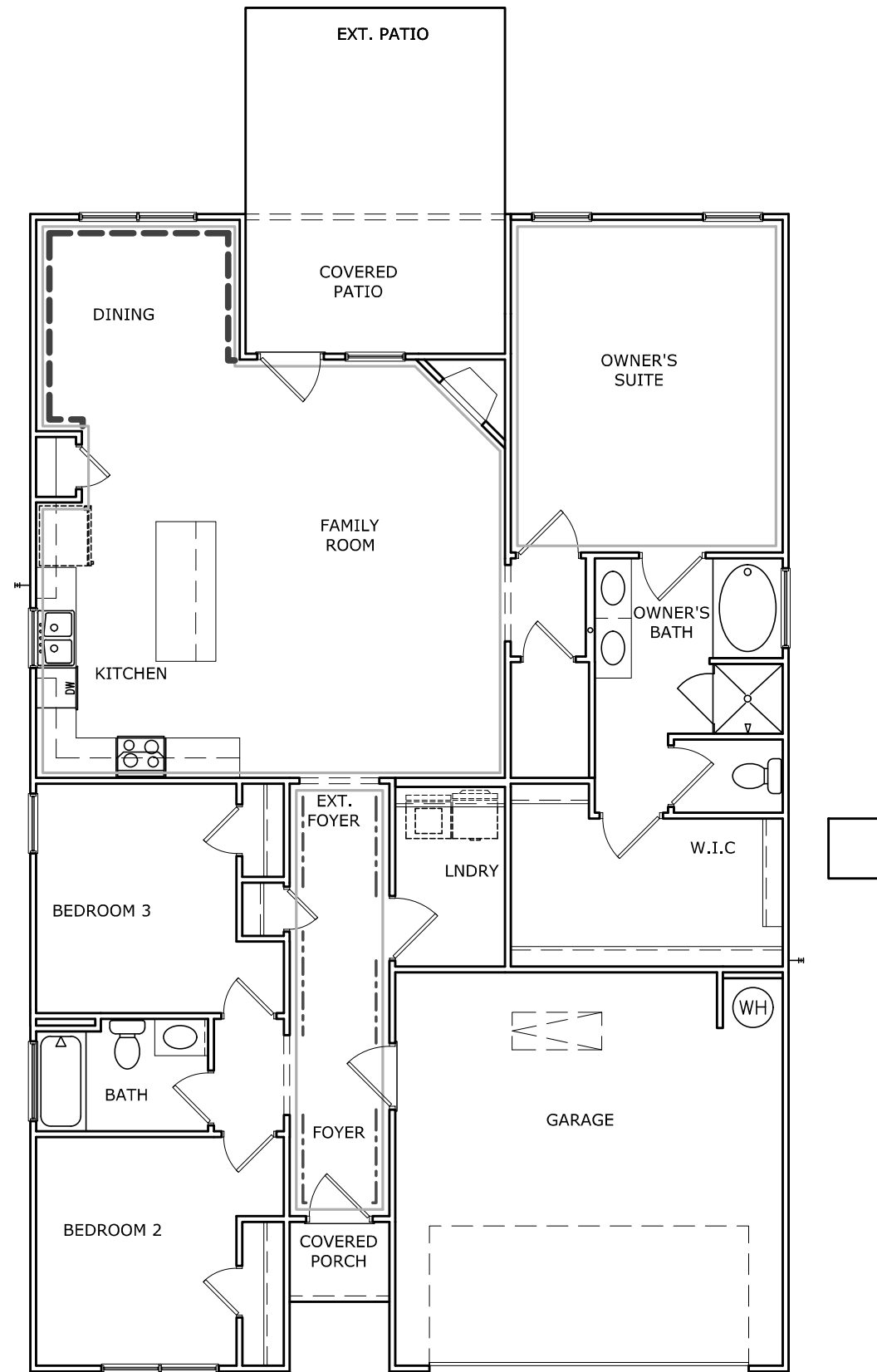
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DATE: 12/07/2023	
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PLAN ID:	
FND: ALL	ELEV: C
PAGE NO: A6.1	



# HARRINGTON PLACE LOT 0009



TRIM LAYOUT FIRST FLOOR PLAN

SCALE : 1/8" = 1'-0"

DATE	REVISION	BY
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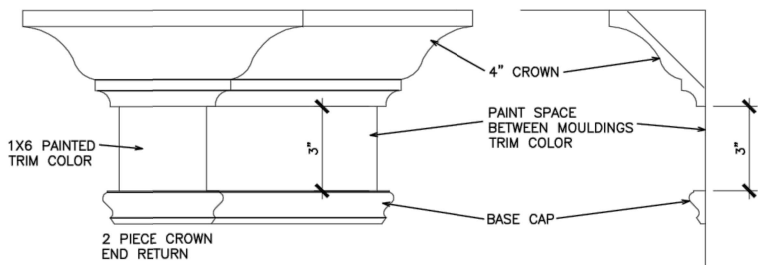
FLOOR PLAN  
TRIM LAYOUT  
BRADLEY

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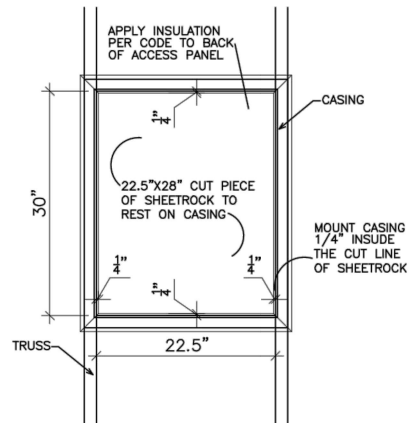
BY: TJJ	CH: AW
DATE: 12/07/2023	
FACADE OPT: C	
PLAN ID:	
FND: ALL	ELEV: C
PAGE NO: A8.1	

REFER TO LOT SPECIFIC PLAN TO DETERMINE WHICH DETAILS APPLY



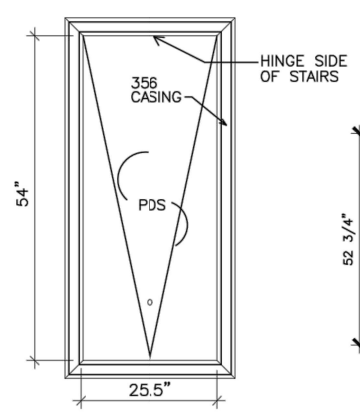
TYPICAL TWO PIECE CROWN

N.T.S.



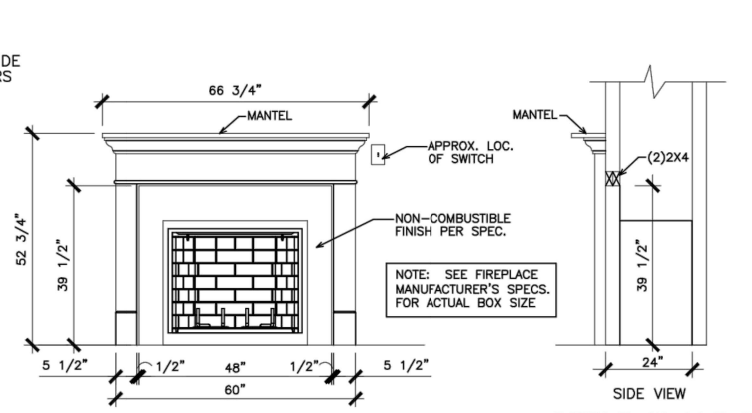
SCUTTLE HOLE DETAIL

N.T.S.



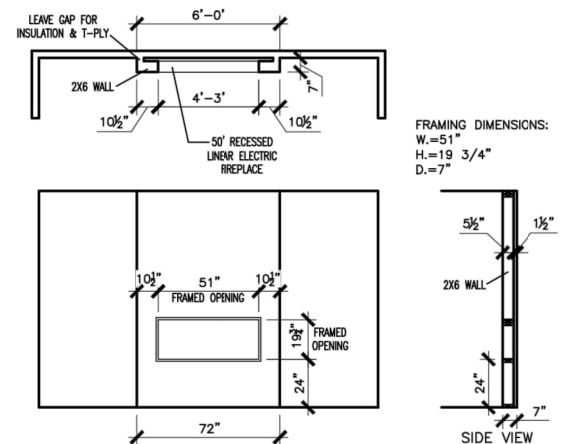
PDS TRIM DETAIL

N.T.S.



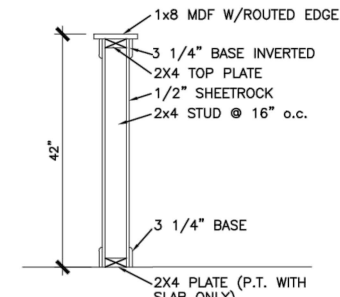
GAS/ELECTRIC FIREPLACE DETAIL WITH WESCOTT WOOD MANTEL

N.T.S.



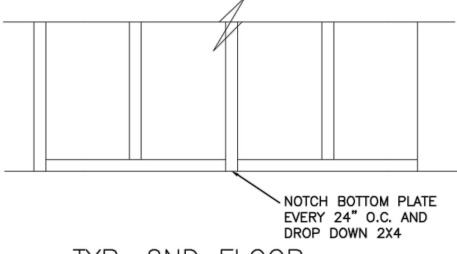
LINEAR ELECTRIC FIREPLACE DETAIL

N.T.S.



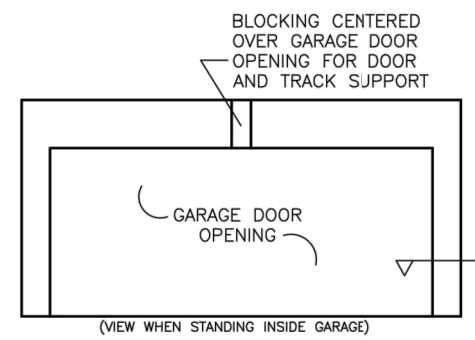
TYP. KNEEWALL SECTION

N.T.S.



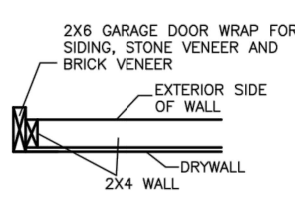
TYP. 2ND FLOOR KNEEWALL STABILITY

N.T.S.

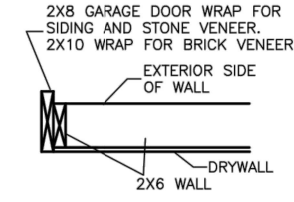


TYP. GARAGE WRAP & BLOCKING

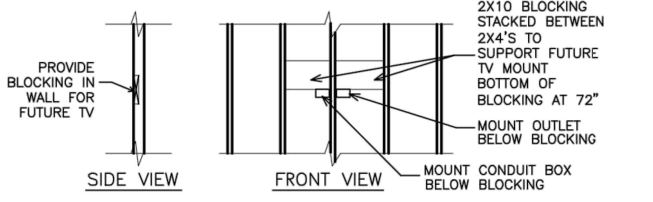
N.T.S.



SECTION VIEW 2X4 PORTAL WALL

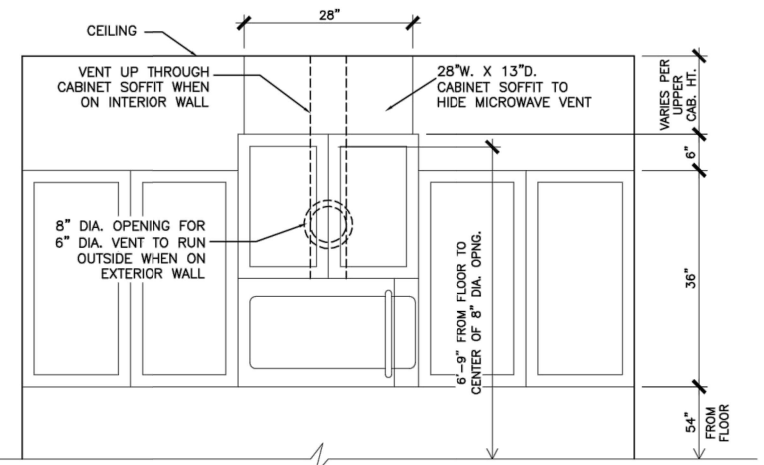


SECTION VIEWS 2X6 PORTAL WALL



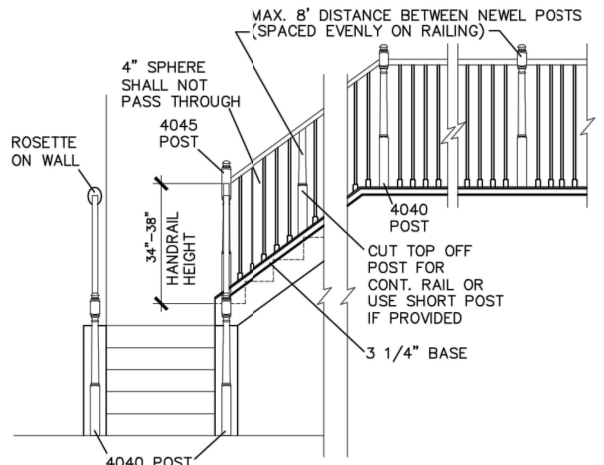
TYP. TV WALL PREP

N.T.S.



