

# PRESTON

## ELEVATION A

# WELLERS

## KNOLL

### LOT 40



**INCLUDED OPTIONS:**

- 1st FLOOR**  
**GUEST SUITE W/ FULL BATH**  
**GUEST SHOWER ILO TUB**  
**BOX OAK STAIRS**  
**OPEN STAIR RAIL**  
**GOURMET KITCHEN**  
**GARAGE SERVICE DOOR**
- 2nd FLOOR**  
**OWNERS SPA SHOWER**  
**SECOND SINK @ BATH 2**  
**LAUNDRY SINK**  
**ALTERNATE LOFT W/ FLEX ROOM**

SQUARE FOOTAGE		
	ELEVATION 'A'	
	UNHEATED	HEATED
FIRST FLOOR	0	1189
SECOND FLOOR	0	1656
REAR COVERED PORCH	120	0
FRONT PORCH	53	0
2- CAR GARAGE	436	0
<b>SUBTOTALS</b>	<b>609</b>	<b>2845</b>
<b>TOTAL UNDER ROOF</b>	<b>3454</b>	



REV. #	DESCRIPTION	DATE
3	CHANGED OVERHANG TO 6"	05/15/2023
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2870 - THE PRESTON - LH  
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 Cover Sheet 'A'

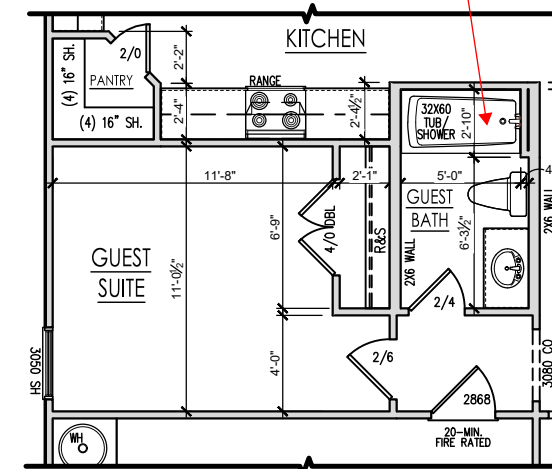
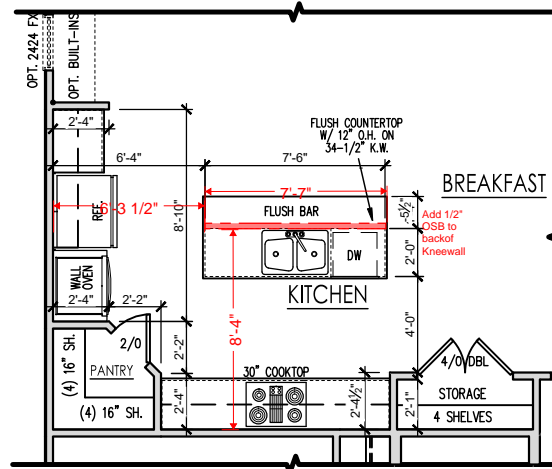
DRAWN BY:  
South Designs  
 ISSUE DATE:  
06/06/2022  
 CURRENT REVISION DATE:  
05/15/2023  
 SCALE:  
1/8" = 1'-0"  
 SHEET  
**0.0a**

**General Floor Plan Notes**

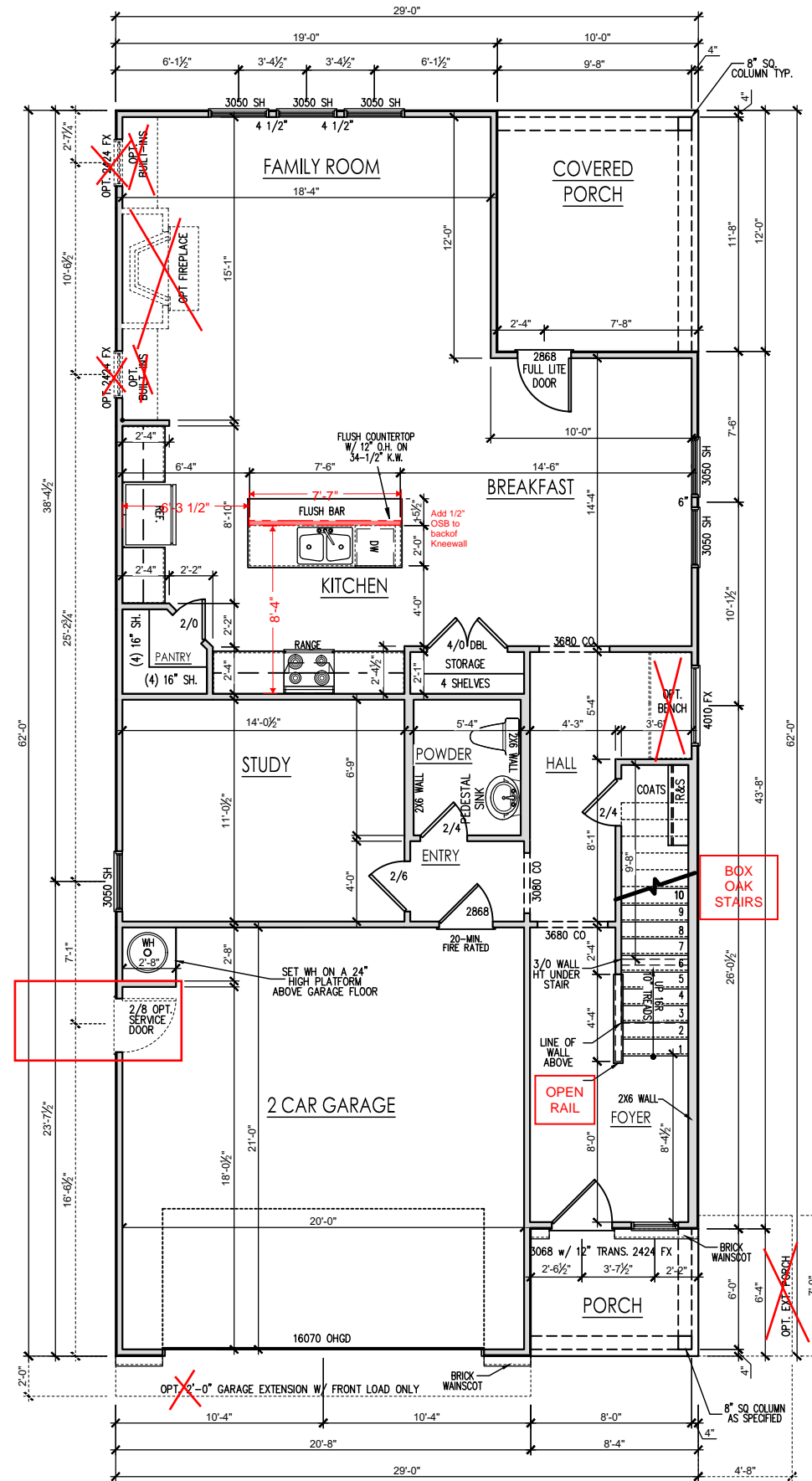
General Floor Plan Notes shall apply unless noted otherwise on plan.

1. Wall Heights: Typically 9'-1 1/2" at first floor and second floor, and 8'-1 1/2" at attics U.N.O. All walls are constructed using a double top plate. Splices at Double Top Plate do not need to occur at Vertical Studs but must be at least 24" apart from Joint in other Top Plate layer. Special wall heights are noted on plans where they occur.
2. Wall Thickness is typically 4" at exterior walls, 3 1/2" at interior. 2x6 frame shall be used at walls that back up to plumbing fixtures. Walls greater than 10' high shall be framed with 2x6 framing or greater and will be noted as a special condition where it occurs on plan.
3. Typical header height shall be 8'-0" AFF at First Floor, and 7'-0" AFF at Second Floor U.N.O.
4. Jacks: Openings up to 3'-4" wide shall have (1) 2x4 jack stud SPF on each side. Openings greater than 3'-4" wide shall have (2) 2x4 jack studs SPF on each side.
5. Soffits, Coffered Ceilings, Trey Ceilings and other significant ceiling plan elements are shown on the floor plans and are denoted as single dashed lines. Unless specifically call out as included, Kitchens do not include soffits over wall cabinetry.
6. Door & Window Frames, where occurring near corners, shall be a minimum of 4 1/2" from corner. Except for walk-in closets with doors near a corner, doors at closets shall be centered on closet.
7. Windows: Shall have at least (1) window in each sleeping room, that meets egress. Shall be provided with tempered glass at hazardous glazing areas. False windows shall be installed with obscure glazing.
8. Closets for clothing or coat storage shall be equipped with 1 rod/shelf (unless otherwise noted). Closets for linen shall have 5 open equal shelves. Closets for pantries shall have 5 equal wood shelves, painted.
9. Stair treads shall be a min of 9" deep, risers shall be a maximum of 8 1/4", unless noted otherwise, per the current North Carolina Residential Code
10. Handrails and Guards at stairs shall be 34" above the finished surface of the ramp surface of the stair. Handrails at landings and overlooks of multilevel spaces shall be 36" above finished floor. Guards (pickets or balusters) shall be spaced with no more than 4" between guards.
11. Attic Access shall be provided at all attic area with a height greater than 30". Minimum clear attic access shall be 20" x 30". Pull down stairs and access doors in knee walls meeting minimum criteria are also acceptable.
12. Garage Door to Living Space shall be 2'-8" x 6'-8" minimum size and shall be 20 minute fire rated and weather sealed.
13. Garage Walls, as a minimum, shall be separated from living space by installing 1/2" gypsum board on the garage side of the wall. With habitable space above, the inside of all garage walls require 1/2" GWB supporting 5/8" type X GWB on ceiling.

# WELLERS KNOLL LOT 40



FG SHOWER PAN  
W/CEILING HEIGHT WALL TILE  
ilo TUB/SHOWER



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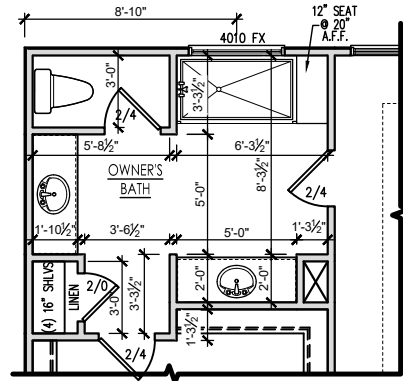
2870 - THE PRESTON - LH  
First Floor Plan 'A'

DRAWN BY:  
South Designs  
ISSUE DATE:  
06/06/2022  
CURRENT REVISION DATE:  
05/15/2023  
SCALE:  
1/8" = 1'-0"  
SHEET  
**2.1a**

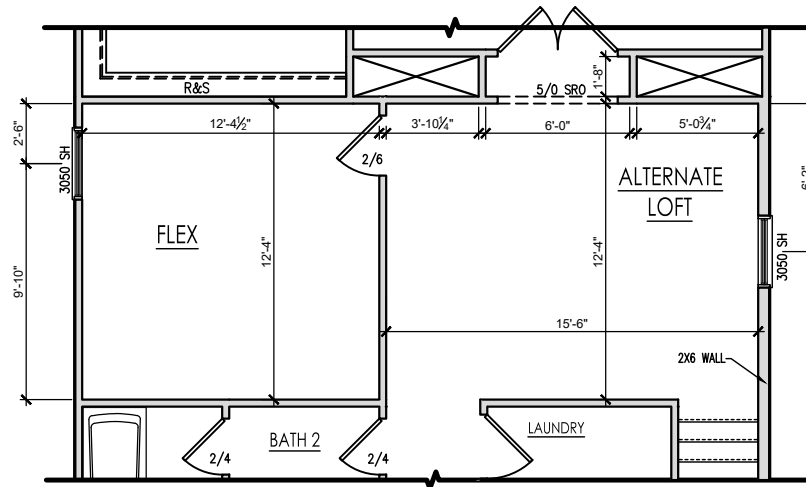
**General Floor Plan Notes**

General Floor Plan Notes shall apply unless noted otherwise on plan.

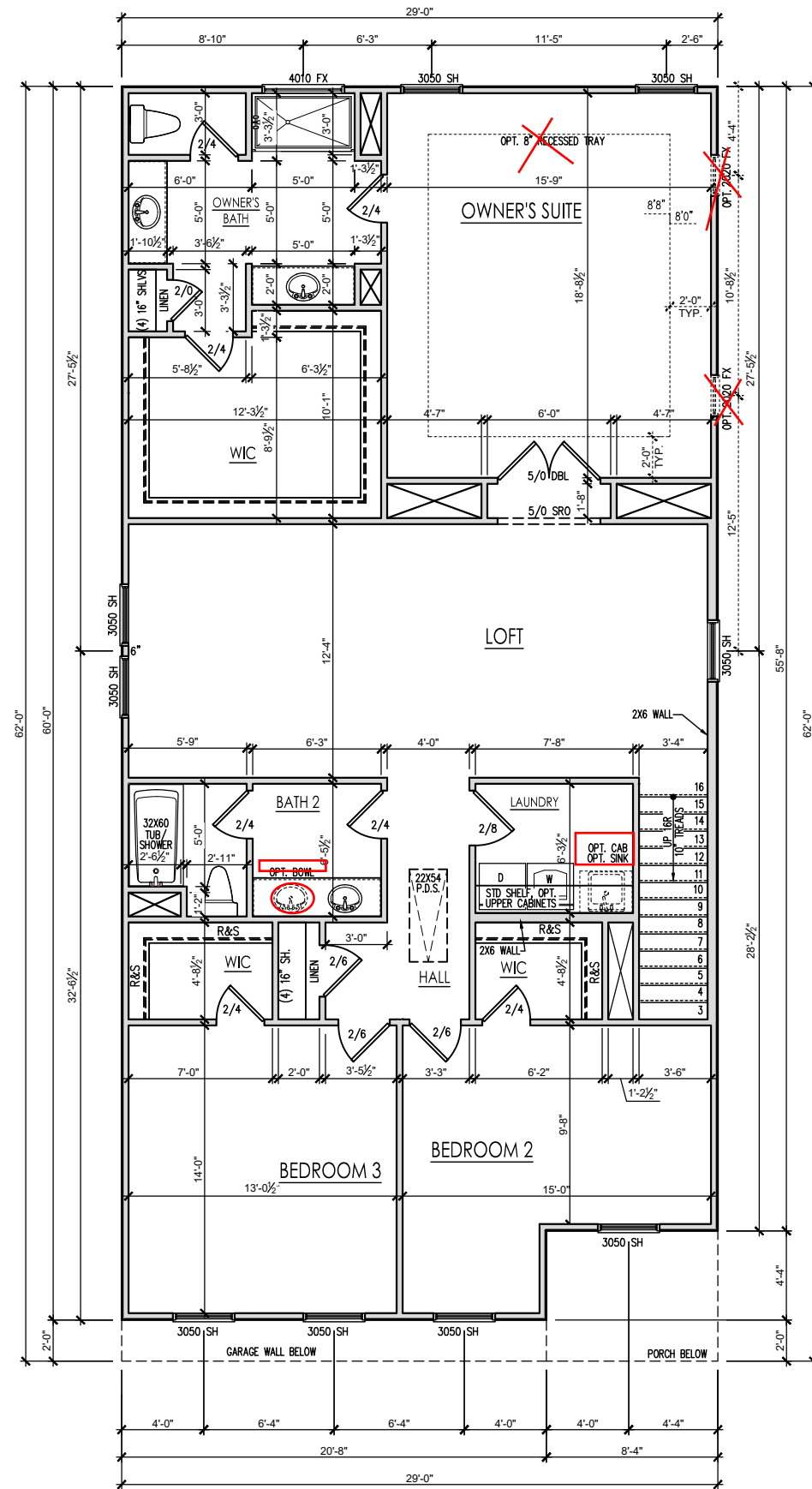
1. Wall Heights: Typically 9'-1 1/2" at first floor and second floor, and 8'-1 1/2" at attics U.N.O. All walls are constructed using a double top plate. Splices at Double Top Plate do not need to occur at Vertical Studs but must be at least 24" apart from Joint in other Top Plate layer. Special wall heights are noted on plans where they occur.
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3. Typical header height shall be 8'-0" AFF at First Floor, and 7'-0" AFF at Second Floor U.N.O.
4. Jacks: Openings up to 3'-4" wide shall have (1) 2x4 jack stud SPF on each side. Openings greater than 3'-4" wide shall have (2) 2x4 jack studs SPF on each side.
5. Soffits, Coffered Ceilings, Tray Ceilings and other significant ceiling plan elements are shown on the floor plans and are denoted as single dashed lines. Unless specifically call out as included, Kitchens do not include soffits over wall cabinetry.
6. Door & Window Frames, where occurring near corners, shall be a minimum of 4 1/2" from corner. Except for walk-in closets with doors near a corner, doors at closets shall be centered on closet.
7. Windows: Shall have at least (1) window in each sleeping room, that meets egress. Shall be provided with tempered glass at hazardous glazing areas. False windows shall be installed with obscure glazing.
8. Closets for clothing or coat storage shall be equipped with 1 rod/shelf (unless otherwise noted). Closets for linen shall have 5 open equal shelves. Closets for pantries shall have 5 equal wood shelves, painted.
9. Stair treads shall be a min of 9" deep, risers shall be a maximum of 8 1/4", unless noted otherwise, per the current North Carolina Residential Code
10. Handrails and Guards of stairs shall be 34" above the finished surface of the ramp surface of the stair. Handrails at landings and overlooks of multilevel spaces shall be 36" above finished floor. Guards (pickets or balusters) shall be spaced with no more than 4" between guards.
11. Attic Access shall be provided at all attic area with a height greater than 30". Minimum clear attic access shall be 20" x 30". Pull down stairs and access doors in knee walls meeting minimum criteria are also acceptable.
12. Garage Door to Living Space shall be 2'-8" x 6'-8" minimum size and shall be 20 minute fire rated and weather sealed.
13. Garage Walls, as a minimum, shall be separated from living space by installing 1/2" gypsum board on the garage side of the wall. With habitable space above, the inside of all garage walls require 1/2" GWB supporting 5/8" type X GWB on ceiling.



**OPT. SPA SHOWER**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**OPT. ALTERNATE LOFT WITH FLEX**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**SECOND FLOOR PLAN 'A'**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

**WELLERS  
KNOLL  
LOT 40**



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3	CHANGED OVERHANG TO 6"	05/15/2023
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2870 - THE PRESTON - LH

Second Floor Plan 'A'

DRAWN BY: South Designs
ISSUE DATE: 06/06/2022
CURRENT REVISION DATE: 05/15/2023
SCALE: 1/8" = 1'-0"
SHEET <b>2.2a</b>

**General Elevation Notes**

General Elevation Notes shall apply unless noted otherwise on plan.

- Roof shall be finished with architectural composition shingles with slopes as noted on plan.
- Ridge Vent shall be provided and installed on all ridges greater than 6' in length per manufacturer's specifications.
- Soffit Vent shall be continuous soffit vent
- House Wrap, "Tyvek" or approved equal shall be installed over entire exterior wall per manufacturer's specifications and recommendations.
- Flashing shall be provided above all door and window openings, above finish wall material changes and at wall surfaces where lower roof areas abut vertical wall surfaces.
- Porch Railings shall be provided at all porch walking surfaces greater than 30" above adjacent finished grade. It shall be 36" high with guards spaced no more than 4" apart. Consult community specifications for material.
- Finish Wall Material shall be as noted on elevation drawings.
- Brick Veneer, if included on elevation shall be tied to wall surface with galvanized corrugated metal ties at a rate of 24" oc horizontally and 16" oc vertically so that no more than 2.67sf of brick is supported by (1) tie. Space between face of wall and back face of brick shall be limited to a maximum of 1". Flashing shall be provided behind brick above all wall openings and at base of brick wall. Flashing shall be a minimum of 6-mil poly or other corrosion resistant material and shall be installed so that it laps under the house wrap material a minimum of 2". Weepholes shall be provided at a rate of 48" oc and shall not be less than 3/16" in diameter and shall be located immediately above flashing.
- Brick Veneer Support Lintels shall be provided if brick veneer is included on elevation. Lintels shall be provided as listed in the following schedule and shall have a minimum bearing length of 6". Masonry Lintels shall be provided so that deflection is limited to 1/600.

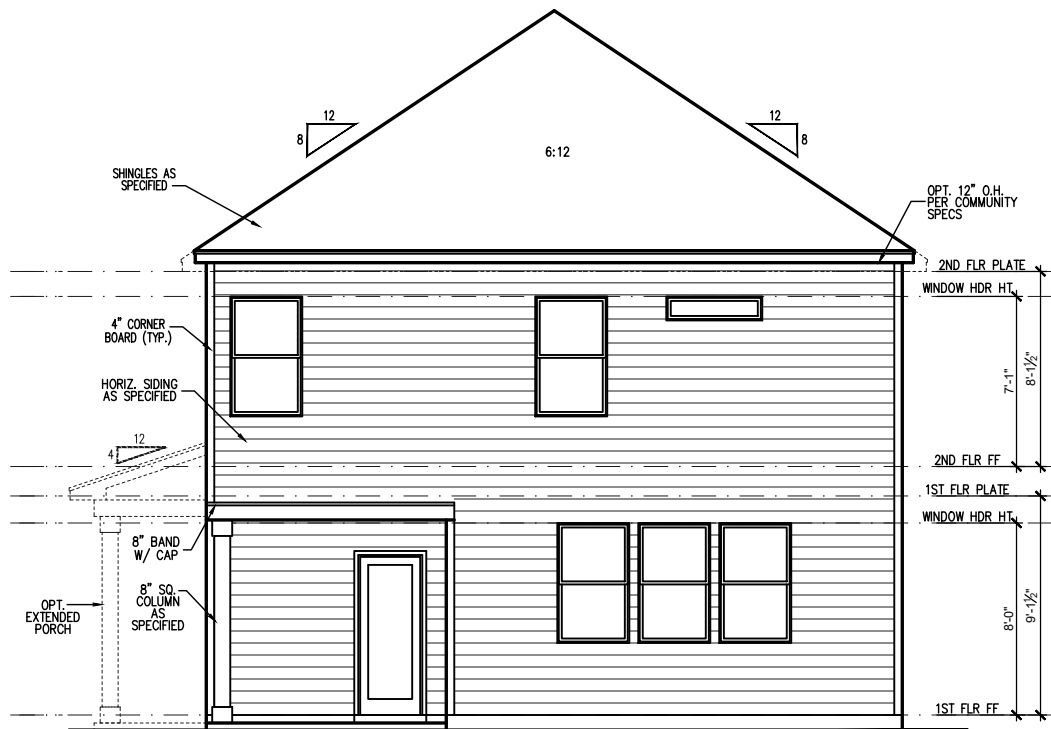
**Masonry Opening Lintel Schedule**

Opening Size	Angle
up to 4'-0"	3-1/2" x 3-1/2" x 5/16"
4'-1" to 5'-6"	4" x 3-1/2" x 5/16" LLV
5'-7" to 6'-6"	5" x 3-1/2" x 5/16" LLV
6'-7" to 8'-4"	6" x 3-1/2" x 5/16" LLV
8'-5" to 16'-4"	7" x 4" x 3/8" LLV



**FRONT ELEVATION 'A' (SLAB)**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**REAR ELEVATION 'A' (SLAB)**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

**WELLERS  
KNOLL  
LOT 40**



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**2870 - THE PRESTON - LH**  
Front and Rear Elevations 'A' (Slab)

DRAWN BY:  
South Designs  
ISSUE DATE:  
06/06/2022  
CURRENT REVISION DATE:  
05/15/2023

SCALE:  
1/8" = 1'-0"

SHEET  
**3.1a**

**General Elevation Notes**

General Elevation Notes shall apply unless noted otherwise on plan.

- Roof shall be finished with architectural composition shingles with slopes as noted on plan.
- Ridge Vent shall be provided and installed on all ridges greater than 6' in length per manufacturer's specifications.
- Soffit Vent shall be continuous soffit vent
- House Wrap, "Tyvek" or approved equal shall be installed over entire exterior wall per manufacturer's specifications and recommendations.
- Flashing shall be provided above all door and window openings, above finish wall material changes and at wall surfaces where lower roof areas abut vertical wall surfaces.
- Porch Railings shall be provided at all porch walking surfaces greater than 30" above adjacent finished grade. It shall be 36" high with guards spaced no more than 4" apart. Consult community specifications for material.
- Finish Wall Material shall be as noted on elevation drawings.
- Brick Veneer, if included on elevation shall be tied to wall surface with galvanized corrugated metal ties at a rate of 24" oc horizontally and 16" oc vertically so that no more than 2.67sf of brick is supported by (1) tie. Space between face of wall and back face of brick shall be limited to a maximum of 1". Flashing shall be provided behind brick above all wall openings and at base of brick wall. Flashing shall be a minimum of 6-mil poly or other corrosion resistant material and shall be installed so that it laps under the house wrap material a minimum of 2". Weepholes shall be provided at a rate of 48" oc and shall not be less than 3/16" in diameter and shall be located immediately above flashing.
- Brick Veneer Support Lintels shall be provided if brick veneer is included on elevation. Lintels shall be provided as listed in the following schedule and shall have a minimum bearing length of 6". Masonry Lintels shall be provided so that deflection is limited to 1/600.

**Masonry Opening Lintel Schedule**

Opening Size	Angle
up to 4'-0"	3-1/2" x 3-1/2" x 5/16"
4'-1" to 5'-6"	4" x 3-1/2" x 5/16" LLV
5'-7" to 6'-6"	5" x 3-1/2" x 5/16" LLV
6'-7" to 8'-4"	6" x 3-1/2" x 5/16" LLV
8'-5" to 16'-4"	7" x 4" x 3/8" LLV

# WELLERS KNOLL LOT 40



**LEFT SIDE ELEVATION 'A' (SLAB)**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**RIGHT SIDE ELEVATION 'A' (SLAB)**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



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2870 - THE PRESTON - LH

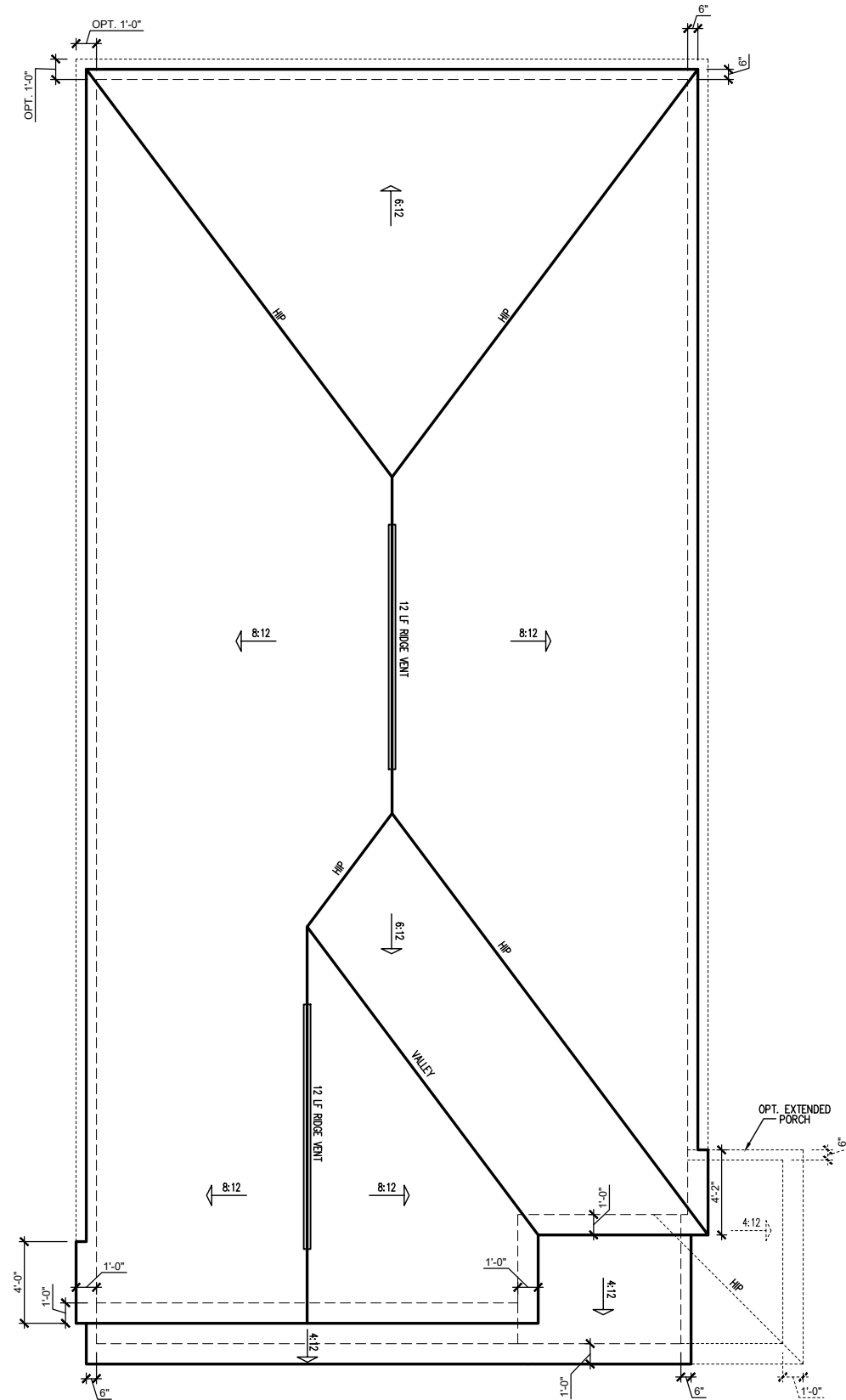
Side Elevations 'A' (Slab)

DRAWN BY:  
South Designs  
ISSUE DATE:  
06/06/2022  
CURRENT REVISION DATE:  
05/15/2023

SCALE:  
1/8" = 1'-0"

SHEET  
**3.2a**

# WELLERS KNOLL LOT 40



**ELEVATION 'A' ROOF PLAN**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

ATTIC VENT SCHEDULE								
ELEVATION 'A'								
MAIN HOUSE		SQ FTG	1707	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. FT. EACH)	POT SMALL (SQ. FT. EACH)	RIDGE VENT (SQ. FT. PER LF)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. PER LF)
				0.4236	0.2778	0.125	0.1944	0.0625
RIDGE VENT	2.28 - 2.85	3.00	50.00	0	0	24.00		
SOFFIT VENTS	3.41 - 2.85	3.00	50.00				0	48.00
TOTAL (MIN)	5.69 - 5.69	6.00	100.00	POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE				

\* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION



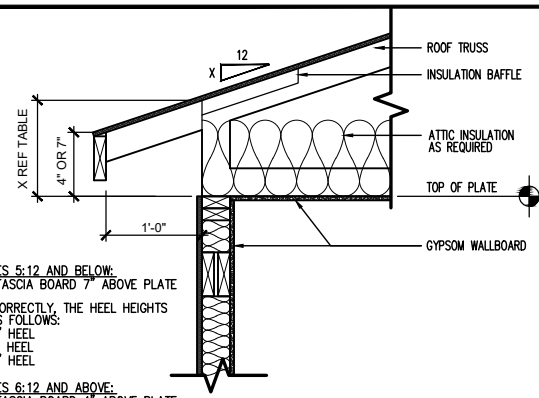
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3	CHANGED OVERHANG TO 6"	05/15/2023
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2870 - THE PRESTON - LH

Roof Plan 'A'

DRAWN BY:  
South Designs  
ISSUE DATE:  
06/06/2022  
CURRENT REVISION DATE:  
05/15/2023  
SCALE:  
1/8" = 1'-0"

SHEET  
3.5a

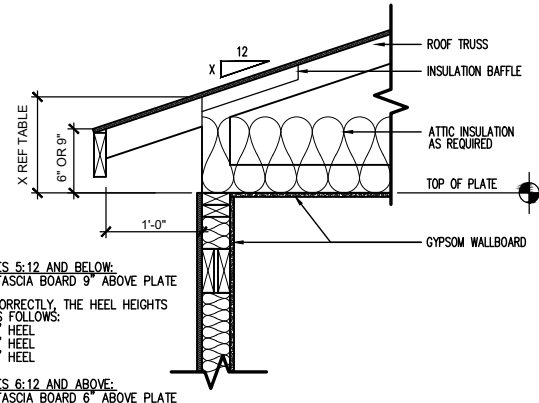


FOR ROOF PITCHES 5:12 AND BELOW:  
 -SHOW TOP OF FASCIA BOARD 7" ABOVE PLATE HEIGHT.  
 -WHEN DRAWN CORRECTLY, THE HEEL HEIGHTS WILL MEASURE AS FOLLOWS:  
 3:12 = 10" HEEL  
 4:12 = 11" HEEL  
 5:12 = 12" HEEL

FOR ROOF PITCHES 6:12 AND ABOVE:  
 -SHOW TOP OF FASCIA BOARD 4" ABOVE PLATE HEIGHT.  
 -WHEN DRAWN CORRECTLY, THE HEEL HEIGHTS WILL MEASURE AS FOLLOWS:  
 6:12 = 10" HEEL  
 7:12 = 11" HEEL  
 8:12 = 12" HEEL  
 9:12 = 13" HEEL  
 10:12 = 14" HEEL

IMPORTANT REMINDER: THE LOWEST PITCH ROOF ALWAYS MANDATES THE CONDITION. FOR EXAMPLE, A ROOF WITH A 4:12 PITCH AND A 6:12 PITCH WOULD FOLLOW THE 7" ABOVE PLATE HEIGHT RULE. THE HEEL FOR THE 6:12 ROOF IN THIS CONDITION WILL DIFFER FROM WHAT IS LISTED HERE.

