

RESIDENTIAL CODE SUMMARY

PLANS ARE DESIGNED TO MEET REQUIREMENTS OF 2018 NORTH CAROLINA RESIDENTIAL CODE
 STRUCTURE IS DESIGNED TO WITHSTAND 100 MPH, 3 SECOND GUST (85 FASTEST WIND), EXPOSURE B.
 ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM 7" INTO MASONRY OR CONCRETE. ANCHOR BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF THE CORNERS.

MEAN ROOF HEIGHT=20'-5"

COMPONENT AND CLADDING ARE DESIGNED FOR THE FOLLOWING LOADS:

MEAN ROOF HEIGHT	UP TO 30'	30'-1"-35'	35'-1"-40'	40'-1"-45'
ZONE 1	16.5,-18.0	17.3,-18.9	18.0,-19.6	18.5,-20.2
ZONE 2	16.5,-21.0	17.3,-22.1	18.0,-22.9	18.5,-23.5
ZONE 3	16.5,-21.0	17.3,-22.1	18.0,-22.9	18.5,-23.5
ZONE 4	18.0,-19.5	18.9,-20.5	19.6,-21.3	20.2,-21.8
ZONE 5	18.0,-24.1	18.9,-25.3	19.6,-26.3	20.2,-27.0

MINIMUM VALUES FOR ENERGY COMPLIANCE

ZONE 4
 MAXIMUM GLAZING U-FACTOR=0.35
 CEILING R-30 (UNCOMPRESSED)
 WALLS R-13 CAVITY + R-2.5 SHEATHING OR R15 CAVITY
 SLAB EDGE R-10 (CONDITIONED AREA)

MAIN FLOOR AREA:

CONDITIONED	1101 SF
FRONT PORCH	257 SF
SIDE PORCH	55 SF

ATTIC SPACE VENTILATION

1/150 X 1101 SQ.FT. ATTIC AREA=7.3 SQ.FT. NET FREE AREA OF LOUVER REQ'D

METHOD OF VENTILATION

CONTINUOUS ROOF RIDGE VENTING WITH PERFORATED, CONTINUOUS SOFFIT VENTING FOR INTAKE.

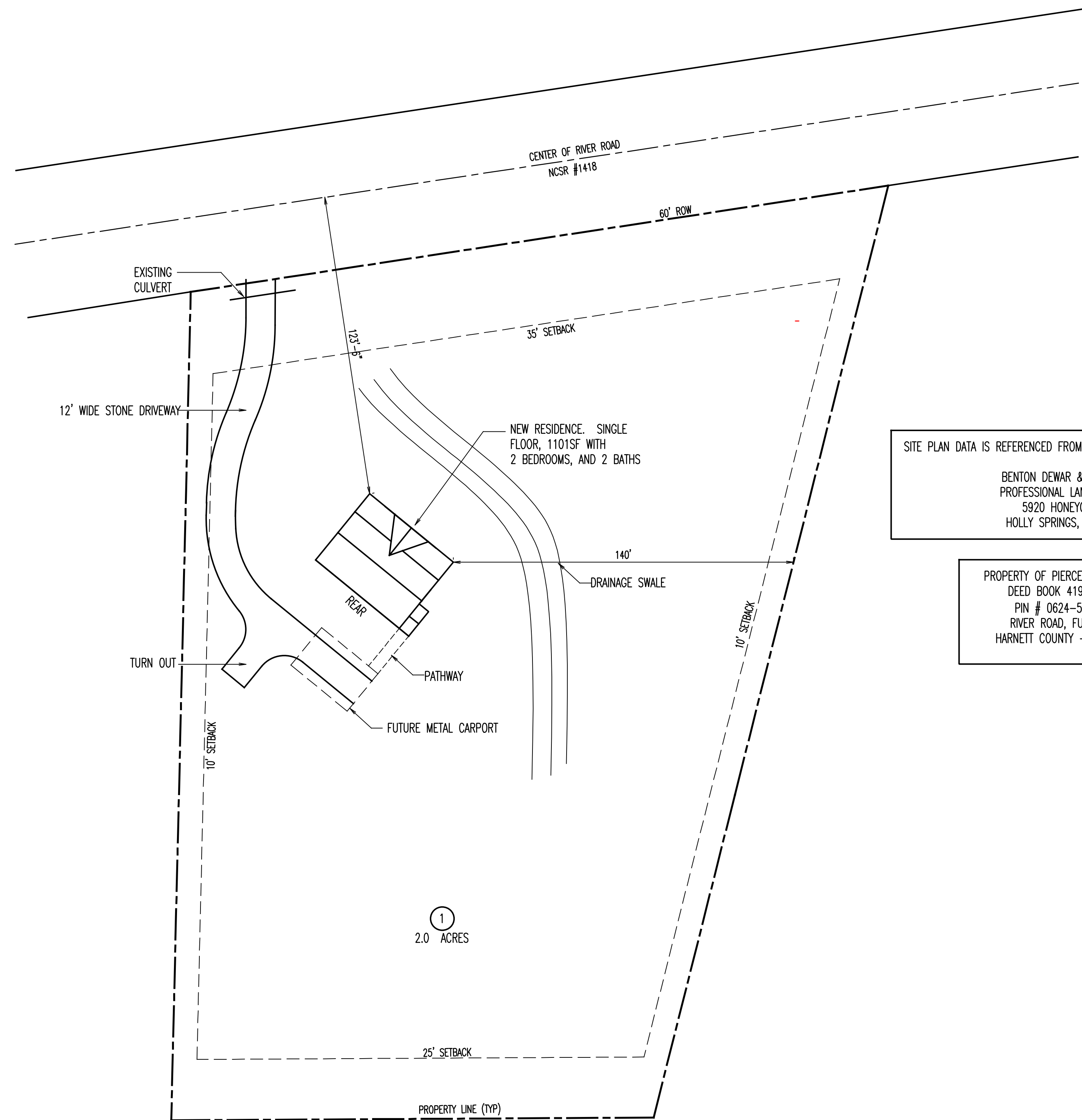
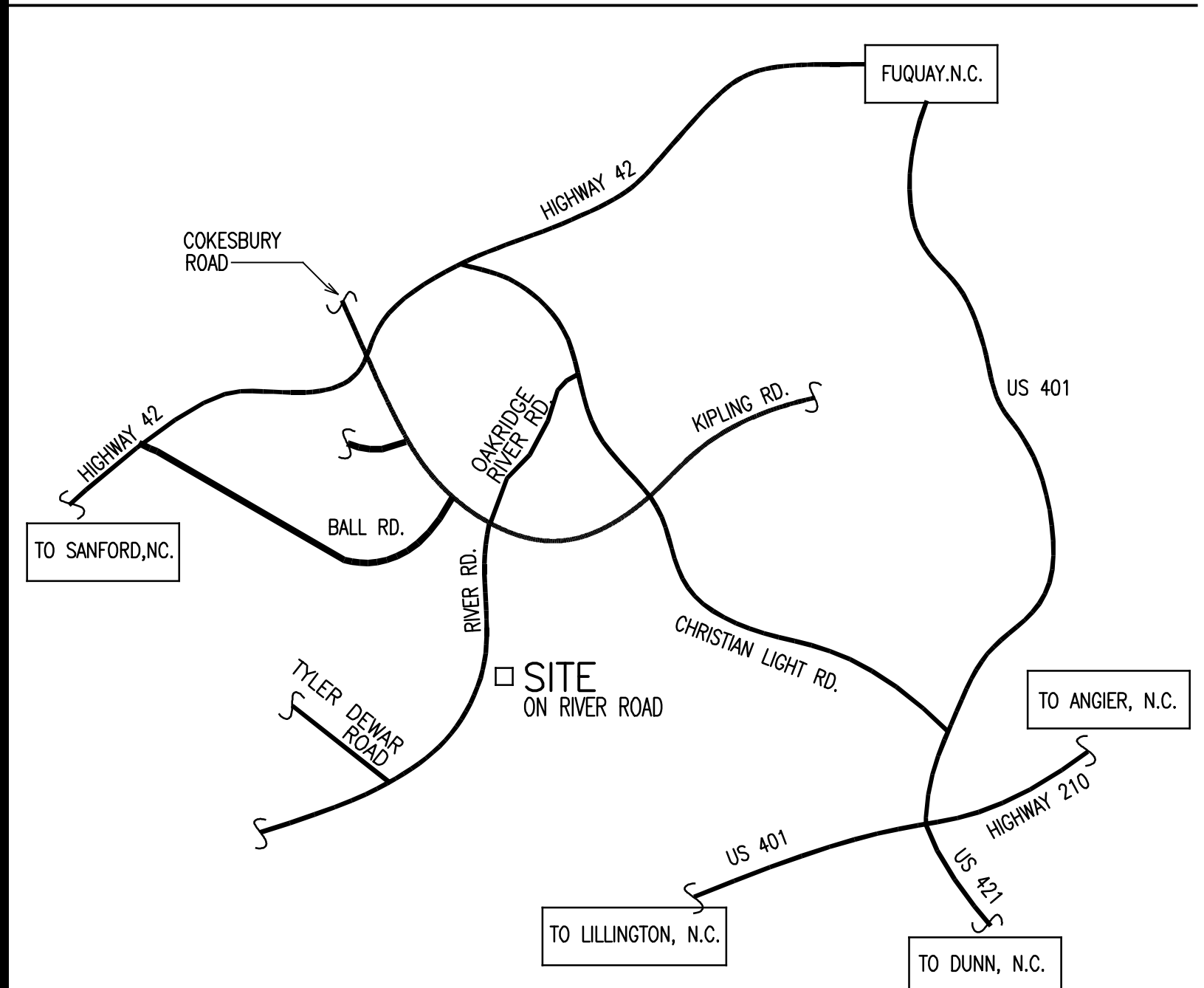
CRAWL SPACE VENTILATION