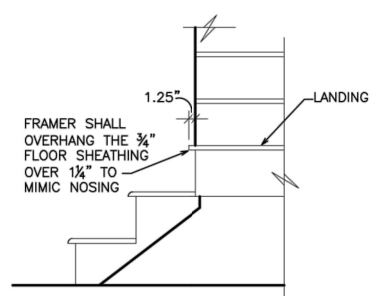
CABINET SOFFIT DETAIL ABOVE VENTED MICROWAVE W/CABINET ABOVE RANGE BUMPED UP & OUT

N.T.S.



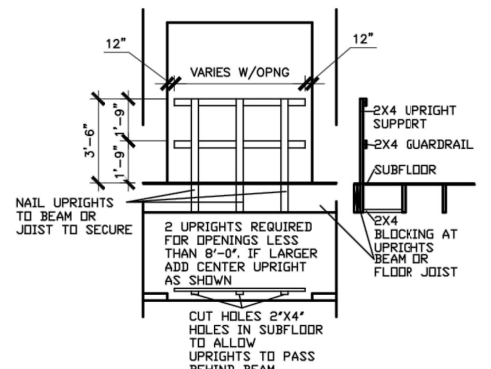
HANDRAIL/POST DETAIL @ STAIRS

N.T.S.



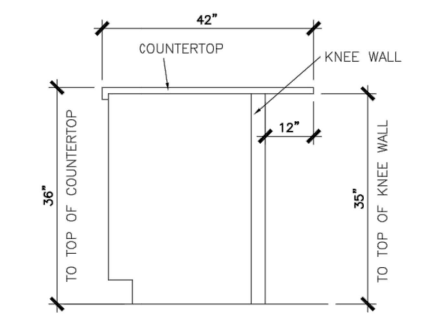
BOX STEP OVERHANG

N.T.S.



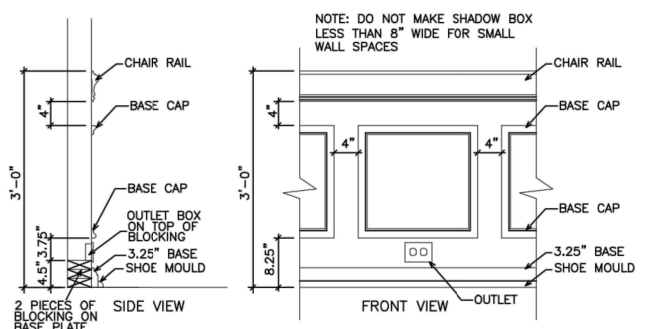
GUARD RAIL DTL. AS REQ'D

N.T.S.



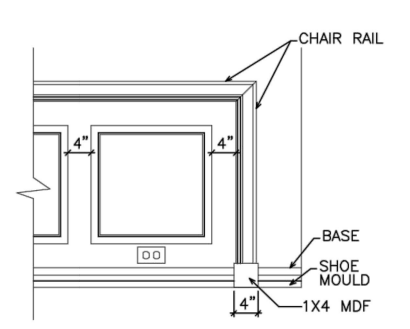
SECTION @ ISLAND KNEEWALL

N.T.S.



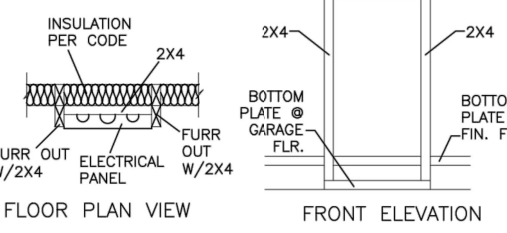
TYPICAL CHAIR RAIL & SHADOW BOX DETAIL

N.T.S.



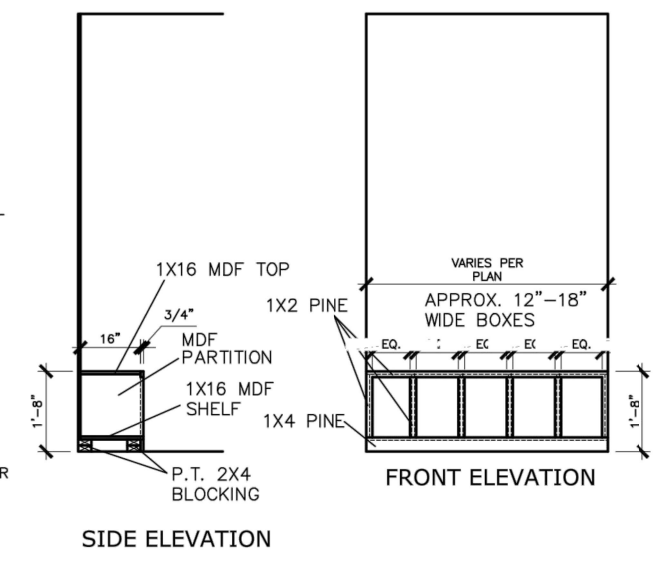
CHAIR RAIL END TRIM DETAIL

N.T.S.



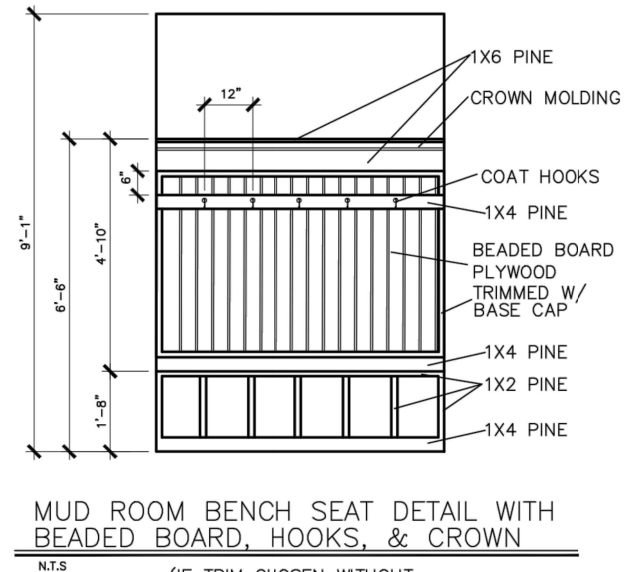
ELECTRICAL PANEL DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL WITH BEADED BOARD, HOOKS, & CROWN

N.T.S.

(IF TRIM CHOSEN WITHOUT BENCH CONTINUE TO FLOOR)

SMITH DOUGLAS HOMES 2023

BY	REVISION	DATE

**SMITH DOUGLAS HOMES**  
QUALITY | INTEGRITY | VALUE

INTERIOR TRIM  
DETAILS

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DATE:	6/13/23
PARADE OPT:	
PLAN ID:	
END:	
ELEV:	
PAGE NO.:	D1.1



MULHERN+KULP RESIDENTIAL STRUCTURAL ENGINEERING. 3825 Glenview Parkway, Suite 105 - Alhambra, NC 28822. NC License # C-3825

Mulhern+Kulp project number: 256-21011. Project mgr: SMK. Drawn by: MJF. Issue date: 02-21-2022. Revisions: 03/09/2022 (MISSED PLANS ADDED) KMW, 08/11/2022 (UPDATE PER ARCH COMMENTS) SMK.

SMITH DOUGLAS HOMES

GENERAL STRUCTURAL NOTES. BRADLEY MODEL. 120 MPH WIND ZONE. NORTH CAROLINA

sheet: SO.0

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

Table with 3 columns: DESCRIPTION OF BLDG. ELEMENT, 3"x0.131" NAILS, 3"x0.120" NAILS. Rows include JOIST TO SOLE PLATE, RIM TO TOP PLATE, DOUBLE STUD, DOUBLE TOP PLATE, TOP PLATE LAP @ CORNERS, RAFTER/TRUSS TO TOP PLATE, GAB. END TRUSS TO DBL. TOP PL., R.T. W/ HEEL HT. 9 1/4" TO 12", R.T. W/ HEEL HT. 12" TO 16", R.T. W/ HEEL HT. UP TO 24", R.T. W/ HEEL HT. 24" TO 48", WALL TO FOUNDATION.

\* 2 1/2"x0.131 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE \* ARE SHOWN)

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSSES AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MK FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

VENEER LINTEL SCHEDULE

Table with 3 columns: SPAN (MAX), HEIGHT OF VENEER ABOVE LINTEL, STEEL ANGLE SIZE. Rows for spans 3'-0", 6'-0", 8'-0", 9'-6".

ALL LINTELS: SHALL SUPPORT 2 3/4" x 3 1/2" VENEER w/ 40 psf MAXIMUM HEIGHT. @ 5" SHALL HAVE 2" MIN. BEARING. @ 6" SHALL HAVE 2" MIN. BEARING. @ 8" SHALL NOT BE FASTENED BACK TO HEADER.

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE. FOOTING DESIGN - 2,000 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING: 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C., 1" MIN. EMBEDMENT. FASTEN 2x10 SILL PLATES TO PRECAST BSMT WALLS WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING: 1/2" DIA. BOLTS @ 2'-0" O.C.

LEGEND

- RT. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.) OF. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.) F.L. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER. D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.) INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADDL 10 PSF DEAD LOAD AT THESE LOCATIONS.

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: 120MPH WIND IN 2018 NCSBC-RC & 120MPH WIND IN 2018 IRC

THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC (SECTION 1604) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2018 NCSBC-RC & 2018 IRC. IF THE PARAMETERS OF SECTION R602.12 COMPLY. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC-RC & 2018 IRC SECTION R602.11.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 & R602.11.

EXT. WALL SHEATHING SPECIFICATION. 7/16" OSB OR 1/2" PLYWOOD. FASTEN SHEATHING w/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANELS (TYP. U.N.O.)

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN. DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.

FLOOR FRAMING

- I-JOISTS SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER 'DESIGN LOADS'). FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE).

ROOF FRAMING

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS - w/ 2 1/2" x 0.131" NAILS @ 6" O.C. PANEL EDGES & @ 12" O.C. FIELD.

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS.

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE. DESIGN LOADS: ROOF LIVE = 20 PSF, DEAD = 7 PSF T.C., 10 PSF B.G. FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS), DEAD = 10 PSF (I-JOISTS). SOIL 2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER).

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3.11) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY.

HOLD-DOWN SCHEDULE

Table with 2 columns: SYMBOL, SPECIFICATION. Rows for HD-1 (USP HTT45 HOLD-DOWN w/ STB16 ANCHOR BOLT), HD-2 (USP STADI4 HOLD-DOWN STRAP), HD-3 (USP MSTC40 HOLD-DOWN STRAP).

ALTERNATIVE TO STB16 ANCHOR BOLT SPECIFICATION: ANCHOR HOLD-DOWN UTILIZING THREADED ROD (REFER TO USP SPECIFICATION FOR ANCHOR DIAMETER). EPOXY-SET INTO CONCRETE FOUNDATION w/ USP CIA-GEL 7000 EPOXY SYSTEM PER MANUF. RECOMMENDATIONS.