**ENERGY HEEL DETAIL: CZ 2 & 3**  
 SCALE: 1" = 1'-0" ON 22x34, 1/2" = 1'-0" ON 11x17

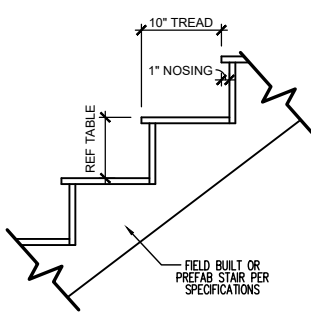


FOR ROOF PITCHES 5:12 AND BELOW:  
 -SHOW TOP OF FASCIA BOARD 9" ABOVE PLATE HEIGHT.  
 -WHEN DRAWN CORRECTLY, THE HEEL HEIGHTS WILL MEASURE AS FOLLOWS:  
 3:12 = 12" HEEL  
 4:12 = 13" HEEL  
 5:12 = 14" HEEL

FOR ROOF PITCHES 6:12 AND ABOVE:  
 -SHOW TOP OF FASCIA BOARD 6" ABOVE PLATE HEIGHT.  
 -WHEN DRAWN CORRECTLY, THE HEEL HEIGHTS WILL MEASURE AS FOLLOWS:  
 6:12 = 12" HEEL  
 7:12 = 13" HEEL  
 8:12 = 14" HEEL  
 9:12 = 15" HEEL  
 10:12 = 16" HEEL

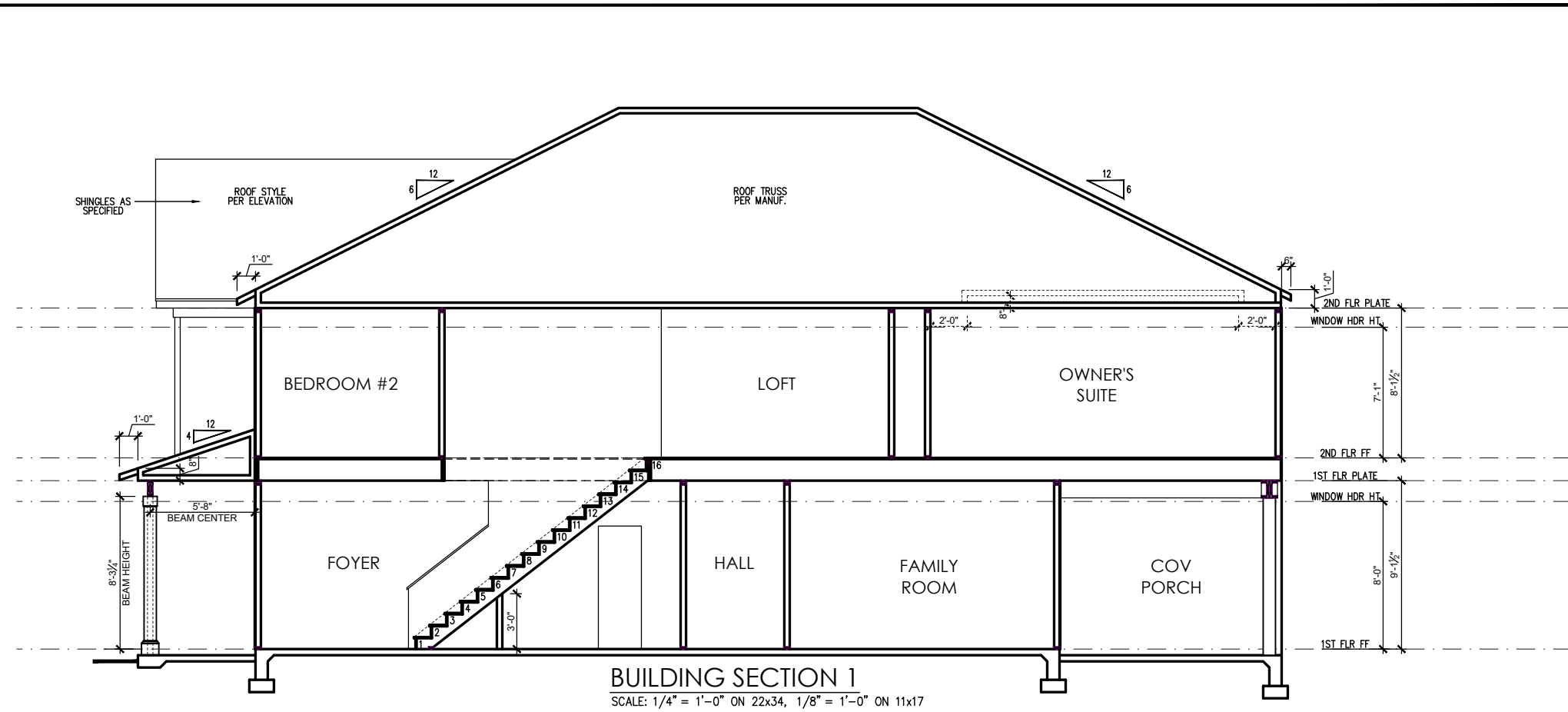
IMPORTANT REMINDER: THE LOWEST PITCH ROOF ALWAYS MANDATES THE CONDITION. FOR EXAMPLE, A ROOF WITH A 4:12 PITCH AND A 6:12 PITCH WOULD FOLLOW THE 9" ABOVE PLATE HEIGHT RULE. THE HEEL FOR THE 6:12 ROOF IN THIS CONDITION WILL DIFFER FROM WHAT IS LISTED HERE.

**ENERGY HEEL DETAIL: CZ 4 & 5**  
 SCALE: 1" = 1'-0" ON 22x34, 1/2" = 1'-0" ON 11x17

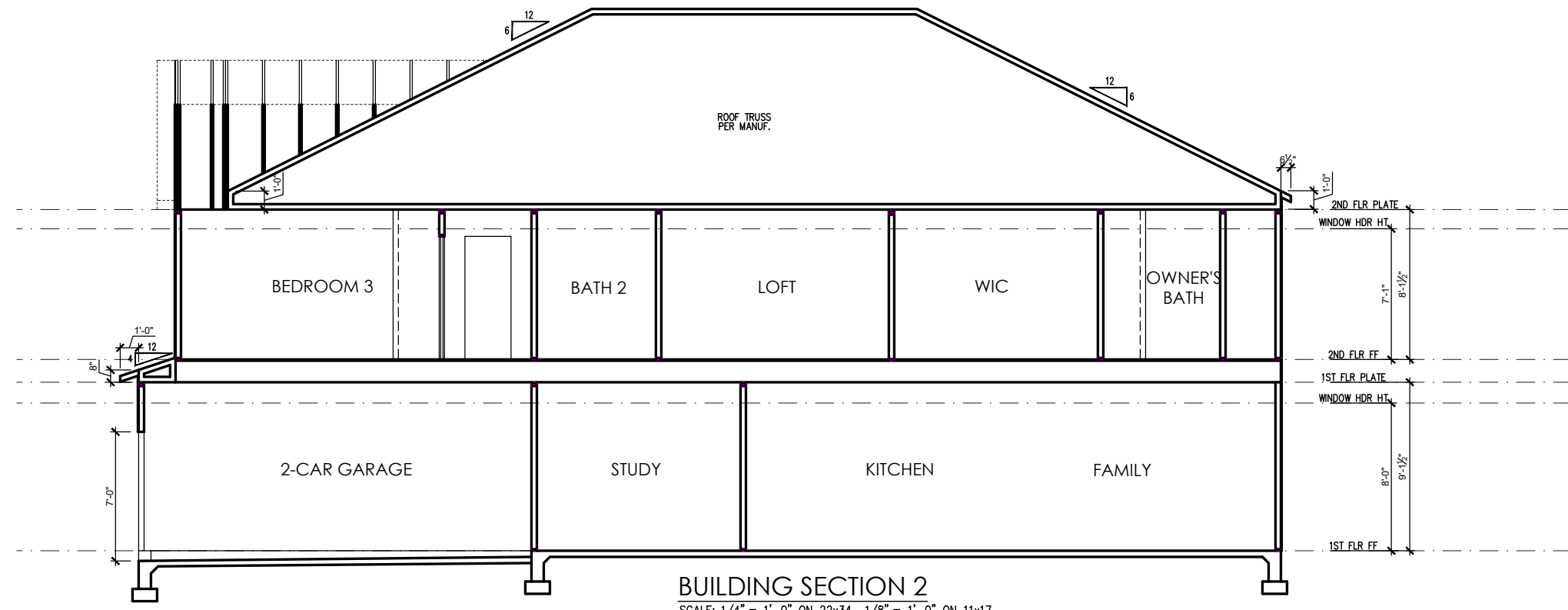


RISER HEIGHTS PER STAIR CONFIGURATION			
PLATE HEIGHT	10" FLOOR SYSTEM	14" FLOOR SYSTEM	16" FLOOR SYSTEM
8'-1 1/2"	14 RISERS @ 7 11/16"	15 RISERS @ 7 1/2"	15 RISERS @ 7 5/8"
9'-1 1/2"	16 RISERS @ 7 1/2"	16 RISERS @ 7 3/4"	17 RISERS @ 7 7/16"
10'-1 1/2"	17 RISERS @ 7 3/4"	18 RISERS @ 7 9/16"	18 RISERS @ 7 11/16"

**TYPICAL STAIR DETAIL**  
 SCALE: 1" = 1'-0" ON 22x34, 1/2" = 1'-0" ON 11x17



**BUILDING SECTION 1**  
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**BUILDING SECTION 2**  
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



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3	05/15/2023	CHANGED OVERHANG TO 6"
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**2870 - THE PRESTON - LH**  
 Building Sections

DRAWN BY:  
 South Designs  
 ISSUE DATE:  
 06/06/2022  
 CURRENT REVISION DATE:  
 05/15/2023  
 SCALE:  
 1/8" = 1'-0"  
 SHEET  
**4.0**

**ELECTRICAL SYMBOL KEY**

LIGHT FIXTURES	
	CEILING SURFACE MOUNT LIGHT
	RECESSED CAN LIGHT
	RECESSED CAN LIGHT WATERPROOF
	RECESSED CAN - EYEBALL
	PENDANT LIGHTING
	WALL SCONCE
	WALL MOUNT LIGHT
	FLOOD LIGHT
OUTLETS	
	DUPLEX OUTLET
	GFI OUTLET
	WATERPROOF GFI OUTLET
	SWITCHED 1/2 HOT DUPLEX OUTLET
	220V OUTLET
	TELEPHONE OUTLET
	CATV (TELEVISION) OUTLET
	UNDER-COUNTER OR CONCEALED OUTLETS
	CEILING MOUNTED DUP. OUTLET
	FLOOR MOUNTED DUP. OUTLET
SWITCHES	
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	ELECTRICAL DISCONNECT
MISC FIXTURES	
	EXHAUST FAN
	JUNCTION BOX
	JUNCTION BOX 220V
	CARBON MONOXIDE DETECTOR OR SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR AND SMOKE DETECTOR
	ELECTRIC METER
	ELECTRICAL PANEL
	DOOR BELL CHIME
	DOOR BELL PUSH BUTTON
	CEILING FAN PREWIRE
	FLUORESCENT LIGHT

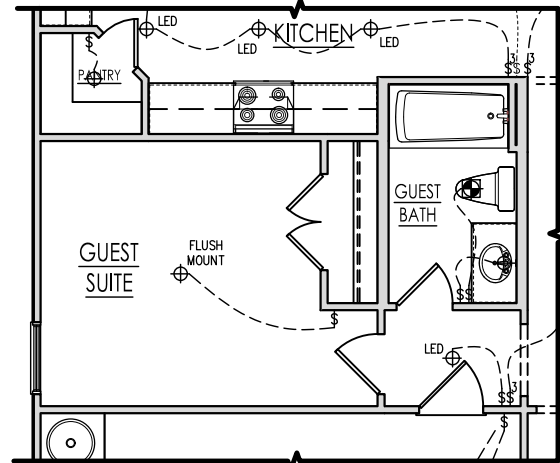
**General Power and Lighting:**

General Power and Lighting Notes shall apply unless noted otherwise on plans.

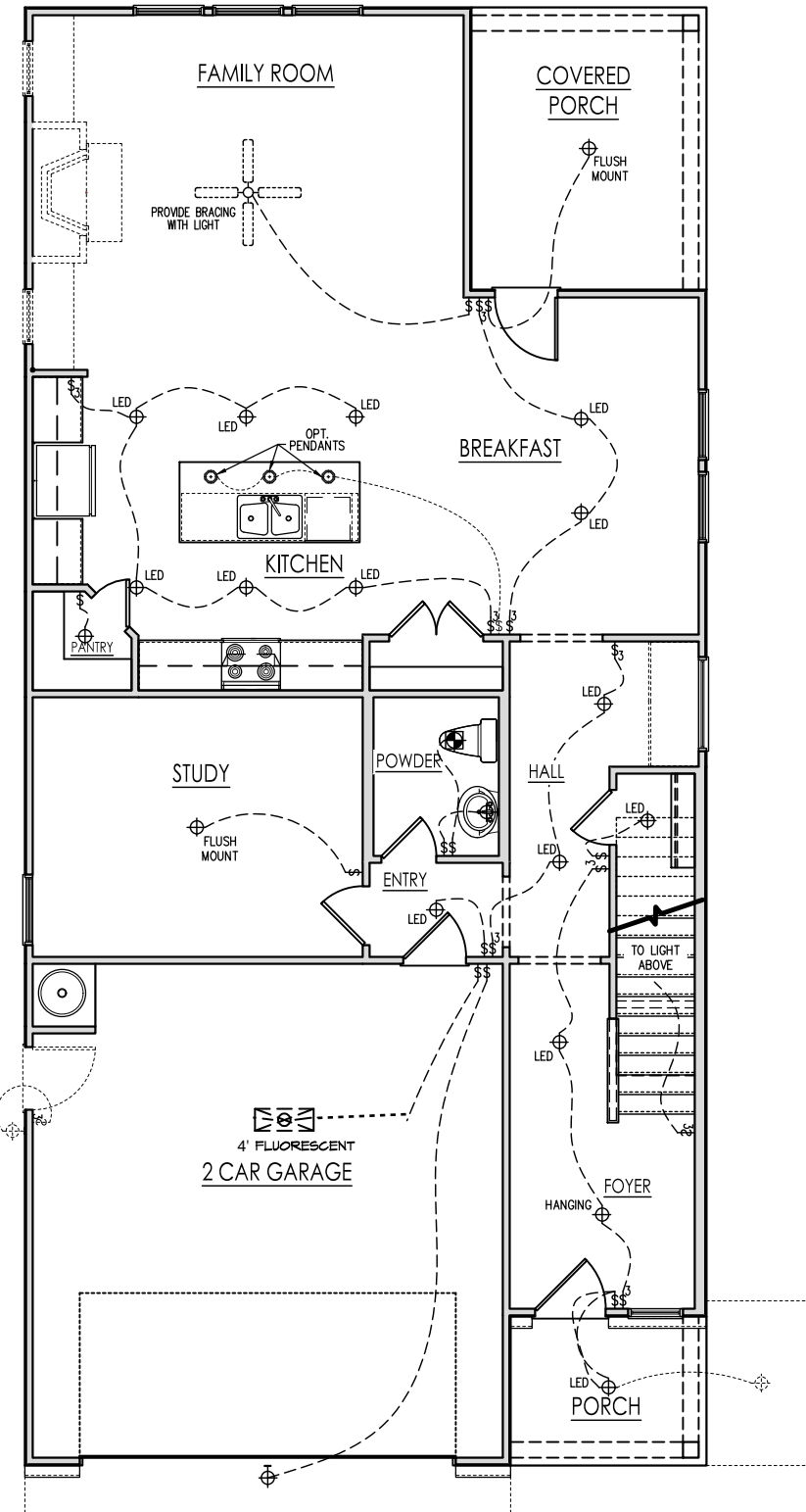
All work shall be installed per the current NC Residential Building Code, and the National Electric Code. Alarm devices shall meet NFPA 72.

- Smoke Alarms - Shall be provided as a minimum of (1) per floor, including basements (if applicable), (1) in each sleep room, and (1) outside each sleeping area, within the immediate vicinity of sleeping rooms. When more than one alarm is required, the alarm devices shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms. Smoke alarms shall be hard wired to permanent power and shall have battery back-ups.
- Switches - For lighting, fans, etc. shall be installed at heights illustrated on this page and shall be located a minimum of 4 1/2" from door openings to allow for the proper installation of door casings. Switches, thermostats, security pads, and other similar devices shall be grouped together and installed thoughtfully for convenience of use and to avoid placement within centers of wall areas.

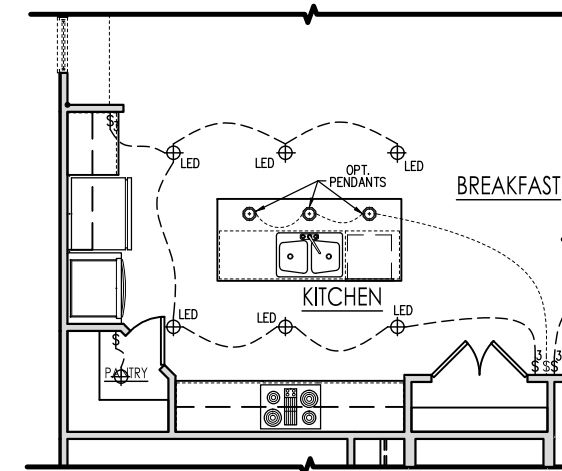
Note:  
This plan is a diagram showing approximate locations of convenience outlets based on requirements found in the NC Residential Code and N.E.C. Actual positions may vary from what is shown on plan.



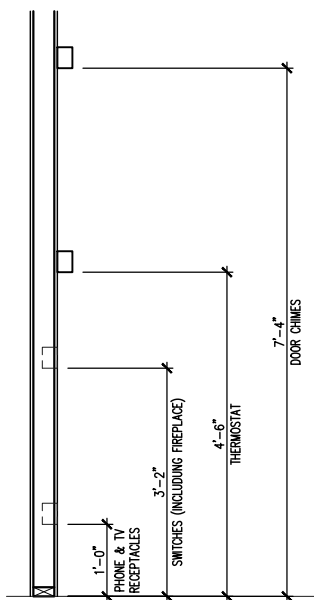
**OPT. GUEST SUITE**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**FIRST FLOOR ELECTRICAL PLAN 'A'**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**OPT. GOURMET KITCHEN**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**ELECTRICAL BOX HEIGHTS**

**WELLERS  
KNOLL  
LOT 40**



REV. #	DESCRIPTION	DATE
3	CHANGED OVERHANG TO 6"	05/15/2023
4		
5		
6		
7		
8		
9		
10		

2870 - THE PRESTON - LH

First Floor Electrical 'A'

DRAWN BY:  
South Designs

ISSUE DATE:  
06/06/2022

CURRENT REVISION DATE:  
05/15/2023

SCALE:  
1/8" = 1'-0"

SHEET  
**5.1a**



ELECTRICAL SYMBOL KEY	
<b>LIGHT FIXTURES</b>	
	CEILING SURFACE MOUNT LIGHT
	RECESSED CAN LIGHT
	RECESSED CAN LIGHT WATERPROOF
	RECESSED CAN - EYEBALL
	PENDANT LIGHTING
	WALL SCONCE
	WALL MOUNT LIGHT
	FLOOD LIGHT
<b>OUTLETS</b>	
	DUPLEX OUTLET
	GFI OUTLET
	WATERPROOF GFI OUTLET
	SWITCHED 1/2 HOT DUPLEX OUTLET
	220V OUTLET
	TELEPHONE OUTLET
	CATV (TELEVISION) OUTLET
	UNDER-COUNTER OR CONCEALED OUTLETS
	CEILING MOUNTED DUP. OUTLET
	FLOOR MOUNTED DUP. OUTLET
<b>SWITCHES</b>	
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	ELECTRICAL DISCONNECT
<b>MISC FIXTURES</b>	
	EXHAUST FAN
	JUNCTION BOX
	JUNCTION BOX 220V
	CARBON MONOXIDE DETECTOR OR SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR AND SMOKE DETECTOR
	ELECTRIC METER
	ELECTRICAL PANEL
	DOOR BELL CHIME
	DOOR BELL PUSH BUTTON
	CEILING FAN PREWIRE
	FLUORESCENT LIGHT

**General Power and Lighting:**

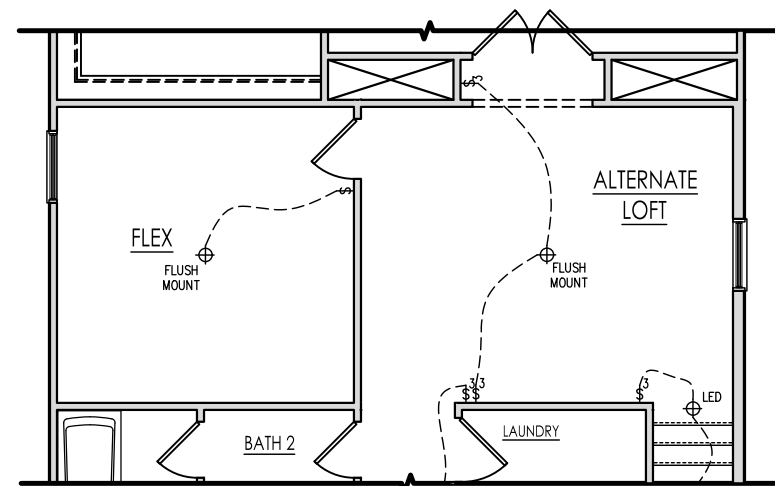
General Power and Lighting Notes shall apply unless noted otherwise on plans.

All work shall be installed per the current NC Residential Building Code, and the National Electric Code. Alarm devices shall meet NFPA 72.

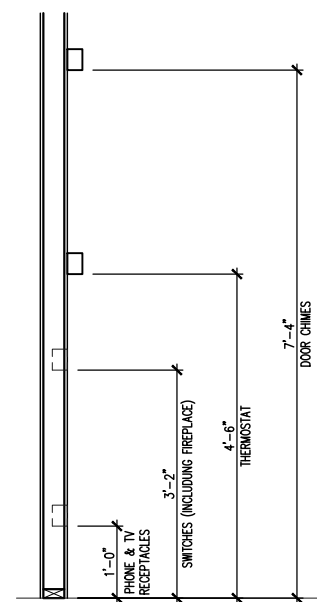
- Smoke Alarms - Shall be provided as a minimum of (1) per floor, including basements (if applicable), (1) in each sleep room, and (1) outside each sleeping area, within the immediate vicinity of sleeping rooms. When more than one alarm is required, the alarm devices shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms. Smoke alarms shall be hard wired to permanent power and shall have batter back-ups.
- Switches - For lighting, fans, etc. shall be installed at heights illustrated on this page and shall be located a minimum of 4 1/2" from door openings to allow for the proper installation of door casings. Switches, thermostats, security pads, and other similar devices shall be grouped together and installed thoughtfully for convenience of use and to avoid placement within centers of wall areas.

Note:  
This plan is a diagram showing approximate locations of convenience outlets based on requirements found in the NC Residential Code and N.E.C. Actual positions may vary from what is shown on plan.

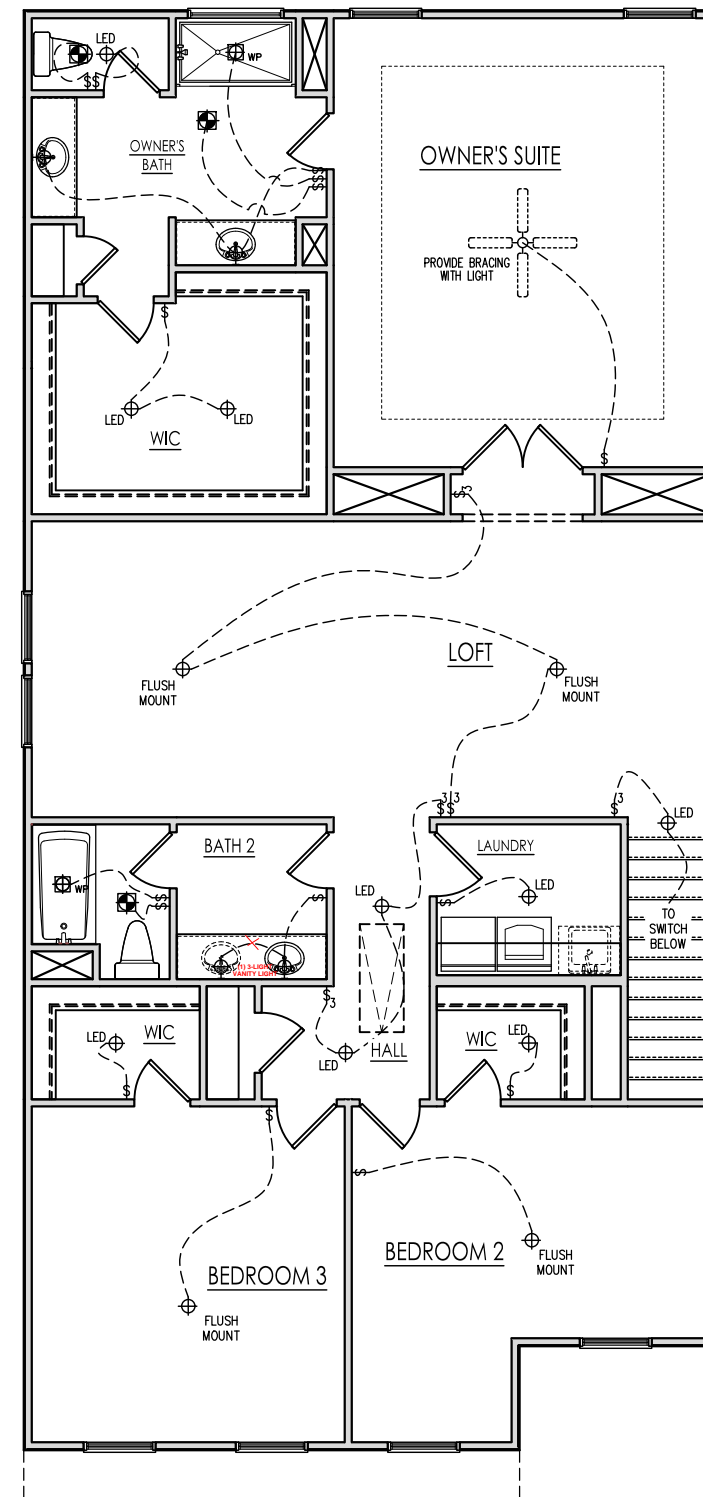
# WELLERS KNOLL LOT 40



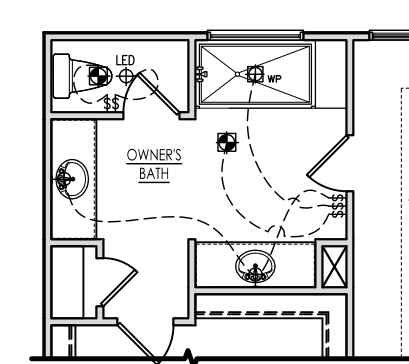
OPT. ALTERNATE LOFT WITH FLEX  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



ELECTRICAL BOX HEIGHTS



SECOND FLOOR ELECTRICAL PLAN 'A'  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



OPT. SPA SHOWER  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

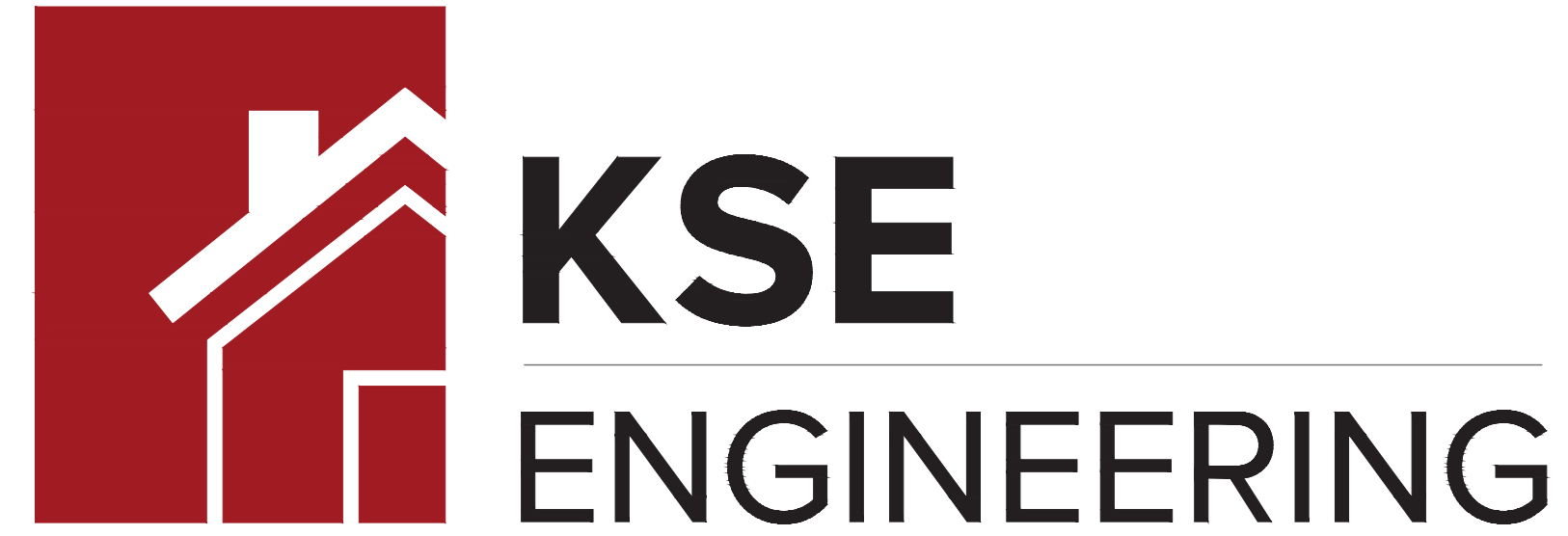


REV. #	DATE	DESCRIPTION
3	05/15/2023	CHANGED OVERHANG TO 6"
4		
5		
6		
7		
8		
9		
10		

2870 - THE PRESTON - LH  
-----  
Second Floor Electrical 'A'

DRAWN BY: South Designs
ISSUE DATE: 06/06/2022
CURRENT REVISION DATE: 05/15/2023
SCALE: 1/8" = 1'-0"
SHEET 5.2a

**WELLERS  
KNOLL  
LOT 40**



1900 AM DRIVE, SUITE 201, QUAKERTOWN, PA 18951  
www.kse-eng.com (215) 804-4449

**2870 THE PRESTON  
LH  
RALEIGH, NORTH CAROLINA**

THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. THIS COORDINATION IS NOT THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER OF RECORD (SER). SHOULD ANY DISCREPANCIES BECOME APPARENT, THE CONTRACTOR SHALL NOTIFY KSE ENGINEERING, P.C. BEFORE CONSTRUCTION BEGINS. IT IS THE INTENT OF THE ENGINEER LISTED ON THESE DOCUMENTS THAT THESE DOCUMENTS BE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL OF THE INFORMATION CONTAINED IN THESE DOCUMENTS PRIOR TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN THESE DOCUMENTS.