NOT APPLICABLE FOR THIS PROJECT

SHEET SCHEDULE

A0	COVER SHEET, SITE AND DATA
A1	FLOOR PLAN
A2	DIMENSIONAL FLOOR PLAN
A3	ELEVATIONS
A4	WALL SECTIONS
S1	FOUNDATION PLAN
S2	FRAMING PLAN
S3	ROOF PLAN

VICINITY PLAN



SITE PLAN DATA IS REFERENCED FROM SURVEY DRAWING PREPARED BY:
 BENTON DEWAR & ASSOCIATES
 PROFESSIONAL LAND SURVEYOR
 5920 HONEYCUTT RD.
 HOLLY SPRINGS, N.C. 27540

PROPERTY OF PIERCE HAMILTON PRINCE
 DEED BOOK 4195 PAGE 2641
 PIN # 0624-55-4488.000
 RIVER ROAD, FUQUAY VARINA
 HARNETT COUNTY - NORTH CAROLINA

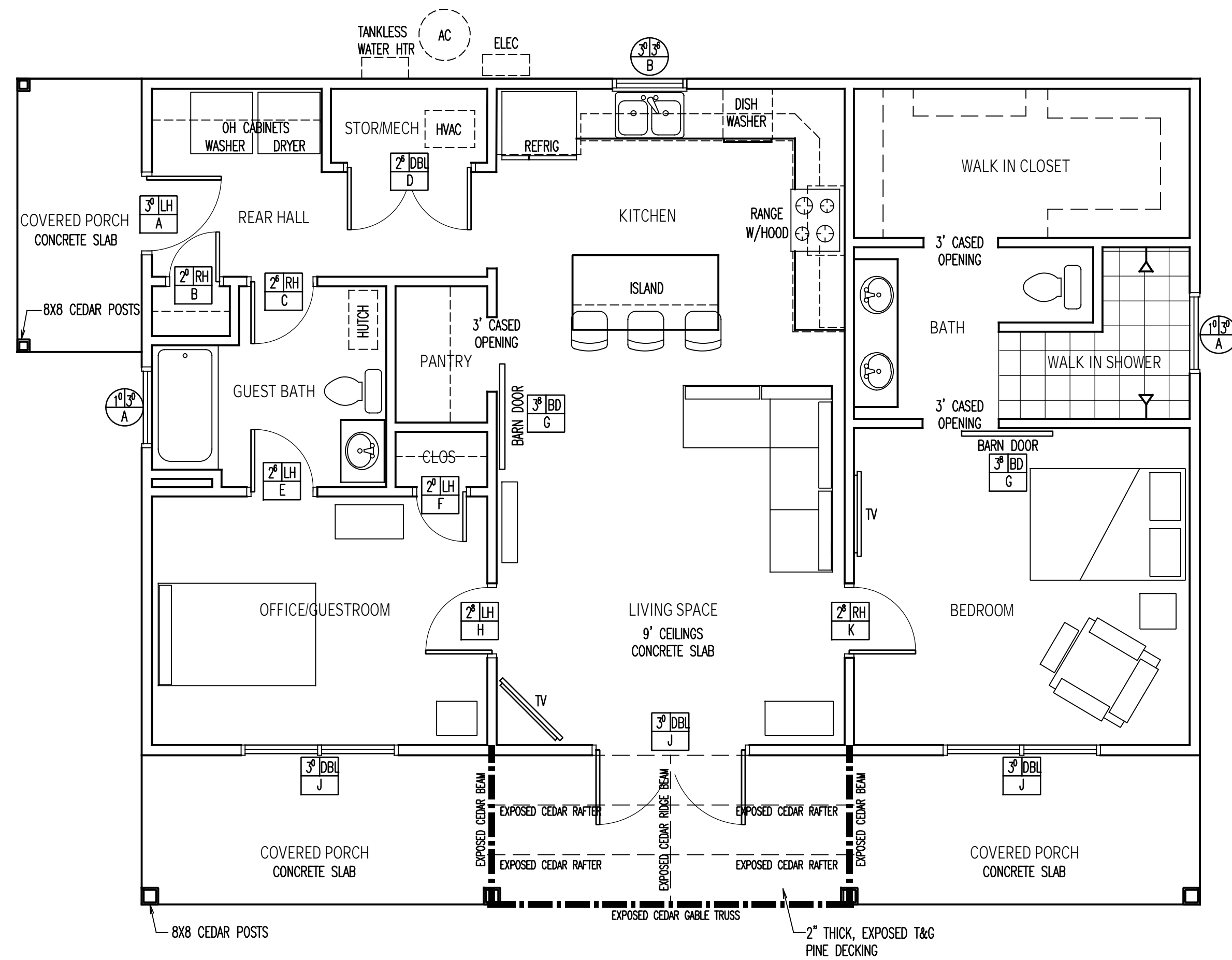
A0 SITE PLAN
 01 1"=30'-0"

BUILDING DESIGN BY:
 S&S CONTRACTING
 6349 RIVER ROAD, FUQUAY, NC 27526

CUSTOM RESIDENCE FOR PIERCE PRINCE
 RIVER ROAD, FUQUAY N.C.

DESCRIPTION:
 SITE PLAN
 VICINITY
 CODE SUMMARY
 REVISION:
 DATE:
 AUGUST, 2023

DRAWING:
 A0



DOOR SCHEDULE				WIDTH	HEIGHT	SWING	DESCRIPTION	HARDWARE	NOTES
MARK	WIDTH	HEIGHT	SWING	SCHEDULE MARK					
A	3'-0"	80"	LH	3	RH		PRE-HUNG 4 LITE ENTRY DOOR	ENTRY W/DEADBOLT	1,2
B	2'-0"	80"	RH	2	RH		PRE-HUNG INTERIOR DOOR	CLOSET	1,2
C	2'-6"	80"	RH	2	RH		PRE-HUNG INTERIOR DOOR	BATH	1,2
D	2'-6"	80"	DBL	2	DBL		PRE-HUNG INTERIOR TWIN DOORS	CLOSET	1,2,4
E	2'-6"	80"	LH	2	LH		PRE-HUNG INTERIOR DOOR	BATH	1,2
F	2'-0"	80"	LH	2	LH		PRE-HUNG INTERIOR DOOR	CLOSET	1,2
G	3'-8"	84"	ROLLER	3	BD		WOOD BARN DOOR	BARNDOOR	1,2,3
H	2'-8"	80"	LH	2	LH		PRE-HUNG INTERIOR DOOR	BEDROOM	1,2
J	3'-0"	80"	DBL	3	DBL		PRE-HUNG DOUBLE ENTRY DOOR	ENTRY W/DEADBOLT	1,2,5
K	2'-8"	80"	RH	2	RH		PRE-HUNG INTERIOR DOOR	BEDROOM	1,2

DOORS SCHEDULE NOTES:

1. ALL HARDWARE FINISH TO BE CONFIRMED WITH OWNER.
2. CONFIRM DOOR STYLE AND CASING STYLE WITH OWNER TO MATCH TRIM PACKAGE.
3. 3'-0" CASING OPENING WITH 3'-8" ROLLING BARN DOOR. DOOR OVERLAPS CASING 4" ON EACH SIDE.
4. DOUBLE OUT-SWINGING 2'-6" CLOSET DOORS.
5. DOUBLE OUT-SWINGING 3'-0" TO LITE (2 OVER 5) FULL GLASS ENTRY DOORS.