Harrington Lot 9



Mulhern+Kulp project number:  
**256-21011**

project mgr: **SMK**  
 drawn by: **MJF**  
 issue date: **02-21-2022**

REVISIONS:

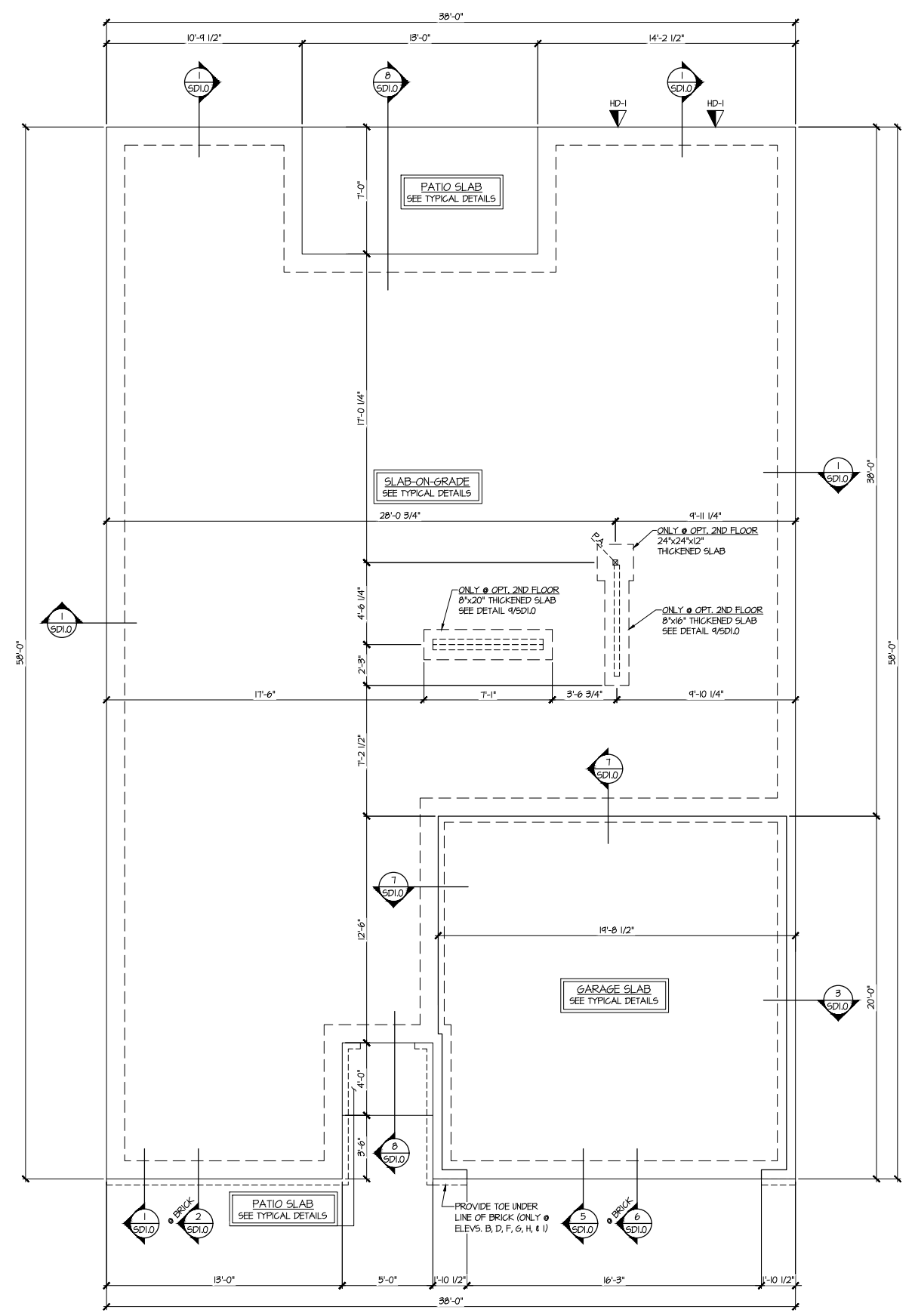
date:	initial:
03/04/2022	KMV
MISSED PLANS ADDED	
08/11/2022	SNM
UPDATE PER ARCH COMMENTS	

SMITH DOUGLAS  
 HOMES

**Harrington  
 Lot 9**

REFER TO S0.0 FOR TYPICAL  
 STRUCTURAL NOTES & SCHEDULES

MONO-SLAB FOUNDATION  
 BRADLEY MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA

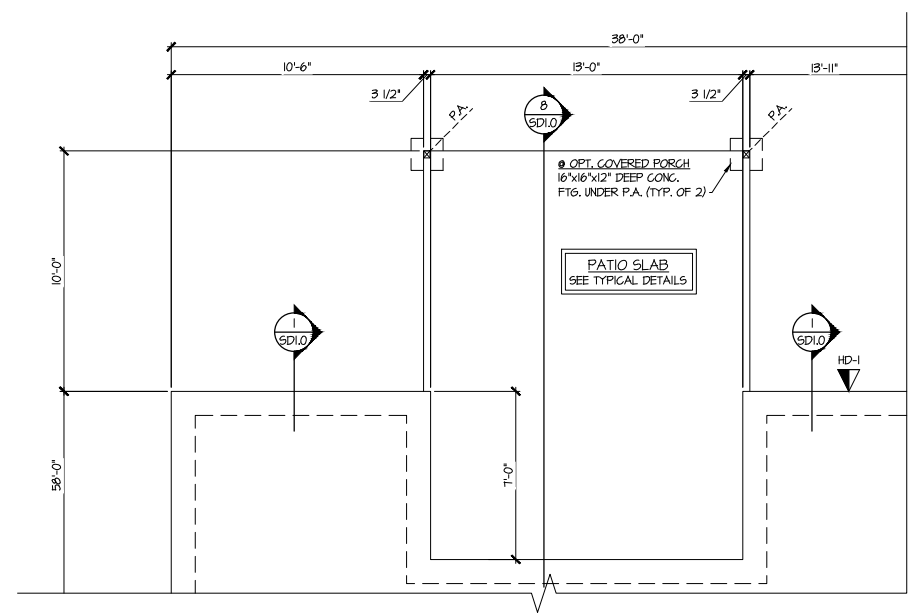


**MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 ALL ELEV. SIM.  
 OPT. 2ND FLOOR SIM.

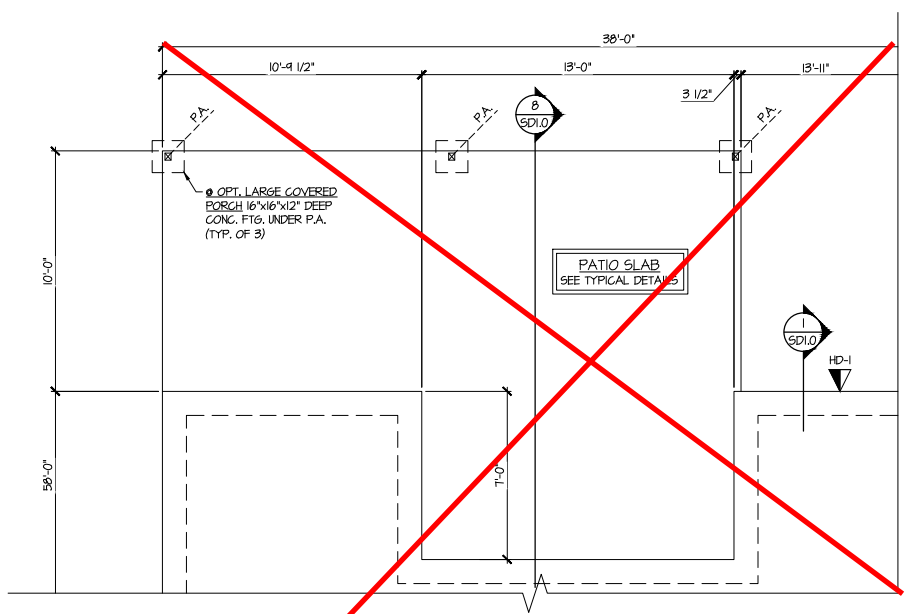
HOLD-DOWN SCHEDULE	
SYMBOL	SPECIFICATION
	USP HTT45 HOLD-DOWN w/ STB16 ANCHOR BOLT *
	USP STAD14 HOLD-DOWN STRAP
	USP MSTC40 HOLD-DOWN STRAP

ALTERNATIVE TO STB16 ANCHOR BOLT SPECIFICATION:  
 \* ANCHOR HOLD-DOWN UTILIZING THREADED ROD (REFER TO USP SPECIFICATION FOR ANCHOR DIAMETER). EPOXY-SET INTO CONCRETE FOUNDATION w/ USP CIA-GEL 1000 EPOXY SYSTEM PER MANUF. RECOMMENDATIONS.  
 CONG. FOUND. - PROVIDE 9" MIN. EMBEDMENT INTO CONCRETE.  
 DO NOT LOCATE EPOXY-SET ANCHORS WITHIN 1 3/4" OF FACE OF CONCRETE FOUNDATION.  
 CMU FOUND. - PROVIDE 12" MIN. EMBEDMENT INTO SOLID GROUTED CELLS. DO NOT LOCATE EPOXY-SET ANCHORS WITHIN 3" OF EDGE OF CMU FOUNDATION.

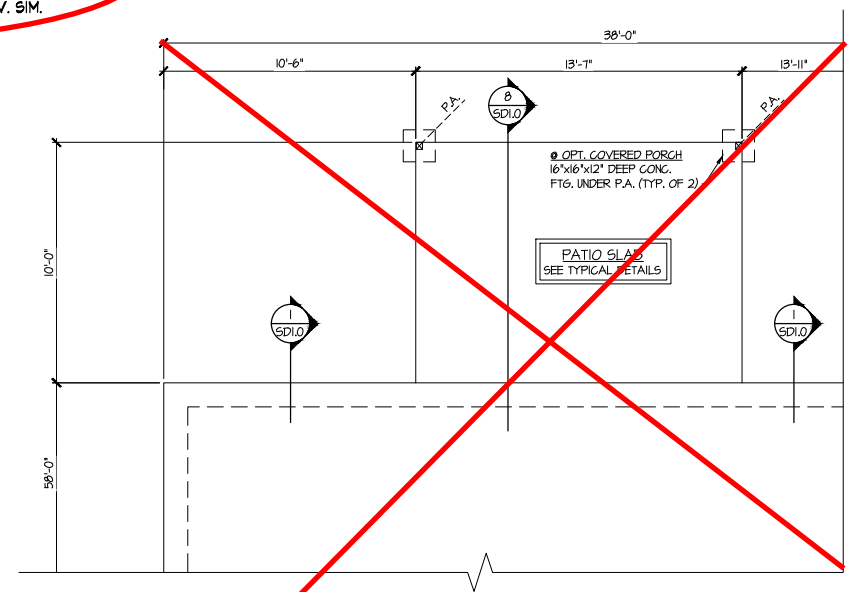
LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
	INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
	INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



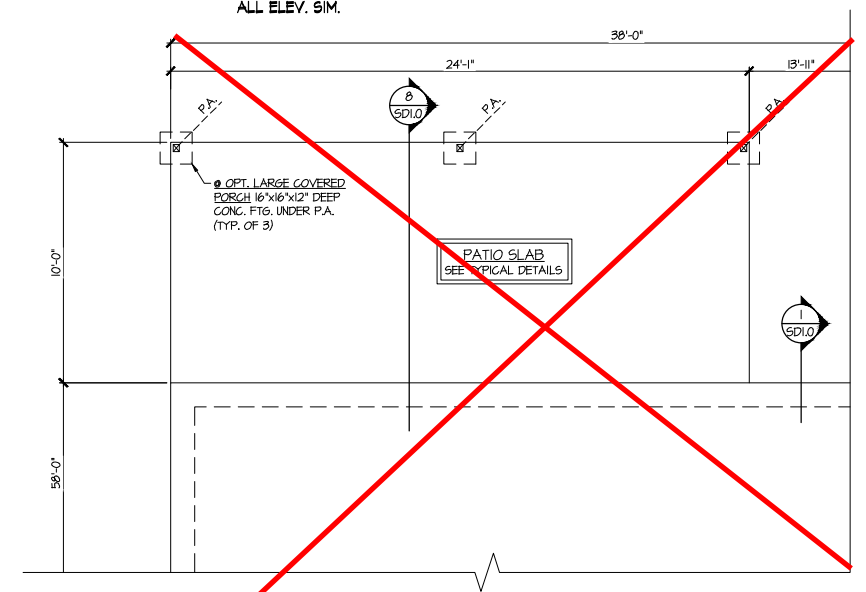
**1** MONO-SLAB FOUNDATION PLAN  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. PATIO  
 (COVERED PATIO SIM.)  
 ALL ELEV. SIM.



**2** MONO-SLAB FOUNDATION PLAN  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. LARGE PATIO  
 (EXT. COVERED PATIO)  
 ALL ELEV. SIM.