DESIGN SPECIFICATIONS:

DESIGN BUILDING CODE (REFERRED TO HEREIN AS 'THE BUILDING CODE'):  

- 2018 NORTH CAROLINA RESIDENTIAL CODE, WALL BRACING PER INTERNATIONAL RESIDENTIAL CODE 2015 EDITION.

DESIGN LIVE LOADS:  

- ROOF = 20 PSF (LOAD DURATION FACTOR=1.25)
- UNINHABITABLE ATTICS WITH LIMITED STORAGE = 20 PSF (WHERE SPECIFIED ON PLANS)
- HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS = 30 PSF
- FLOOR = 40 PSF
- FLOOR (SLEEPING AREAS) = 30 PSF
- DECK/BALCONY = 40 PSF
- STAIRS = 40 PSF

DESIGN DEAD LOADS:  

- ROOF TRUSS = 17 PSF (TC=7, BC=10)
- FLOOR TRUSS = 15 PSF (TC=10, BC=5)
- FLOOR JOIST = 10 PSF
- STANDARD BRICK = 40 PSF
- QUEEN ANNE BRICK = 25 PSF

\*NOTE: STRUCTURAL FRAMING HAS NOT BEEN DESIGNED FOR TILE, GRANITE, MARBLE OR OTHER MATERIALS HEAVIER THAN THE ABOVE LOADING UNLESS SPECIFICALLY NOTED ON PLANS.\*

DESIGN WIND LOADS:  

- ULTIMATE WIND SPEED = 120 MPH
- EXPOSURE CATEGORY = B

ASSUMED SOIL BEARING CAPACITY = 2000 PSF

ASSUMED LATERAL SOIL PRESSURE = 45 PCF

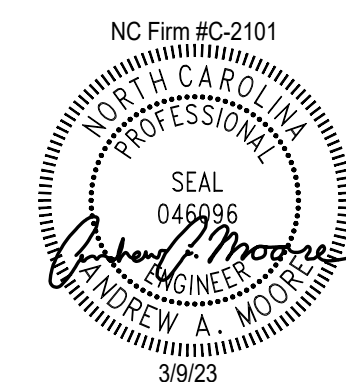
FROST DEPTH = 12" MINIMUM

SEISMIC DESIGN CATEGORY = B

ENGINEERED LUMBER SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:

- TJI 210 SERIES (SERIES AND SPACING PER PLANS)
- LSL: E=1,550,000 PSI, F<sub>b</sub>=2,325 PSI, F<sub>v</sub>=310 PSI, F<sub>c</sub>=900 PSI
- LVL: E=2,000,000 PSI, F<sub>b</sub>=2,600 PSI, F<sub>v</sub>=285 PSI, F<sub>c</sub>=750 PSI
- PSL: E=2,100,000 PSI, F<sub>b</sub>=2,900 PSI, F<sub>v</sub>=290 PSI, F<sub>c</sub>=625 PSI

THIS PLAN HAS BEEN DESIGNED PER THE 2018 EDITION OF THE NC RESIDENTIAL CODE. WHERE FRAMING, FOUNDATION, OR OTHER STRUCTURAL ITEMS DO NOT COMPLY WITH THE PRESCRIPTIVE METHODS OF THE CODE, THOSE ITEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE PER NCRS R301.1.3.



Cover Sheet

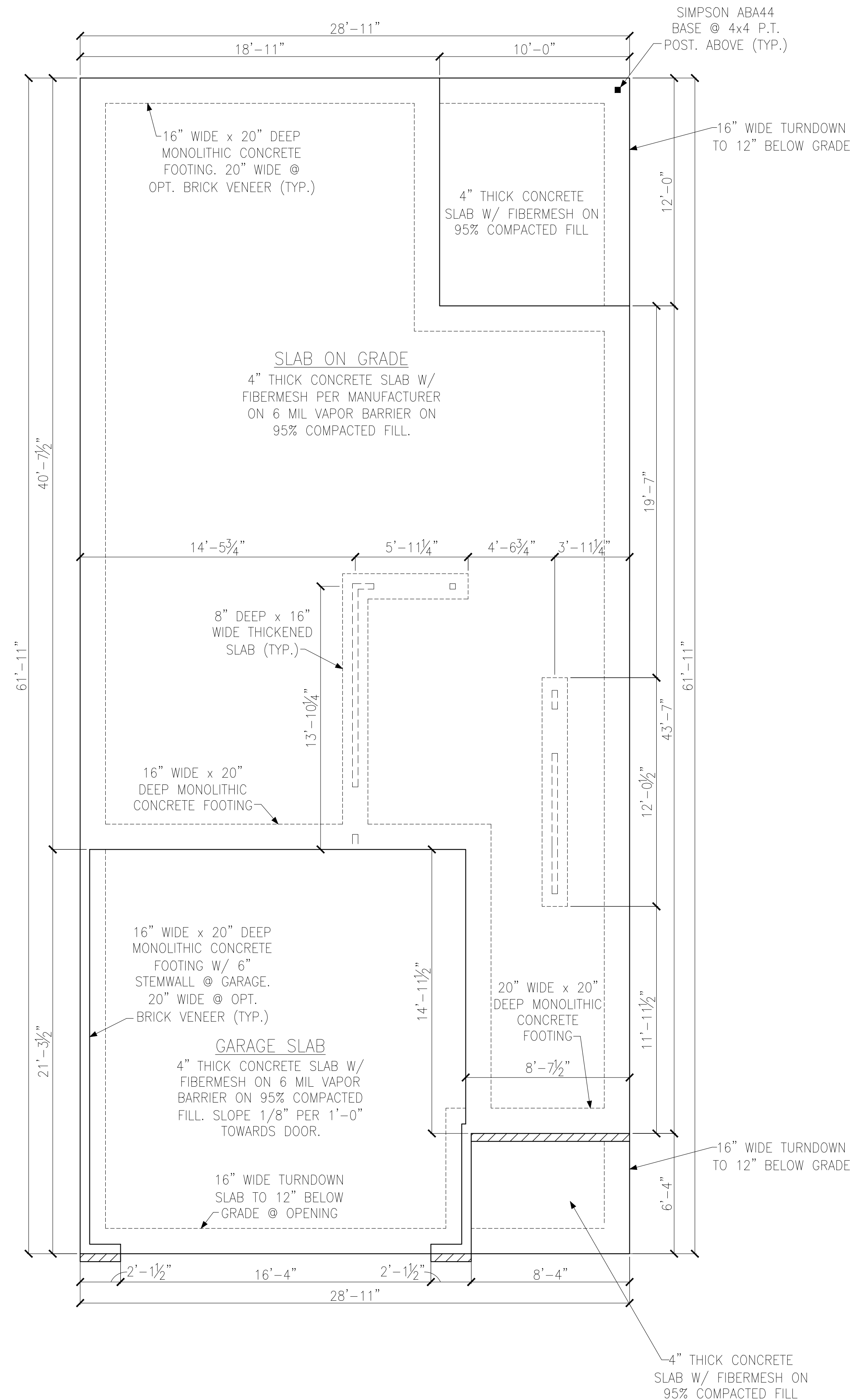
2870 The Preston Model - LH  
Up to 120 M.P.H.  
Raleigh, North Carolina

Project #:	214-22005
Designed By:	AAM
Checked By:	KRK
Issue Date:	7/12/22
Re-Issue:	3/9/23
Scale:	1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

S-0



# WELLERS KNOLL LOT 40

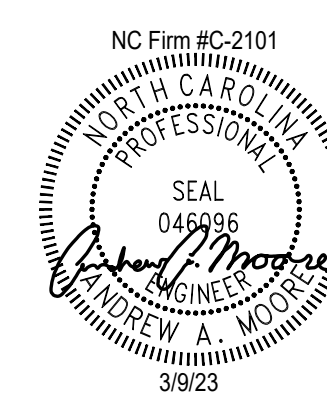


MONOLITHIC SLAB FOUNDATION PLAN  
ELEVATION 'A'

**LEGEND**

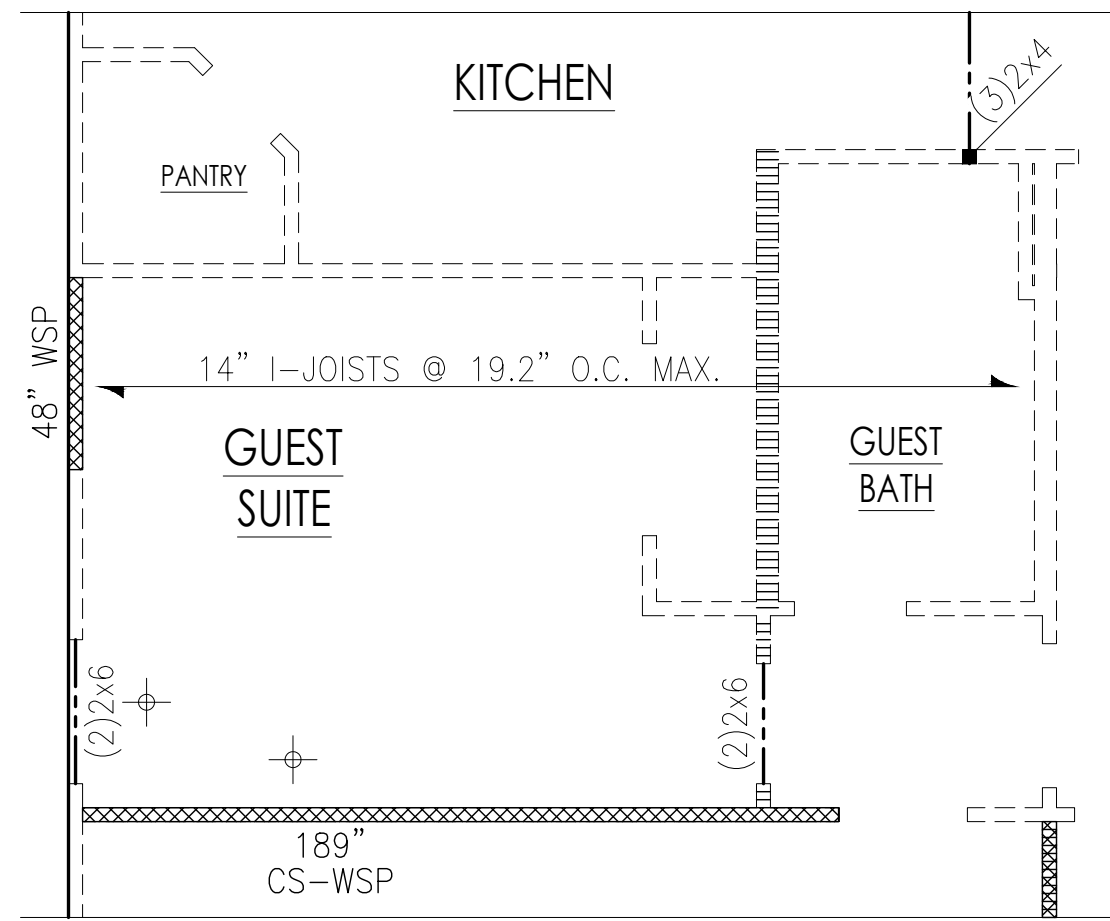
- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
- 48" WSP

REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

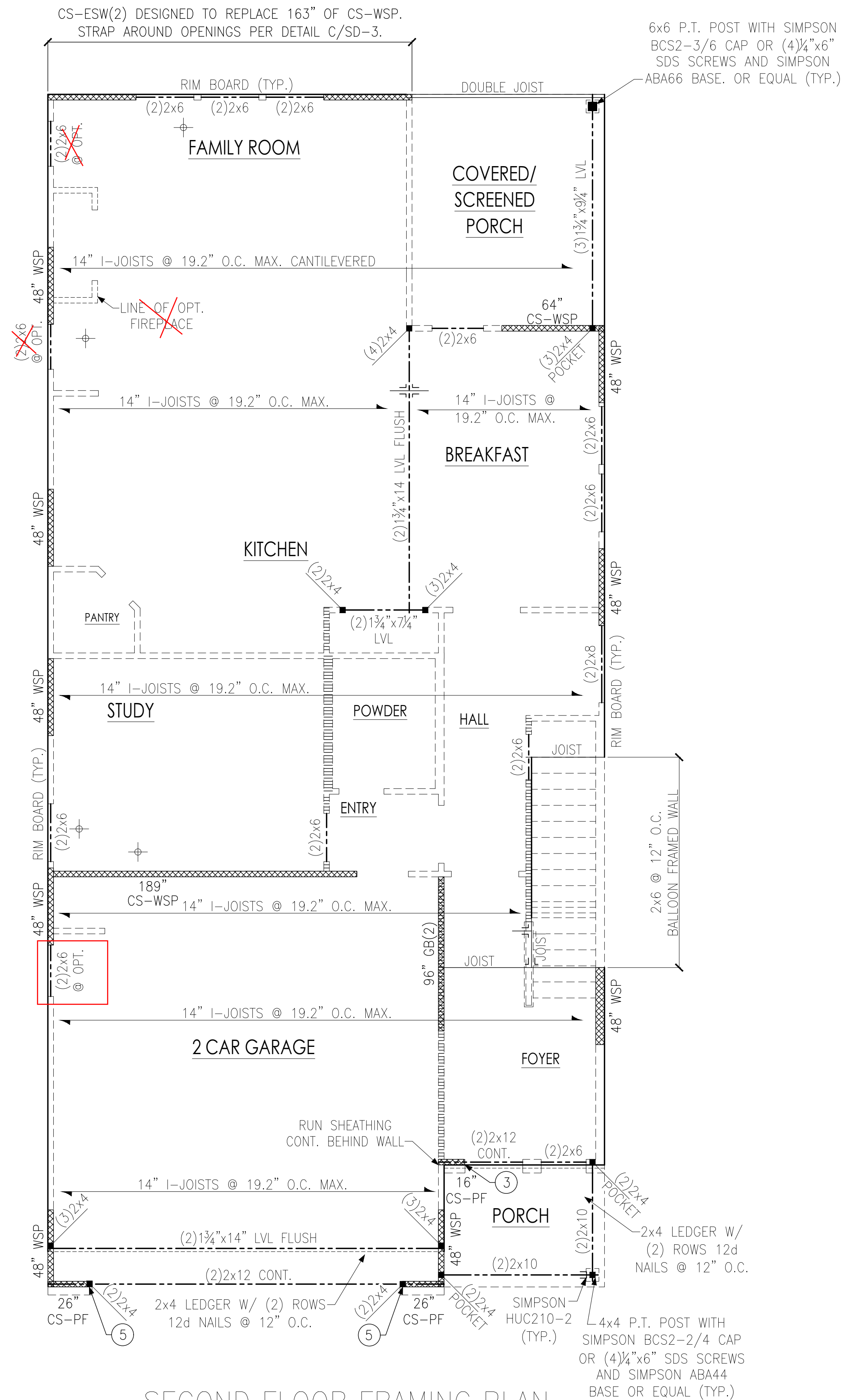


Monolithic Slab Foundation Plans  
Elevation 'A' & Option  
2870 The Preston Model - LH  
Up to 120 M.P.H.  
Raleigh, North Carolina

Project #: 214-22005  
Designed By: AAM  
Checked By: KRK  
Issue Date: 7/12/22  
Re-Issue: 3/9/23  
Scale: 1/8"=1'-0" @ 11x17  
1/4"=1'-0" @ 22x34



PARTIAL FRAMING PLAN  
OPT. GUEST SUITE



SECOND FLOOR FRAMING PLAN  
ELEVATION 'A'

# WELLERS KNOLL LOT 40

NOTE:  
BEAMS, HEADERS AND  
FLOOR JOISTS MAY BE SYP  
#2 GRADE LUMBER.

**LEGEND**

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
- NH NO HEADER REQUIRED

REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 9' WALL PLATES

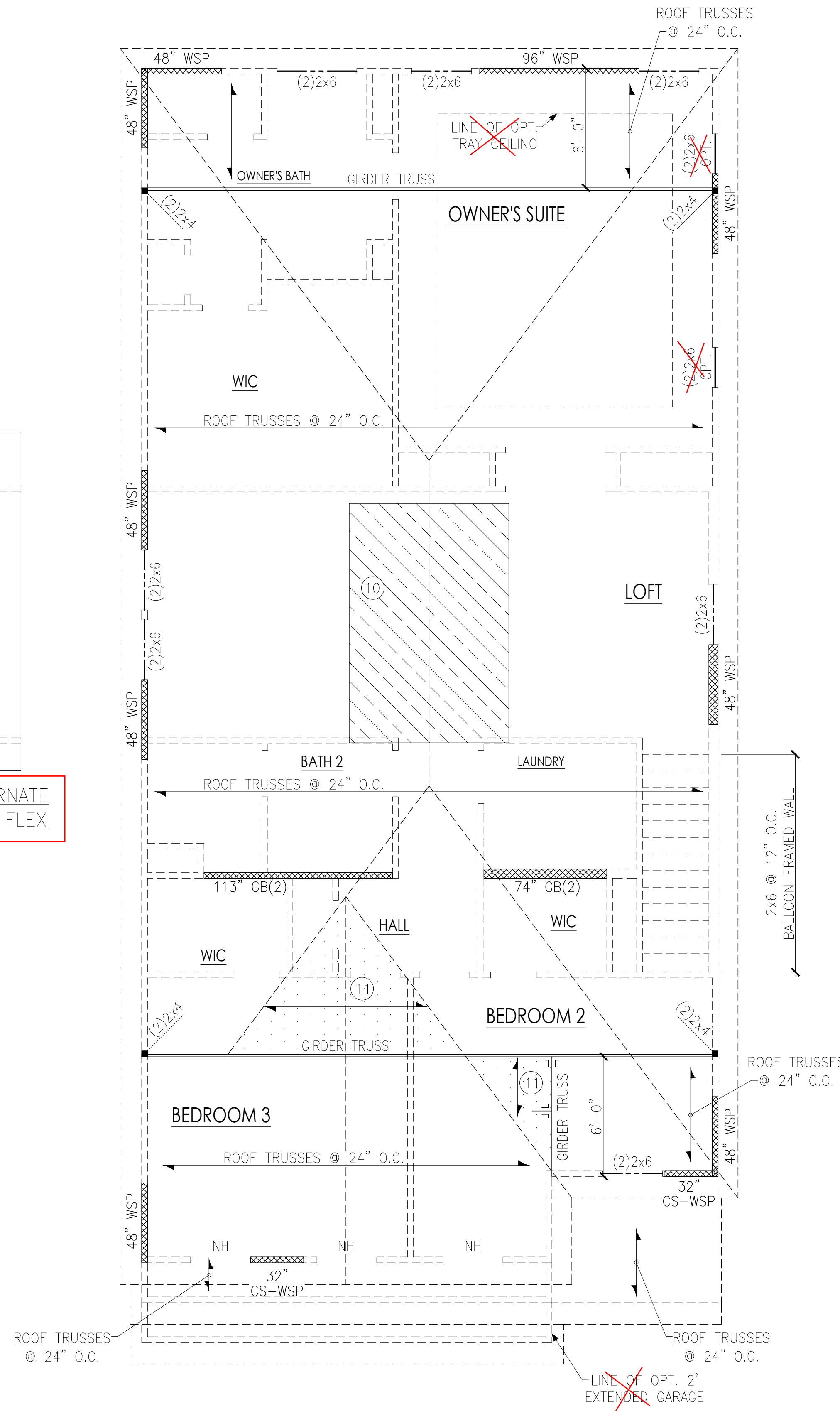
FLOOR FRAMING TO BE 14" DEEP BCI 4500s SERIES I-JOISTS @ 19.2" O.C. MAXIMUM OR EQUAL (U.N.O.). 1 1/8" BC RIM BOARD OSB.

**KEYNOTES:**

- 3 INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A/SD-3.
- 5 INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.



# WELLERS KNOLL LOT 40



OPT. ALTERNATE LOFT WITH FLEX

NOTE:  
BEAMS, HEADERS AND FLOOR JOISTS MAY BE SYP #2 GRADE LUMBER.

**LEGEND**

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
- 48" WSP
- NH => NO HEADER REQUIRED

REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 8' WALL PLATES

**KEYNOTES:**

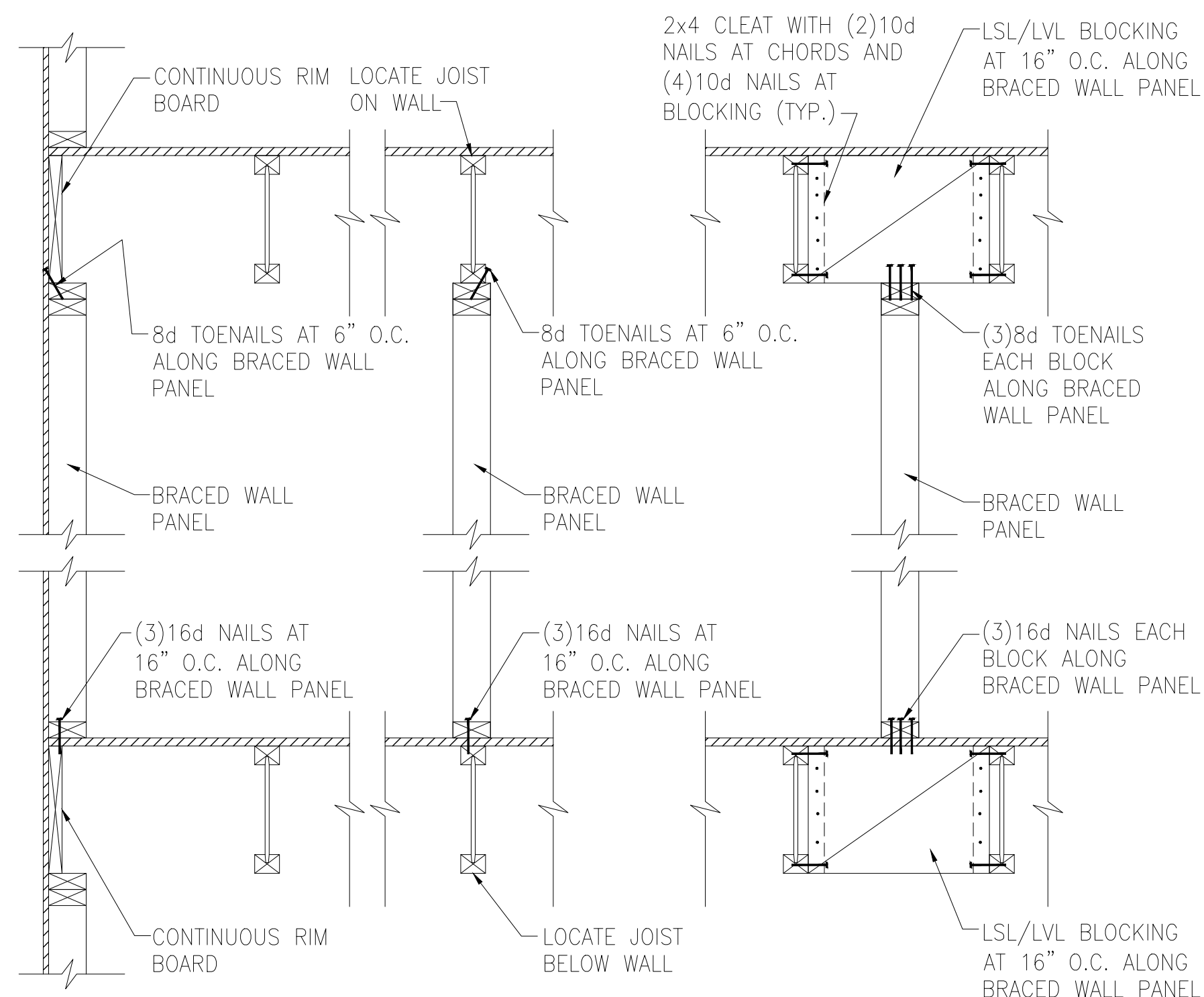
- (10) 8'x12' HVAC PLATFORM TRUSSES DESIGNED TO SUPPORT HVAC UNITS.
- (11) VALLEY SET TRUSSES @ 24" O.C. OR 2x6 OVERFRAMING @ 24" O.C. W/ 2x8 RIDGE & VALLEY PLATES (TYP.)

