

# HOUSE PLAN ZONE, LLC.

www.HPZplans.com

Phone: 601.336.3254

## IMPORTANT DISCLAIMER

THE ENCLOSED INFORMATION IS INTENDED TO ASSIST AND INFORM YOU THROUGH THE CONSTRUCTION OF YOUR HOME. YOUR CONSTRUCTION PLANS HAVE BEEN DRAWN TO PRESCRIBE TO INDUSTRY STANDARDS. THESE PROFESSIONAL STANDARDS DETERMINE HOW CONSTRUCTION PLANS ARE DRAWN AND WHAT INFORMATION THEY INCLUDE. CONSTRUCTION PLANS ARE INTENDED AS A TECHNICAL GUIDE TO PROFESSIONAL CONTRACTORS AND ARE NOT INTENDED TO BE A SET OF STEP-BY-STEP INSTRUCTIONS. THEREFORE, IF YOU ARE PLANNING TO BUILD YOUR HOME WITHOUT THE SERVICE OF A PROFESSIONAL BUILDER, WE SUGGEST THAT YOU BECOME THOROUGHLY FAMILIAR WITH READING CONSTRUCTION PLANS OR CONSIDER CONSULTING A CONSTRUCTION SPECIALIST. GREAT CARE AND EFFORT GOES INTO THE DESIGN AND CREATION OF THE CONSTRUCTION PLANS; HOWEVER, BECAUSE OF THE IMPOSSIBILITY OF PROVIDING ANY PERSONAL AND/OR "ON-SITE" CONSULTATION, SUPERVISION AND CONTROL OVER THE ACTUAL CONSTRUCTION, AND BECAUSE OF THE GREAT VARIANCES IN LOCAL BUILDING CODE REQUIREMENTS AND OTHER GEOGRAPHIC LOCATION AND WEATHER CONDITIONS, HOUSE PLAN ZONE, LLC. NOR THE AGENTS OR EMPLOYEES ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCLUDING BUT NOT LIMITED TO, ANY DEFICIENCIES, OMISSIONS, OR ERRORS IN THE DESIGN. IN ANY CASE, ANY DISCREPANCIES, ERRORS, AND/OR OMISSIONS IN THE DIMENSIONS, AND/OR DRAWINGS CONTAINED IN THE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ATTENTION OF HOUSE PLAN ZONE, LLC. PRIOR TO COMMENCEMENT OF CONSTRUCTION. PROCEEDING WITH CONSTRUCTION CONSTITUTES THE ACCEPTANCE OF THE CONSTRUCTION DOCUMENTS "AS IS" AND ANY DISCREPANCIES, ERRORS, AND/OR OMISSIONS BECOME THE SOLE RESPONSIBILITY OF THE PURCHASER. IF ANY ERRORS ARE DISCOVERED PRIOR TO CONSTRUCTION HOUSE PLAN ZONE, LLC. WILL BE GIVEN FULL OPPORTUNITY TO CORRECT ANY ERRORS AND/OR OMISSIONS TO THE CONSTRUCTION PLANS. IN ANY OR ALL CIRCUMSTANCES, THE MAXIMUM FINANCIAL LIABILITY TO HOUSE PLAN ZONE, LLC. CAN NOT EXCEED THE TOTAL PLAN PURCHASE.

## PROFESSIONAL SEAL/ ADDITIONAL DRAWINGS

THOUGH EVERY EFFORT WAS MADE TO MAKE THE CONSTRUCTION DOCUMENTS FOLLOW THE I.R.C. NATIONAL CODE METHODOLOGIES, A FEW STATES AND CITIES HAVE PASSED BI-LAWS REGARDING CONSTRUCTION PLANS THAT WOULD BE SUBMITTED TO YOUR LOCAL MUNICIPALITY AND USED FOR THE CONSTRUCTION OF YOUR HOME. THESE BI-LAWS REQUIRE THE CONSTRUCTION PLANS TO BE REVIEWED AND/OR PREPARED, INSPECTED, AND SEALED (OR STAMPED) BY A LICENSED ARCHITECT/ ENGINEER IN YOUR STATE. IT IS ADVISED THAT YOU CONTACT YOUR MUNICIPALITY'S BUILDING DEPARTMENT FOR INSTRUCTIONS TO COMPLY WITH THEIR CONSTRUCTION PLANS REVIEW PROCESS. FURTHERMORE, ADDITIONAL ITEMS SUCH AS STRUCTURAL, HVAC, PLUMBING, SITE, ENERGY EFFICIENCY DOCUMENTATION, ETC. MAY BE REQUIRED AND THESE SHALL BE PROVIDED BY A LOCAL PROFESSIONAL THAT IS FAMILIAR WITH THE REQUIREMENTS AND THESE SHALL BE PROVIDED AT THE OWNERS EXPENSE.