WINDOW SCHEDULE				WIDTH	HEIGHT	DESCRIPTION	NOTES
MARK	SIZE	DESCRIPTION	NOTES	SCHEDULE MARK			
A	3'-0" x 1'-0"	TRANSOM ONLY, VINYL	1,3	3			
B	3'-0" x 3'-6"	DOUBLE HUNG VINYL	1,3	2			

WINDOW SCHEDULE NOTES:

1. ALL WINDOWS SHALL BE LOW E, DOUBLE INSULATED PROVIDE SAFETY GLAZING FOR FOR ALL HAZARDOUS LOCATIONS DEFINED IN GLAZING SECTION OF NC BUILDING CODE-RESIDENTIAL CODE.
2. ALL EGRESS WINDOWS SHALL BE SIZED AND MOUNTED TO MEET THE EMERGENCY ESCAPE AND RESCUE OPENING REQUIREMENTS OF NC BUILDING CODE-RESIDENTIAL CODE.
3. MUTTON PATTERNS TO BE CONFIRMED BY THE OWNER.
4. TEMPERED GLAZING WHERE LOCATED WITHIN 24" OF DOOR SWING.

A1 FLOOR PLAN
01 1/4"=1'-0"

BUILDING DESIGN BY:
S&S CONTRACTING
6349 RIVER ROAD, FLOUAY, NC 27526

CUSTOM RESIDENCE FOR PIERCE PRICE
RIVER ROAD, FLOUAY N.C.

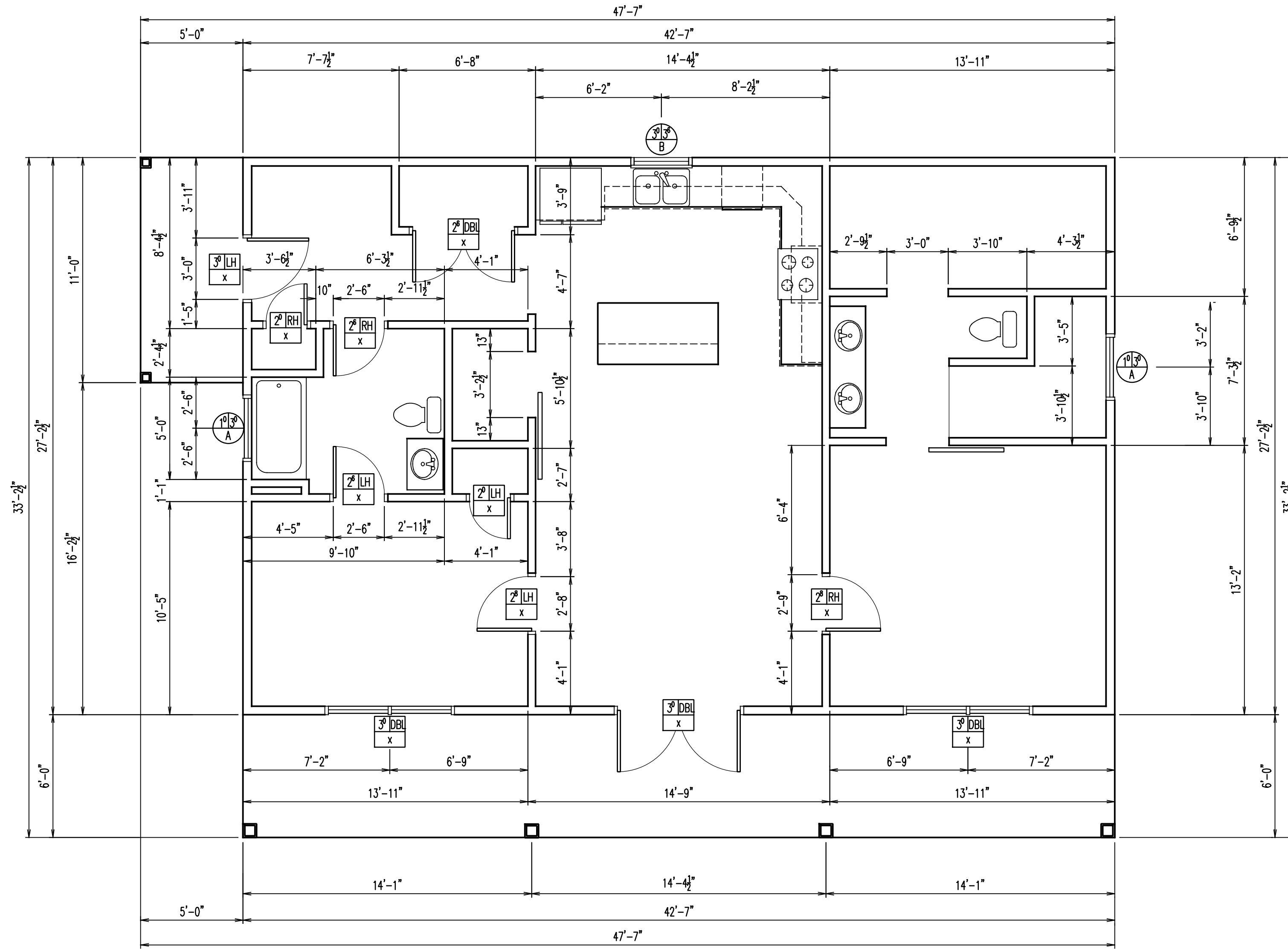
DESCRIPTION:
FLOOR PLAN
DOOR SCHEDULE
WINDOW SCHEDULE

REVISION:

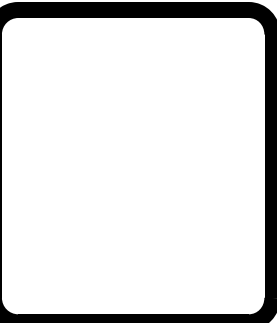
DATE:
AUGUST, 2023

DRAWING:

A1



A2 DIMENSIONAL PLAN
 01 1/4" = 1'-0"

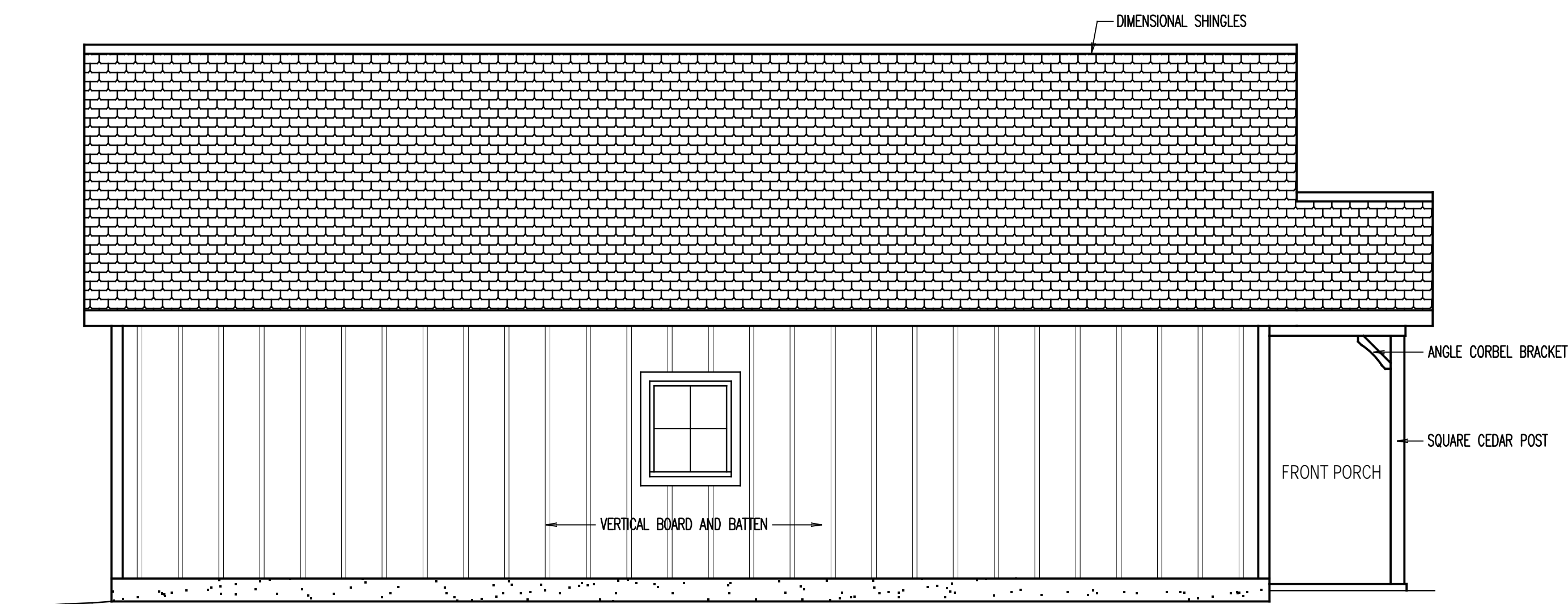


BUILDING DESIGN BY:
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 6349 RIVER ROAD, FIDDUAY, NC 27526