ROOF FRAMING PLAN  
ELEVATION 'A'

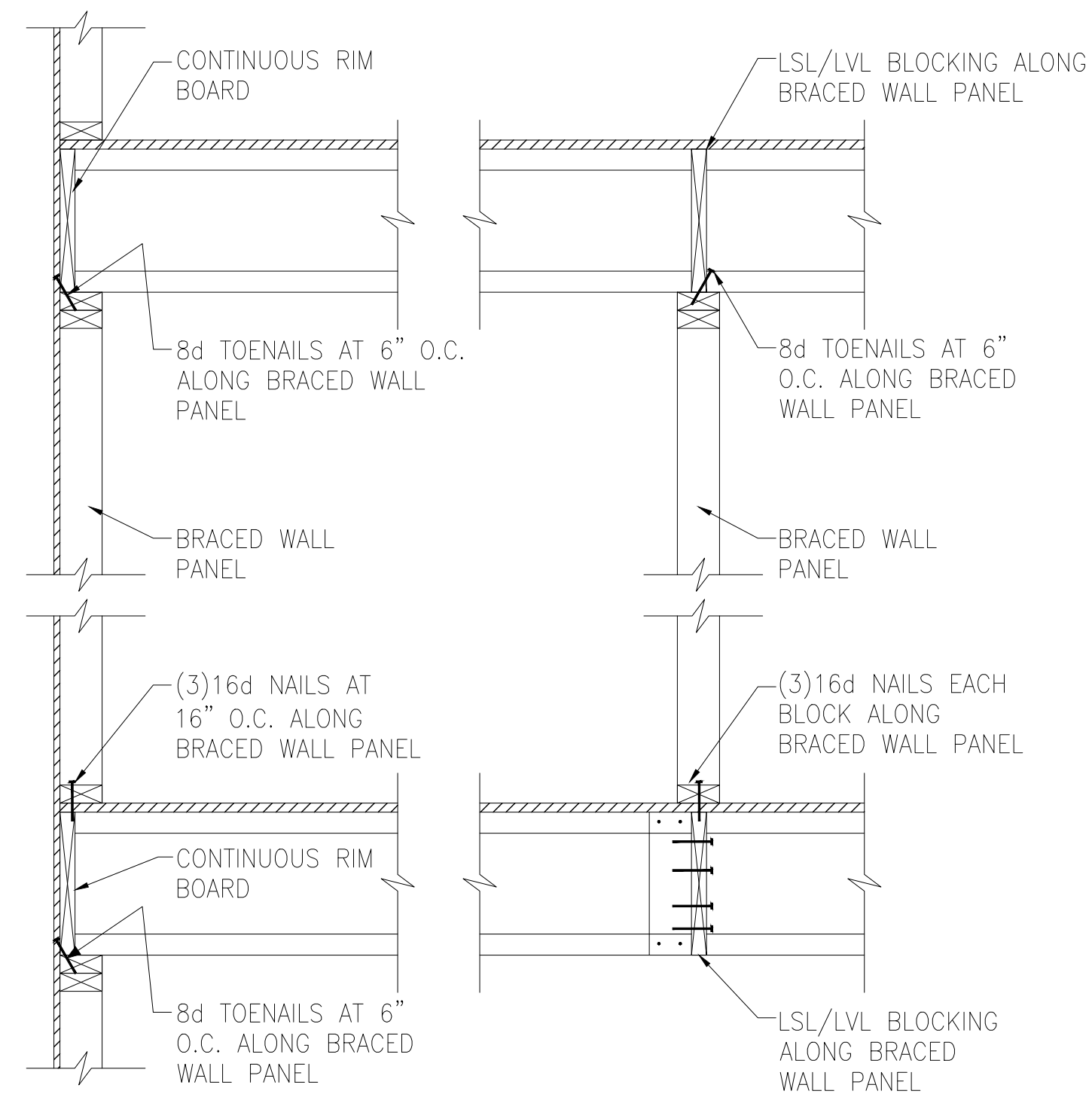


Roof Framing Plan  
Elevation 'A'  
2870 The Preston Model - LH  
Up to 120 M.P.H.  
Raleigh, North Carolina

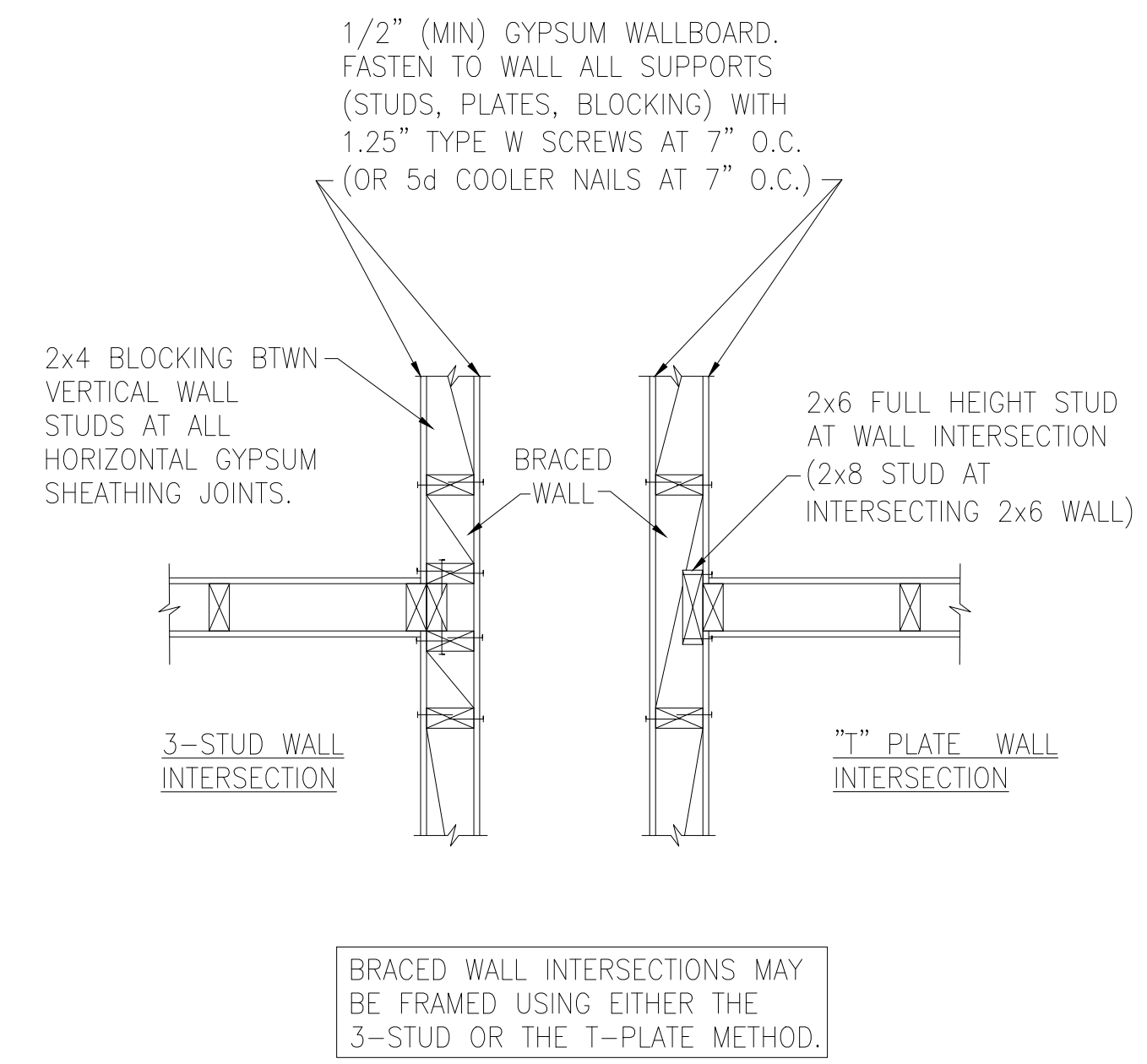
Project #: 214-22005  
Designed By: AAM  
Checked By: KRK  
Issue Date: 7/12/22  
Re-Issue: 3/9/23  
Scale: 1/8"=1'-0" @ 11x17  
1/4"=1'-0" @ 22x34



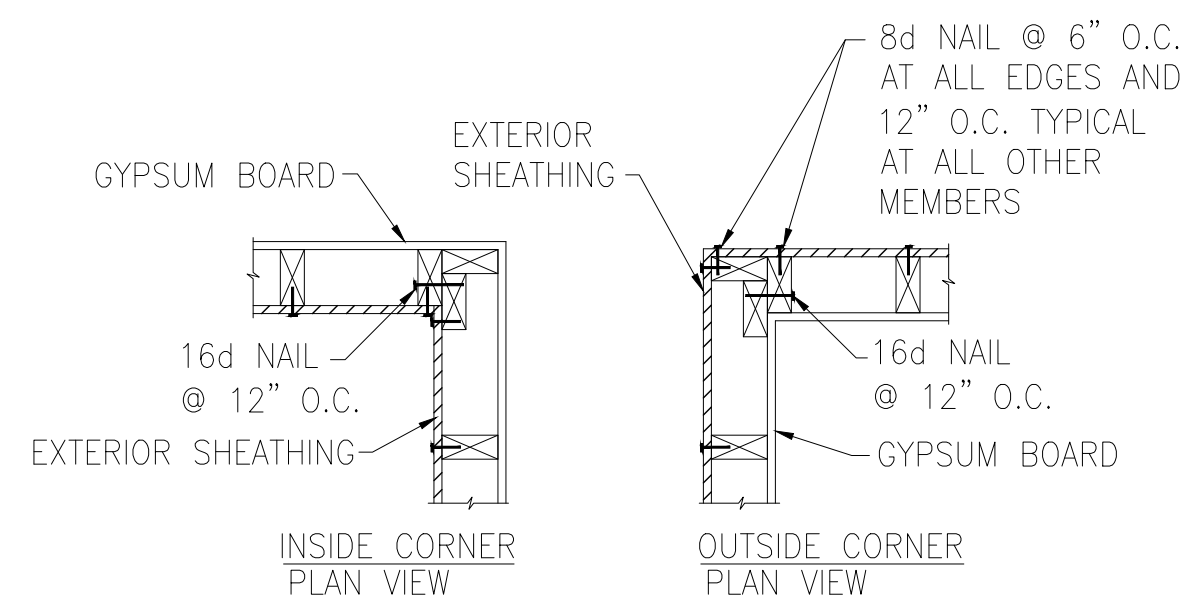
**A** TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION  
 BRACED WALL PANELS PARALLEL TO I-JOISTS



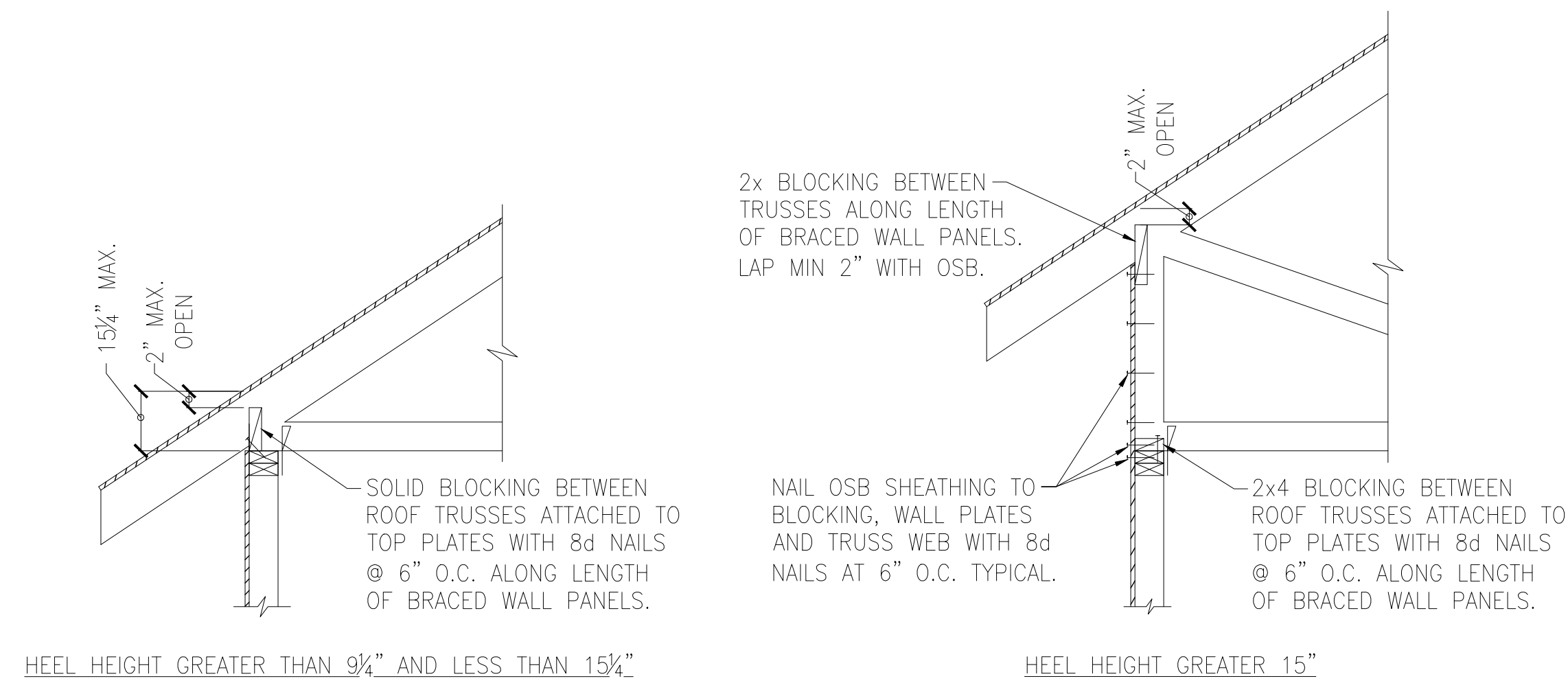
**B** TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION  
 BRACED WALL PANELS PERPENDICULAR TO I-JOISTS



**C** METHOD GB(1) AND GB(2) INTERSECTION DETAILS

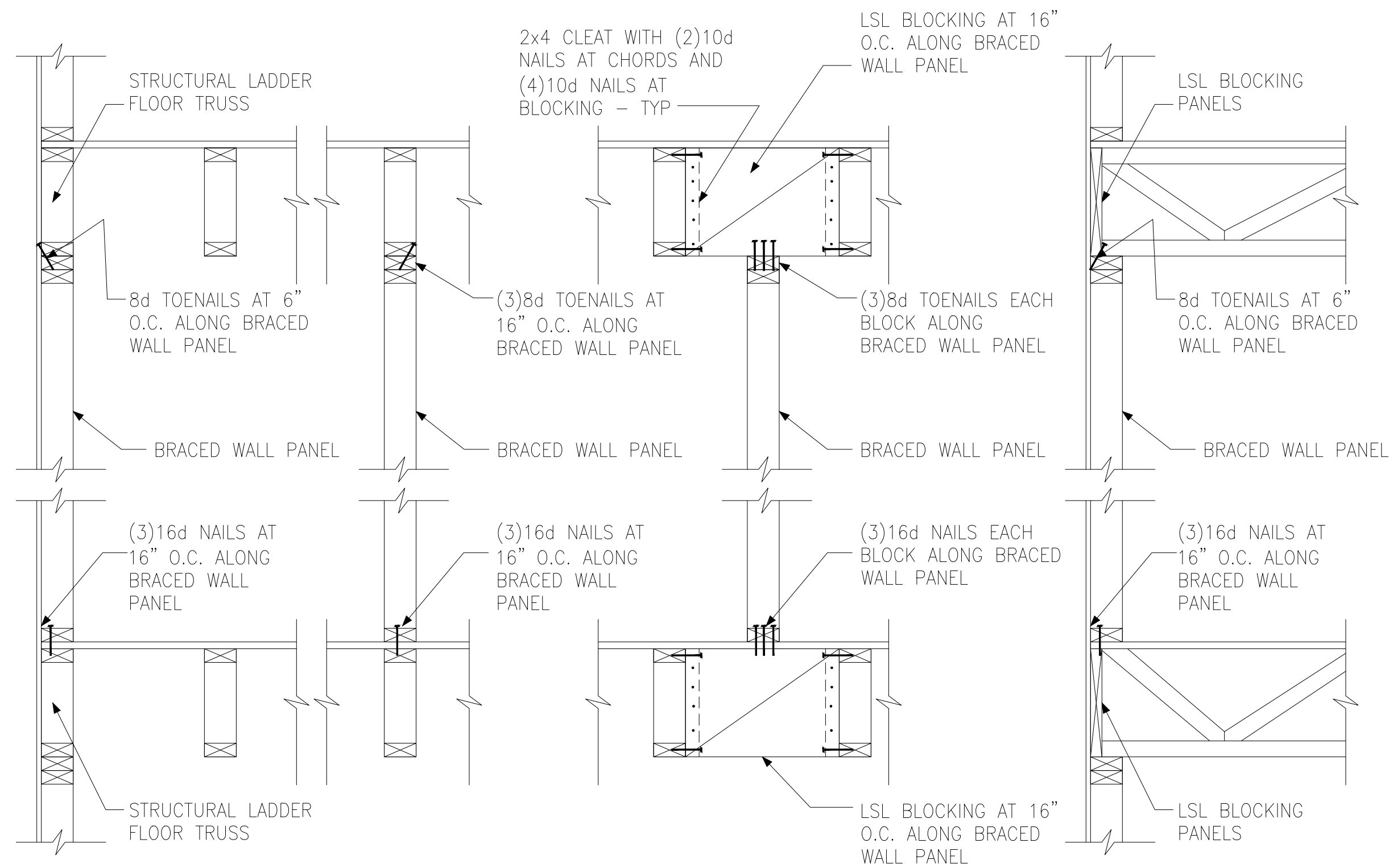


**D** TYPICAL EXTERIOR CORNER WALL FRAMING

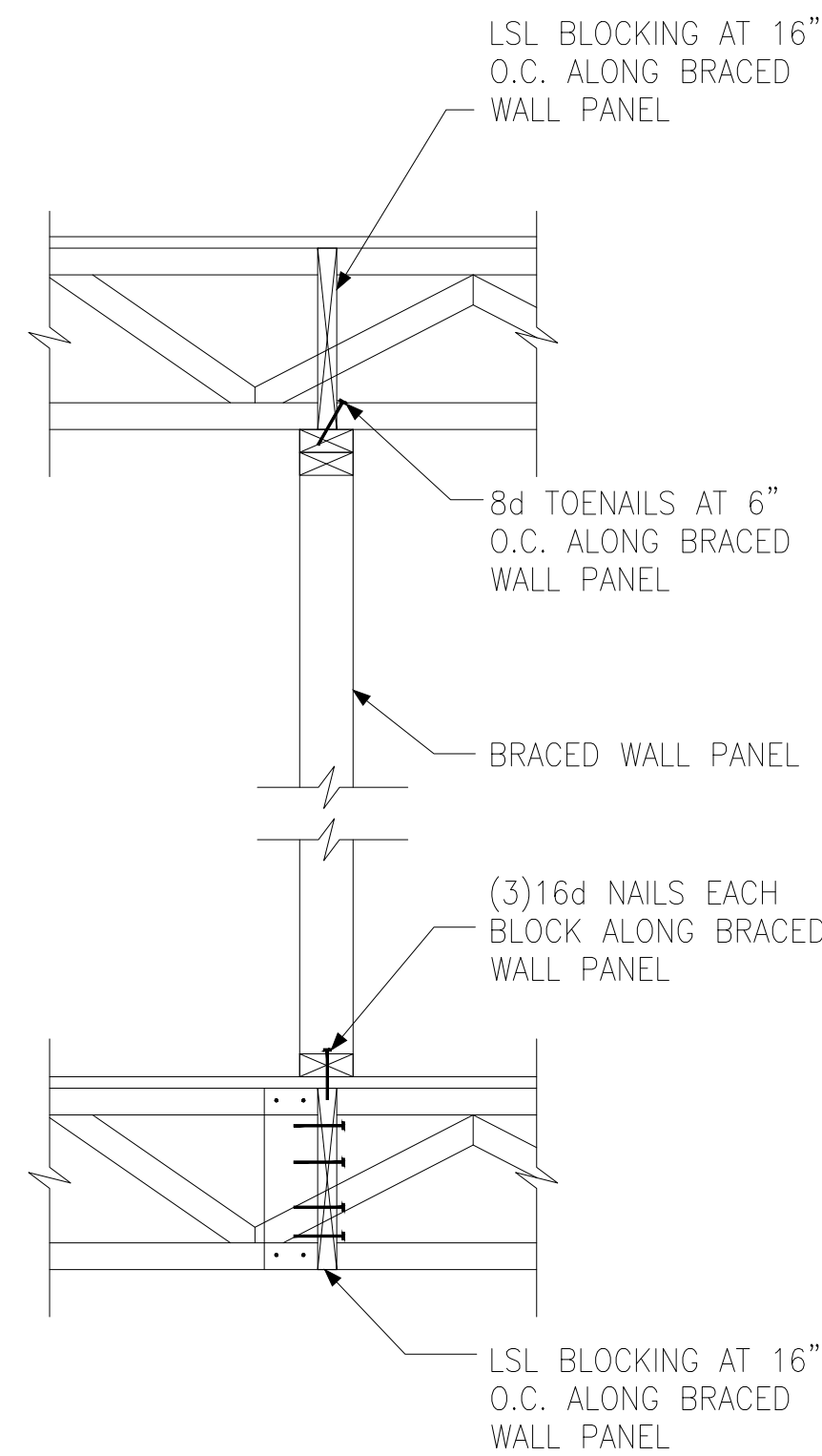


**E** ROOF TRUSS BEARING/BLOCKING AT BRACED WALL PANELS  
 ONLY REQUIRED AT BRACED WALL PANELS

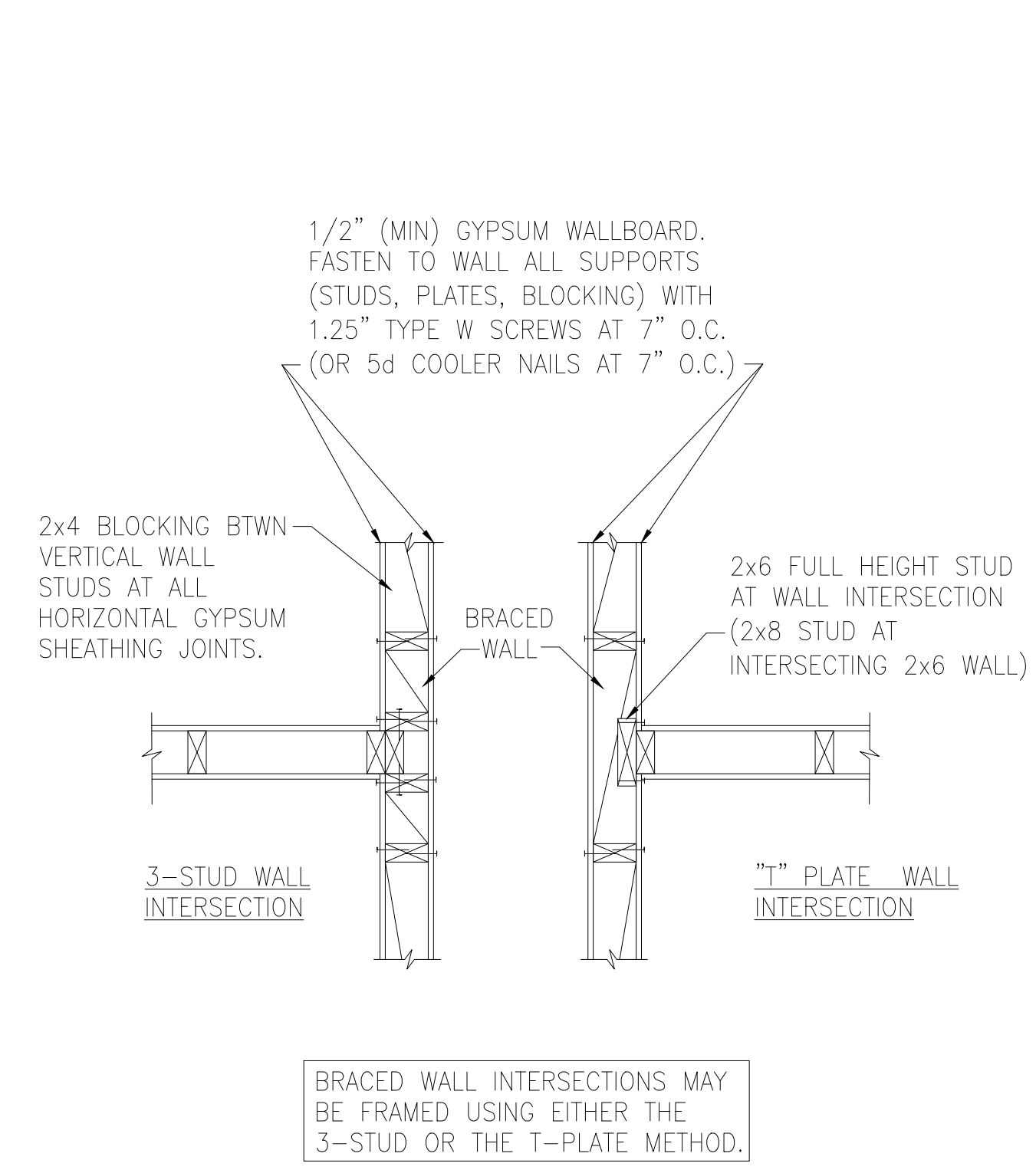




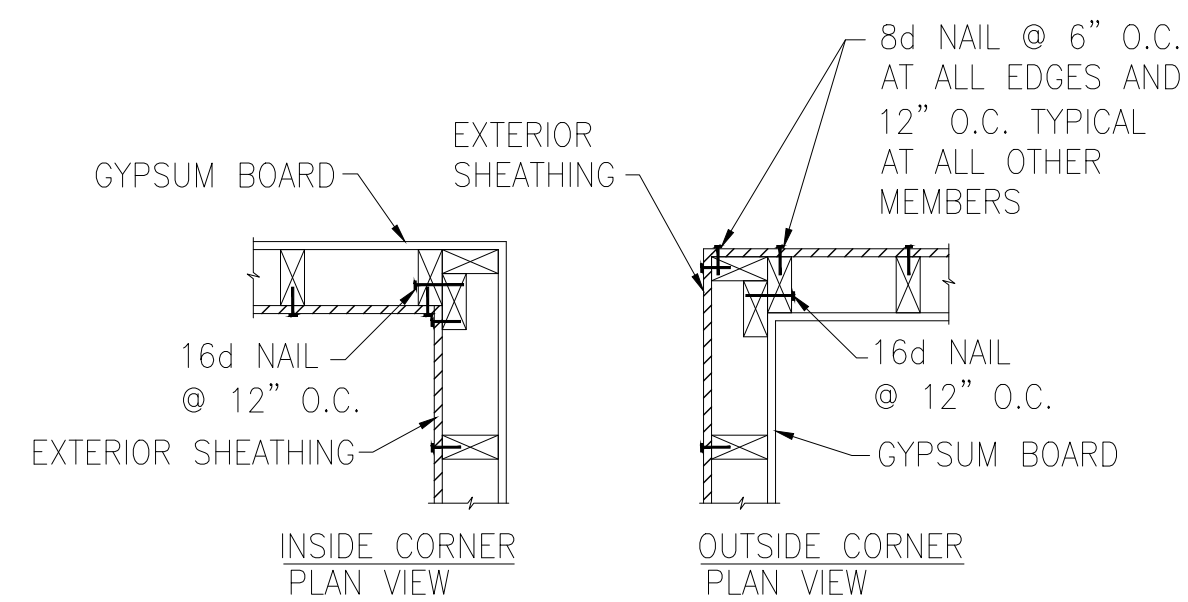
**A** TYPICAL BRACED WALL PANEL TO FLOOR / CEILING CONNECTION  
BRACED WALL PANELS PARALLEL TO TRUSSES



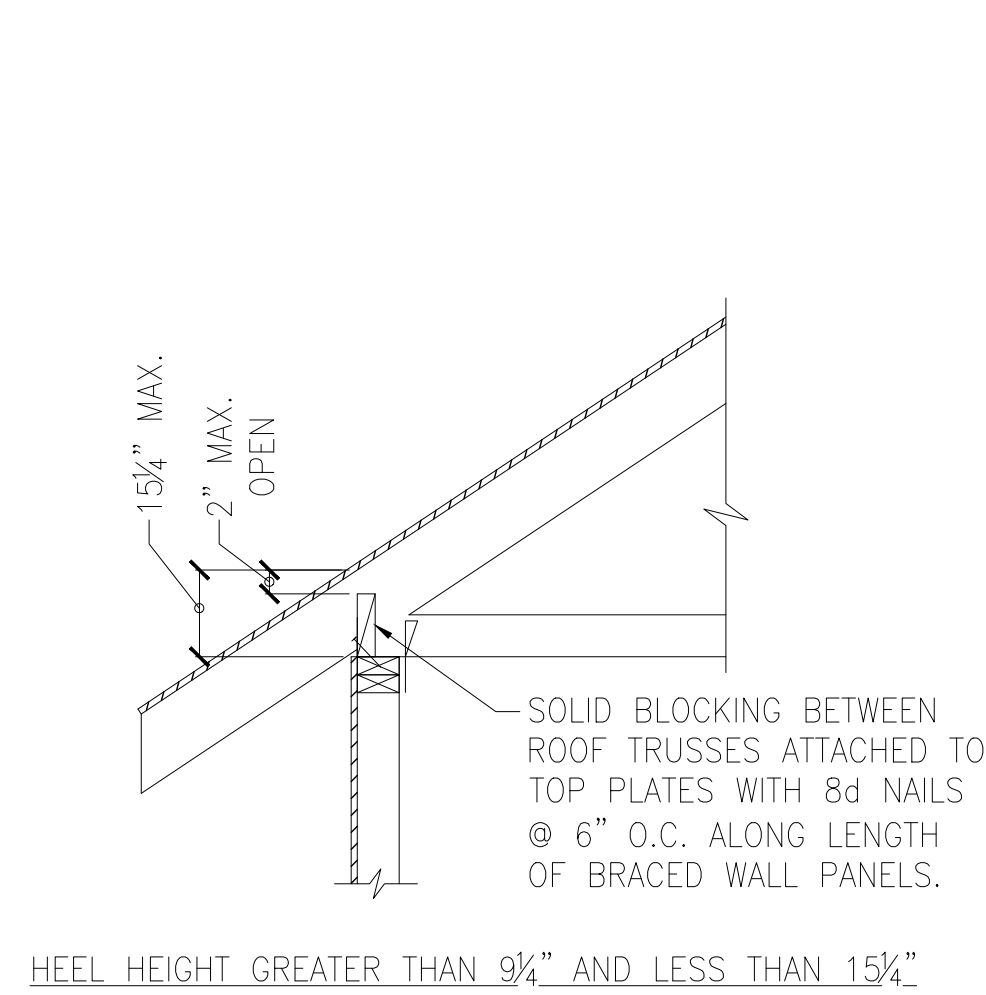
**B** TYPICAL BRACED WALL PANEL TO FLOOR / CEILING CONNECTION  
BRACED WALL PANELS PERPENDICULAR TO TRUSSES



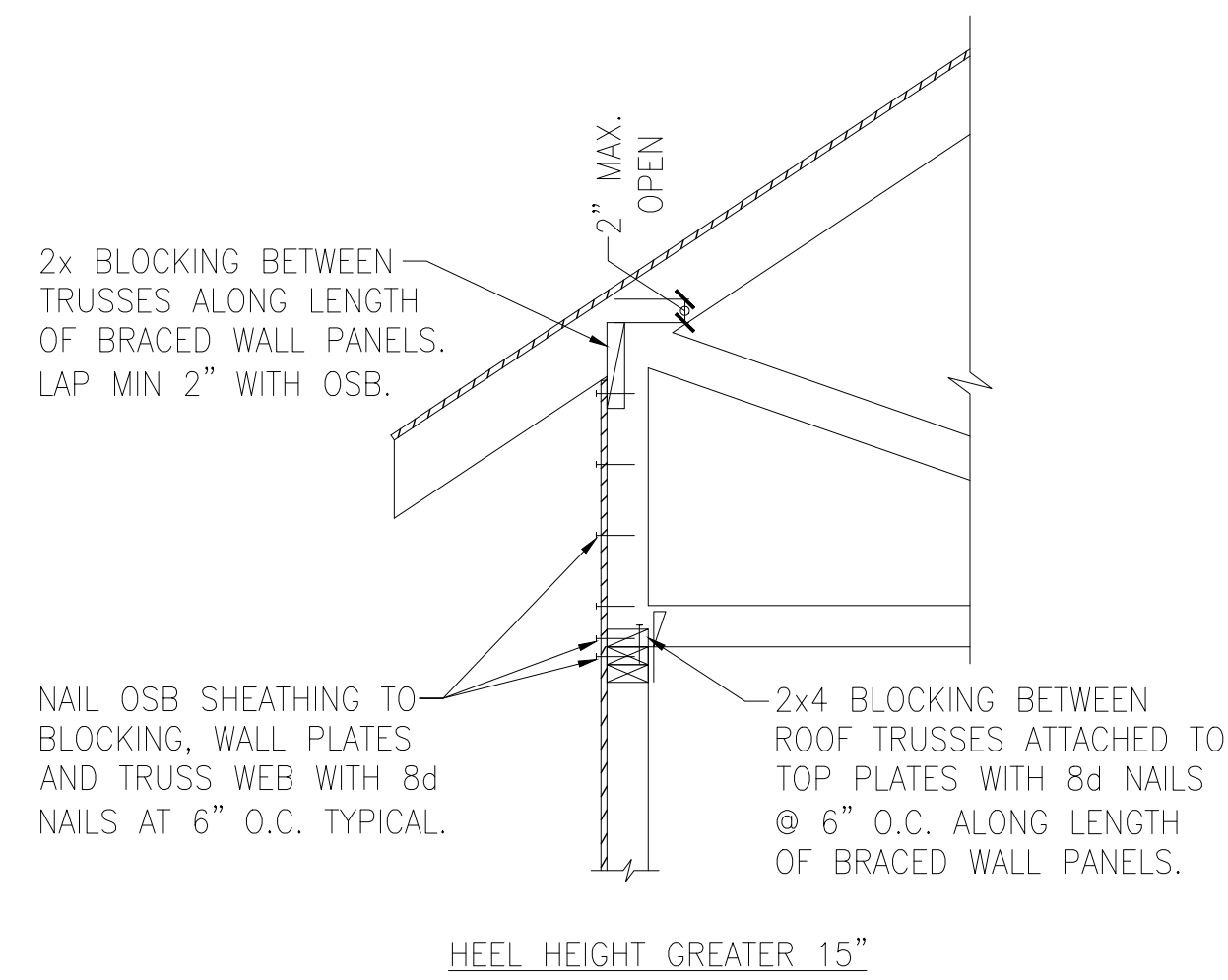
**C** METHOD GB(1) AND GB(2) INTERSECTION DETAILS