## OTHER IMPORTANT INFORMATION

MATERIALS LIST DISCLAIMER - IF A MATERIALS LIST WAS ORDERED, IT WILL ONLY CONFORM TO THE PLAN IN ITS ORIGINAL FORMAT. ADDITIONAL OPTIONS SUCH AS 2X6 EXTERIOR WALLS, BASEMENT, OR WALKOUT BASEMENT FOUNDATIONS, THREE CAR GARAGE VERSIONS, ETC. WILL NOT BE REFLECTED IN THE LIST. WHILE IT WILL NOT MATCH THESE OPTIONS, THE LIST IS STILL A GREAT REFERENCE DOCUMENT FOR THE MATERIALS THAT WILL BE REQUIRED TO CONSTRUCT YOUR HOME.

FOUNDATIONS - MOST OF OUR FOUNDATIONS ARE DESIGNED WITH CONCRETE BLOCK STEM WALLS AND NOT POURED-IN-PLACE CONCRETE. ADDITIONALLY, THE MAJORITY OF OUR SLAB FOUNDATIONS ARE DESIGNED WITH A CHAIN WALL (RAISED) SLAB AND NOT MONOLITHIC (SLAB ON GRADE). CONTRACTOR/ LOCAL ENGINEER SHALL ADJUST DESIGN AS NEEDED FOR YOUR SPECIFIC AREA/ NEED.

SQUARE FOOTAGES - BONUS ROOMS (WHERE APPLICABLE) ARE NOT INCLUDED IN THE HEATED AREA OF THE DESIGN UNLESS SPECIFICALLY NOTED. GARAGE PLANS ARE EXCLUDED. SQUARE FOOTAGES SHOWN ARE CALCULATED TO THE OUTSIDE OF THE STUD WALL AND DO NOT INCLUDE THE EXTERIOR MATERIALS SUCH AS BRICK, STONE, OR SIDING.

DIMENSIONS - OUR PLANS ARE DIMENSIONED TO THE OUTSIDE OF THE STUD WALL ONLY AND NOT TO THE OUTSIDE OF THE BRICK LEDGE (WHERE APPLICABLE).

## COPYRIGHTS

REPRODUCTION OF THESE CONSTRUCTION PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM COPYING AND/OR PREPARATION OF A DERIVATIVE WORKS THEREOF, FOR ANY REASON IS STRICTLY PROHIBITED. THE PURCHASE OF A SET OF CONSTRUCTION PLANS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST IN IT TO THE PURCHASER EXCEPT FOR A LIMITED LICENSING RELEASE TO USE THE SAID PLAN SET FOR CONSTRUCTING ONE AND ONLY ONE DWELLING UNIT. THE PURCHASE OF ADDITIONAL SETS OF THE SAID PLANS AT A REDUCED PRICE FROM THE ORIGINAL SET OR AS PART OF A MULTIPLE SET PACKAGE DOES NOT CONVEY TO THE PURCHASER A LICENSE TO CONSTRUCT MORE THAN ONE DWELLING. SIMILARLY, THE PURCHASE OF REPRODUCIBLE CONSTRUCTION PLANS (A.K.A. SEPIAS, MYLARS, OR VELLUMS) CARRIES THE SAME COPYRIGHT PROTECTION AS MENTIONED ABOVE. IT IS GENERALLY ALLOWED TO MAKE A MAXIMUM OF 10 COPIES FOR THE CONSTRUCTION OF A SINGLE DWELLING ONLY. TO USE ANY PLAN MORE THAN ONCE, AND TO AVOID ANY COPYRIGHT/ LICENSE INFRINGEMENT, IT IS NECESSARY TO CONTACT THE ORIGINAL DESIGNER TO RECEIVE A LICENSE FOR ANY EXTENDED USAGE. WHEREAS A PURCHASER OF REPRODUCIBLE'S IS GRANTED A LICENSE TO MAKE COPIES, IT SHOULD BE NOTED THAT AS COPYRIGHTED MATERIALS, MAKING PHOTOCOPIES FROM CONSTRUCTION PLANS IS ILLEGAL. COPYRIGHT AND LICENSEE OF CONSTRUCTION PLANS EXISTS TO PROTECT ALL PARTIES. IT RESPECTS AND SUPPORTS THE INTELLECTUAL PROPERTY OF THE ORIGINAL ARCHITECT AND/OR DESIGNER, THEREBY KEEPING IT POSSIBLE TO OFFER PRE-DRAWN PLANS AT AFFORDABLE PRICES. COPYRIGHT LAW FOR PRE-DRAWN CONSTRUCTION PLANS IS NOW BEING VIGOROUSLY ENFORCED. COPYRIGHT INFRINGEMENT COULD LEAD TO FINES OF UP TO \$100,000 PER VIOLATION.