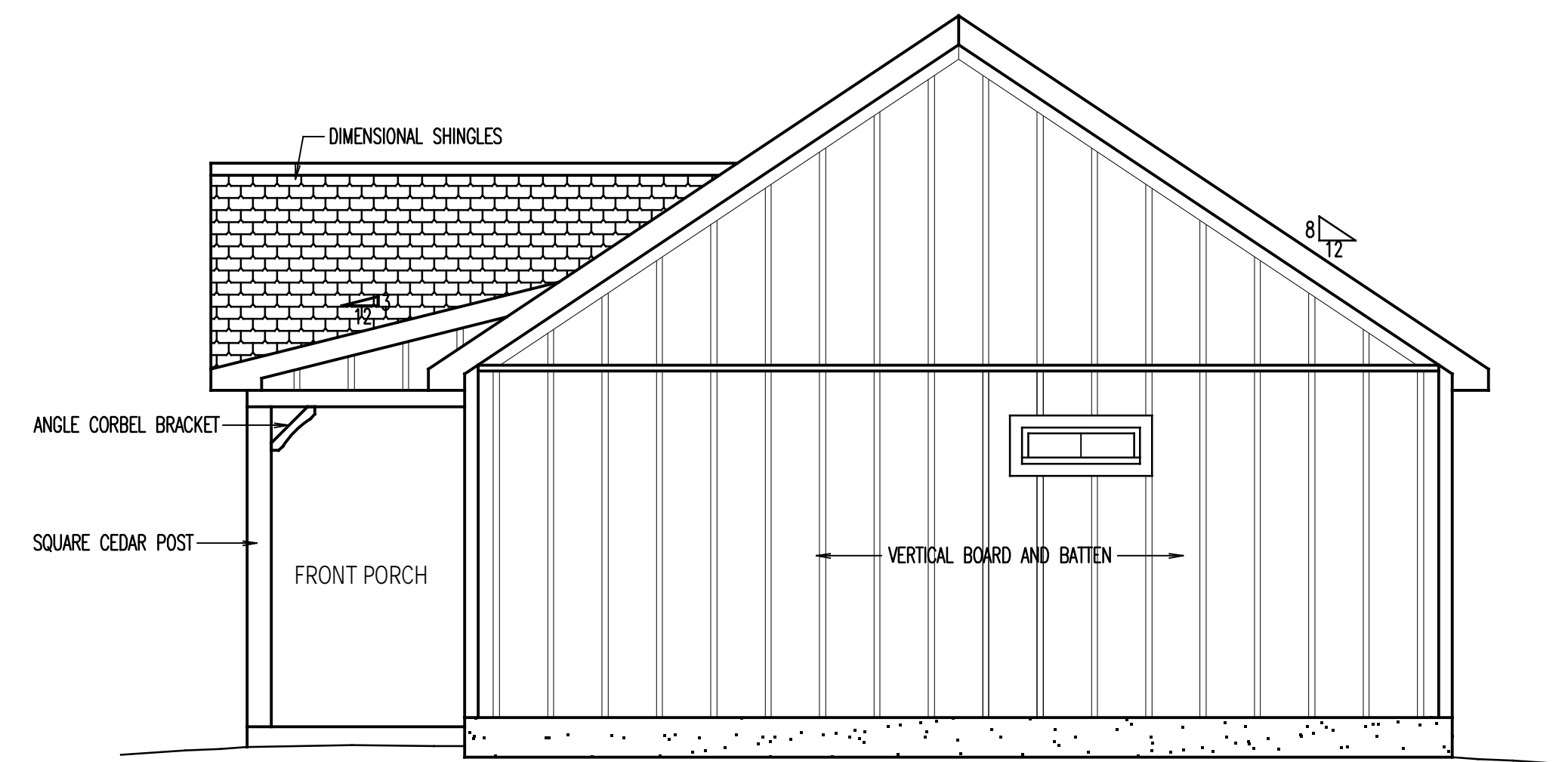
CUSTOM RESIDENCE FOR PIERCE PRINCE
 RIVER ROAD, FUQUAY N.C.