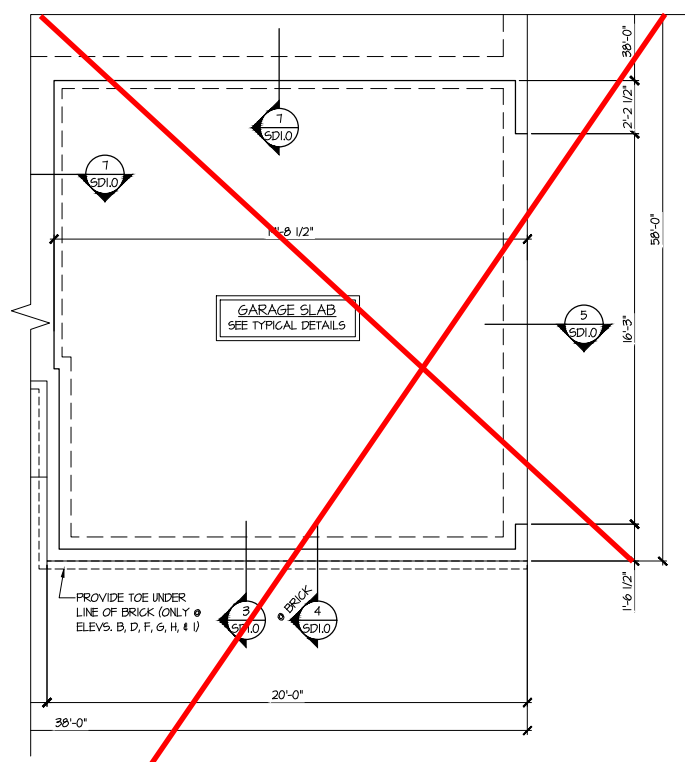


**4** MONO-SLAB FOUNDATION PLAN  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. FAMILY ROOM EXT.  
 (w/ COVERED PATIO)  
 ALL ELEV. SIM.



**5** MONO-SLAB FOUNDATION PLAN  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. FAMILY ROOM EXT.  
 (w/ EXT. COVERED PATIO)  
 ALL ELEV. SIM.

REFER TO S0.0 FOR TYPICAL  
 STRUCTURAL NOTES & SCHEDULES



**3** MONO-SLAB FOUNDATION PLAN  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. SIDE ENTRY GARAGE  
 ALL ELEV. SIM.

**LEGEND**

- RT. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANIF. (TYP. U.N.O.)
- OF. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

Harrington  
 Lot 9



Mulhern+Kulp project number:  
**256-21011**

project mgr: **SMK**  
 drawn by: **MJF**  
 issue date: **02-21-2022**

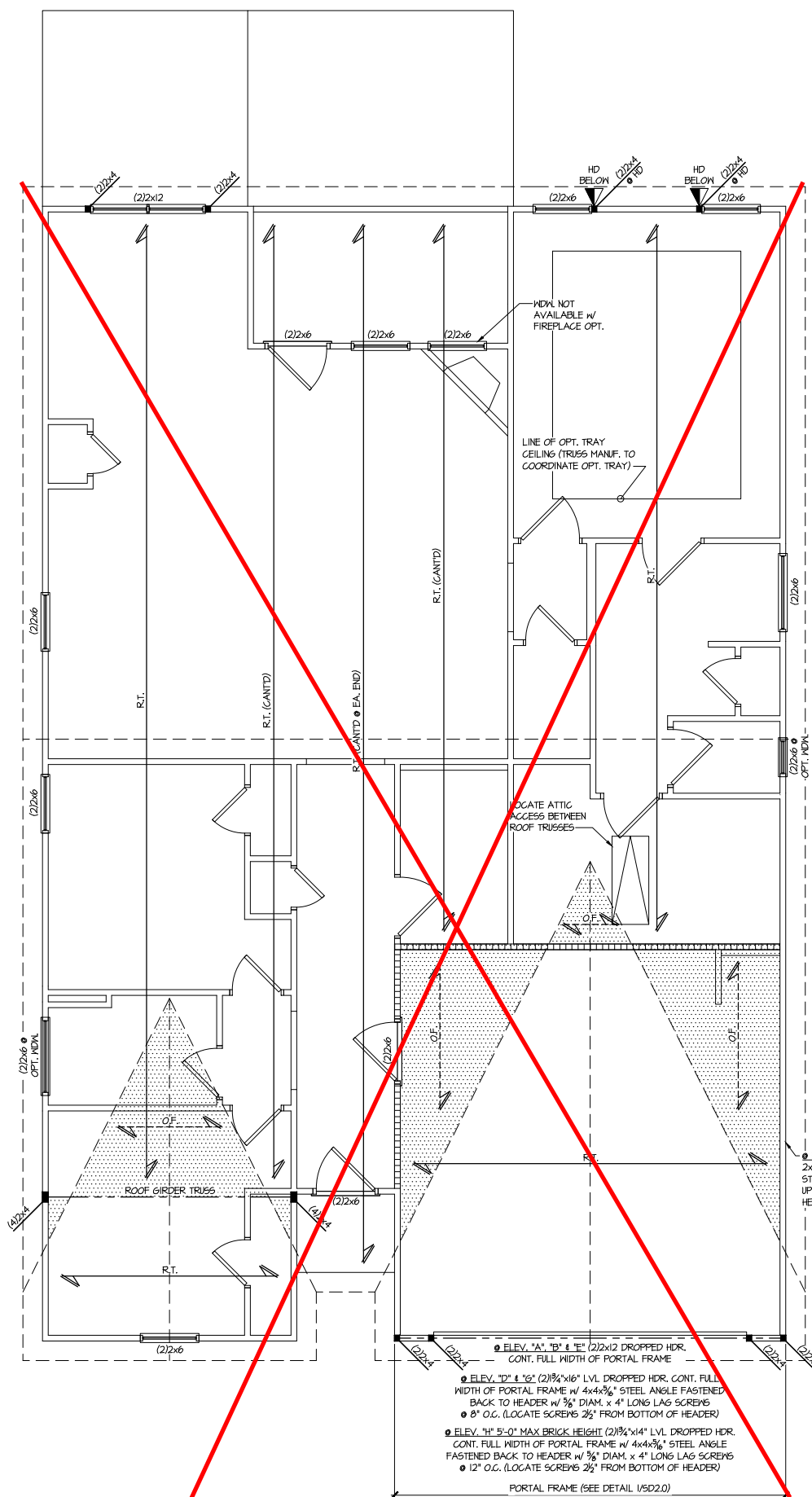
REVISIONS:

date:	initial:
03/04/2022	KM
REVISION: REVISIONED PLANS ADDED	
08/11/2022	SM
REVISION: UPDATE PER ARCH COMMENTS	

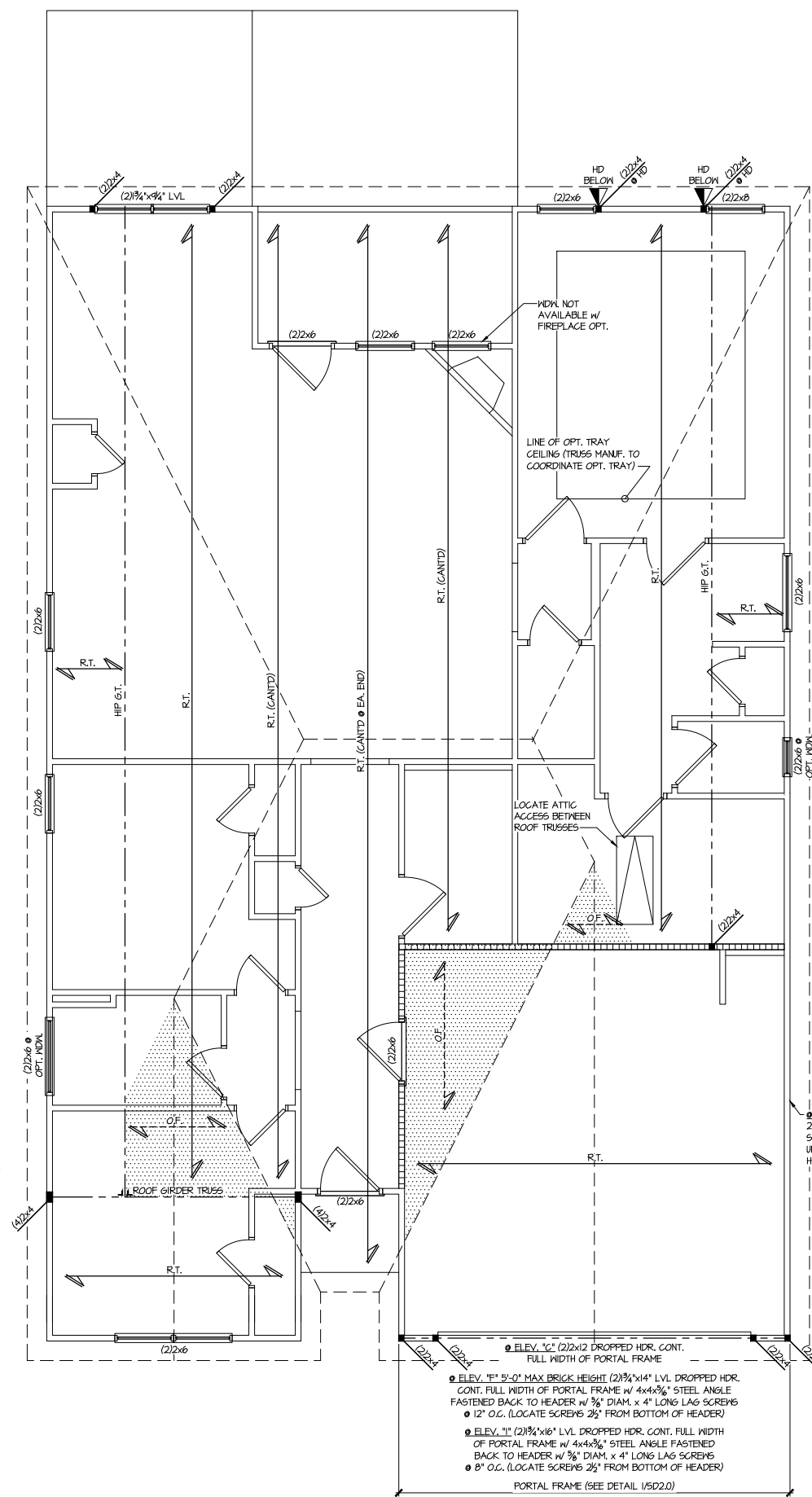
SMITH DOUGLAS  
 HOMES

BRADLEY MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA

sheet:  
**S3.0**



**1 ROOF FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 ELEV. A, B, D, E, G, & H



**2 ROOF FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 ELEV. C, F, & I

**Harrington  
 Lot 9**

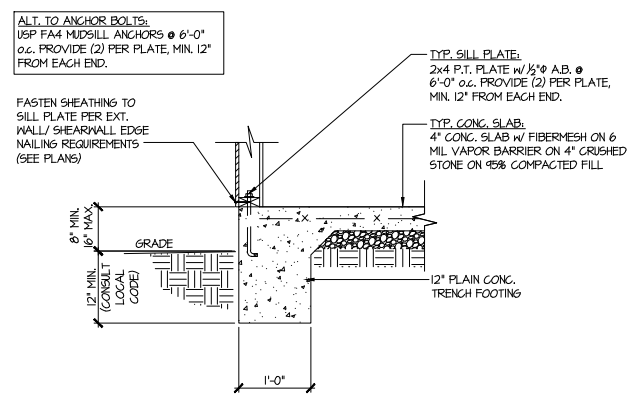
THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

REFER TO S.O. FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

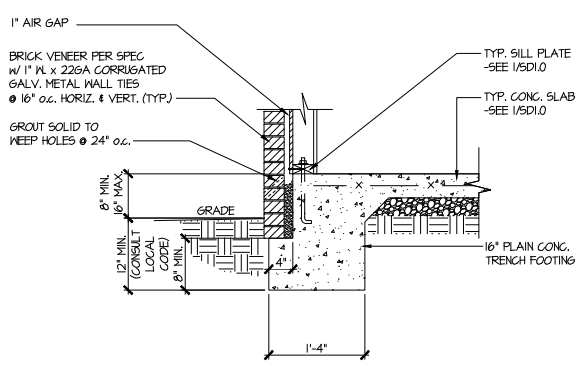
**LEGEND**

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANIF. (TYP. U.N.O.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
- (---) INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- (|||||) INTERIOR BEARING WALL
- (---) BEARING WALL ABOVE (B.W.A.)
- (---) BEAM/HEADER
- (L) METAL HANGER
- (\*) INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

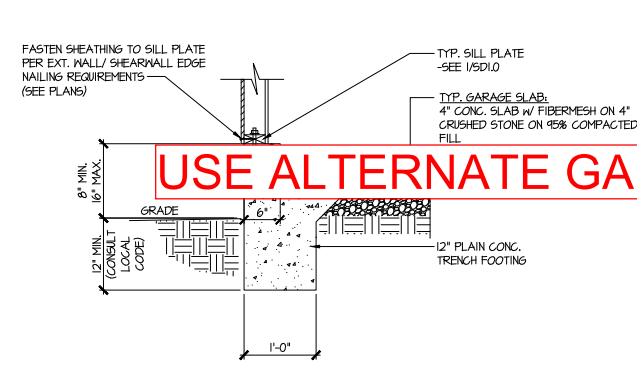
EXTERIOR GARAGE WALL:  
 2x4 (SP/SPF #2) GRADE WALL STUDS @ 16" O.C. (FROM 10'-0" UP TO 12'-0" MAX PLATE HEIGHT) (TYP.)