## GENERAL SITE NOTES

- CONTRACTOR TO VERIFY LOCATIONS OF SITE UTILITIES, REQUIREMENTS, AND CONNECTIONS FEES. OWNER, CONTRACTOR AND SUB-CONTRACTORS TO PAY ALL OF THEIR RELATED CONSTRUCTION PERMIT FEES AS AGREED UPON BETWEEN THE OWNER AND CONTRACTOR.
- BEFORE EXCAVATION, THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS, MAPS, AND BUILDING SITE TO DETERMINE THE ROUTES OF ALL UNDERGROUND UTILITIES.
- BEFORE DIGGING COMMENCES IT IS ADVISED THAT THE OWNER AND OR CONTRACTOR CALL THEIR STATES UTILITY LOCATOR FACILITATOR.
- IT IS RECOMMENDED THAT THE SITES SOIL BE TESTED FOR COMPRESSION RATING TO DETERMINE FOUNDATION AND FOOTING DESIGN. CONCRETE FOUNDATIONS AND FOOTING DESIGN SHALL BE IN ACCORDANCE TO CHAPTER 4 OF THE I.R.C. CODE. FOUNDATION DESIGN TO BE VERIFIED BY A LOCAL PROFESSIONAL OR ENGINEER. CONSULT A LOCAL CIVIL ENGINEER FOR SITE PLANS AND SURVEYS OF EXISTING PROPERTY. A LANDSCAPE ARCHITECT SHOULD BE CONSULTED FOR MORE EXTENSIVE LANDSCAPE DESIGNS.



PLAN #: 1254-S

FOUNDATION TYPE: SLAB  
EXTERIOR WALL SIZE: 2x4 EXT. WALLS

## SHEET INDEX:

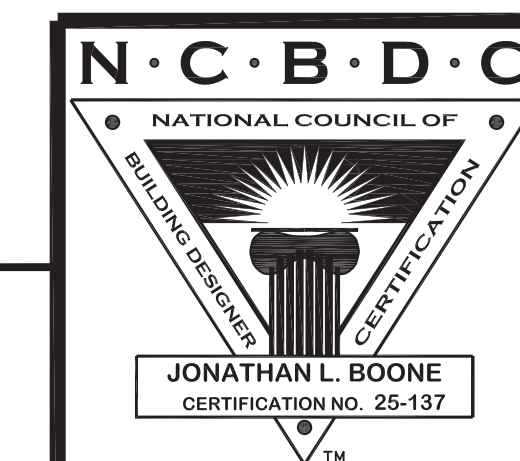
- |                                    |                        |
|------------------------------------|------------------------|
| 1. COVER SHEET                     | N1 I.R.C. CODE SHEET   |
| 2. FOUNDATION PLAN & MISC. DETAILS | N2 I.R.C. CODE SHEET   |
| 3. FLOOR/ELECTRICAL PLANS          | N3 I.R.C. CODE SHEET   |
| 4. EXTERIOR VIEWS                  | N4 I.R.C. ENERGY SHEET |
| 5. SECTION/ KITCHEN CABS           |                        |
| 6. ROOF PLAN                       |                        |