DESCRIPTION: DIMENSIONAL PLAN
REVISION:
DATE: AUGUST, 2023

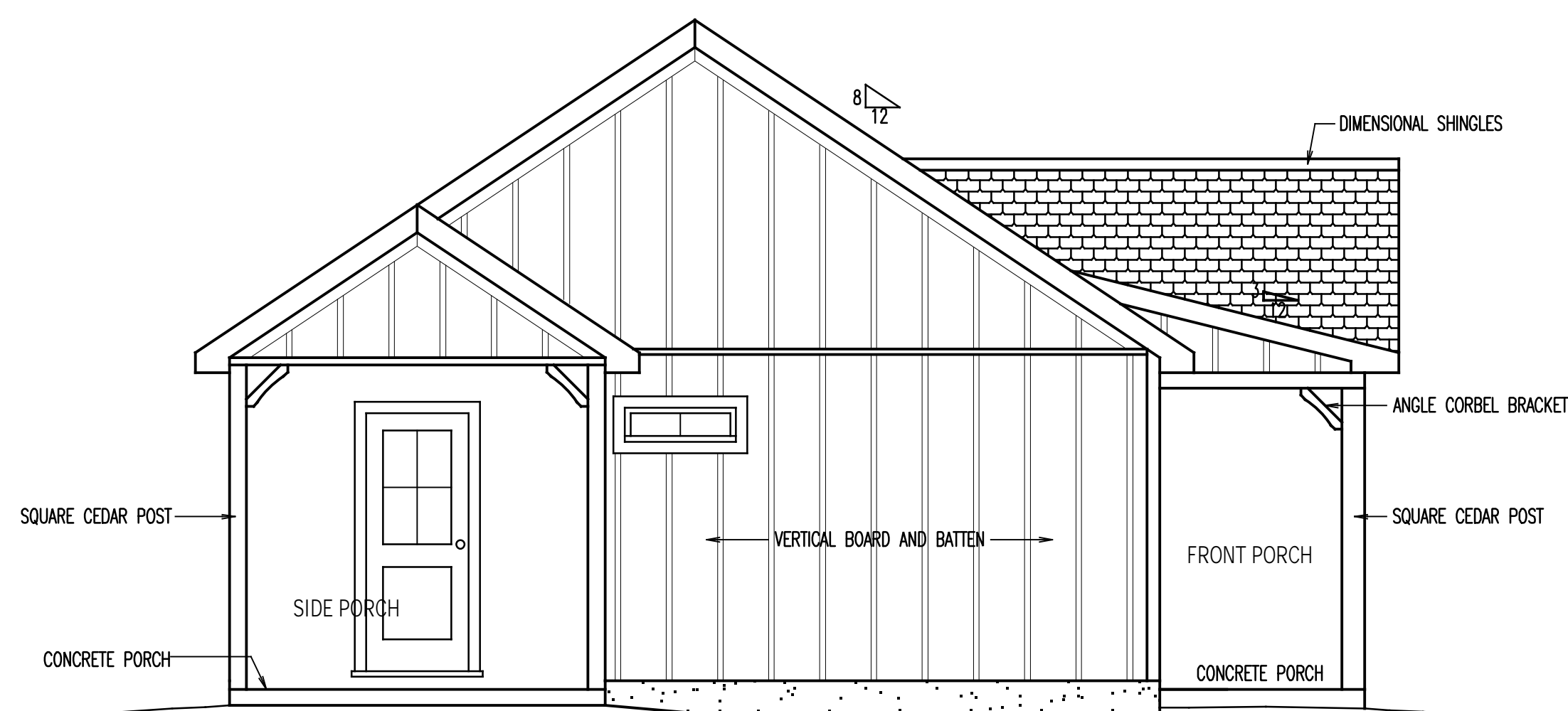
DRAWING:
 A2



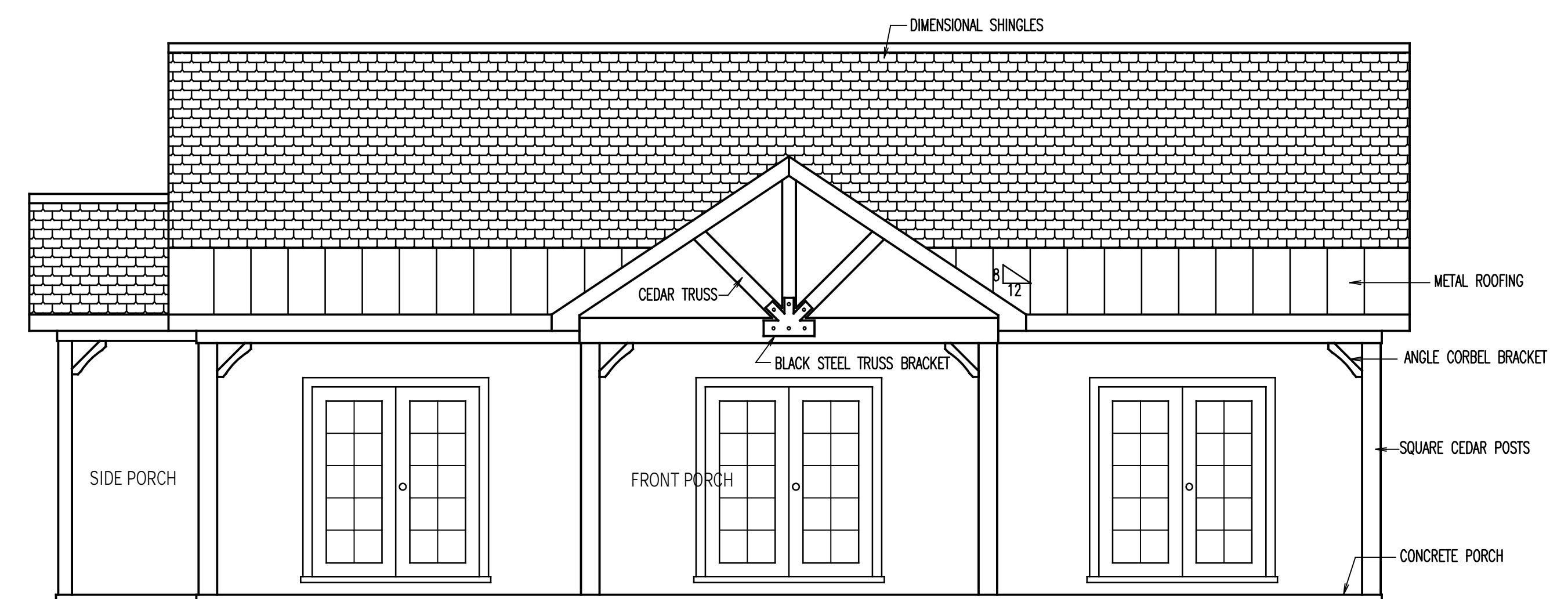
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION

A3 ELEVATIONS
01 1/4" = 1'-0"

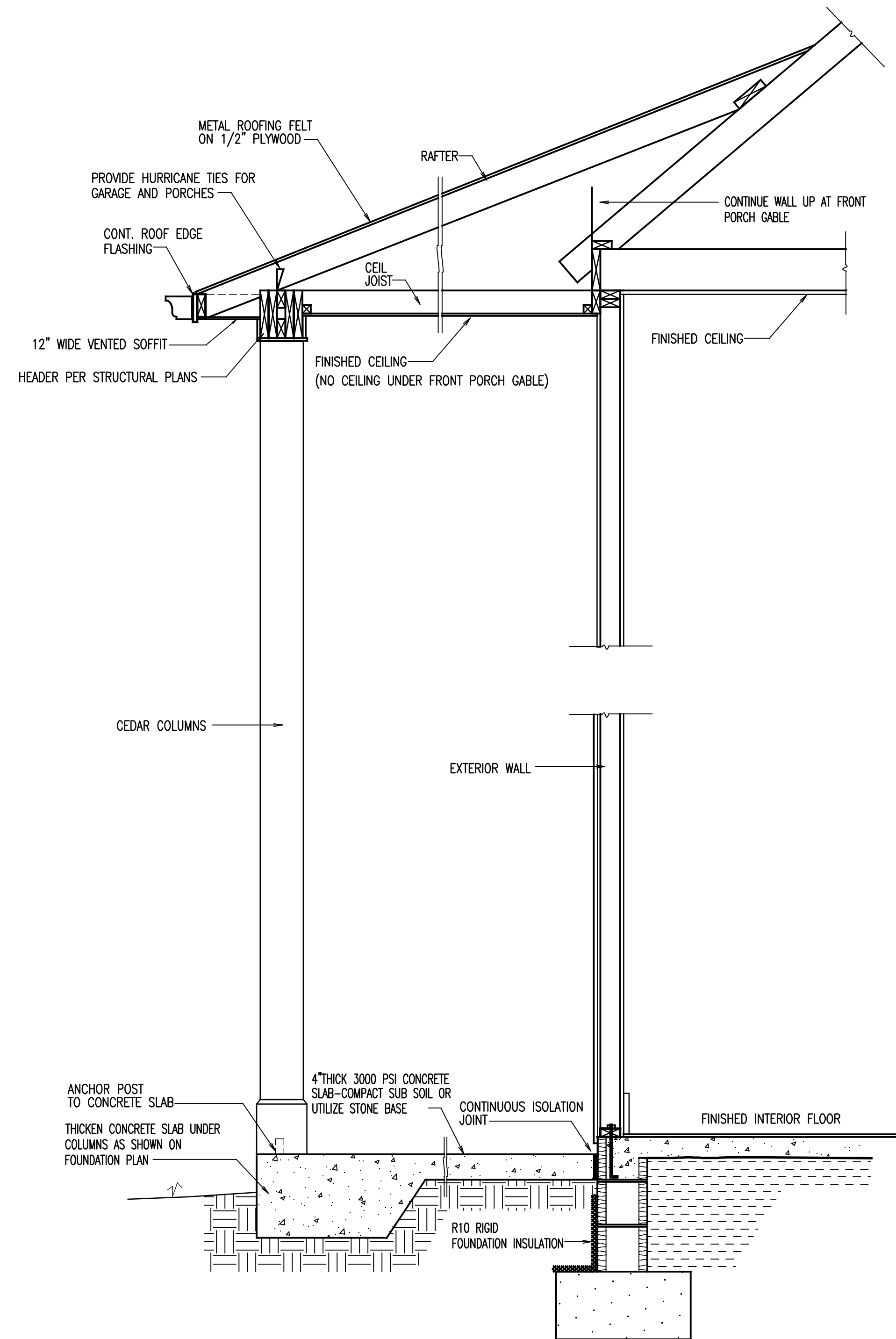
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RIVER ROAD, FIDDUAY N.C.