**D** TYPICAL EXTERIOR CORNER WALL FRAMING



**E** ROOF TRUSS BEARING/BLOCKING AT BRACED WALL PANELS  
ONLY REQUIRED AT BRACED WALL PANELS





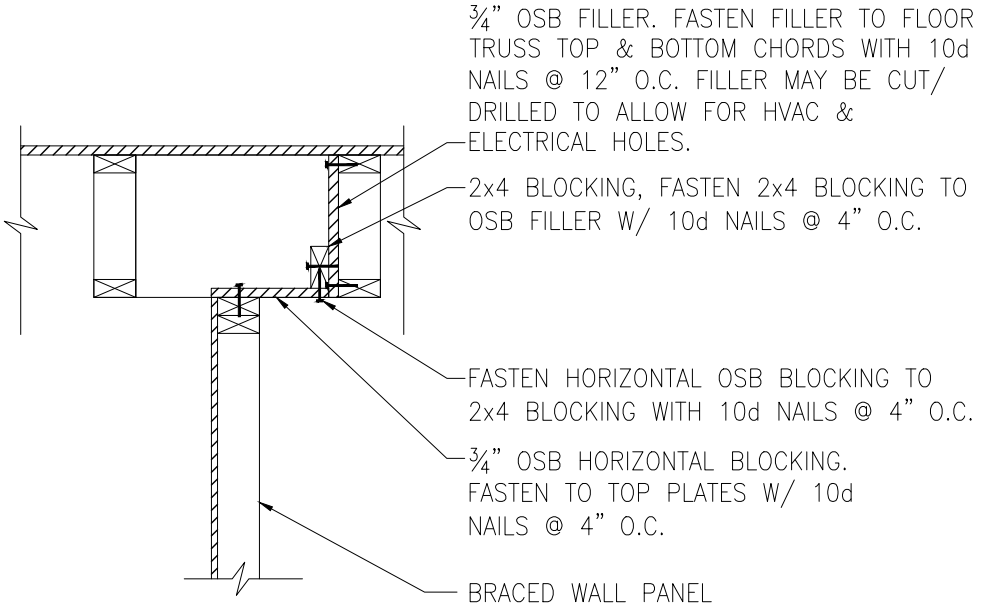


1900 AM DRIVE, SUITE 201, QUAKERTOWN, PA 18951  
www.kse-eng.com (215) 804-4449

Project #: 214-22009  
Designed By: AAM  
Checked By: AAM  
Issue Date: 10/19/23  
Re-Issue:  
Scale: N.T.S.  
Sheet: SK-1 of 2

Davidson Homes

All Models Designed by KSE  
Alternate Braced Wall Details  
Raleigh, North Carolina



PARALLEL BRACING DETAIL

NC Firm #C-2101

SEAL  
046096  
ANDREW A. MOORE  
ENGINEER  
10/19/23

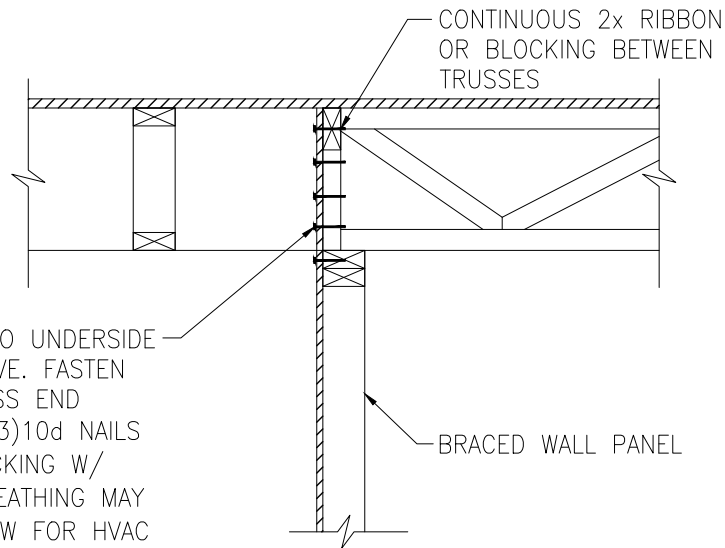


1900 AM DRIVE, SUITE 201, QUAKERTOWN, PA 18951  
www.kse-eng.com (215) 804-4449

Project #: 214-22009  
Designed By: AAM  
Checked By: AAM  
Issue Date: 10/19/23  
Re-Issue:  
Scale: N.T.S.  
Sheet: SK-2 of 2

Davidson Homes

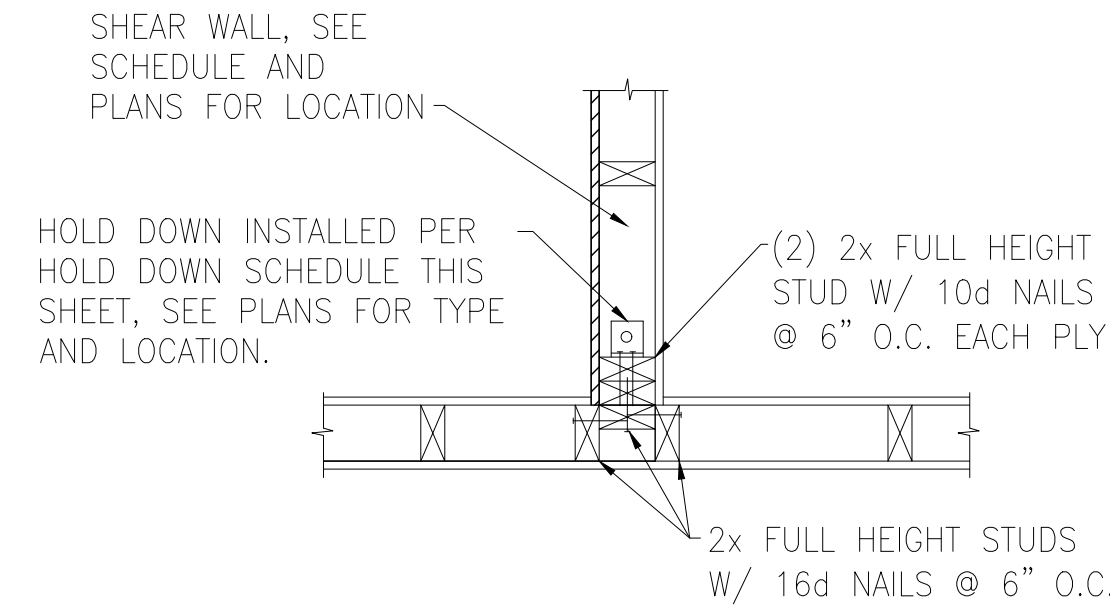
All Models Designed by KSE  
Alternate Braced Wall Details  
Raleigh, North Carolina



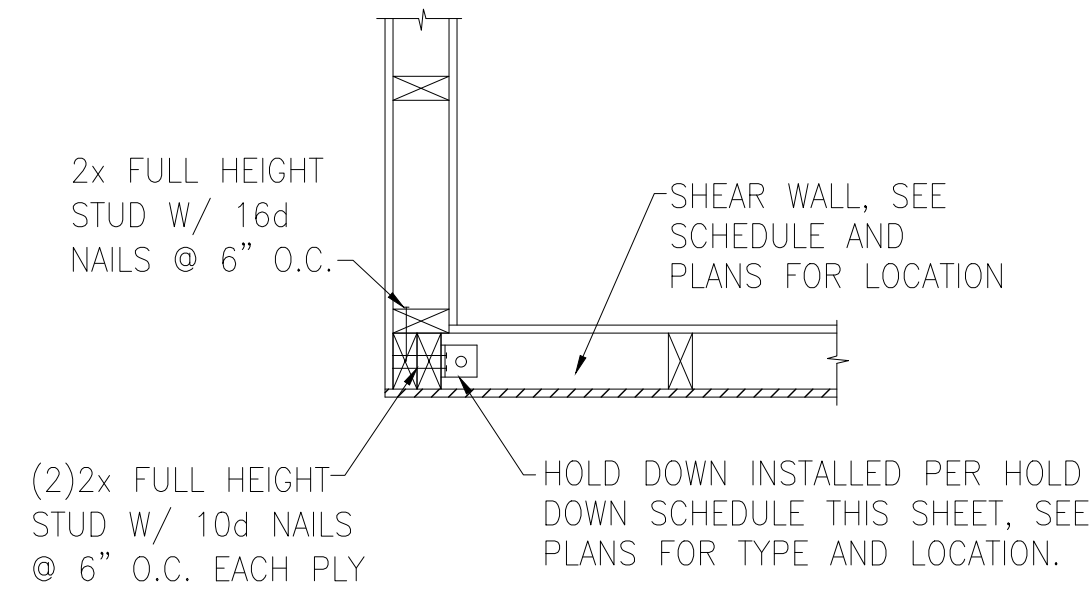
EXTEND WALL SHEATHING TO UNDERSIDE OF FLOOR SHEATHING ABOVE. FASTEN SHEATHING TO FLOOR TRUSS END VERTICAL MEMBERS WITH (3)10d NAILS & TO 2x RIBBON OR BLOCKING W/ 10d NAILS @ 12" O.C. SHEATHING MAY BE CUT/ DRILLED TO ALLOW FOR HVAC & ELECTRICAL HOLES.

## PERPENDICULAR BRACING DETAIL

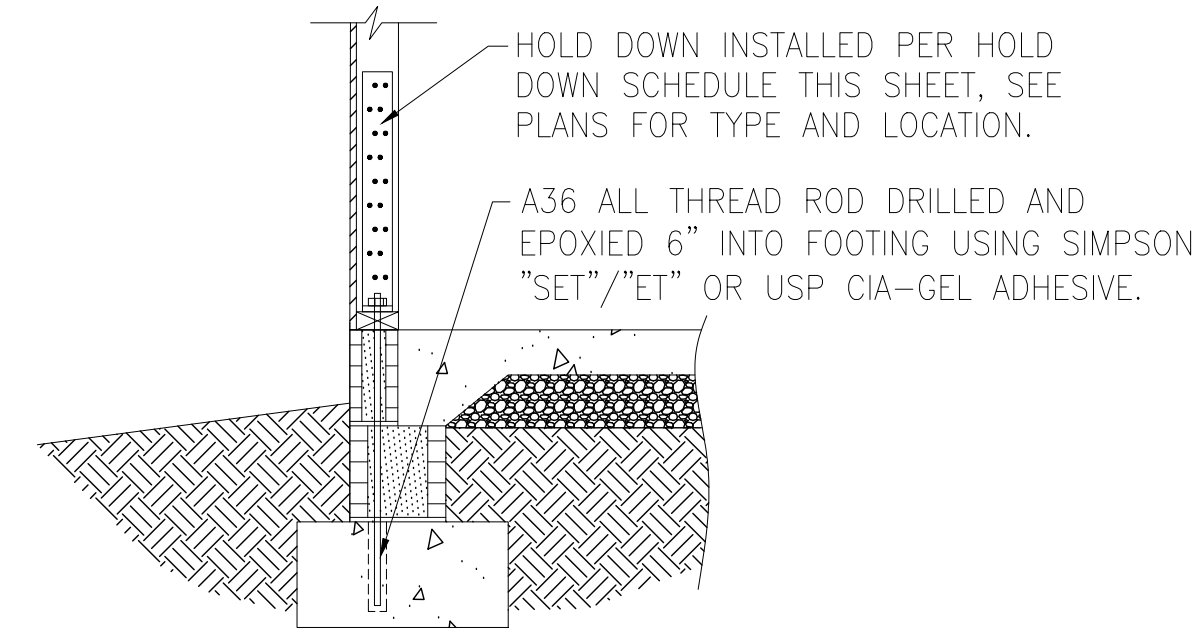




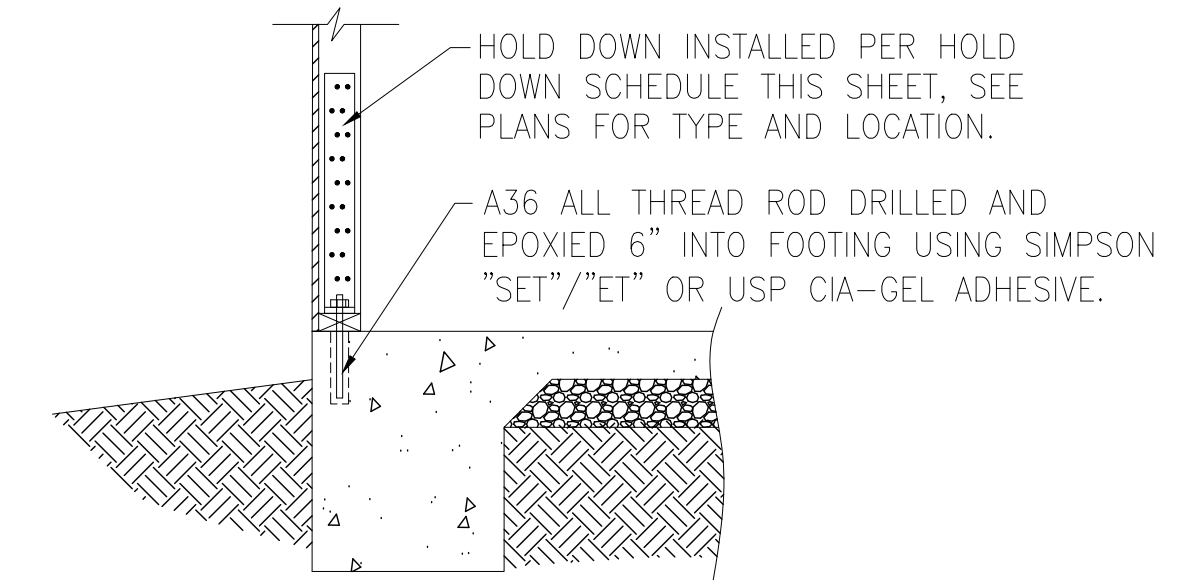
**A** TYPICAL HOLD DOWN DETAIL



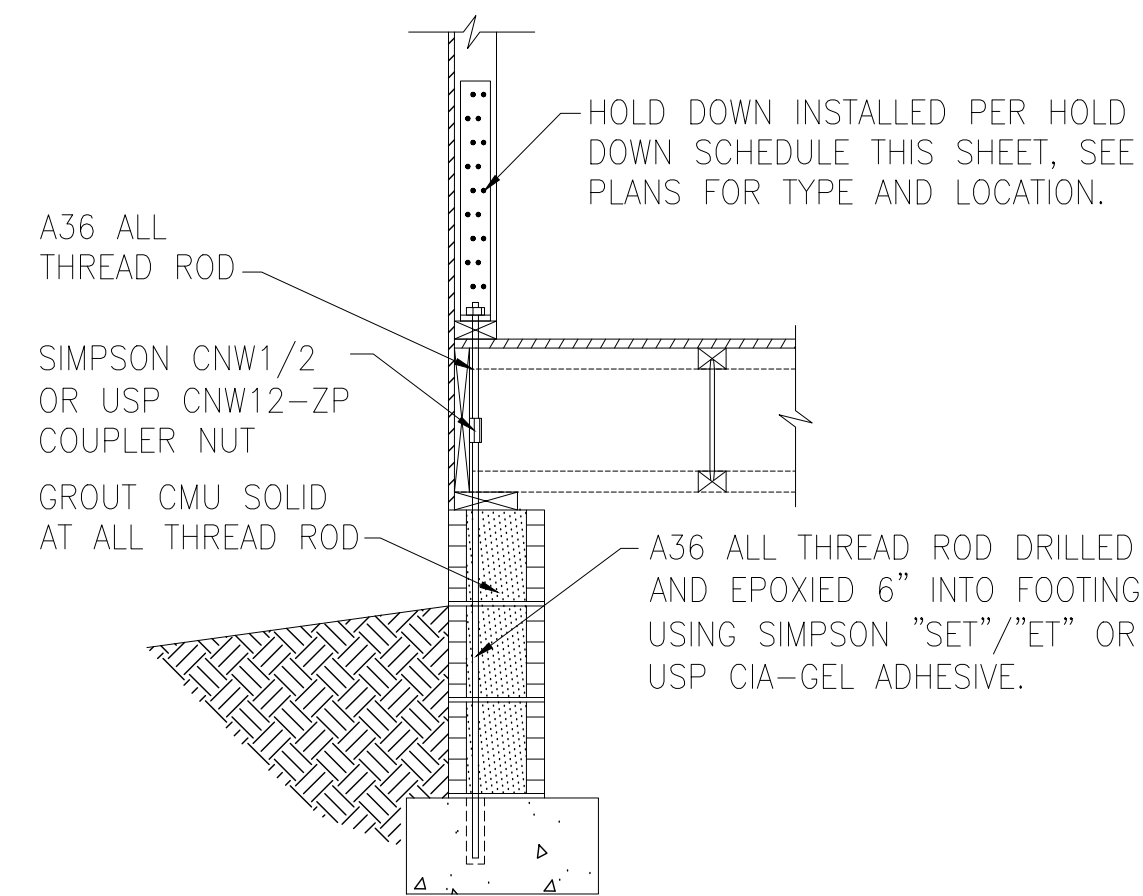
**B** TYPICAL HOLD DOWN DETAIL



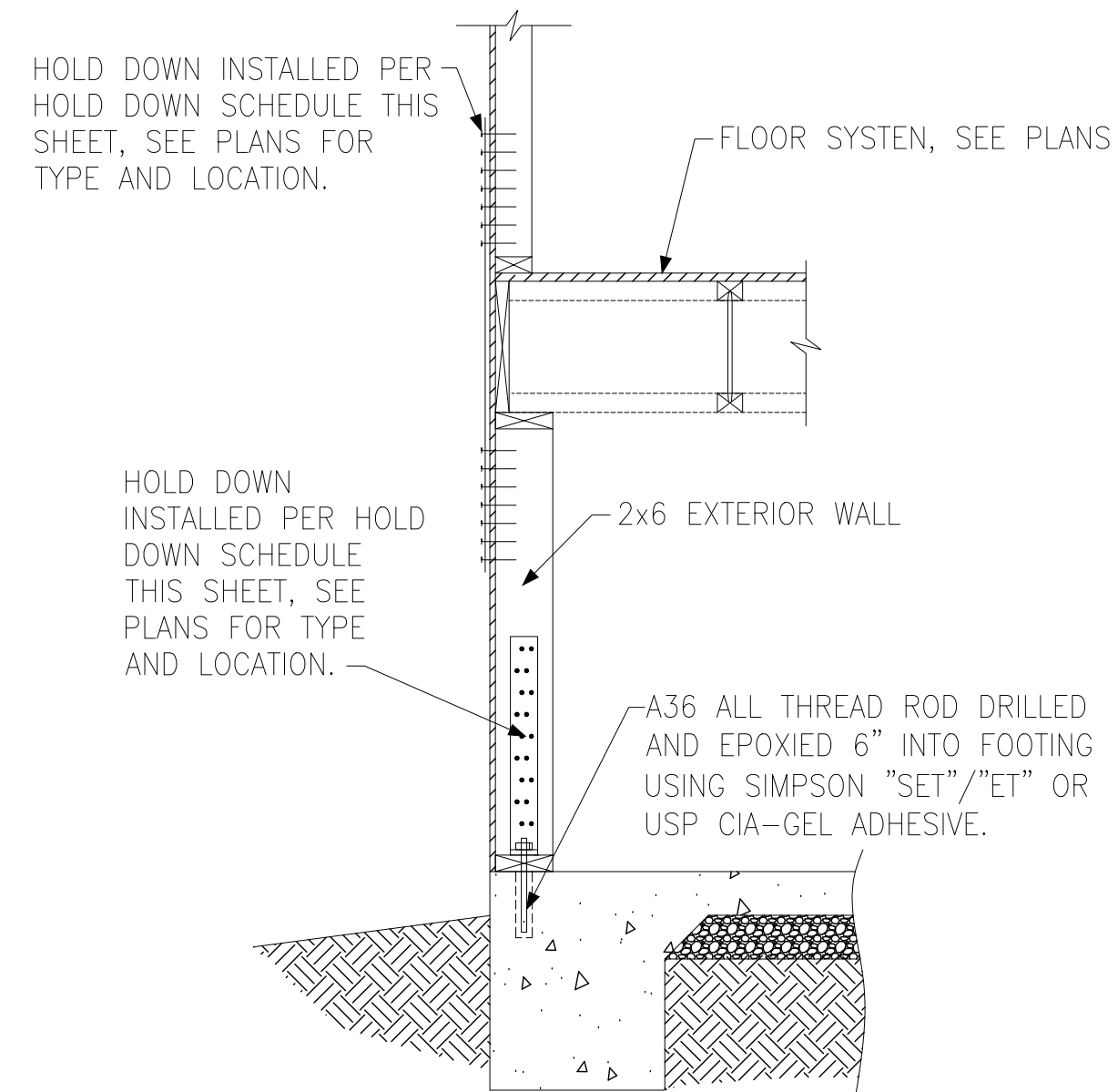
**C** HOLD DOWN AT STEMWALL SLAB FOUNDATION



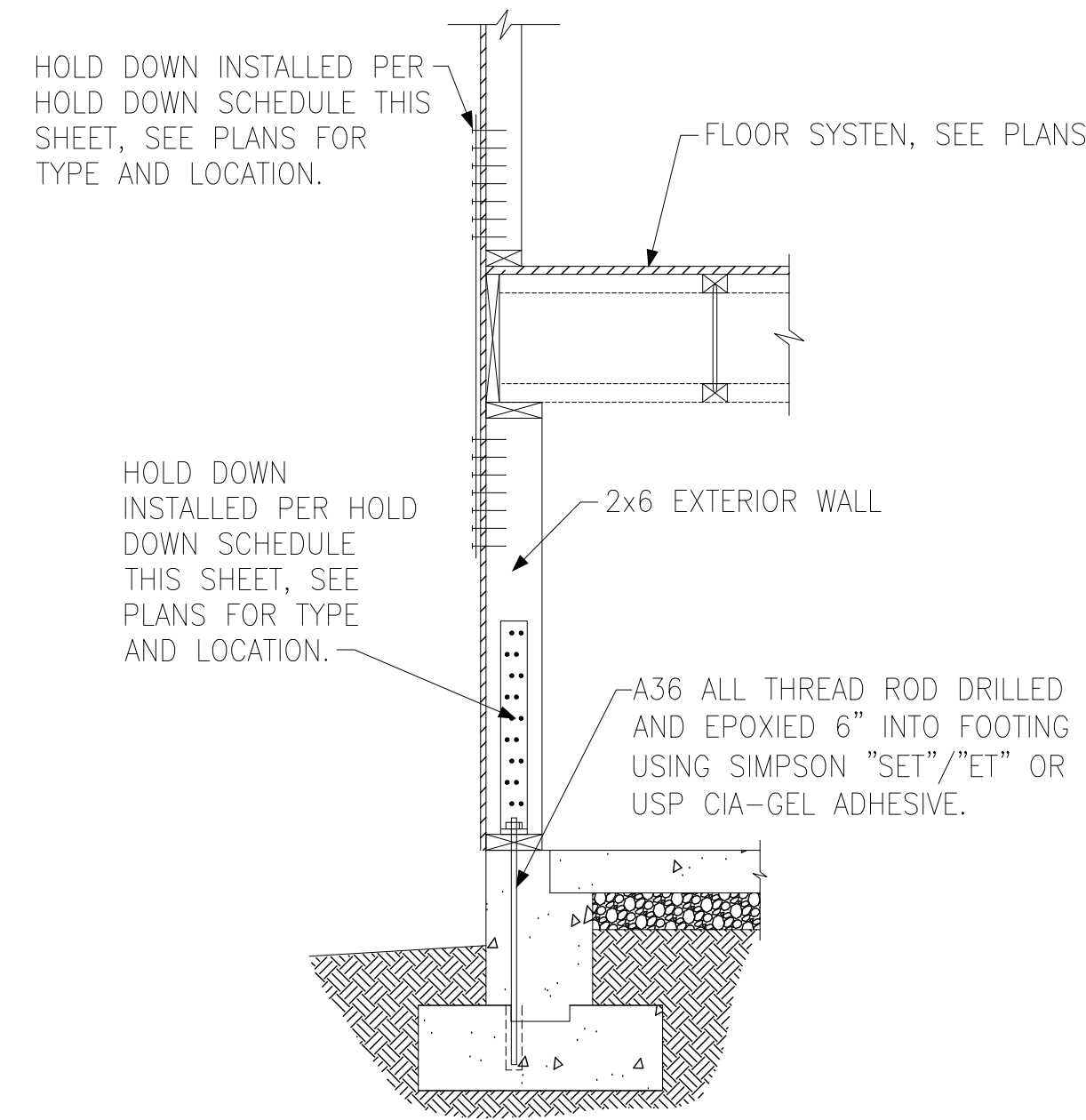
**D** HOLD DOWN AT MONOLITHIC SLAB FOUNDATION



**E** HOLD DOWN AT CRAWL SPACE FOUNDATION



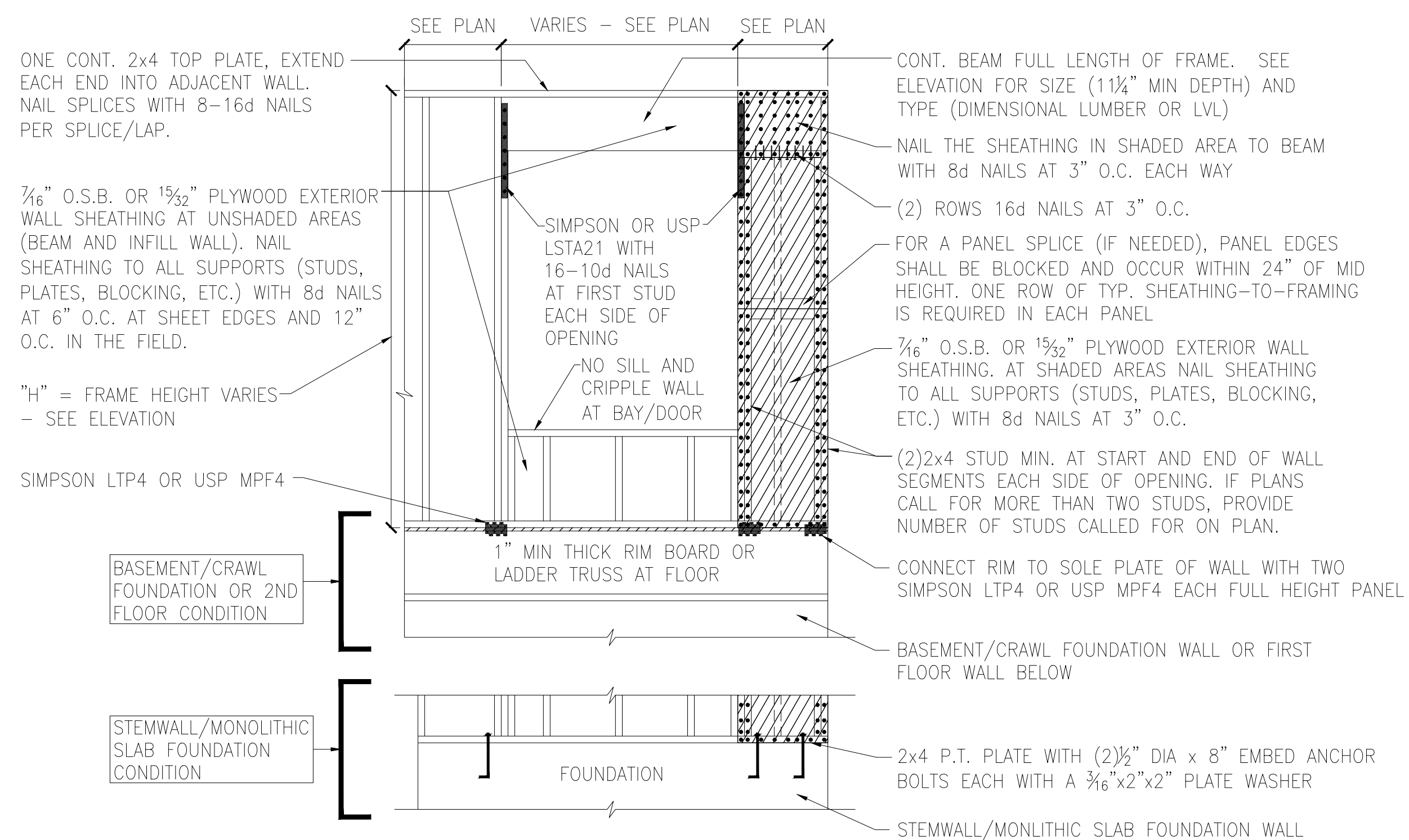
**F** HOLD DOWN AT BASEMENT FOUNDATION MONOLITHIC TURN-DOWN



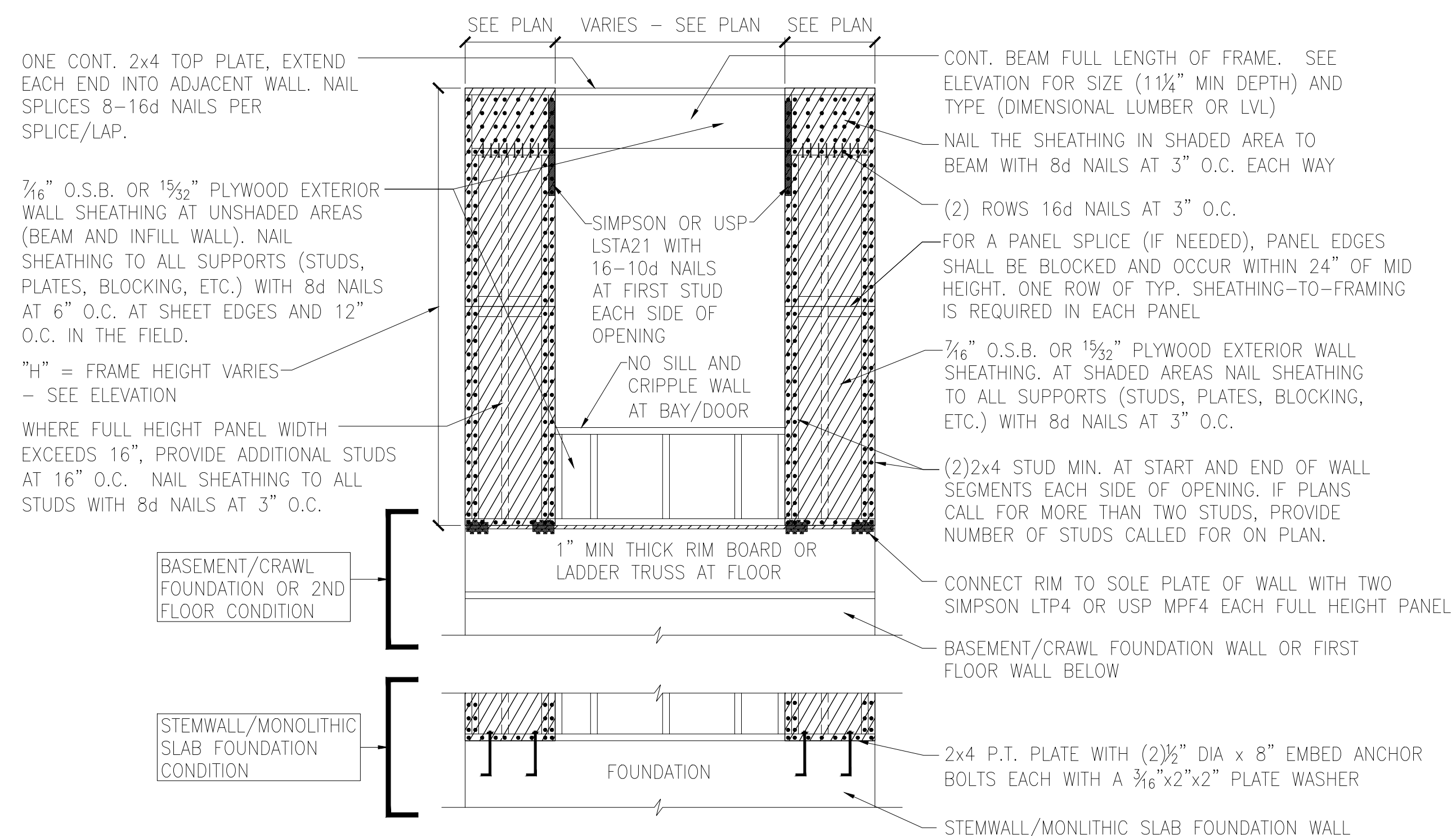
**G** HOLD DOWN AT BASEMENT FOUNDATION STEM WALL