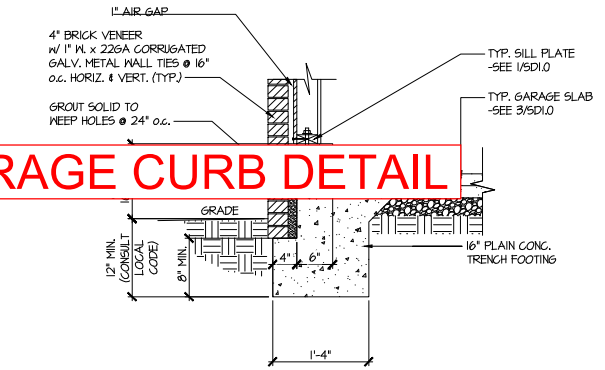
1 TYPICAL SLAB ON GRADE PERIMETER FOOTING



2 TYPICAL SLAB ON GRADE PERIMETER FOOTING w/ BRICK VENEER

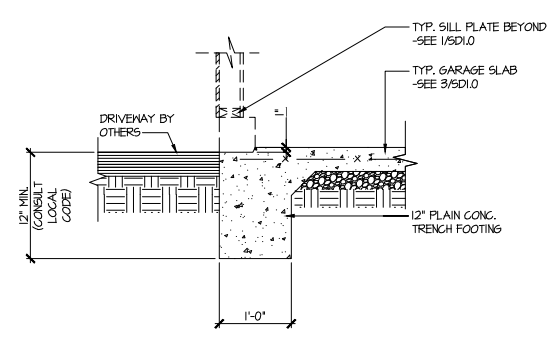


3 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

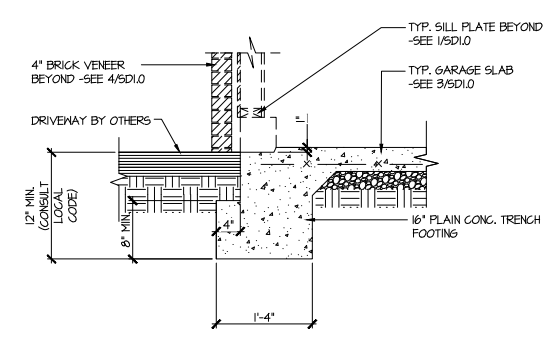


4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING w/ BRICK VENEER

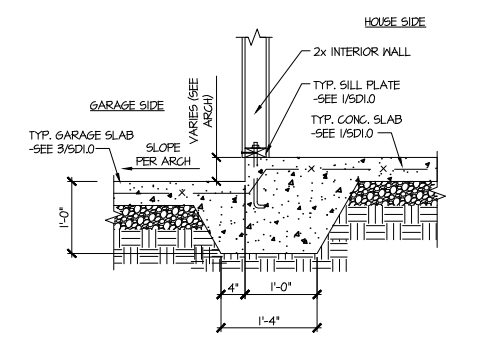
**USE ALTERNATE GARAGE CURB DETAIL**



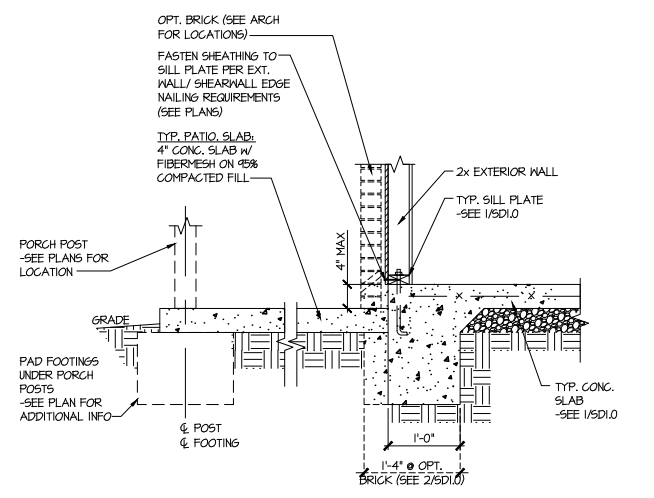
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



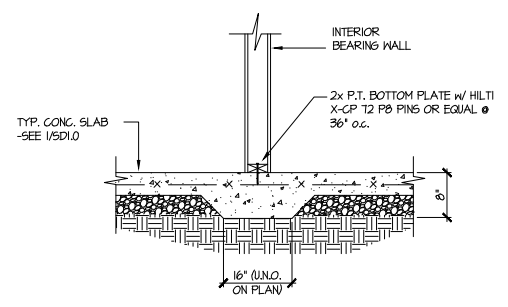
6 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING w/ BRICK VENEER



7 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



8 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



9 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

**MULHERN+KULP**  
 RESIDENTIAL STRUCTURAL ENGINEERING  
 3025 Greenhills Parkway, Suite 105 - Alpharetta, GA 30022  
 770-777-8974 - mulhern+kulp.com  
 NC License # C-3825

Mulhern+Kulp project number:  
 256-21011

project mgr: SMK  
 drawn by: MJF  
 issue date: 02-21-2022

REVISIONS:

date:	initial:
03/04/2022	KM
MISSED PLANS ADDED	
08/11/2022	SMM
UPDATE PER ARCH COMMENTS	

SMITH DOUGLAS  
 HOMES

FOUNDATION DETAILS  
 BRADLEY MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA

Harrington  
 Lot 9

sheet:  
**SD1.0**



**MULHERN+KULP**  
RESIDENTIAL STRUCTURAL ENGINEERING

3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

August 18, 2023

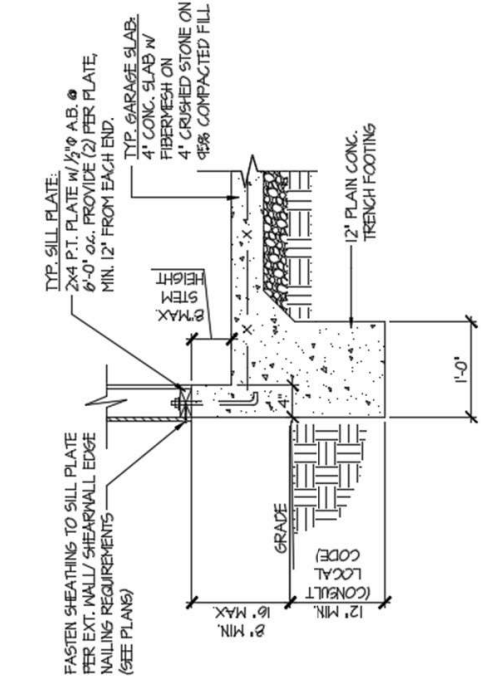
Jody Hunt  
Director of Product Development  
**SMITH DOUGLAS HOMES**  
110 Village Trail, Suite 215  
Woodstock, GA 30188

**ALTERNATE GARAGE CURB DETAIL**  
Smith Douglas Homes

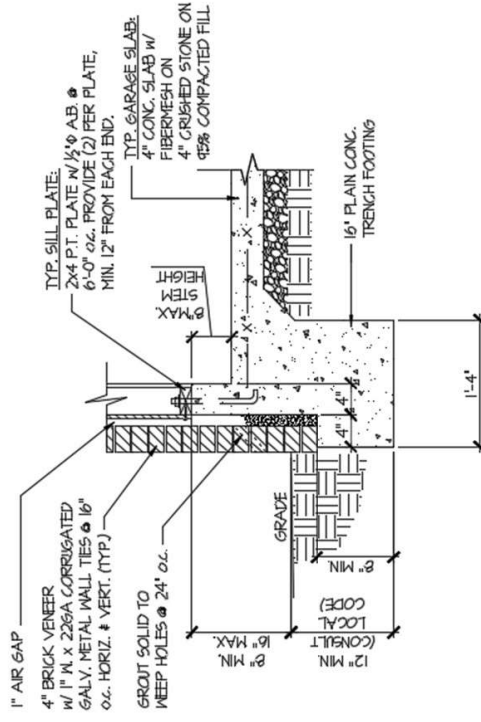
*Reference*  
*Current Structural Plans prepared by Mulhern & Kulp*

Jody:

Pursuant to your request, we have prepared this letter to address the “Alternate Garage Curb Details”, prepared by Mulhern & Kulp for Smith Douglas Homes shown below. The foundation details shown below call for a 4” wide curb with a maximum of 8” stem wall height; these are an acceptable alternative to the 6” wide curb at the garage per M&K foundation details 3 & 4 on sheet SD-1.0 at 2x4 garage wall locations.



**(A)** TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



**(B)** TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

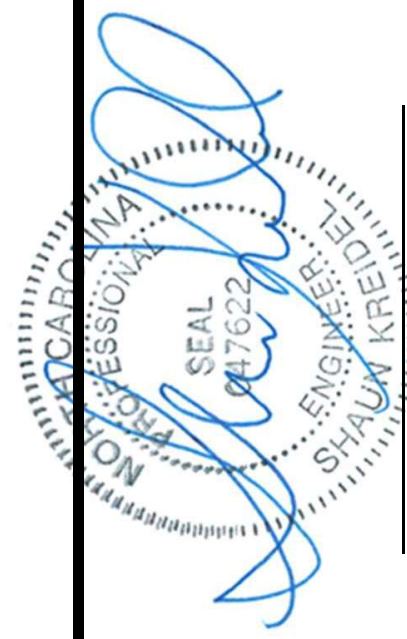
Please feel free to call if you have any questions.

Respectfully,

**MULHERN & KULP STRUCTURAL ENGINEERING, INC.**

NC License # C-3825

Shaun M. Kreidel, P.E. Project Manager + Atlanta Office Director



Signature + Seal 08/18/2023



Mulhern+Kulp project number: 256-21011

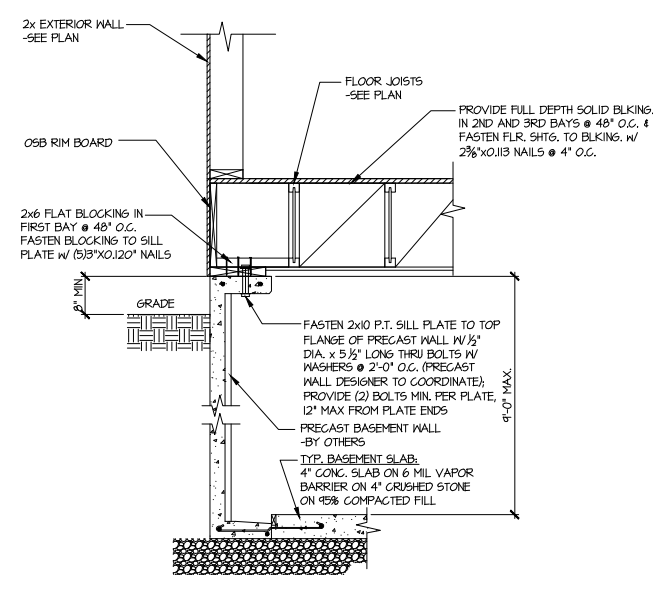
project mgr: SMK  
 drawn by: MJF  
 issue date: 02-21-2022

REVISIONS:

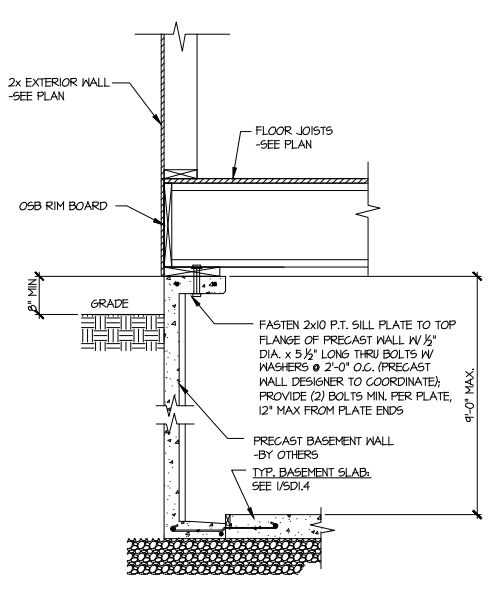
date:	initial:
03/04/2022	KMH
08/11/2022	SMH
UPDATE PER ARCH COMMENTS	