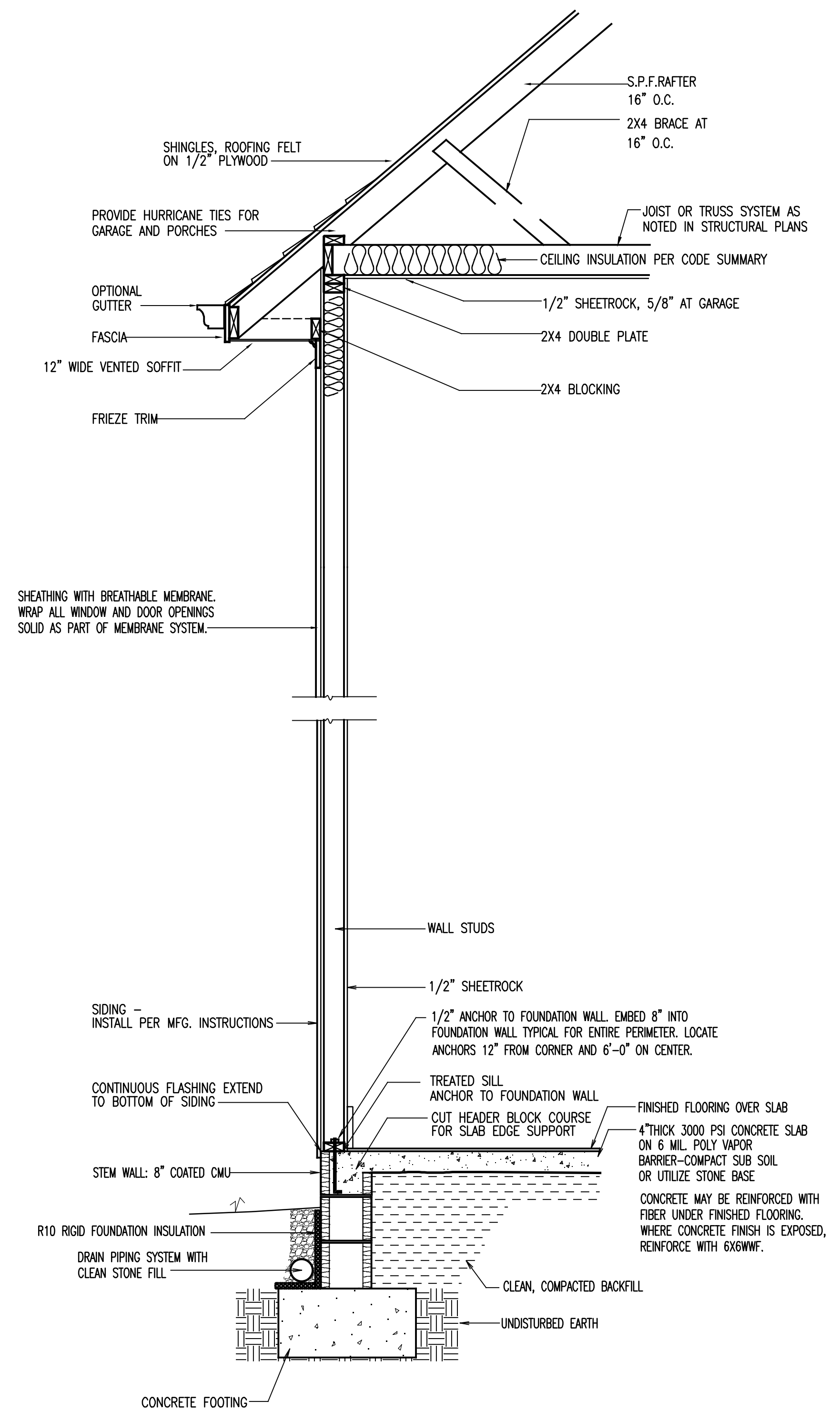
DESCRIPTION:
FRONT AND RIGHT ELEVATION
REVISION:
DATE:
AUGUST, 2023

DRAWING:
A3

REFER TO STRUCTURAL PLANS FOR DIMENSIONAL FRAMING MEMBER SIZES AND SPACING



A4 FRONT PORCH SECTION
02 NTS



A4 EXTERIOR WALL SECTION
01 NTS

BUILDING DESIGN BY:
S&S CONTRACTING
6349 RIVER ROAD, FLOUAY, NC 27526

CUSTOM RESIDENCE FOR PIERCE PRICE
RIVER ROAD, FLOUAY N.C.

DESCRIPTION:
WALL SECTIONS
REVISION:
DATE:
AUGUST, 2023

DRAWING:
A4



STRUCTURAL DESIGN BY:
HOWERTON SERVICES, PLLC
 LICENSE # P-1716
 3513 CATHEDRAL BELL ROAD, RALEIGH, NC 27614

CUSTOM RESIDENCE FOR PIERCE PRICE
 RIVER ROAD, FUQUAY N.C.

DESCRIPTION: FOUNDATION/SLAB PLAN
REVISION:
DATE: AUGUST, 2023

DRAWING:
S1

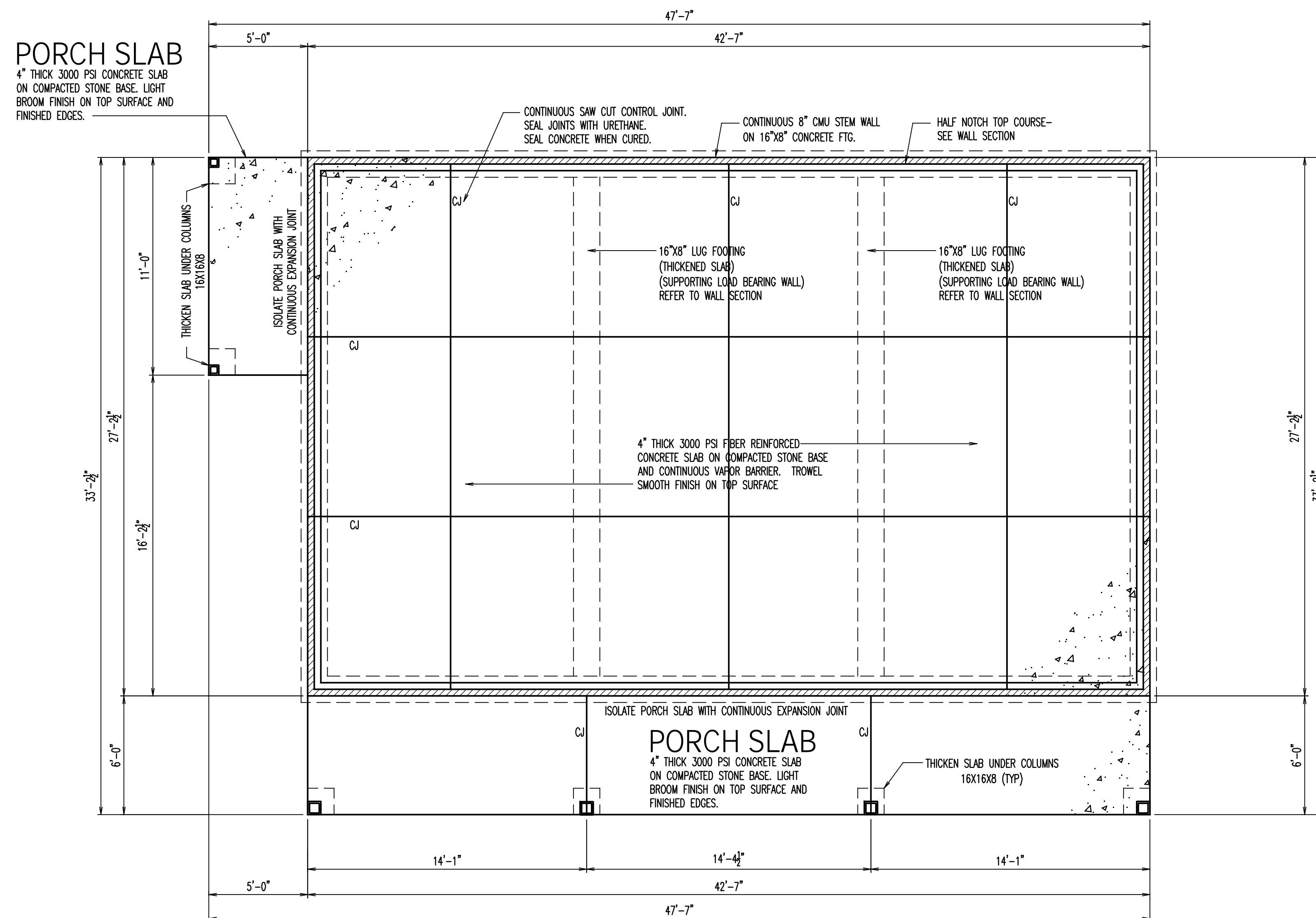
GENERAL FOUNDATION NOTES:

1. THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
2. EXTERIOR WALL FOOTING TO BE 24" X 8" 3000 PSI STRUCTURAL CONCRETE UNLESS OTHERWISE NOTED. CONCRETE TO BE PREPARED AND PLACED IN ACCORDANCE WITH ACI 318. FOR FOUNDATION WALL HEIGHT, THICKNESS AND BACKFILL REQUIREMENTS, REFER TO STATE AND LOCAL BUILDING CODES. NOTE: ASSUMED SOIL BEARING CAPACITY=2000 PSF. CONTRACTOR MUST VERIFY SITE CONDITIONS AND CONTACT SOIL ENGINEER IF MARGINAL OR UNSTABLE SOILS ARE ENCOUNTERED.
3. FOOTINGS TO BEAR ON UNDISTURBED EARTH A MIN. OF 12" BELOW ADJACENT FINISH GRADE OR AS OTHERWISE DIRECTED BY LOCAL INSPECTOR.
4. FOUNDATION DRAINAGE SHALL BE IN ACCORDANCE WITH SECTION R405 OF THE CODE "FOUNDATION DRAINAGE".
5. THE FOUNDATION SHALL BE TREATED IN ACCORDANCE W/SECTION R406 OF THE CODE "FOUNDATION WATERPROOFING AND DAMPPROOFING".
6. THIS FOUNDATION DESIGN IS VALID FOR 100 MPH WIND ZONES ONLY.
7. FOUNDATION WALLS SHALL BE 8" IN WIDTH UNLESS OTHERWISE NOTED.

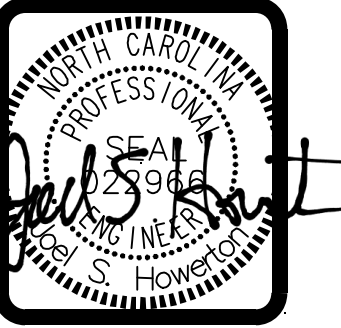
STRUCTURAL EVALUATION BY:

HOWERTON SERVICES, PLLC LICENSE # P-1716
 CATHEDRAL BELL ROAD, RALEIGH, NC 27614

- * ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT. SEAL DOES NOT INCLUDE CONSTRUCTION REVIEW, MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS.
- * ANY DEVIATIONS OR DISCREPANCIES ON PLANS ARE TO BE BROUGHT TO IMMEDIATE ATTENTION OF THE ENGINEER. FAILURE TO DO SO WILL VOID ENGINEER'S LIABILITY.
- * DO NOT SCALE THESE DRAWINGS - ENGINEERING APPROVAL EXPIRES 08/30/2024 OR UNTIL NEW CODE CYCLE.



S1 FOUNDATION, SLAB PLAN
01 1/4" = 1'-0"



STRUCTURAL DESIGN BY:
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LICENSE # P-1716
3513 CATHEDRAL BELL ROAD, RALEIGH, N.C. 27614

CUSTOM RESIDENCE FOR PIERCE PRICE
RIVER ROAD, FUQUAY N.C.

DESCRIPTION:
FRAMING PLAN
REVISION:
DATE:
AUGUST, 2023

DRAWING:
S2

GENERAL FRAMING NOTES:

- THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
- GLAZING AREAS SHOWN ON THESE DESIGN DRAWINGS DO NOT EXCEED 15% OF THE GROSS AREA OF THE EXTERIOR WALLS. THIS STRUCTURE MEETS THE REQUIREMENTS OF N1101.2.1, RESIDENTIAL BUILDING, TYPE A-1.
- WALL CLADDING IS DESIGNED FOR A 24.1 #/SF OR GREATER POSITIVE/NEGATIVE PRESSURE.
- ALL WALLS, FLOORS AND CEILINGS SHALL BE INSULATED IN ACCORDANCE WITH CODE SUMMARY.
- DESIGN CRITERIA:

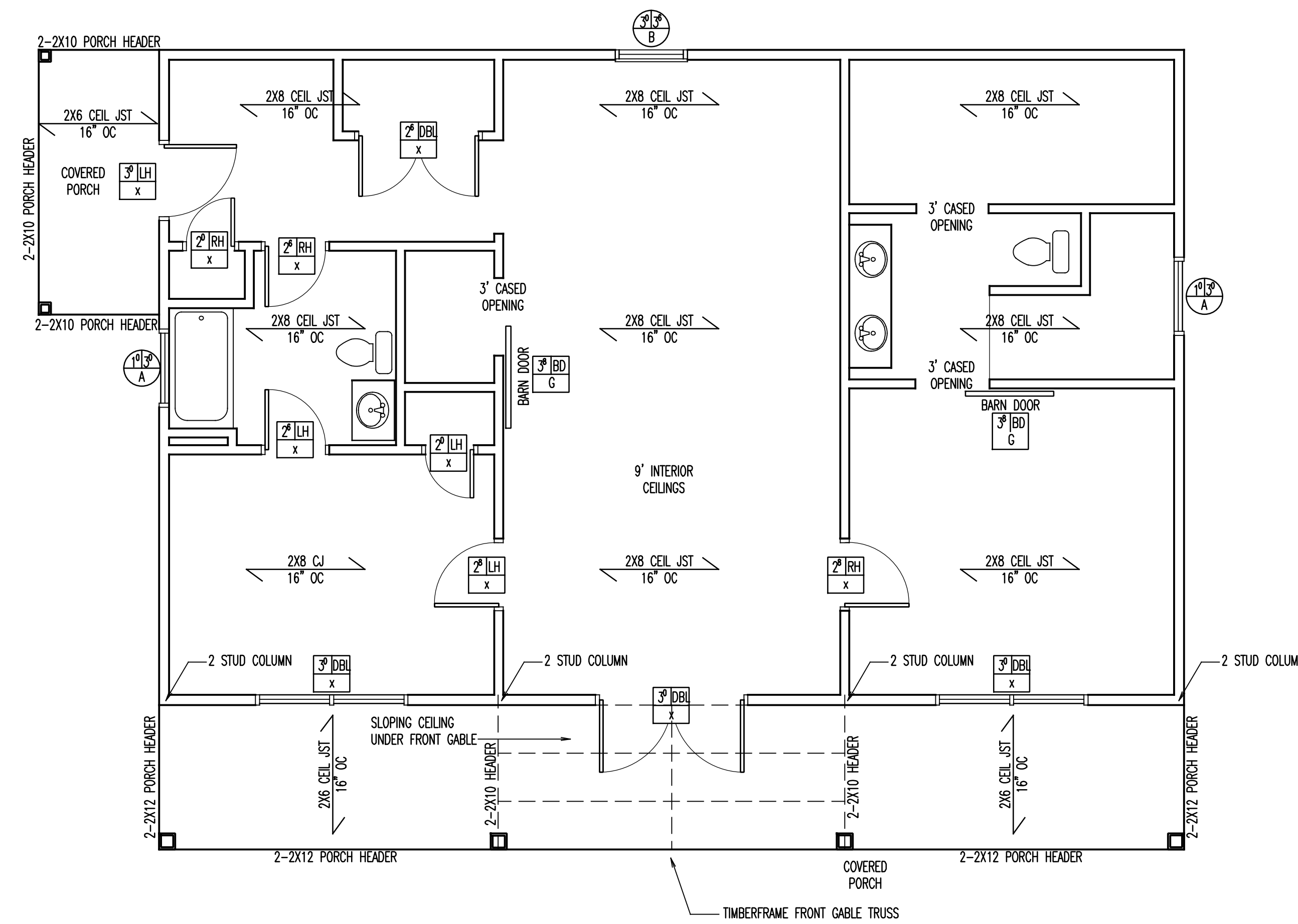
DESIGN CRITERIA:	DEAD	LIVE
PRIMARY FLOOR	10 PSF	40 PSF
SECONDARY FLOOR	10 PSF	40 PSF
SLEEPING AREAS	10 PSF	30 PSF
ATTIC	10 PSF	20 PSF
ROOF	10 PSF	20 PSF

 DEFLECTION LIMITS:
 ROOF L/240
- ALL HEADERS IN LOAD BEARING WALLS SHALL BE DOUBLE 2X10.
- ALL WALLS ARE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.
- ALL JOISTS TO BE SPF.