HOLD DOWN SCHEDULE			
HOLD DOWN		ALL THREAD ROD	FASTENERS
SIMPSON	USP		
LTTP2	LTS20B	1/2" DIA.	(12)0.148"x2.5" LONG NAILS
HTT4	HTT16	5/8" DIA.	(18)0.162"x2.5" LONG NAILS
HTT5	HTT45	5/8" DIA.	(26)0.162"x2.5" LONG NAILS

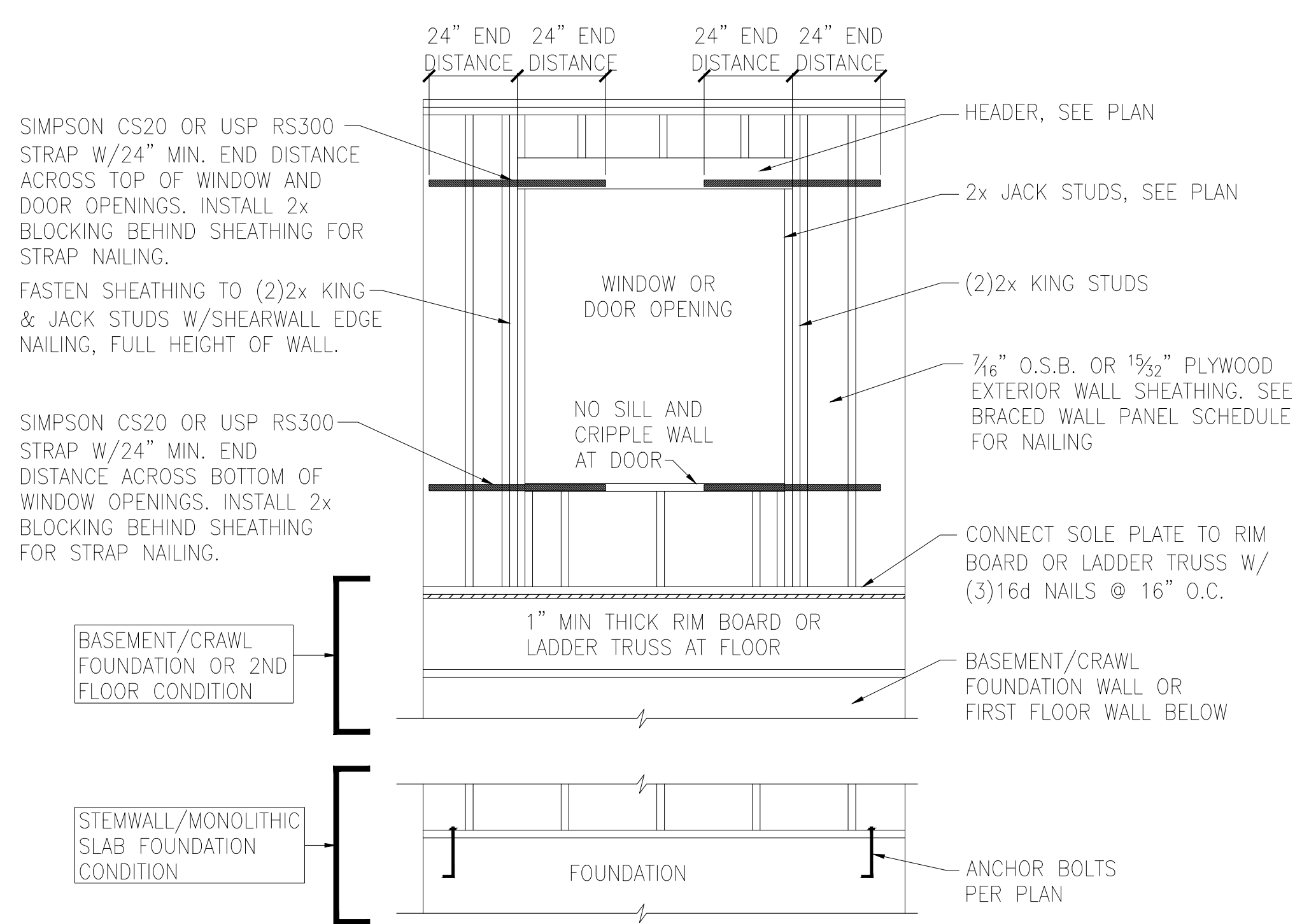




**A** METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION  
ONE BRACED WALL SEGMENT



**B** METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION  
TWO BRACED WALL SEGMENTS

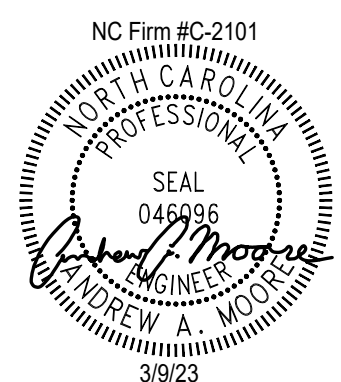


**C** WINDOW OR DOOR REINFORCEMENT IN ENGINEERED SHEAR WALL  
ONLY REQUIRED WHERE SPECIFIED ON PLANS

BRACED WALL PANEL AND ENGINEERED SHEAR WALL SCHEDULE			
PANEL TYPES	PANEL TYPE	MATERIAL	FASTENERS
WSP	INTERMITTENT WOOD STRUCTURAL PANEL	7/16" OSB	6D OR 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS
GB(1)	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
GB(1)-4	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 4" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
GB(2)	INTERMITTENT GYPSUM BOARD (SHEATHING BOTH FACES OF WALL)	1/2" GYPSUM	1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
CS-WSP	CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL	7/16" OSB	6D OR 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS
CS-PF	CONTINUOUS SHEATHED PORTAL FRAME	7/16" OSB	NAILING PER DETAIL
PFH	PORTAL FRAME WITH HOLD DOWNS	7/16" OSB	NAILING PER DETAIL
CS-ESW(1)	ENGINEERED SHEAR WALL, TYPE 1	7/16" OSB	8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS
CS-ESW(2)	ENGINEERED SHEAR WALL, TYPE 2	7/16" OSB	8D COMMON NAILS AT 4" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS
CS-ESW(3)	ENGINEERED SHEAR WALL, TYPE 3	7/16" OSB	8D COMMON NAILS AT 3" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS

**BRACED WALL PANEL NOTES:**

- ALL BRACED WALL PANELS, EXCEPT GB(1) & GB(2), SHALL HAVE 2x BLOCKING BETWEEN WALL STUDS AT ALL HORIZONTAL SHEET EDGES.
- PROVIDE NAILING/BLOCKING ABOVE AND BELOW ALL BRACED WALL PANELS PER KSE BRACED WALL DETAILS.
- SHEATH ALL EXTERIOR WALLS OF THE HOUSE WITH 7/16" O.S.B., OR 1 1/2" PLYWOOD, FASTENED PER IRC. AT EXTERIOR CORNERS, SHEATHING SHALL BE FASTENED PER KSE BRACED WALL DETAILS. AT INTERIOR WALL INTERSECTIONS, FASTEN STUDS & WALL BRACING PER KSE BRACED WALL DETAILS.
- BRACED WALL PANELS AND ENGINEERED SHEAR WALLS ARE PROVIDED PER IRC. PANEL LENGTHS SHOWN ON PLANS ARE THE MINIMUM LENGTH REQUIRED.



TWO CONT. 2x TOP PLATES, EXTEND EACH END INTO ADJACENT WALL. NAIL SPLICES WITH 8-16d NAILS PER SPLICE/LAP.

CONT. 2x PLATE WITH 10d NAILS AT 16" O.C. INTO HEADER/BEAM

7/16" O.S.B. OR 1/2" PLYWOOD EXTERIOR WALL SHEATHING AT UNSHADED AREAS (BEAM, INFILL WALL ABOVE BEAM, AND CENTER WALL). NAIL SHEATHING TO ALL SUPPORTS (STUDS, PLATES, BLOCKING, ETC.) WITH 8d NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. IN THE FIELD.

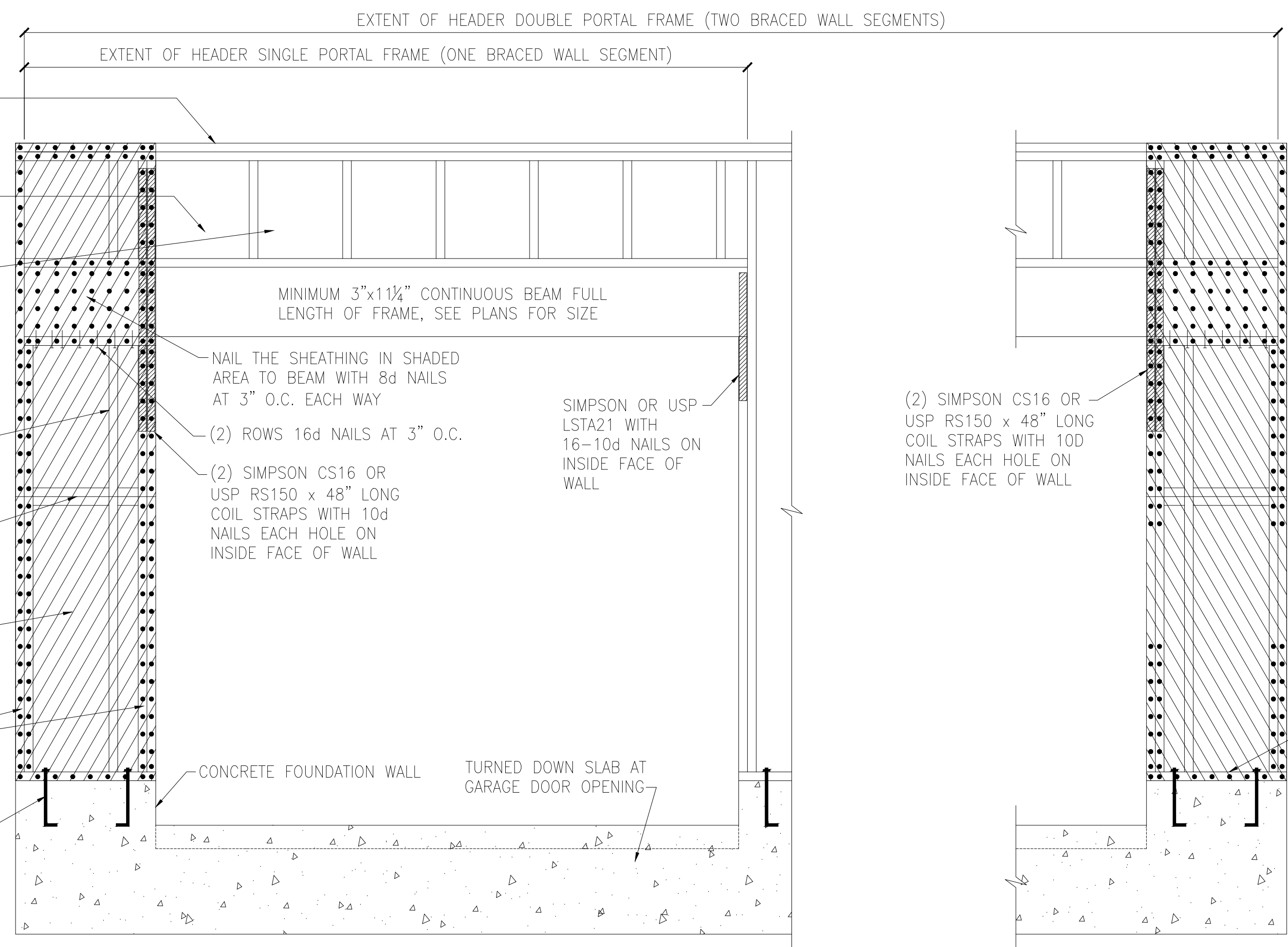
WHERE FULL HEIGHT PANEL WIDTH EXCEEDS 16", PROVIDE ADDITIONAL STUDS AT 16" O.C. NAIL SHEATHING TO ALL STUDS WITH 8d NAILS AT 3" O.C.

FOR A PANEL SPLICE (IF NEEDED), PANEL EDGES SHALL BE BLOCKED AND OCCUR WITHIN 24" OF MID HEIGHT. ONE ROW OF TYP. SHEATHING-TO-FRAMING IS REQUIRED IN EACH PANEL

7/16" O.S.B. OR 1/2" PLYWOOD EXTERIOR WALL SHEATHING. AT SHADED AREAS NAIL SHEATHING TO ALL SUPPORTS (STUDS, PLATES, BLOCKING, ETC.) WITH 8d NAILS AT 3" O.C.

(2)2x STUD MIN. AT START AND END OF WALL SEGMENTS EACH SIDE OF OPENING. SEE PLANS FOR ADDITIONAL STUDS

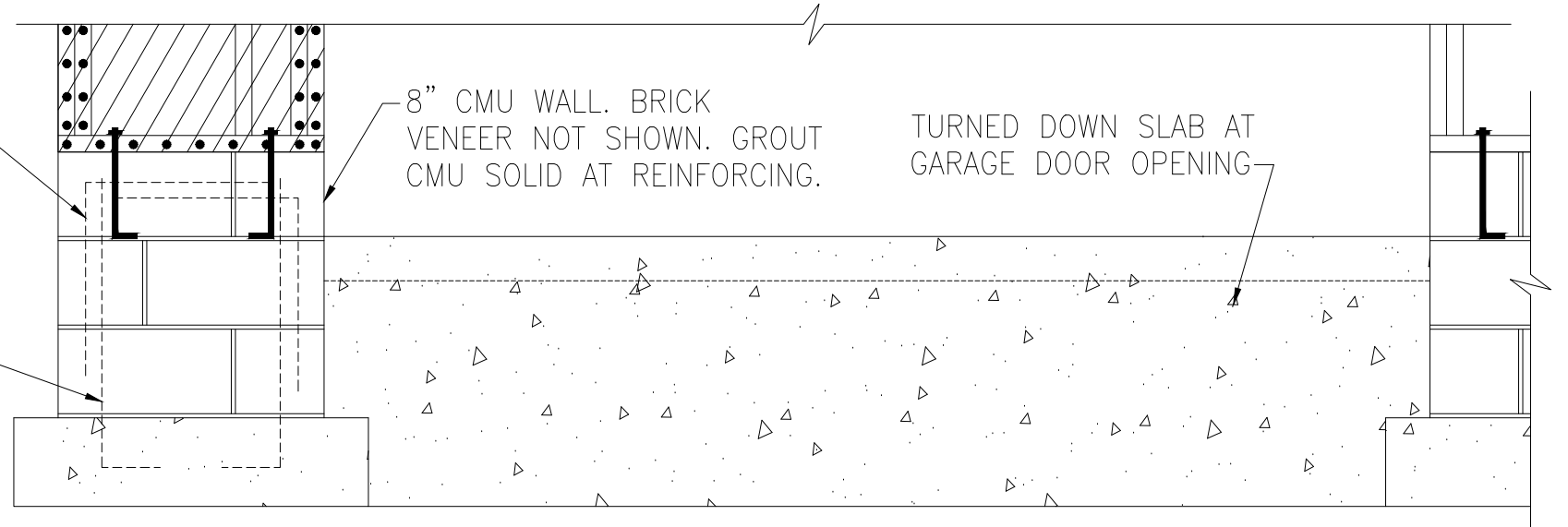
2x4 P.T. PLATE WITH TWO 1/2" DIA x 8" EMBED ANCHOR BOLTS WITH A 3/16"x2"x2" PLATE WASHERS



(A) METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION  
MONOLITHIC SLAB OR BASEMENT FOUNDATION

#4 VERTICAL DOWEL EACH END OF WALL HOOKED INTO TOP COURSE OF WALL. HORIZ. LEG TO EXTEND FULL LENGTH OF WALL (OR LAP MIN 24" WITH DOWEL FROM OTHER END OF WALL. VERT. LEG TO EXTEND FULL HEIGHT OF WALL

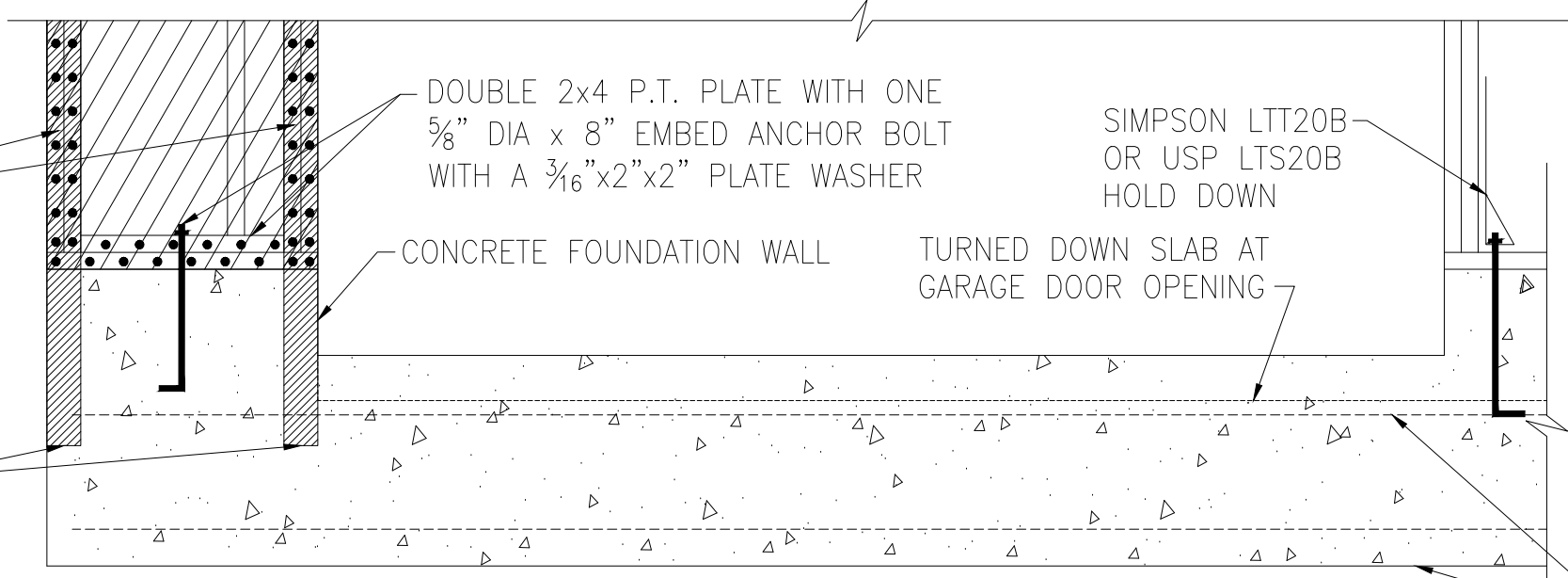
#4 VERTICAL DOWEL FULL HEIGHT OF WALL, WITH STD HOOK IN FOOTING, IN CELL EACH END OF WALL. IN LIEU OF CAST-IN-PLACE DOWEL VERT. #4 CAN BE DRILLED AND EPOXIED 5" INTO FOOTING USING SIMPSON "SET"/"ET" OR USP CIA-GEL ADHESIVE.



(B) METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION  
STEMWALL SLAB OR CRAWL SPACE FOUNDATION

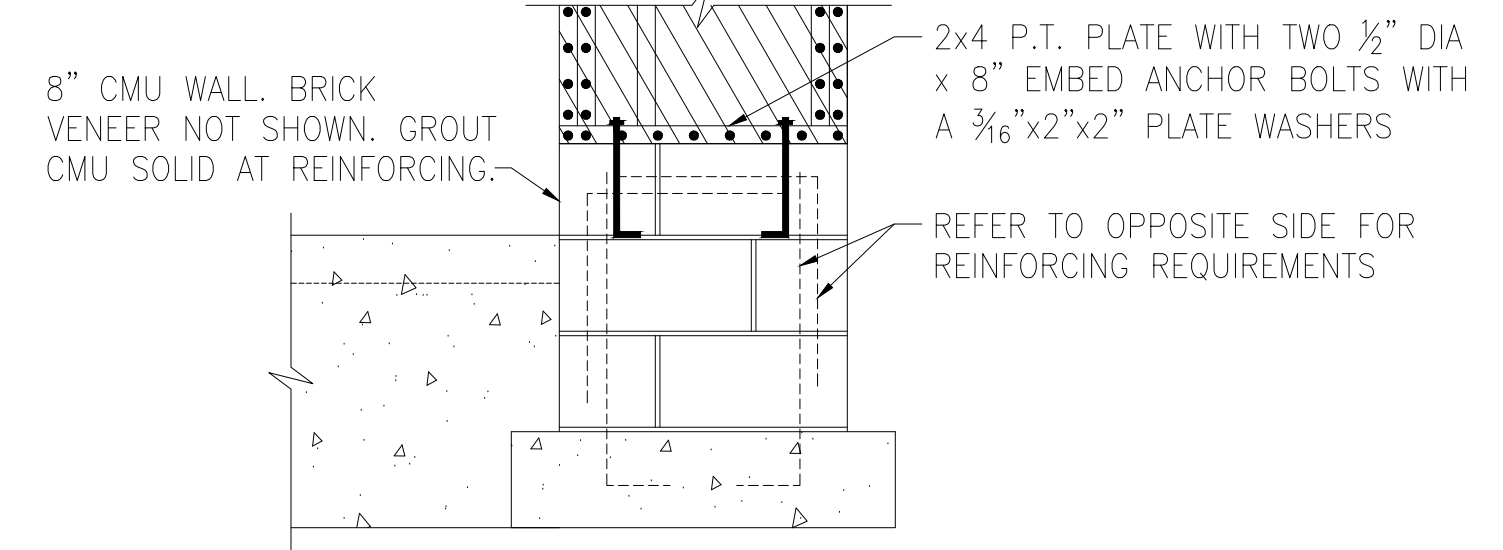
(2)2x STUD MIN. AT START AND END OF WALL SEGMENTS EACH SIDE OF OPENING. SEE PLANS FOR ADDITIONAL STUDS

SIMPSON STHD14 OR USP STAD14 STRAP-TIE HOLD DOWN WITH (30)16d SINKERS AT STUDS. INSTALL PER MANUFACTURER'S SPECS.



(C) METHOD PFH: PORTAL FRAME WITH HOLD-DOWNS  
MONOLITHIC SLAB OR BASEMENT FOUNDATION

CONTINUOUS #4 HIGH AND LOW. PROVIDE MIN 24" LAPS WHERE SPLICED.

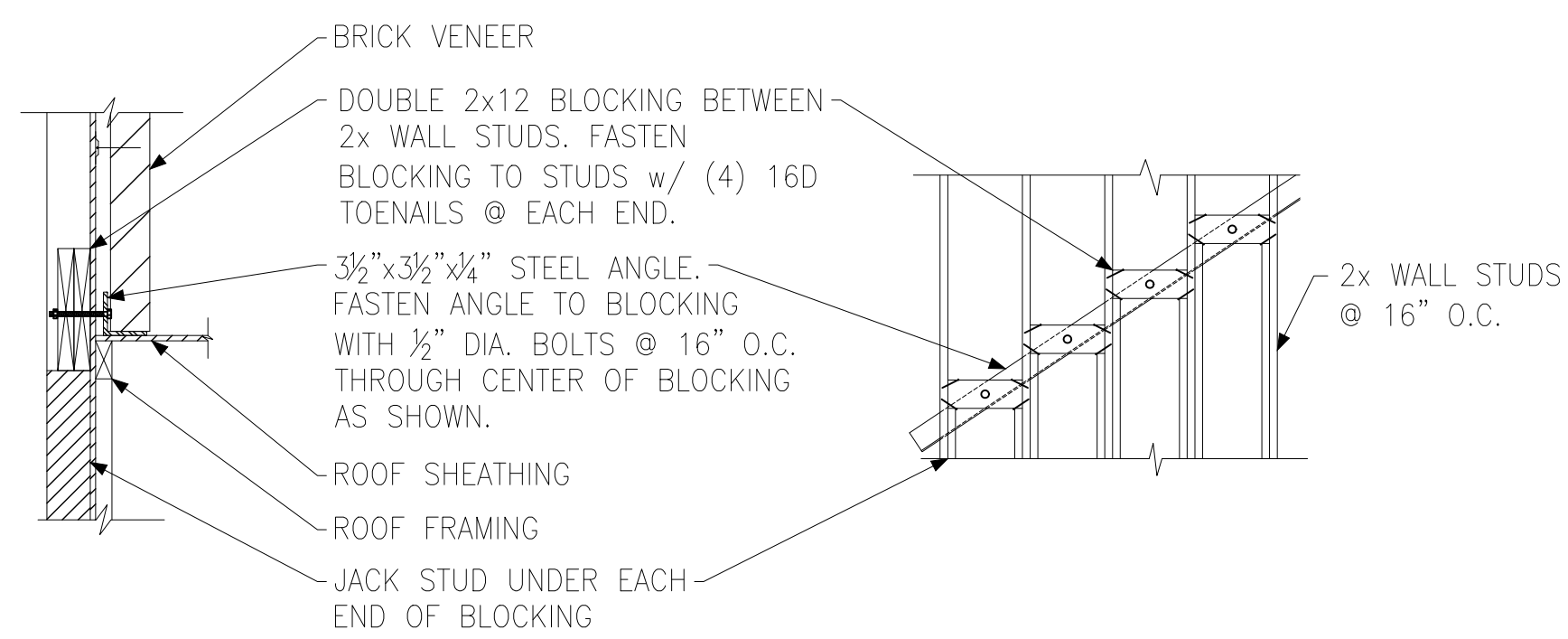


2x4 P.T. PLATE WITH TWO 1/2" DIA x 8" EMBED ANCHOR BOLTS WITH A 3/16"x2"x2" PLATE WASHERS  
REFER TO OPPOSITE SIDE FOR REINFORCING REQUIREMENTS

DOUBLE 2x4 P.T. PLATE WITH ONE 3/8" DIA x 8" EMBED ANCHOR BOLT WITH A 3/16"x2"x2" PLATE WASHER

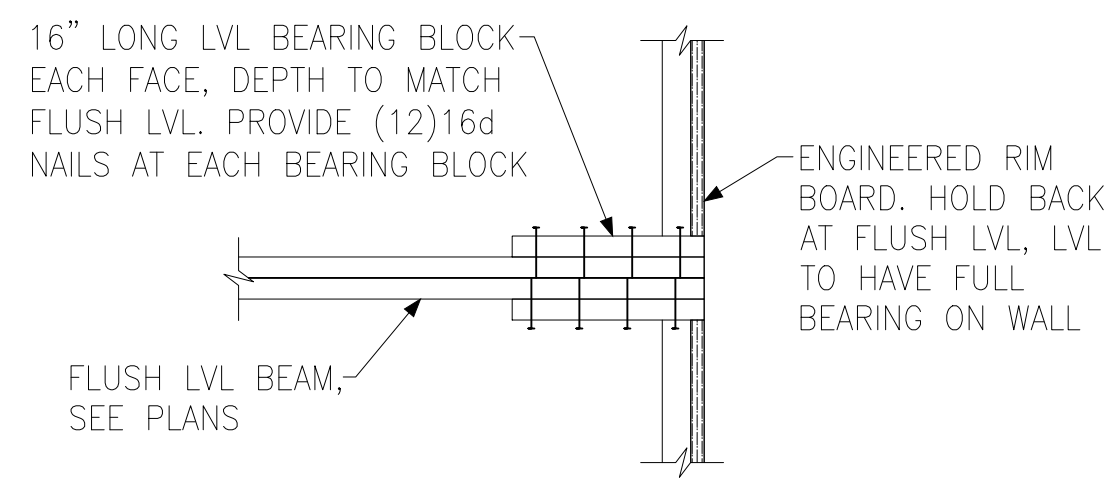
SIMPSON STHD14 OR USP STAD14 STRAP-TIE HOLD DOWN WITH (30)16d SINKERS AT STUDS. INSTALL PER MANUFACTURER'S SPECS.