SMITH DOUGLAS  
 HOMES

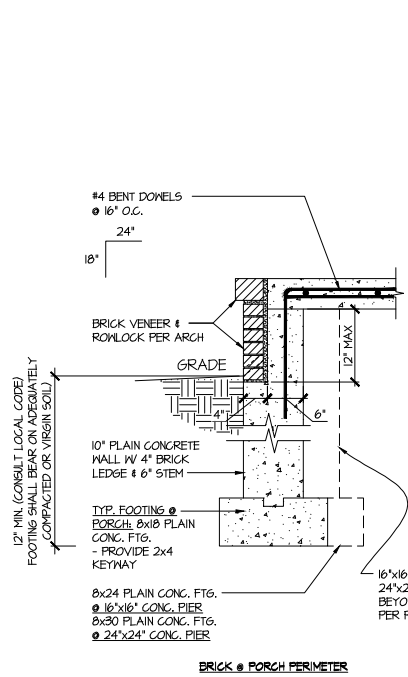
FOUNDATION DETAILS  
 BRADLEY MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA



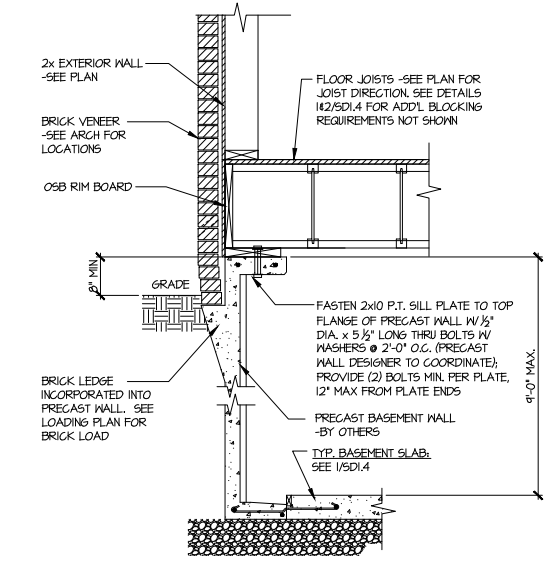
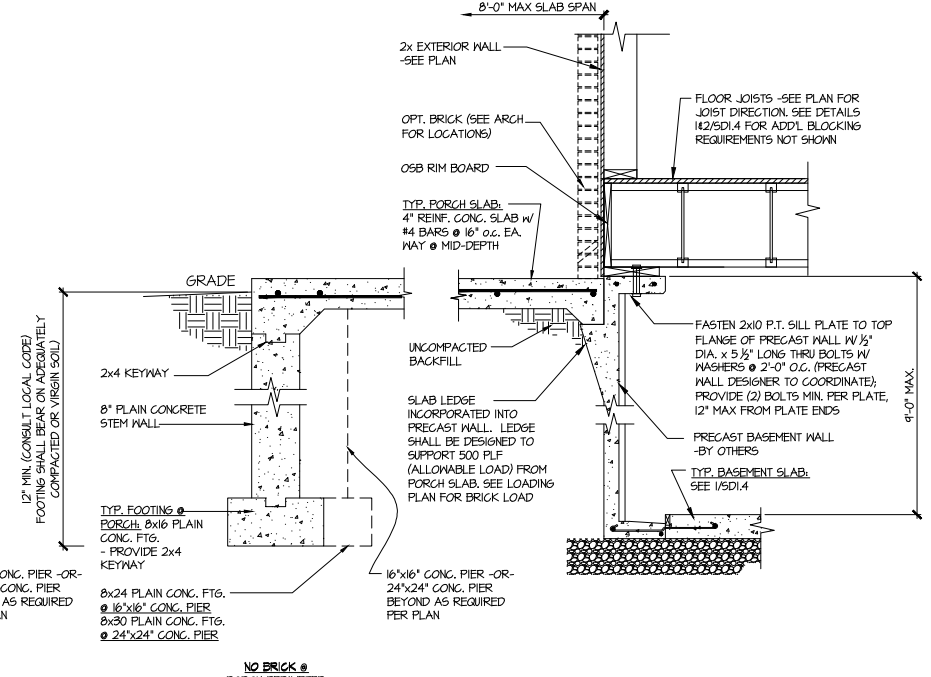
**1 SECTION**  
 SCALE: 3/4"=1'-0"



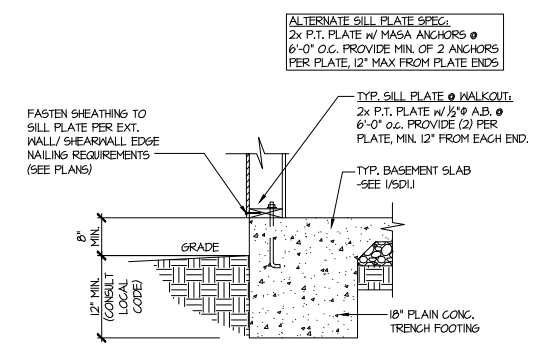
**1A SECTION**  
 SCALE: 3/4"=1'-0"



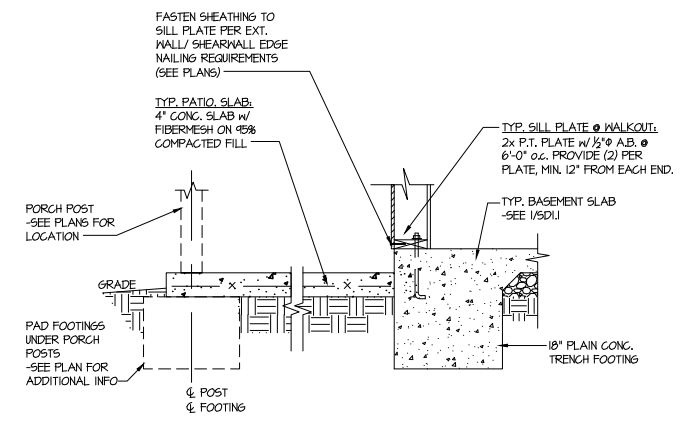
**3 SECTION**  
 SCALE: 3/4"=1'-0"



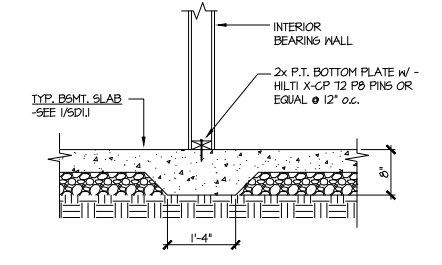
**2 SECTION**  
 SCALE: 3/4"=1'-0"



**4 TYPICAL BASEMENT FOUNDATION @ WALKOUT**



**5 TYPICAL BASEMENT FOUNDATION @ WALKOUT**



**6 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL**

Harrington  
 Lot 9

Mulhern+Kulp project number:  
 256-21011

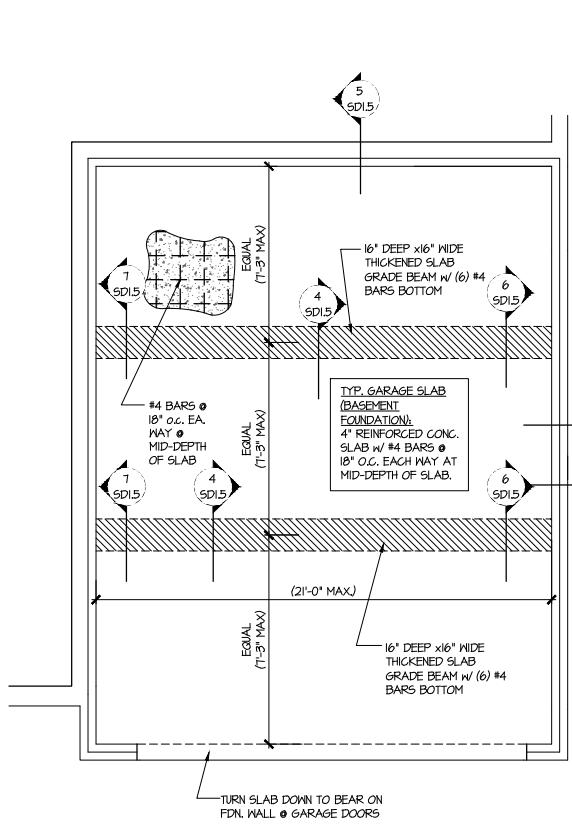
project mgr: SMK  
 drawn by: MJF  
 issue date: 02-21-2022

REVISIONS:

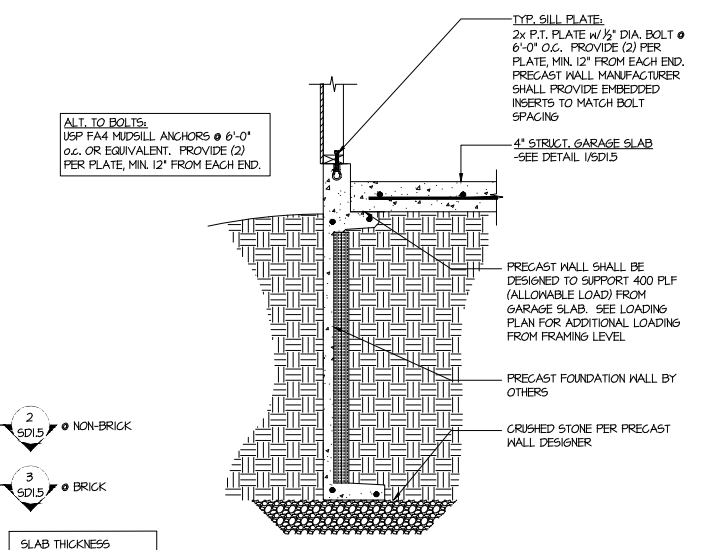
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03/04/2022	KMV
MIRRORED PLANS ADDED	
08/11/2022	SMM
UPDATE PER ARCH COMMENTS	

SMITH DOUGLAS  
 HOMES

FOUNDATION DETAILS  
 BRADLEY MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA

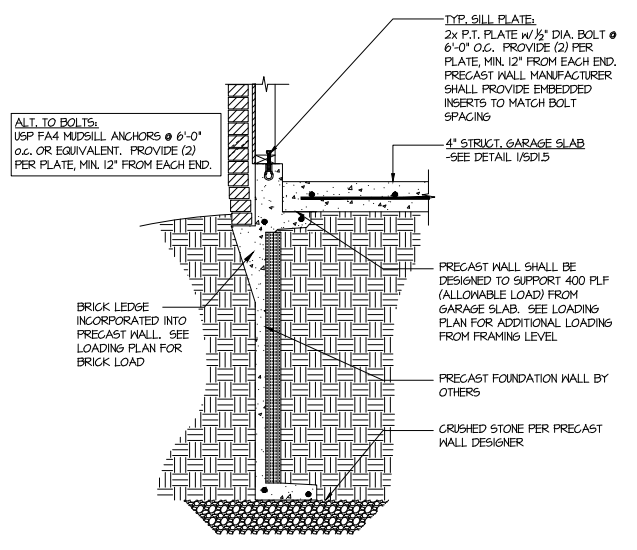


**1** GENERIC FOUNDATION PLAN KEY @ GARAGE  
 SCALE: 1/4"=1'-0"

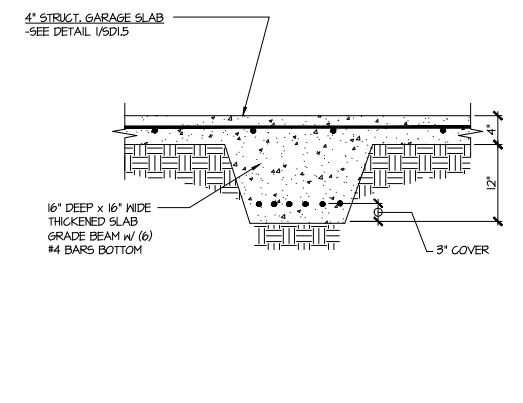


**2** TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION  
 2 SD1.5 NON-BRICK  
 3 SD1.5 BRICK

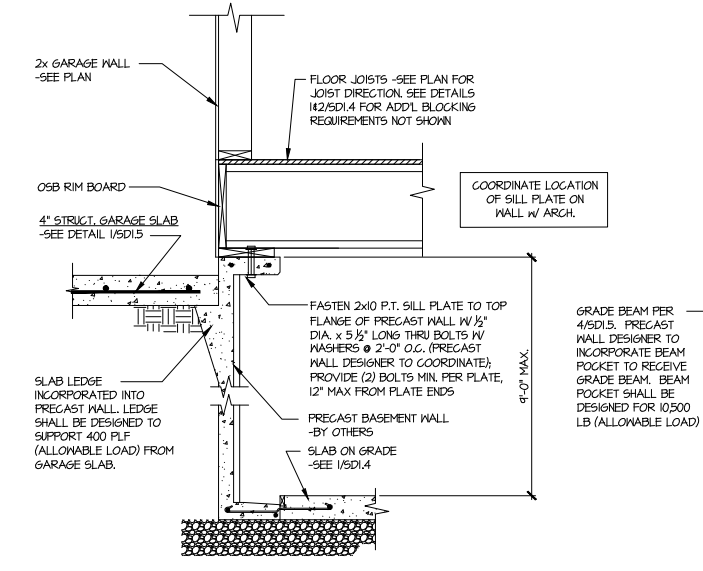
SLAB THICKNESS SHOWN IS MIN. THICKNESS REQ'D - SLOPE OF SLAB SHALL NOT COMPROMISE MIN. THICKNESS  
 SEE ARCHITECTURAL PLANS FOR ACTUAL GARAGE DIMENSIONS