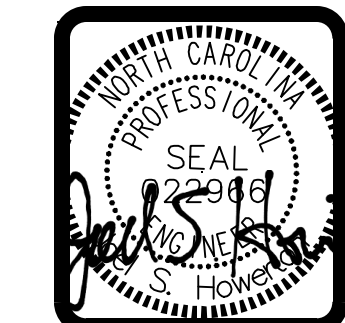
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S2 FRAMING PLAN
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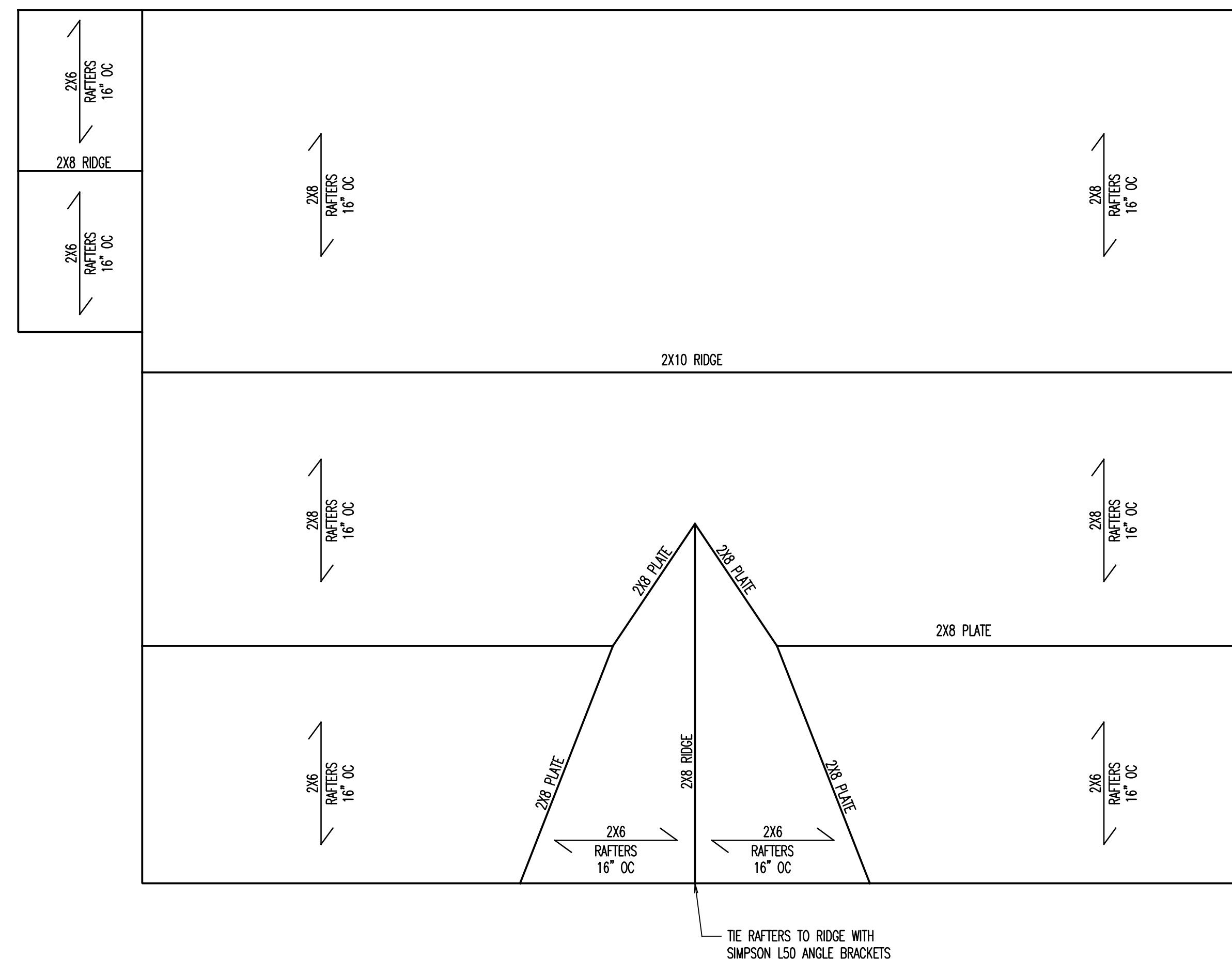


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 3513 CATHEDRAL BELL ROAD, RALEIGH, NC 27614

CUSTOM RESIDENCE FOR PIERCE PRINCE
 RIVER ROAD, FUQUAY N.C.

DESCRIPTION: ROOF PLAN
REVISION:
DATE: AUGUST, 2023

DRAWING:
S3



GENERAL ROOF NOTES:

- THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
- ROOF CLADDING DESIGN VALUES (POSITIVE/NEGATIVE) SHALL BE AS FOLLOWS:
 45.5 #/SF FOR ROOF PITCHES FROM 0/12 TO 2.25/12
 34.5 #/SF FOR ROOF PITCHES FROM 2.25/12 TO 7/12
 21 #/SF FOR ROOF PITCHES FROM 7/12 TO 12/12
- ALL ROOFING ELEMENTS SHALL MEET THE REQUIREMENTS OF CHAPTER 8 OF THE CODE.
- ALL LUMBER SHALL BE #2 SPF OR BETTER. RAFTERS MAY BE FINGER JOINTED PER NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, AND MUST HAVE THE STRUCTURAL CERTIFICATION STAMPED ON THE MEMBER.
- RAFTER SIZES, SPANS AND SPACING SHALL NOT EXCEED THE FOLLOWING:

SIZE	2X6	2X8	2X10
SPACING 12" O.C.	14'-9"	19'-6"	
SPACING 16" O.C.	13'-5"	17'-9"	22'-3"
- ALL RAFTERS TO BE 2X8 @ 16" O.C. #2 SPF UNLESS NOTED OTHERWISE.
- 2-2X10 HIPs MAY BE SPLICED WITH A MIN. 6'-0" OVERLAP.
- PROVIDE DOUBLE RAFTER EACH SIDE OF DORMERS WITH DOUBLE HEADER.
- ATTACH VAULTED RAFTERS WITH HURRICANE CLIP SIMPSON "H-S" OR EQUIVALENT. PROVIDE DOUBLE OPPOSING RAFTERS WHERE NOTED.
- 2X8 RAFTERS @ CATHEDRAL OR VAULTED CEILINGS TO BE FURRED DOWN 2" OR USE 2X10 RAFTERS FOR INSULATION PER CODE.
- PROVIDE 2X4 COLLAR TIES EVERY SECOND RAFTER (TYPICAL)
- PROVIDE 2X4 RAFTER TIES @ 32" O.C. (TYPICAL)
- FRAME RAFTERS ON 2X4 PLATE ON TOP OF CEILING JOISTS UNLESS NOTED OTHERWISE.
- SHINGLES ASSUMED TO BE 240 LB. FIBERGLASS, OR EQUAL. MINIMUM ROOF PITCH TO BE AS INDICATED ON ARCHITECTURAL PLAN SHEETS.
- PROVIDE DOUBLE LAYER OF ROOF FELT WHERE ROOF PITCH IS LESS THAN 4 /12.
- THESE DESIGN DRAWINGS WERE PRODUCED BY HOWERTON CONSULTING ENGINEERING, INC. ASSUMES NO LIABILITY FOR THE CORRECTNESS OF ARCHITECTURAL FEATURES, DIMENSIONS OR FIXTURES.
- ALL HIP RIDGES AND VALLEYS SHALL BE DOUBLE 2X10 UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING DRAWINGS FOR CONSTRUCTABILITY PRIOR TO BEGINNING CONSTRUCTION.
- VALLEY RAFTERS WITH SPANS LONGER THAN 15' SHALL BE LVLS SUPPORTED AS NOTED. PROVIDE TEMPORARY STIFF KNEE SUPPORT UNTIL ALL SHEATHING AND RAFTER TIES/COLLARS ARE INSTALLED.
- DO NOT SCALE THESE DRAWINGS. IF DISCREPANCIES ARE NOTED, CONTACT THE ENGINEER.
- DESIGN BASIS PROVIDED BY S&S CONTRACTING INC., FUQUAY VARINA, NC AND THEY ARE RESPONSIBLE FOR ALL ARCHITECTURAL FEATURES, DIMENSIONS, COMPLIANCE WITH ALL ACCESS/EGRESS REQUIREMENTS, FIRE CODE AND LIFE SAFETY DESIGN ISSUES.

STRUCTURAL EVALUATION BY:

HOWERTON SERVICES, PLLC LICENSE # P-1716
 CATHEDRAL BELL ROAD, RALEIGH, NC 27614

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S3 ROOF PLAN
01 1/4" = 1'-0"