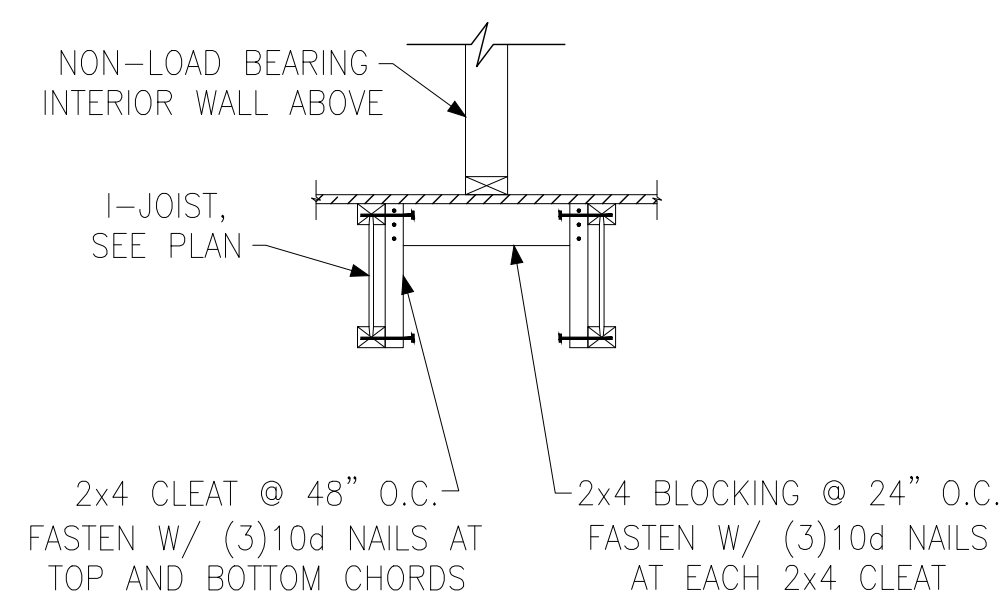


SECTION VIEW ELEVATION VIEW

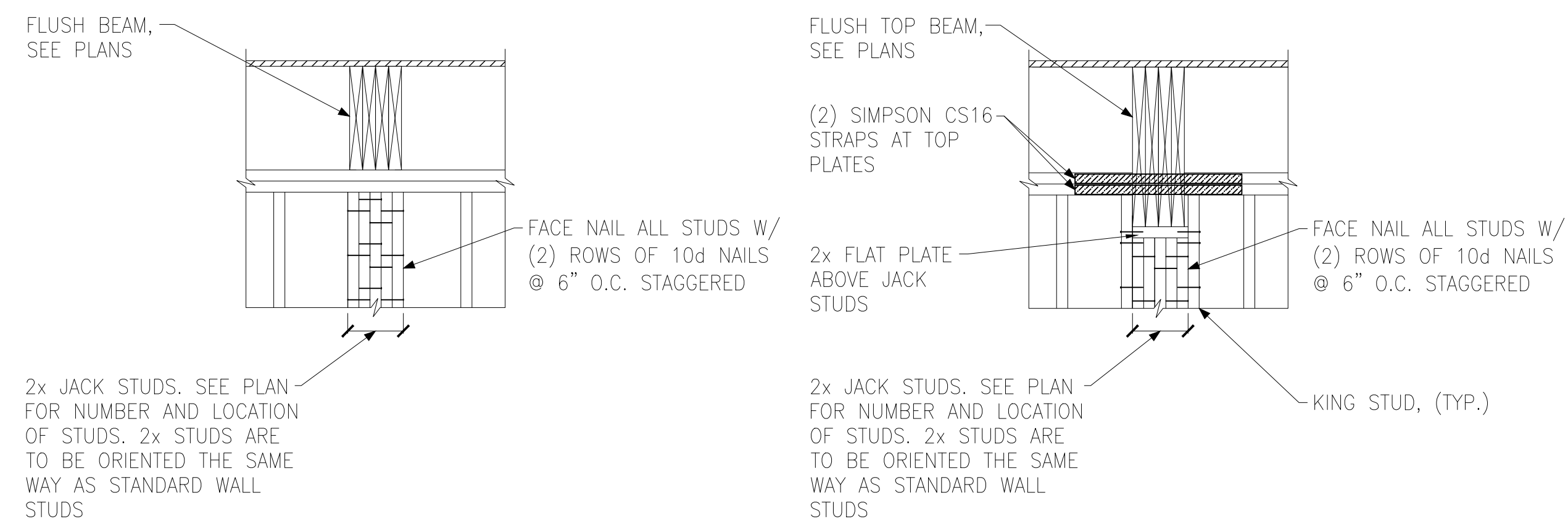
A BRICK LEDGER CONNECTION DETAIL



B BEARING ENHANCER FLUSH LVL



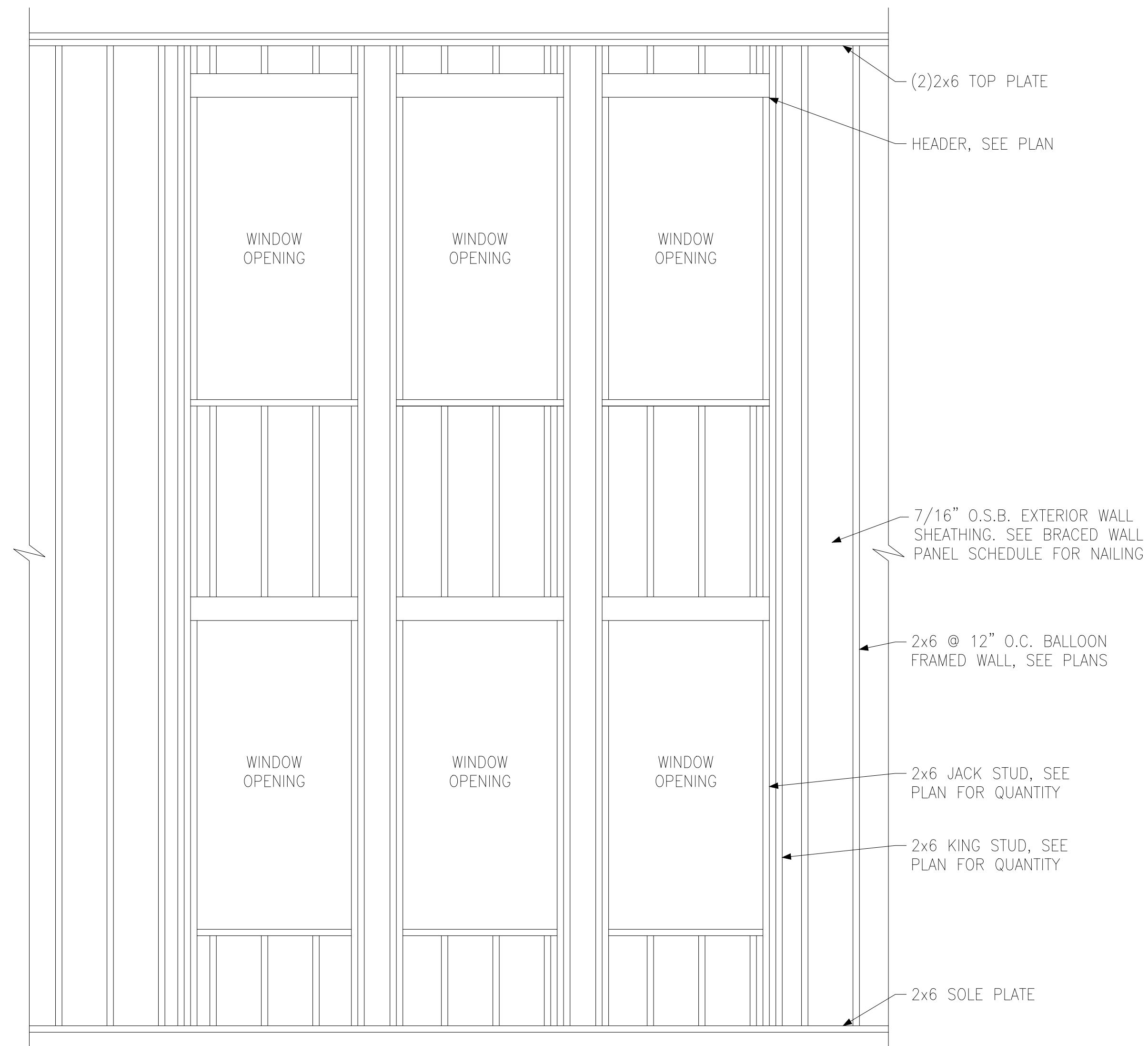
C I-JOIST LADDER BLOCKING AS REQUIRED @ PARALLEL WALLS



FLUSH BEAM

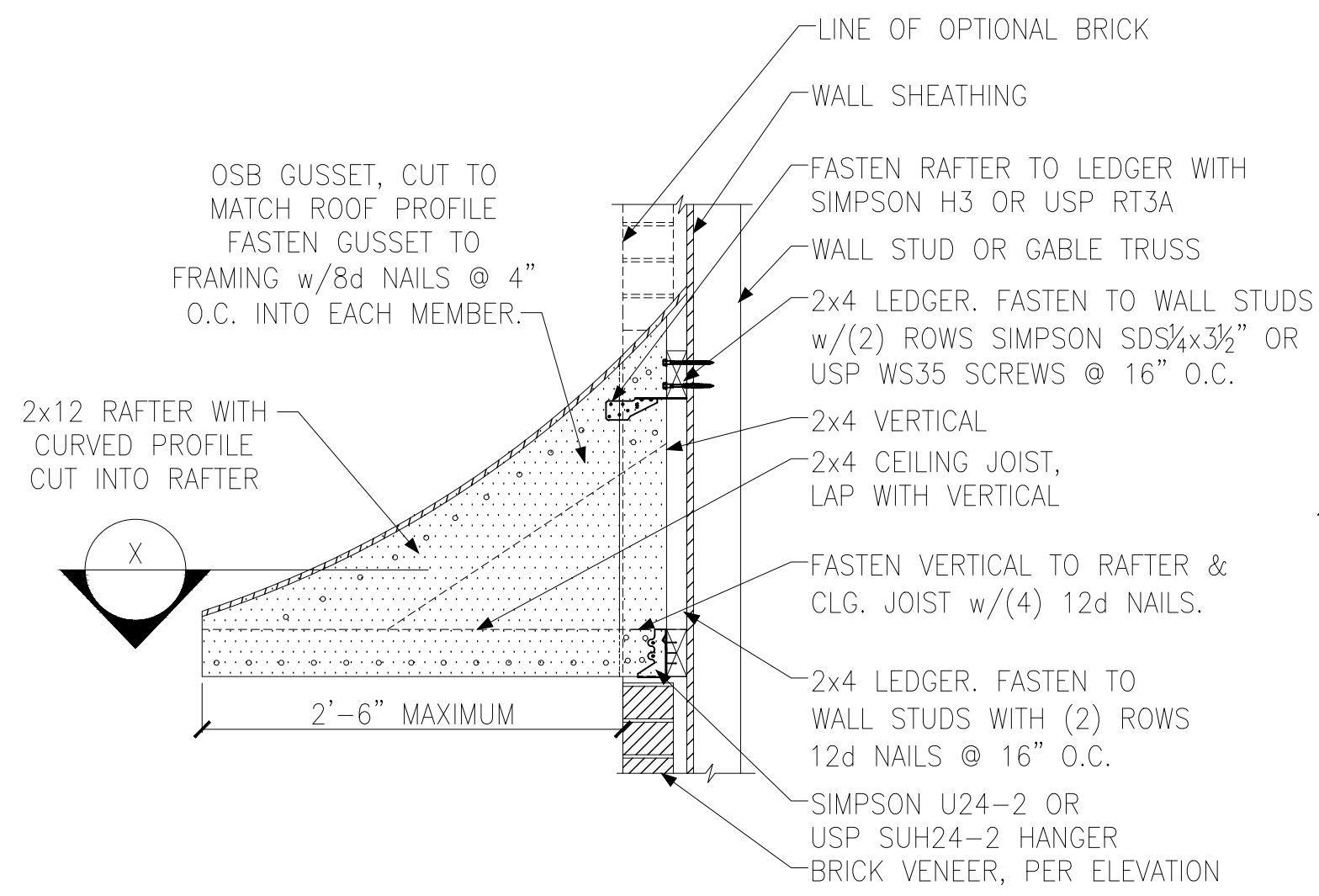
FLUSH TOP BEAM

E BUILT-UP STUD DETAIL SUPPORTING BEAM

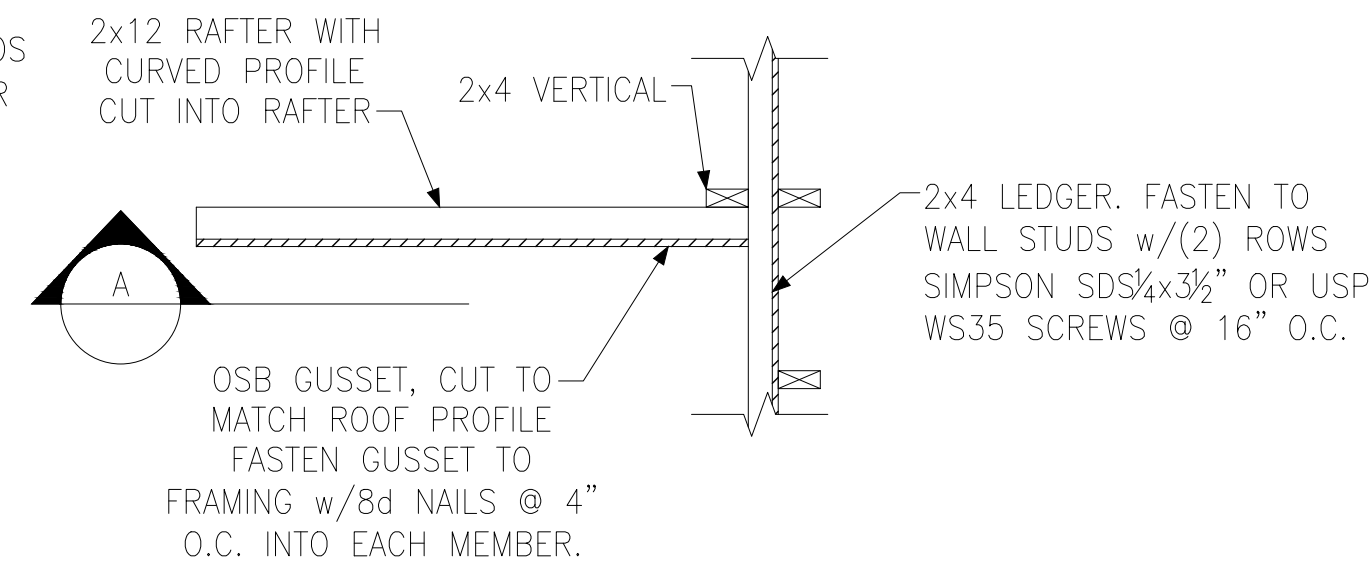


D BALLOON FRAMED WALL DETAIL N.T.S.

