

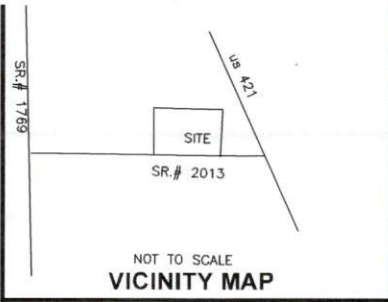
FEMA FLOOD HAZARD STATEMENT
Lots shown on this plot are not
located within the FEMA 100 year
Flood Hazard Area as shown on
FEMA Map No.: 3720058800 J, 3720058800J
Effective Date: 10/3/2006

NOTE: PROPERTY SHOWN HEREON IS NOT CURRENTLY IN A SUBDIVISION RECORD.

IRON STAKES ARE SET AT ALL CORNERS.

Harnett County Minimum
Building Setback Requirements
RA-20R, RA-20M, RA-30, & RA-40
FRONT: 35' from R/W
REAR: 20'
SIDE: 10'
CORNER LOT SIDE: 20'

Whittenton Builders Enterprise Lot 3 (244) Avery Road



North Carolina, Johnston County

I, W. Royce Lambert, Jr., certify that this plot was drawn under my supervision from an actual survey made under my supervision (said description recorded in Book 318, Page 211, etc.) (other); that the boundaries not surveyed are clearly indicated as drawn from information found in Book 318, Page 211; that the ratio of precision or positional accuracy as calculated is 1:1000; that this plot was prepared in accordance with G.S. 47-30 as amended.

- I certify to one or more of the following:
 - A. That the survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land.
 - B. That the survey is located in a portion of a county or municipality that is unincorporated or to an ordinance that regulates parcels of land.
 - C. Any one of the following: (1) That the survey is of an existing parcel or parcels of land or one or more existing easements and does not create a new street or change an existing street. For the purpose of this subsection, an "existing parcel" or "existing easement" is an area of land described in a single, legal description or legally recorded subdivision that has been or may be legally conveyed to a new owner by deed in its existing configuration; (2) That the survey is of an existing feature, such as a building or other structure, or natural feature, such as a well, cove, or stream; (3) That the survey is a control survey. For the purpose of this subsection, a "control survey" is a survey that provides horizontal or vertical position data for support or control of other surveys or for mapping. A control survey, by itself, cannot be used to define or convey rights or easements; (4) That the survey is of a proposed easement for a public utility as defined in G.S. 62-3.
 - D. That the survey is of another category, such as the recombination of existing parcels, a court-ordered survey, or other exemption or exception to the definition of subdivision.
 - E. That the information available to the surveyor is such that the surveyor is unable to make a determination to the best of the surveyor's professional ability as to provisions contained in (a) through (d) above.

Witness my original signature, license number and seal this 22 day of ANS, A.D., 2023.

Seal or Stamp
W. Royce Lambert, Jr.
Professional Land Surveyor
L # 3517
License Number



Edith Jackson Pierce and husband,
James Franklin Pierce, Jr.
deed book 897, page 645-646

Brayer Properties, LLC
deed book 3755, page 625-629

Mack L. Wood, Billie W. Sawyer, Weece W. Duffy,
Janice W. McLeod, Harold G. Wood, and Lillian W. Parker
deed book 710, page 490