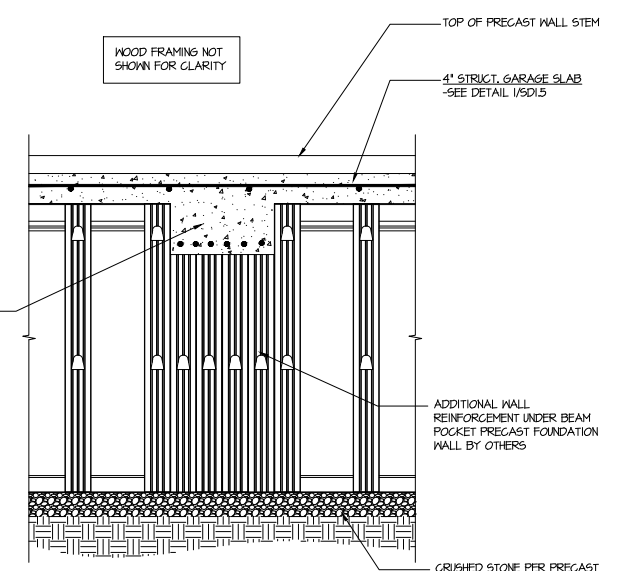
**3** TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION (BRICK)



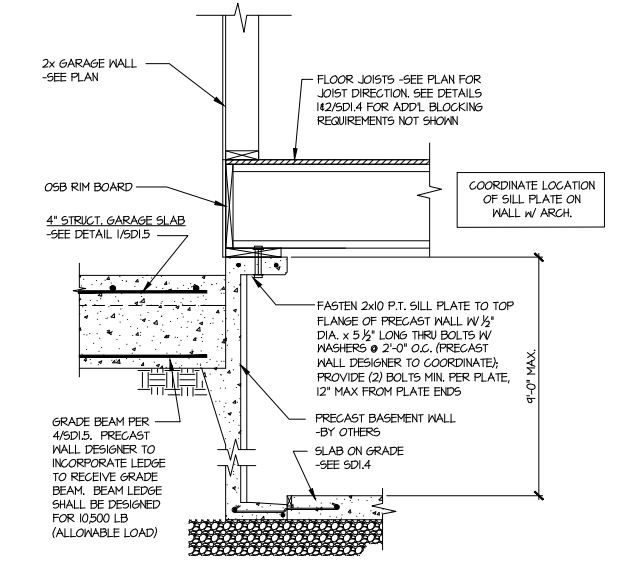
**4** TYPICAL CONCRETE GRADE BEAM @ GARAGE FDN.  
 SCALE: 3/4"=1'-0"



**5** CONCRETE BSMT. FDN. WALL @ GARAGE



**6** SECTION  
 SCALE: 3/4"=1'-0"



**7** SECTION  
 SCALE: 3/4"=1'-0"

Harrington  
 Lot 9

Mulhern+Kulp project number:  
 256-21011

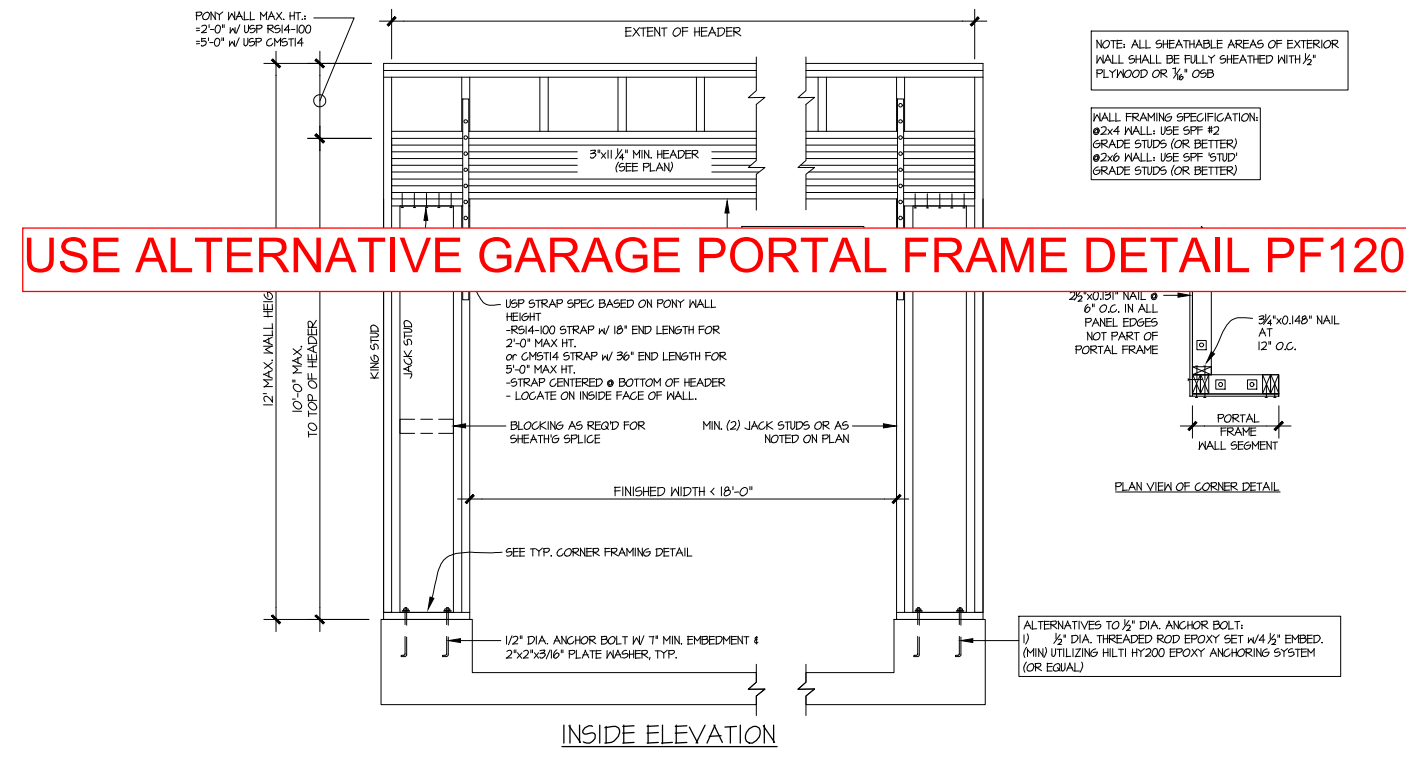
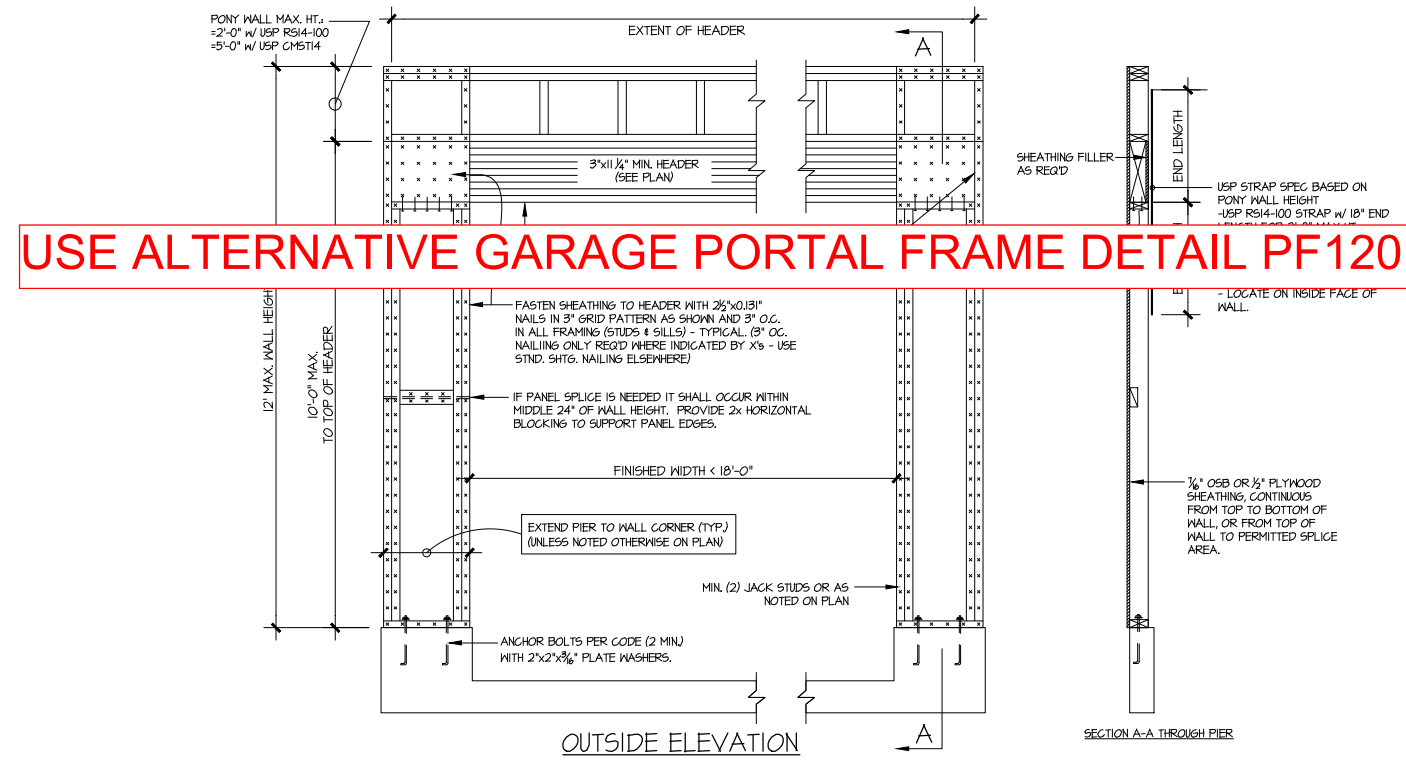
project mgr: SMK  
 drawn by: MJF  
 issue date: 02-21-2022

REVISIONS:

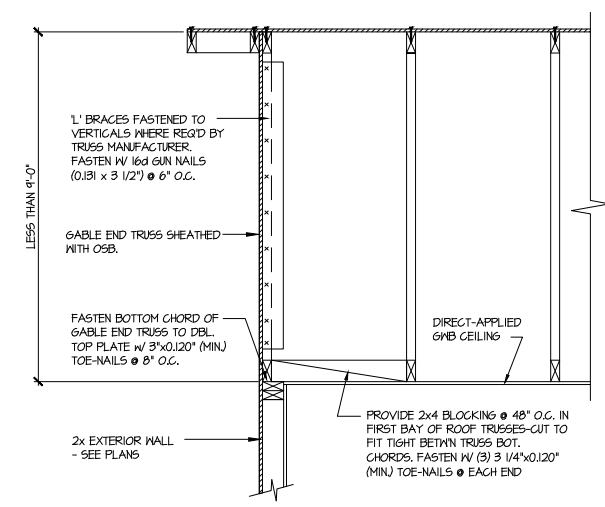
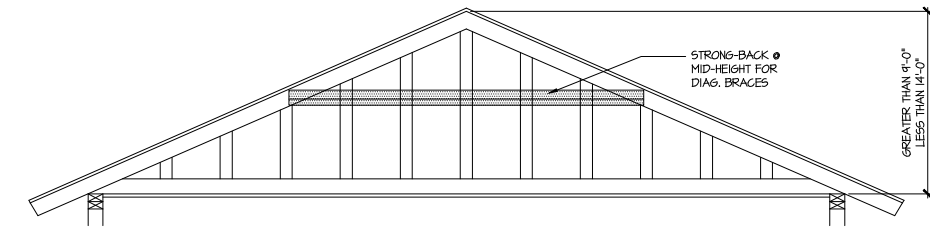
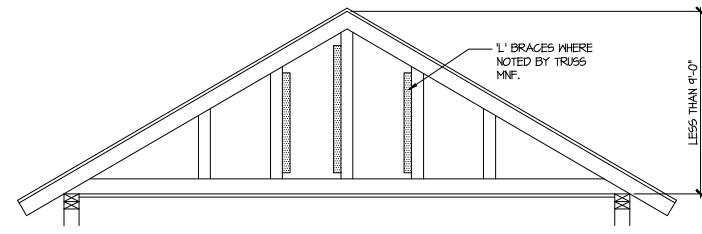
date:	initial:
03/04/2022	KM
REMOVED PLANS ADDED	
08/11/2022	SMM
UPDATE PER ARCH COMMENTS	

SMITH DOUGLAS  
 HOMES

FRAMING DETAILS  
 BRADLEY MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA

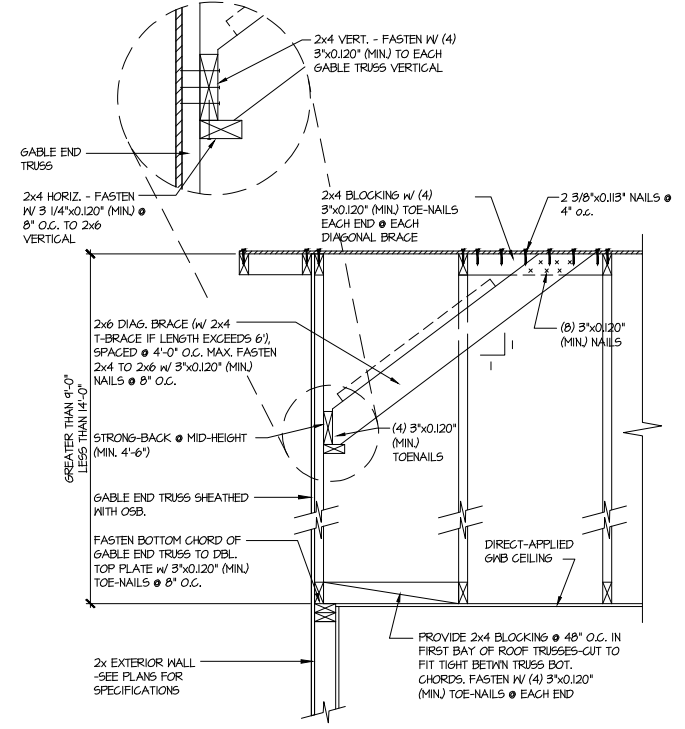


**GARAGE PORTAL FRAME BRACING ELEVATION**  
 SCALE: N.T.S.  
 BOTH SIDES OF GARAGE DOOR  
 115 MPH WIND SPEED (ULT)



**A** TYPICAL GABLE END BRACING DETAIL  
 SCALE: NONE  
 REQ'D • GABLE END TRUSS HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



**B** TYPICAL GABLE END BRACING DETAIL  
 SCALE: NONE  
 REQ'D • GABLE END TRUSS HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

**MULHERN+KULP**  
 RESIDENTIAL STRUCTURAL ENGINEERING  
 3025 Glenwilde Parkway, Suite 105 - Alpharetta, GA 30022  
 770-777-8974 • mulhern+kulp.com  
 NC License # C-3825

Mulhern+Kulp project number:  
 256-21011

project mgr: SMK  
 drawn by: MJF  
 issue date: 02-21-2022

REVISIONS:

date:	initial:
03/04/2022	KMV
08/11/2022	SMM
MIRRORED PLANS ADDED	
UPDATE PER ARCH COMMENTS	

SMITH DOUGLAS  
 HOMES

FRAMING DETAILS  
 BRADLEY MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA

Harrington  
 Lot 9

sheet:  
**SD2.1**





**MULHERN+KULP**  
RESIDENTIAL STRUCTURAL ENGINEERING

3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

July 28, 2023

Jody Hunt  
Director of Product Development  
**SMITH DOUGLAS HOMES**  
110 Village Trail, Suite 215  
Woodstock, GA 30188

## **ALTERNATE GARAGE PORTAL FRAME DETAIL**

### **Smith Douglas Homes**

#### **Reference**

*"Alternate Garage Portal Frame Detail" on sheet PF-120 & PF-130, prepared by Mulhern & Kulp dated 07/28/2023 - attached*

Jody:

Pursuant to your request, we have prepared this letter to address the "Alternate Garage Portal Frame Detail", prepared by Mulhern & Kulp for Smith Douglas Homes.

The "Alternate Garage Portal Frame Detail" on sheet "PF-120" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than or equal to 120mph ultimate wind speed per ASCE 7-16. The "Alternate Garage Portal Frame Detail" on sheet "PF-130" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than or equal to 130mph ultimate wind speed per ASCE 7-16. These details only apply to structural plans that have been designed by Mulhern & Kulp. It is the responsibility of "SDH" to provide the correct "Alternate Garage Portal Frame Detail", to the building department that matches the jurisdiction's wind speed requirements.

**Please feel free to call if you have any questions.**

---

Respectfully,

**MULHERN & KULP STRUCTURAL ENGINEERING, INC.**

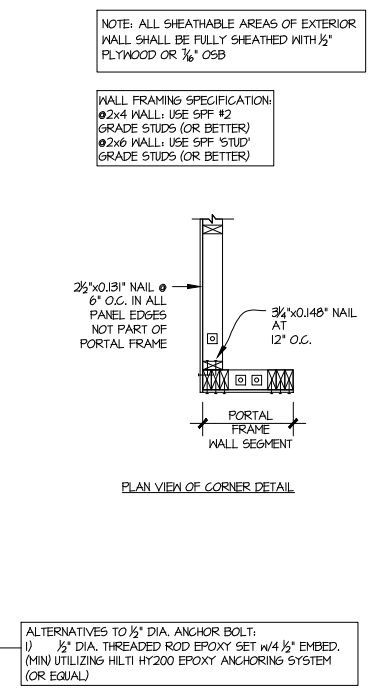
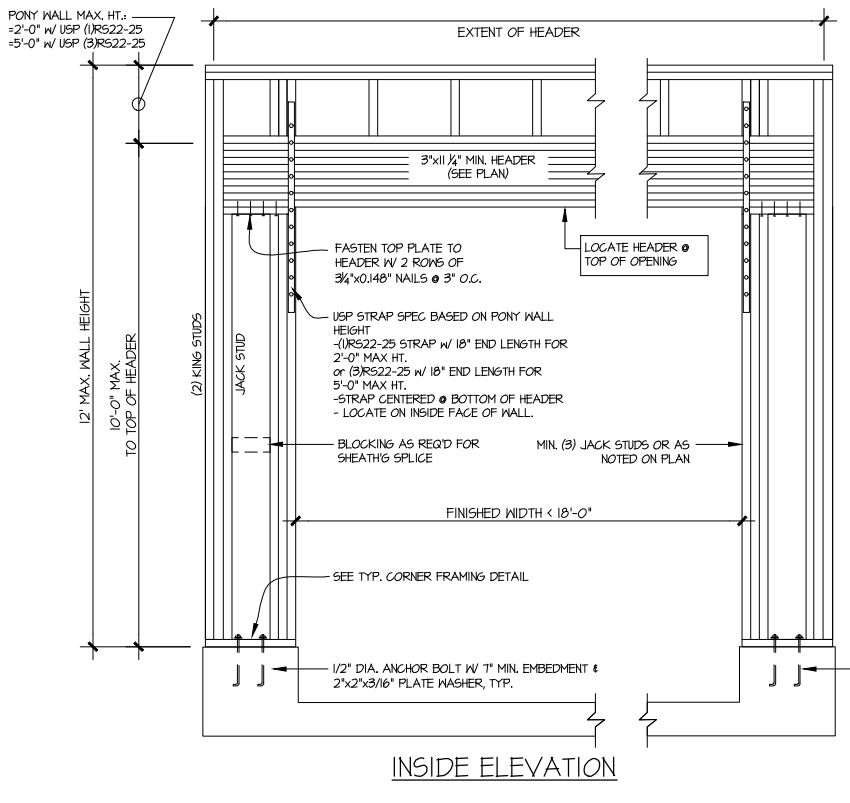
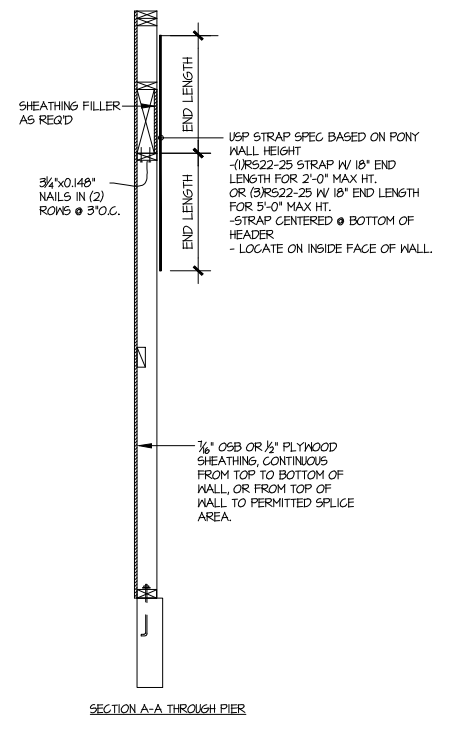
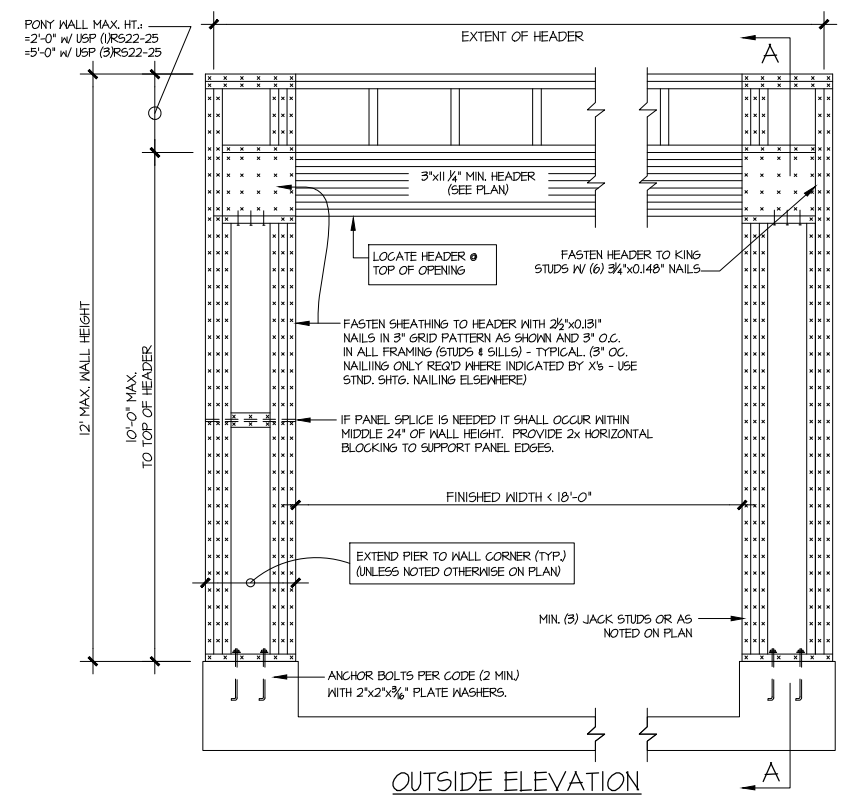
NC License # C-3825

Shaun M. Kreidel, P.E. Project Manager + Atlanta Office Director



Signature + Seal 07/28/2023





**A** ALTERNATE GARAGE PORTAL FRAME BRACING ELEVATION  
SCALE: N.T.S. BOTH SIDES OF GARAGE DOOR  
120 MPH WIND SPEED (ULT)

Harrington  
Lot 9