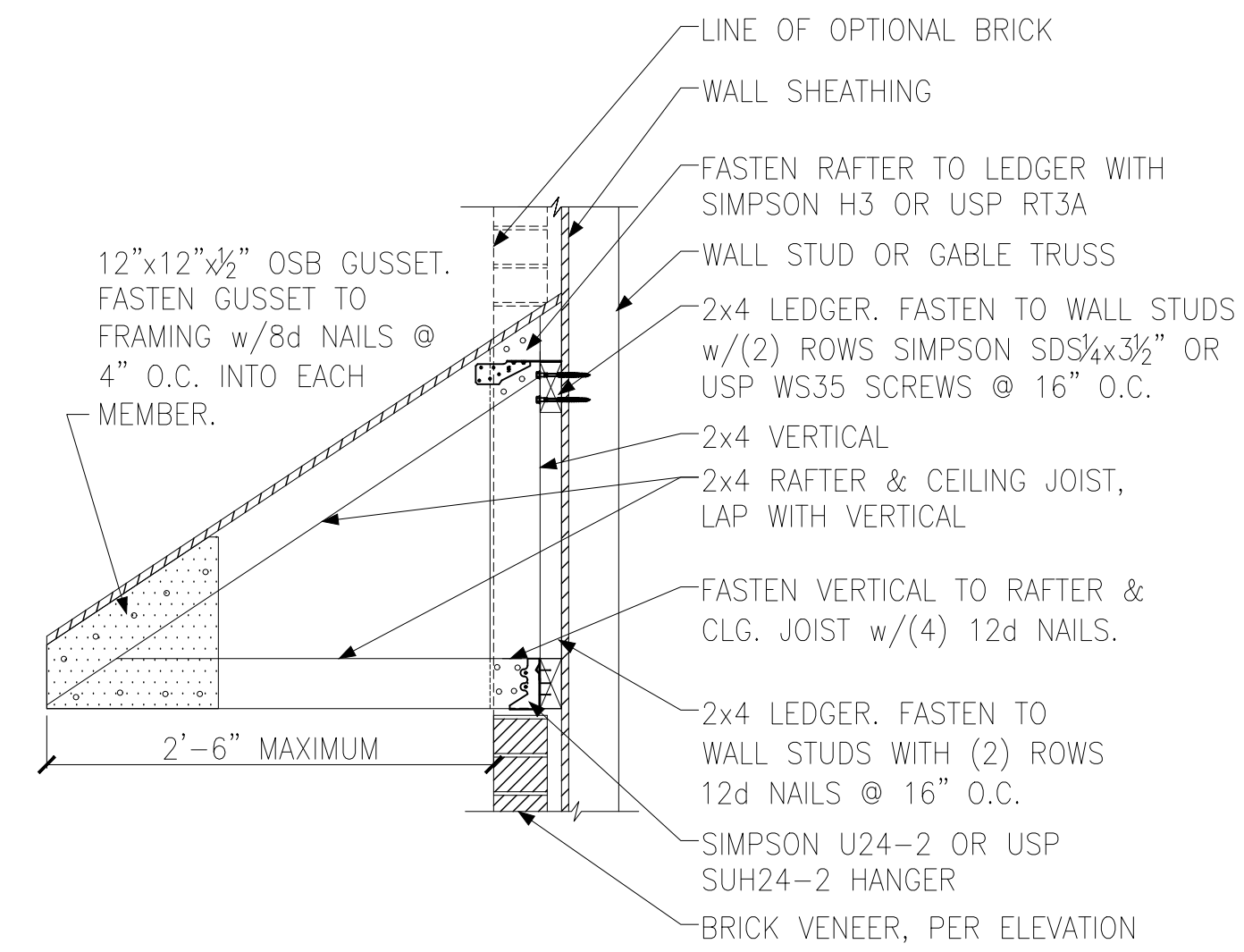




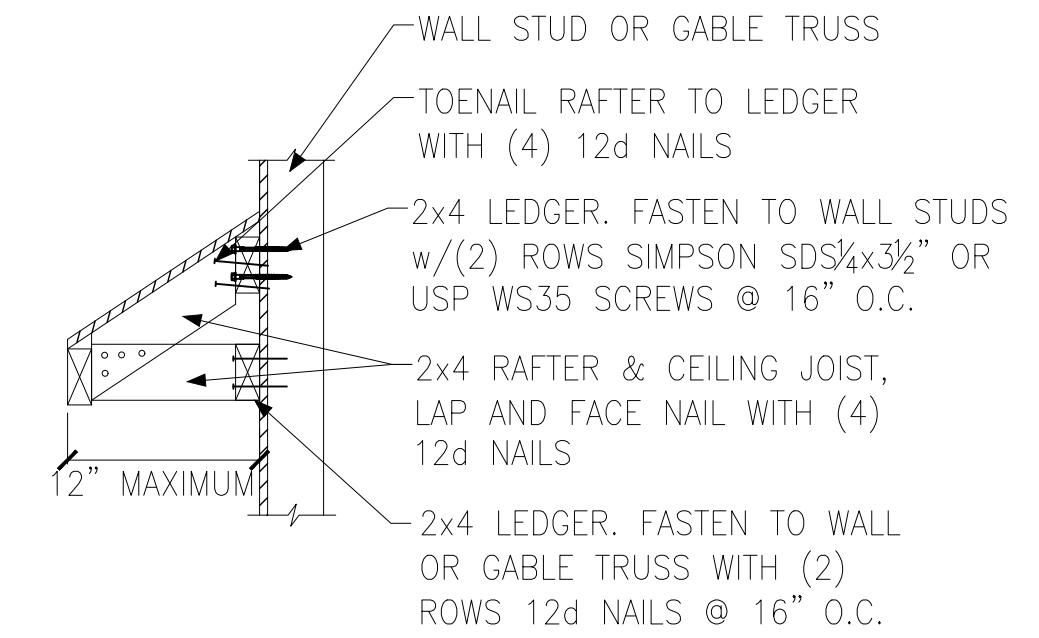
**A** PENT ROOF DETAIL  
CURVED ROOF



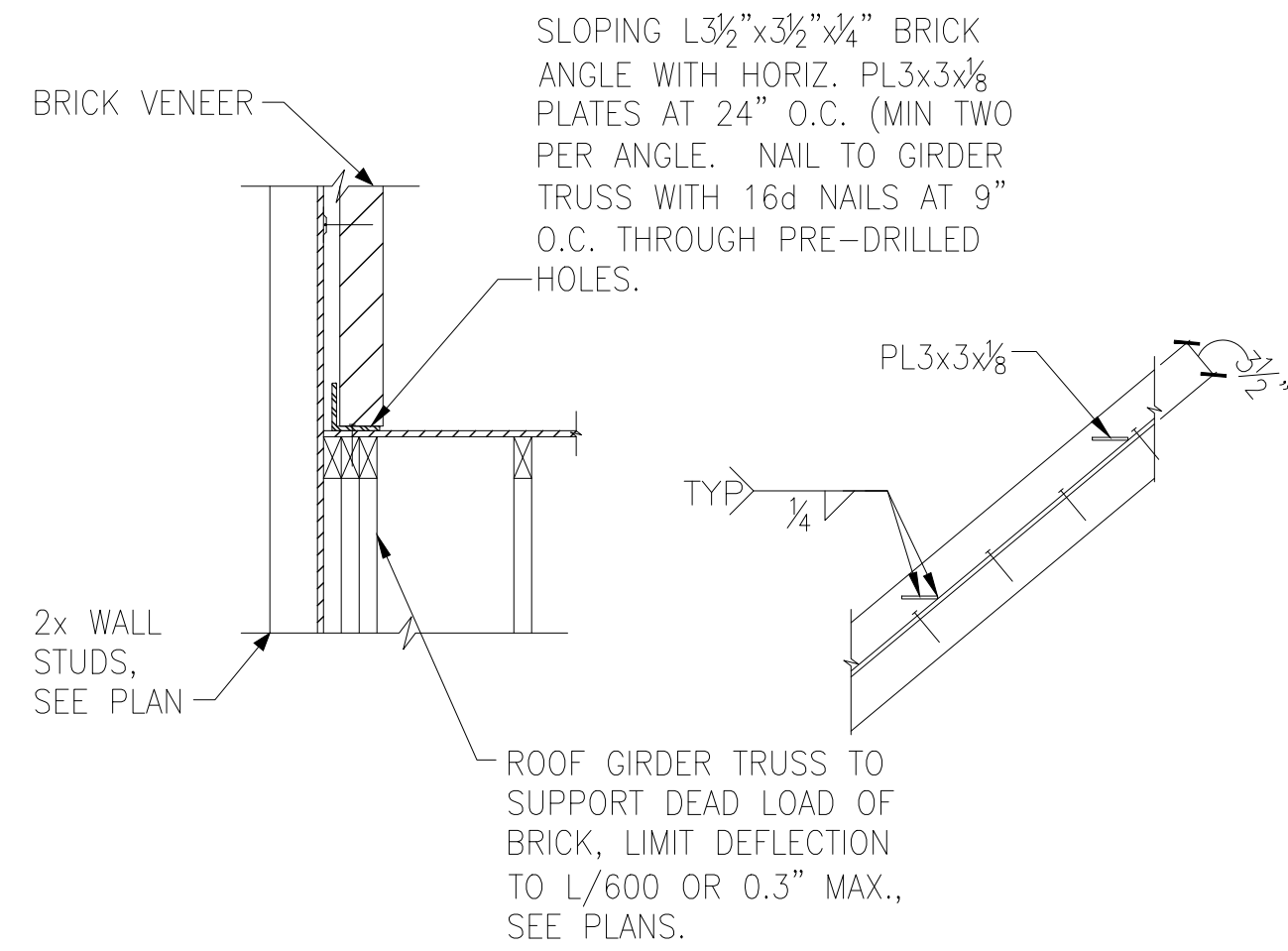
**X** SECTION  
CURVED ROOF



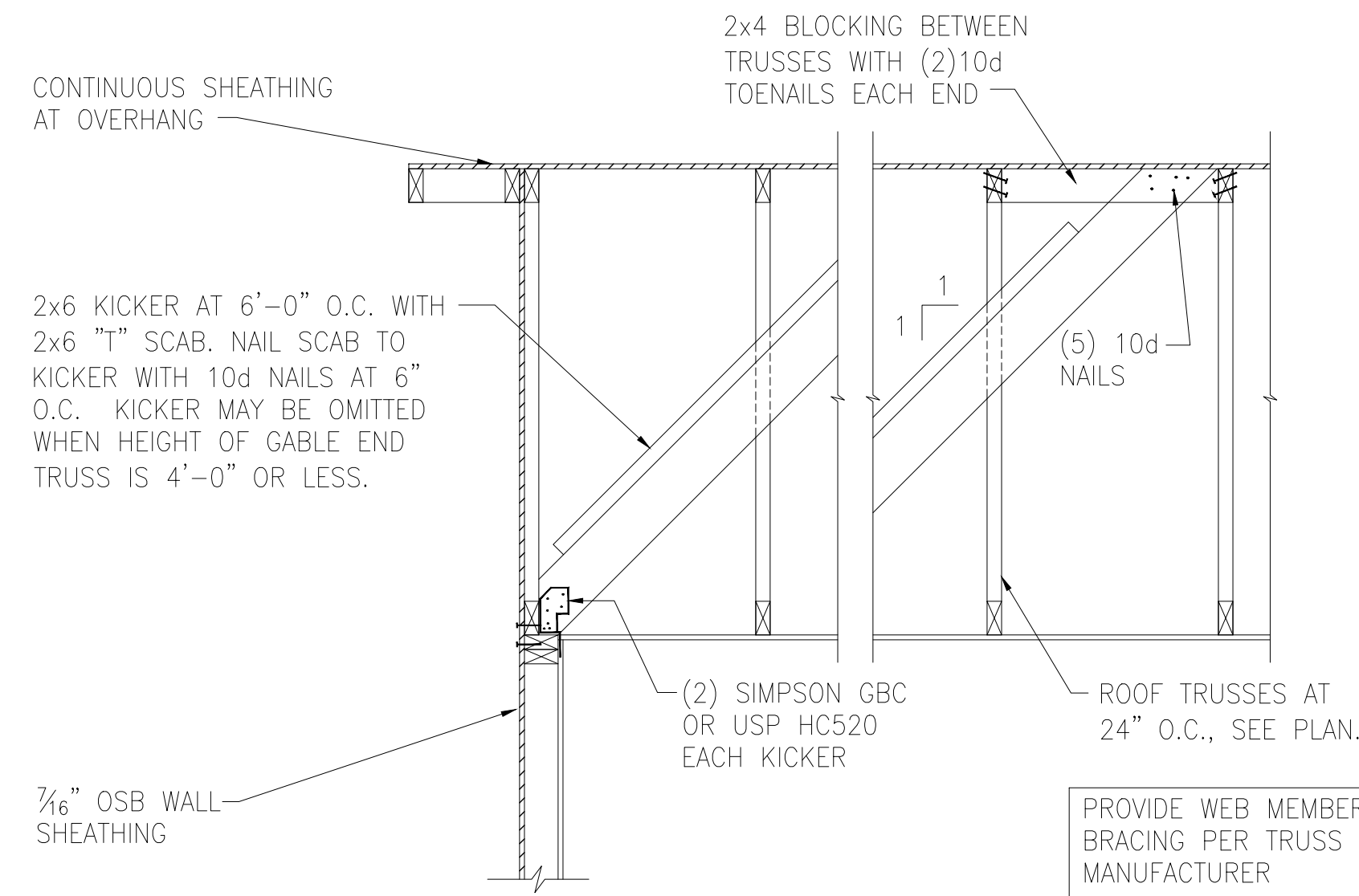
**B** PENT ROOF DETAIL  
STRAIGHT ROOF



**C** EYEBROW ROOF DETAIL  
STRAIGHT ROOF

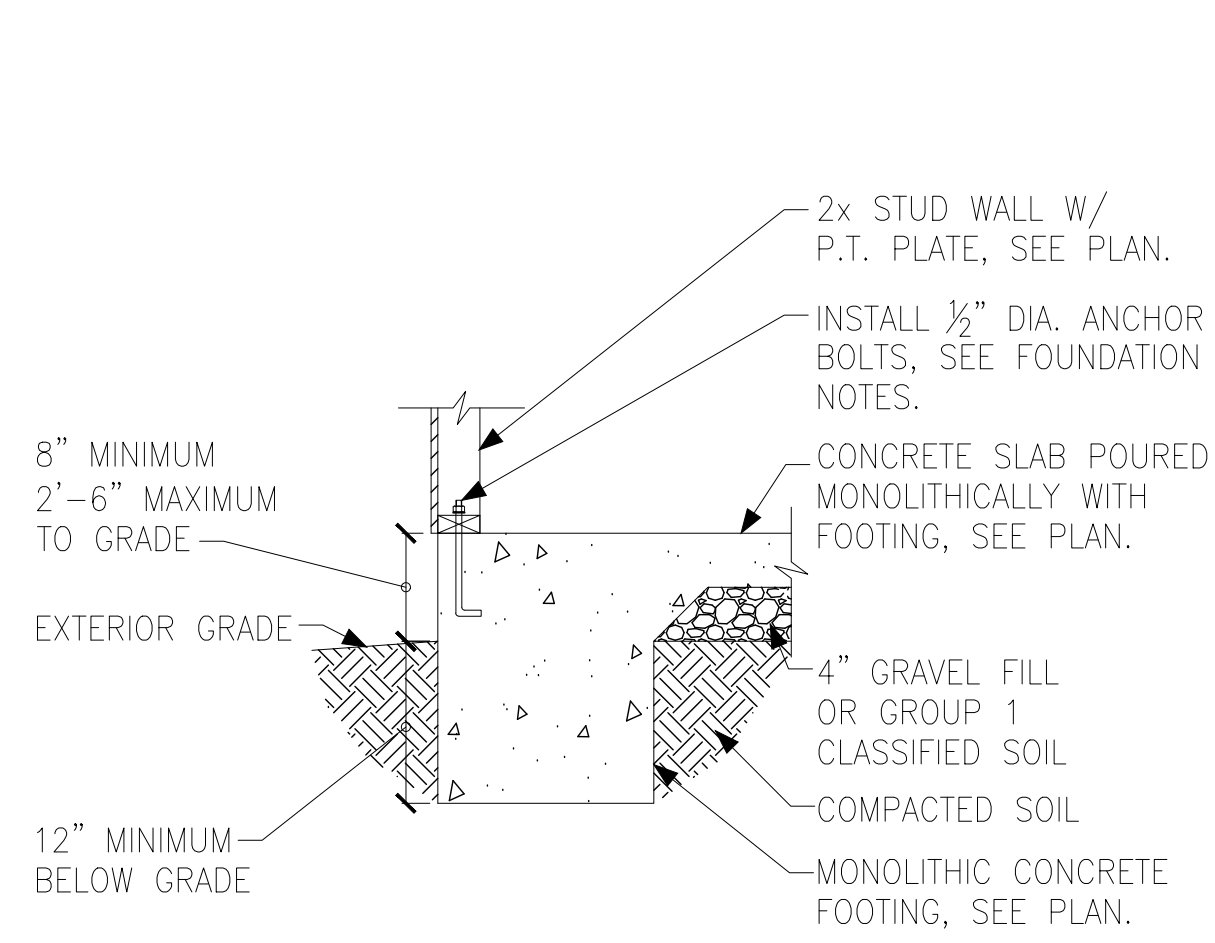


**D** TRUSS DETAIL

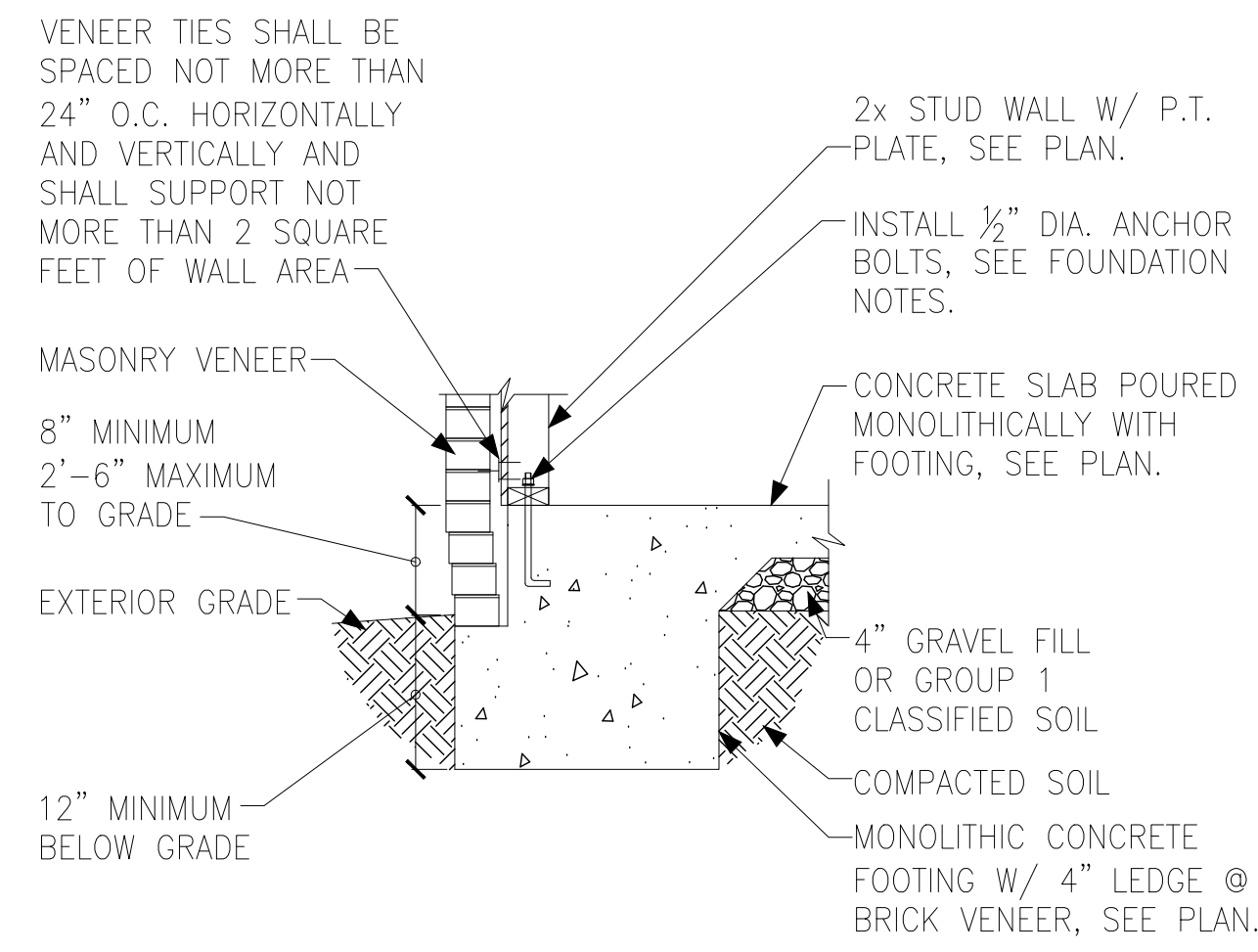


**E** GABLE END WALL DETAIL

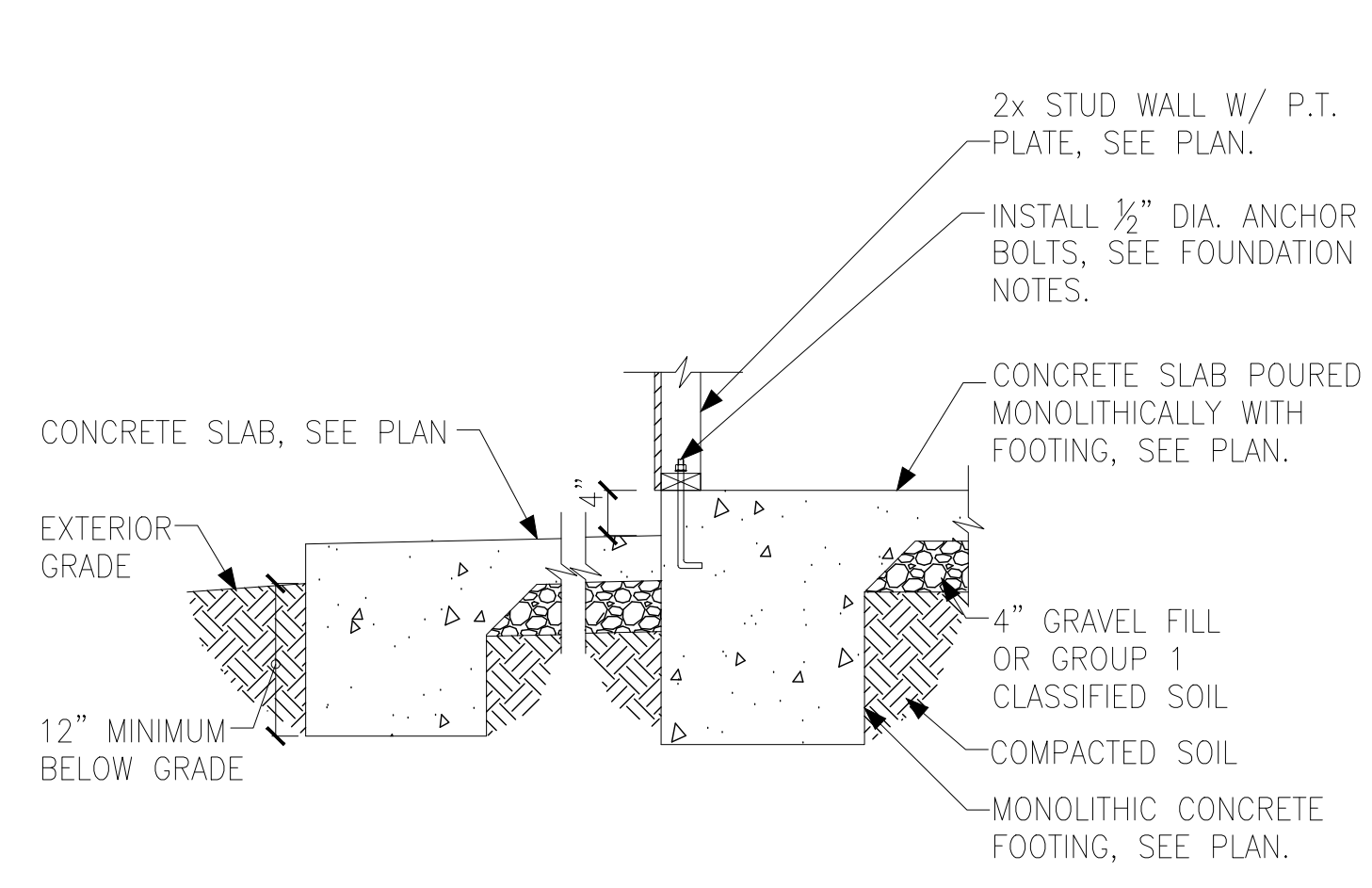




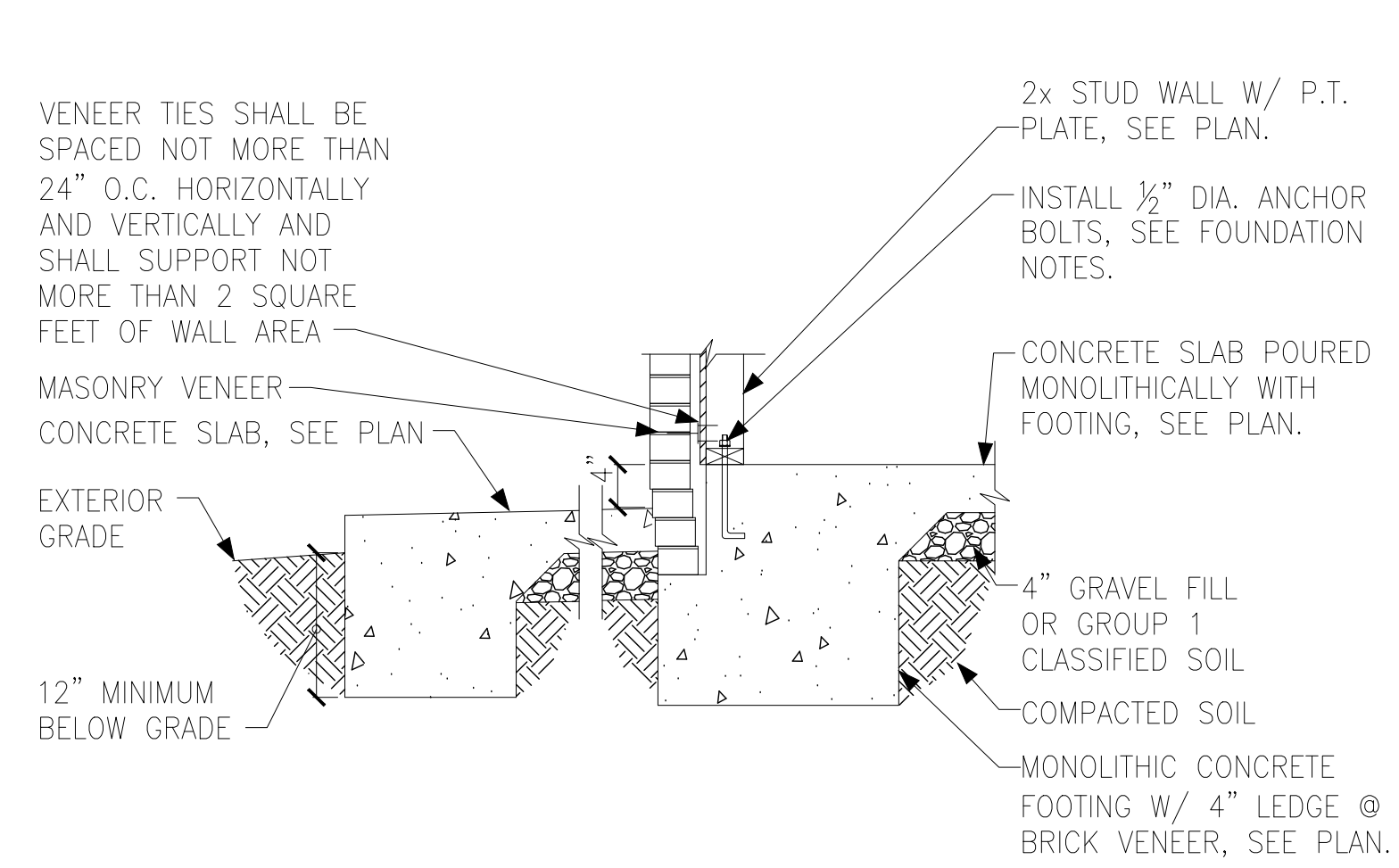
**A** FOUNDATION SECTION  
EXTERIOR WALL



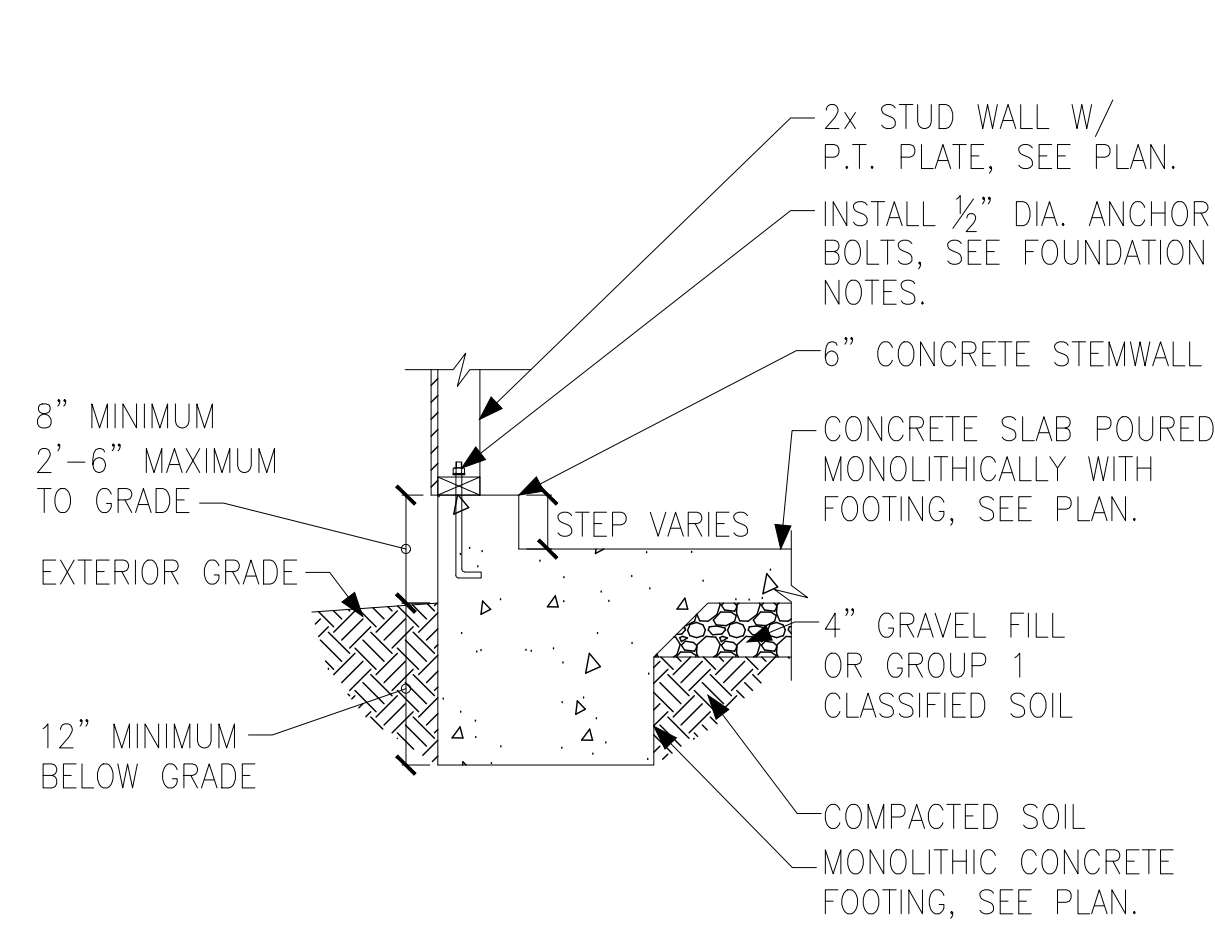
**B** FOUNDATION SECTION  
EXTERIOR WALL @ MASONRY  
VENEER



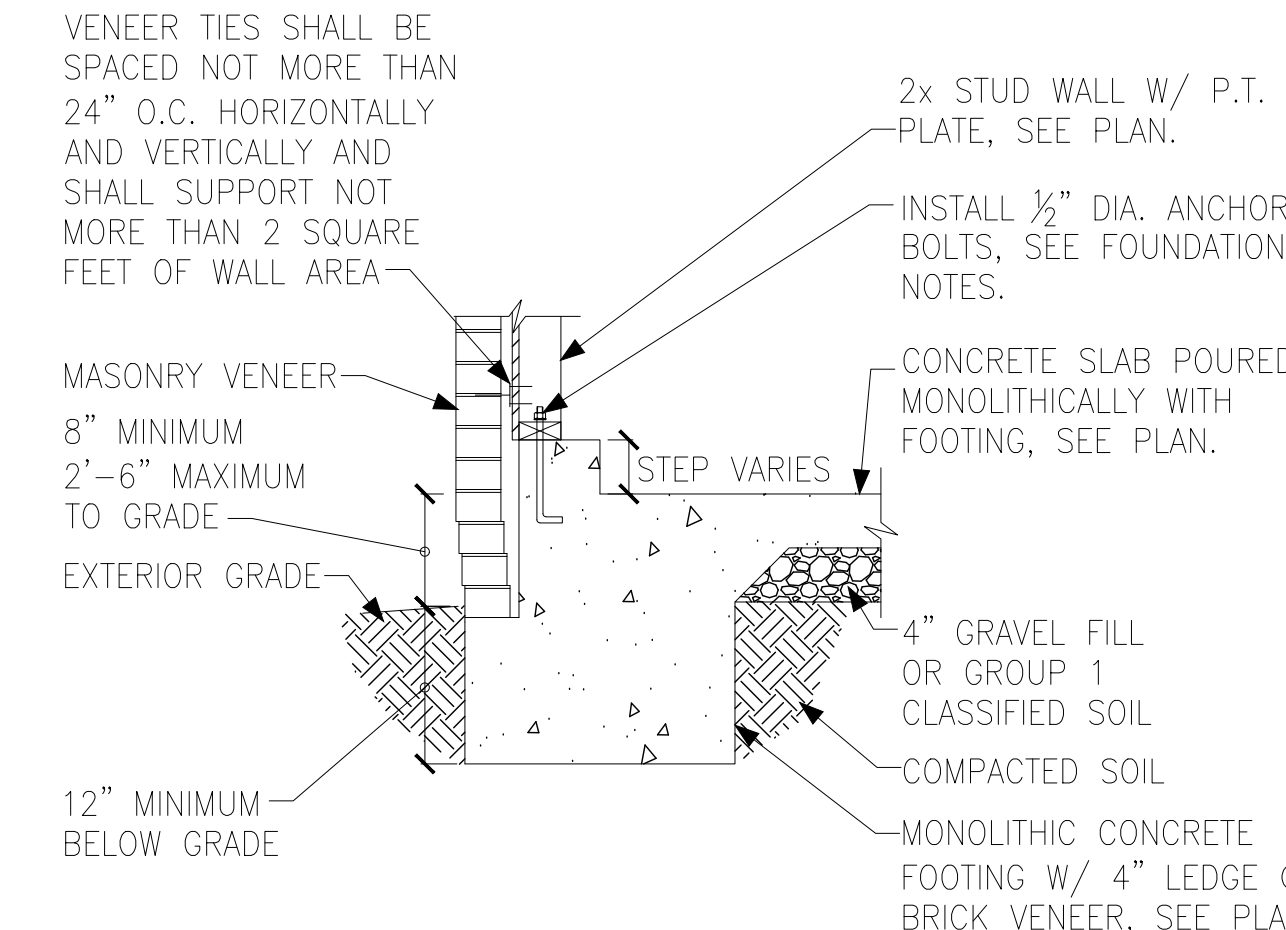
**C** FOUNDATION SECTION  
EXTERIOR WALL AT PORCH



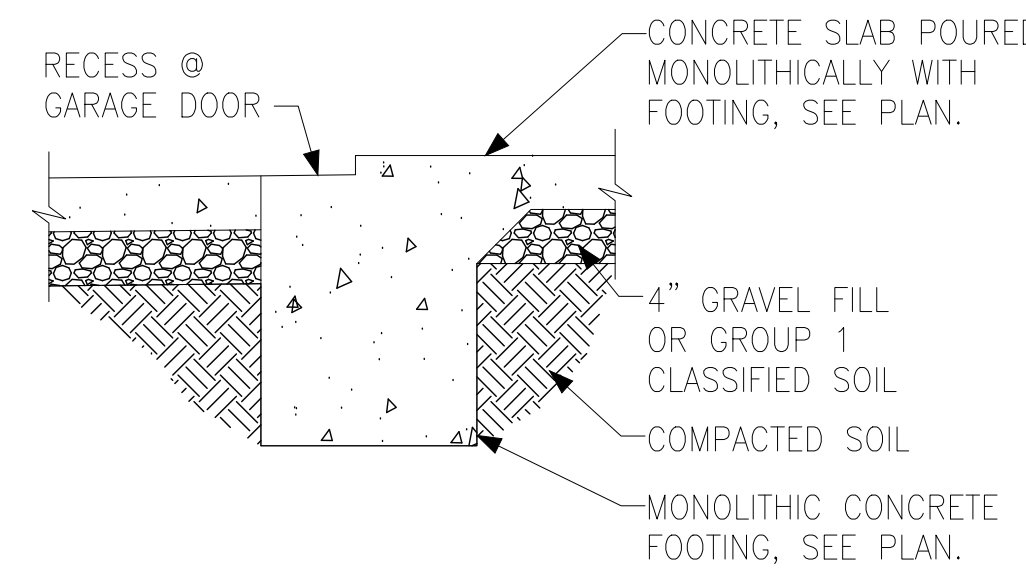
**D** FOUNDATION SECTION  
EXTERIOR WALL AT PORCH W/  
MASONRY  
VENEER



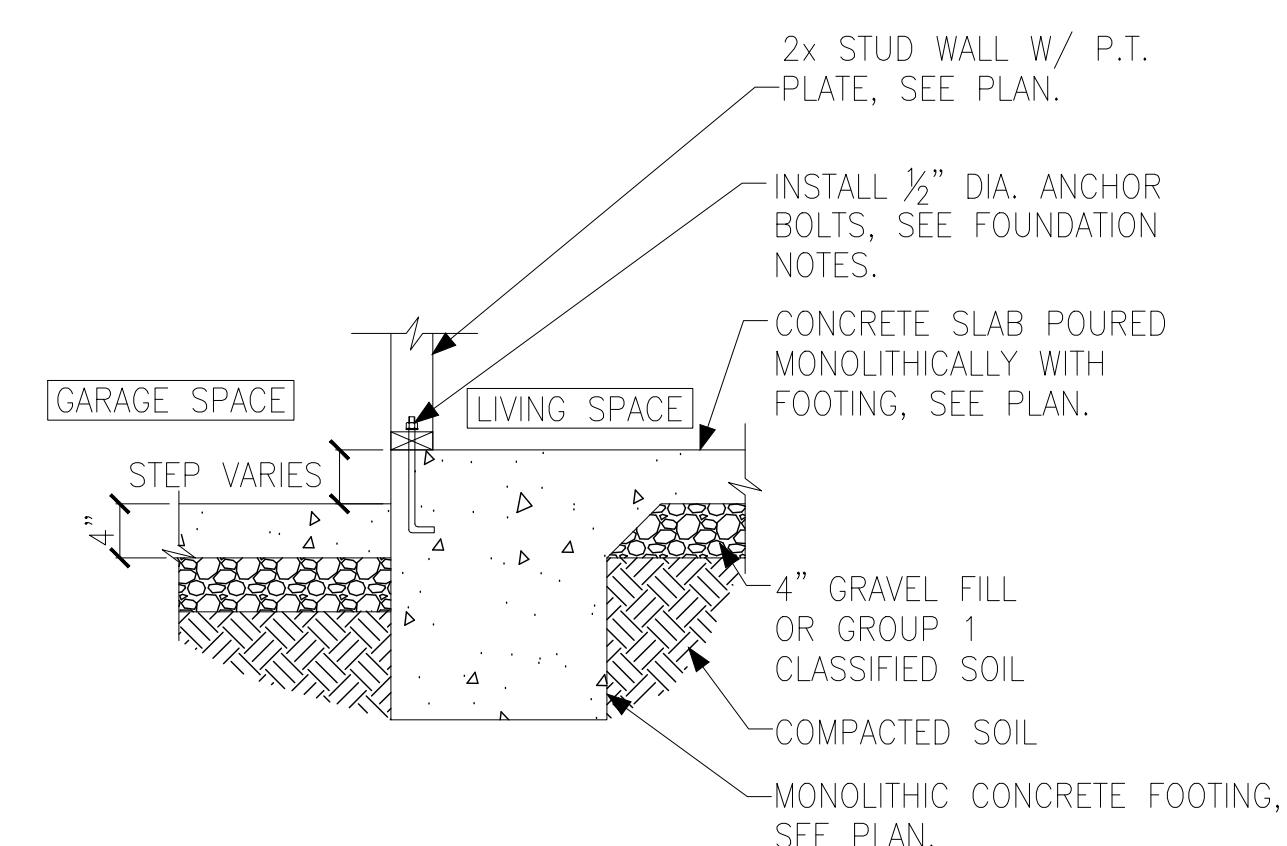
**E** FOUNDATION SECTION  
EXTERIOR GARAGE WALL



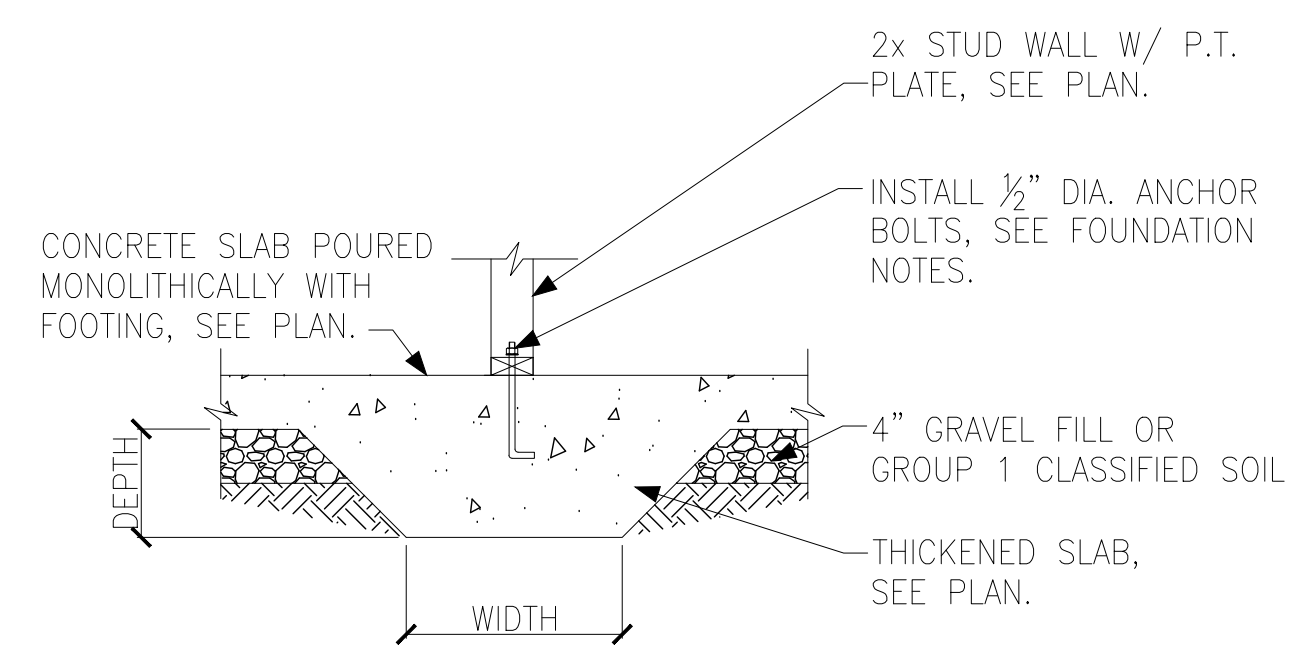
**F** FOUNDATION SECTION  
EXTERIOR GARAGE WALL @ MASONRY  
VENEER



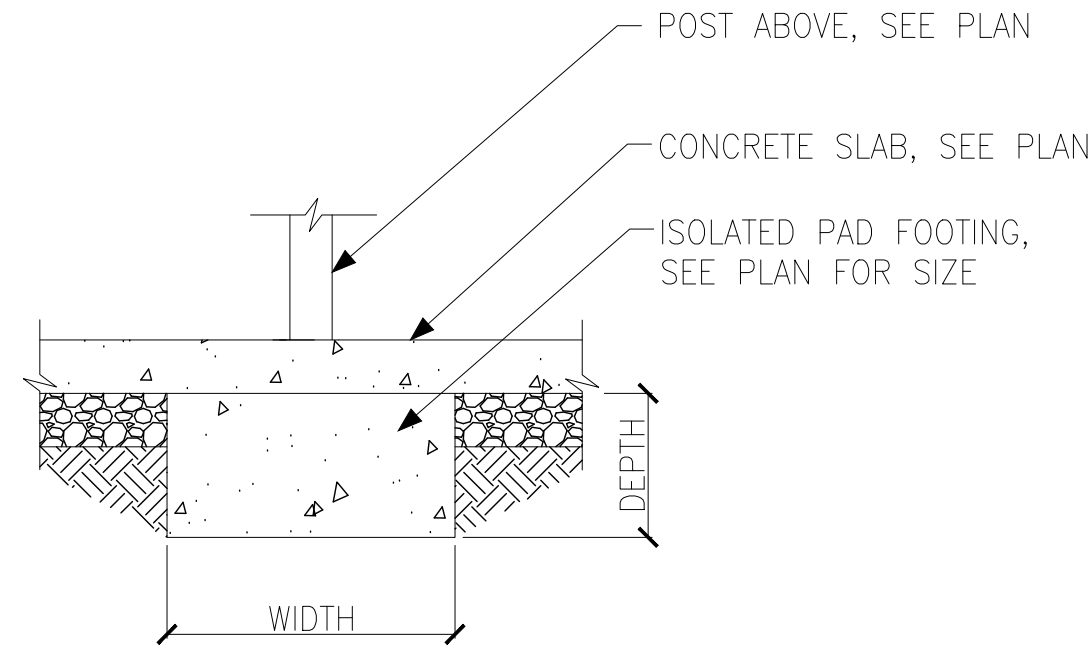
**G** FOUNDATION SECTION  
GARAGE DOOR



**H** FOUNDATION SECTION  
INTERIOR GARAGE WALL



**J** FOUNDATION SECTION  
THICKENED SLAB



**K** FOUNDATION SECTION  
ISOLATED PAD FOOTING