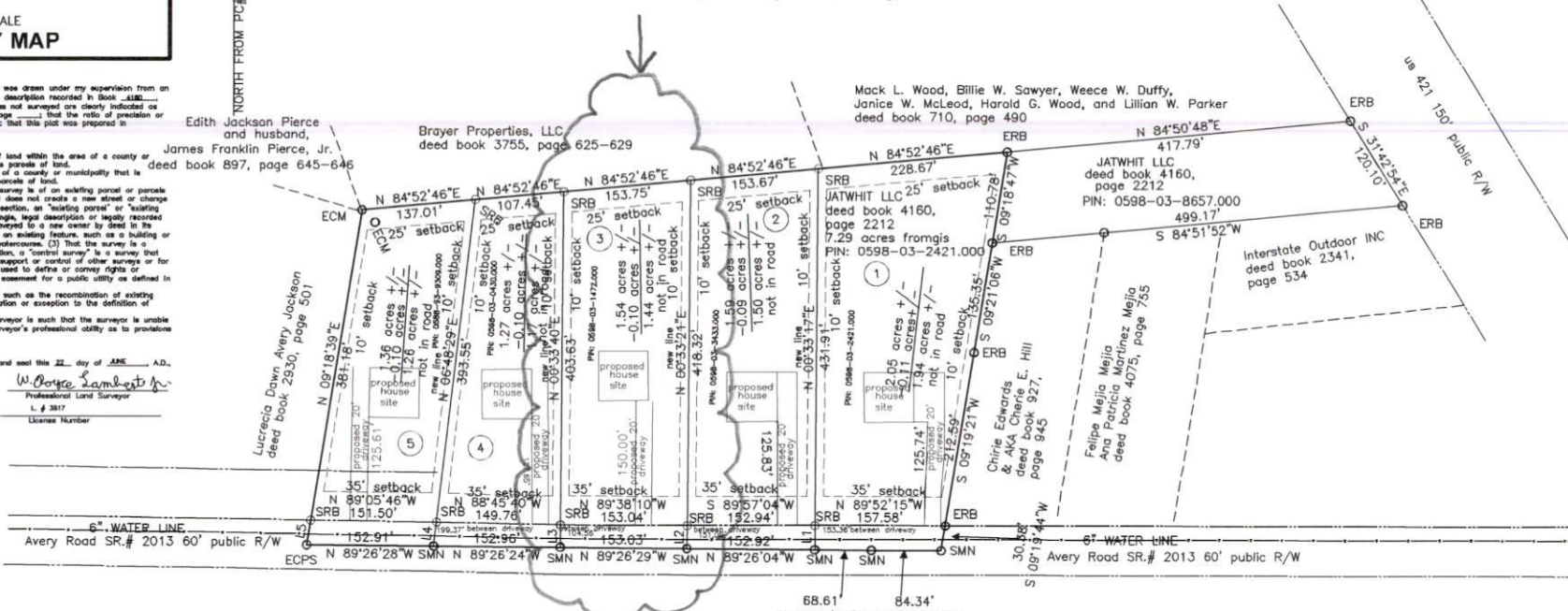
JATWHIT LLC
deed book 4160,
page 2212
7.29 acres from grms
PIN: 0598-03-2421.000

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Interstate Outdoor INC
deed book 2341,
page 534

Felipe Mejia Mejia
Ana Patricia Martinez Mejia
deed book 4075, page 755

Chirle Edwards
& AKA Cherie E. Hill
deed book 927,
page 945



Course	Bearing	Distance
L1	N 00°34'18" E	29.46'
L2	N 00°32'54" E	27.82'
L3	N 00°31'22" E	27.30'
L4	N 06°50'24" E	29.25'
L5	N 09°18'39" E	30.34'

NOTE: ALL DISTANCES ARE HORIZONTAL GROUND.
IMPROVEMENTS NOT LOCATED, UTILITIES NOT LOCATED.
In the event that a structure (house) is built by a developer/contractor for commercial gain, an approved Driveway Permit must be secured.
A minimum spacing of 100' between the proposed driveways of Lot 1, Lot 2, Lot 3, Lot 4, and Lot 5.
A driveway permit is required for Lot 1, Lot 2, Lot 3, Lot 4, and Lot 5.

LAMBERT SURVEYING INC.
C-1280

W. ROYCE LAMBERT, Jr. PLS 3517
3732 OLD FAIRGROUND ROAD,
ANGIER, NC, 27501

STATE OF NORTH CAROLINA, _____ COUNTY
I, _____, REVIEW OFFICER OF _____ COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATE IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.
REVIEW OFFICER

STATE OF NORTH CAROLINA, _____ COUNTY
FILED FOR REGISTRATION AT _____ M. _____, 20____, IN THE REGISTER OF DEEDS OFFICE.
RECORDED IN BOOK _____ PAGE _____
REGISTER OF DEEDS

Map Reference: PC#E Slide 70C
Plat Book 2023, Page 67

SITEPLAN MAP FOR
JATWHIT LLC
TOWNSHIP GROVE COUNTY HARNETT
STATE: NORTH CAROLINA DATE: 6/22/2023 SCALE: 1 in.=100 ft.

50 0 50 100