## DESIGN DATA

MINIMUM SOIL BEARING CAPACITY = 2000 P.S.F. FOR GROUP II  
CONCRETE MINIMUM (28 DAYS)  $f_c$ :  
FOOTERS = 3000 P.S.I.  
SLABS & WALLS = 3000 P.S.I.  
REINFORCING STEEL: A.S.T.M. A615-60  
ROOF LIVE LOAD (GROUND SNOW LOAD) = 30 P.S.F.  
ROOF DEAD LOAD = 10 P.S.F.  
FLOOR LIVE LOAD = 40 P.S.F.  
30 P.S.F. SLEEPING AREAS  
FLOOR DEAD LOAD = 10 P.S.F.  
DECK LIVE LOAD = 40 P.S.F.  
DECK DEAD LOAD = 10 P.S.F.  
NOTE: ALL REQUIRED BRACE WALL PANELS LOCATED BY CONTRACTOR PER LOCAL CODE REQUIREMENTS.

## STANDARD ABBREVIATIONS

@	AT	LT.	LIGHT
#	POUND(S)	LIN.	LINEN
APPROX.	APPROXIMATELY	MANUF.	MANUFACTURER
BASE.	BASEMENT	MAS.	MASONRY
BT	BETWEEN	MAX.	MAXIMUM
BLK	BLOCK	MTL.	METAL
BLKG	BLOCKING	MIN.	MINIMUM
BD.	BOARD	N.I.C.	NOT IN CONTRACT
BRD.	BOARD	O.C.	ON CENTER
BOT.	BOTTOM	O/C	ON CENTER
BLDG.	BUILDING	OPT.	OPTIONAL
CAB.	CABINET	O.S.B.	ORIENTED STRAND BOARD
CLG.	CEILING	OTS	OWNER TO SELECT
CLR.	CLEAR	O.T.S	OWNER TO SELECT
CLOS.	CLOSET	PG.	PAGE
COL.	COLUMN	PAN.	PANTRY
COLS.	COLUMNS	PL.	PLATE
CONC.	CONCRETE	P	PLATE
CMU	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
C.U.	CONDENSOR UNIT	PLYWD	PLYWOOD
CONN.	CONNECTION	POLY.	POLYETHYLENE
CONT.	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
COVERG	COVERING	PRE-FAB	PREFABRICATED
CS	GRAVEL SPACE	RE.	REFERENCE
DECO.	DECORATIVE	REF.	REFRIGERATOR
DET.	DETAIL	REINF.	REINFORCED
DIA.	DIAMETER	R	RESISTANCE
DW	DISHWASHER	R.A.	RETURN AIR
DBL.	DOUBLE	R.A.G.	RETURN AIR GRILLE
DF	DOUGLAS FIR	REQ'D	REQUIRED
D	DRYER	SCR.	SCREEN
EA.	EACH	SHLVs.	SHELVES
ELEV.	ELEVATION	SHR.	SHOWER
ENG.	ENGINEER	SHWR.	SHOWER
FT.	FEET	SST.	SIMPSON STRONG TIE
F.F.L.	FINISHED FLOOR LINE	SP	SOUTHERN PINE
FIN.	FINISH	SPECS.	SPECIFICATIONS
FLK.	FIRE CODE	SQ.	SQUARE
F.C.	FIRE CODE	S.F.	SQUARE FOOTAGE
FLR.	FLOOR	STL.	STEEL
FTG.	FOOTING	THK.	THICK
FOUND.	FOUNDATION	THK.	THICKNESS
FND.	FOUNDATION	TBD.	TO BE DETERMINED
FR.	FREEZER	TR.	TRANSOM
GA.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED	U.T.C.	UNDER THE COUNTER
GYP.	GYPSPUM	UTIL.	UTILITY
HDR.	HEADER	VAN.	VANITY
HVAC	HEATING, VENTILATION & AIR CONDITIONING	VERT.	VERTICAL
HT.	HEIGHT	WH.	WATER HEATER
HTS.	HEIGHTS	W.	WASHER
HORIZ.	HORIZONTAL	WT.	WEIGHT
IN.	INCHES	WIN.	WINDOW
INCL.	INCLUDE	WM.	WIRE MESH
INSUL.	INSULATION	W.	WITH
JT.	JOINT	WD.	WOOD
JST.	JOIST	WFGM	WOOD FRAME
JSTS.	JOISTS		CONSTRUCTION MANUAL



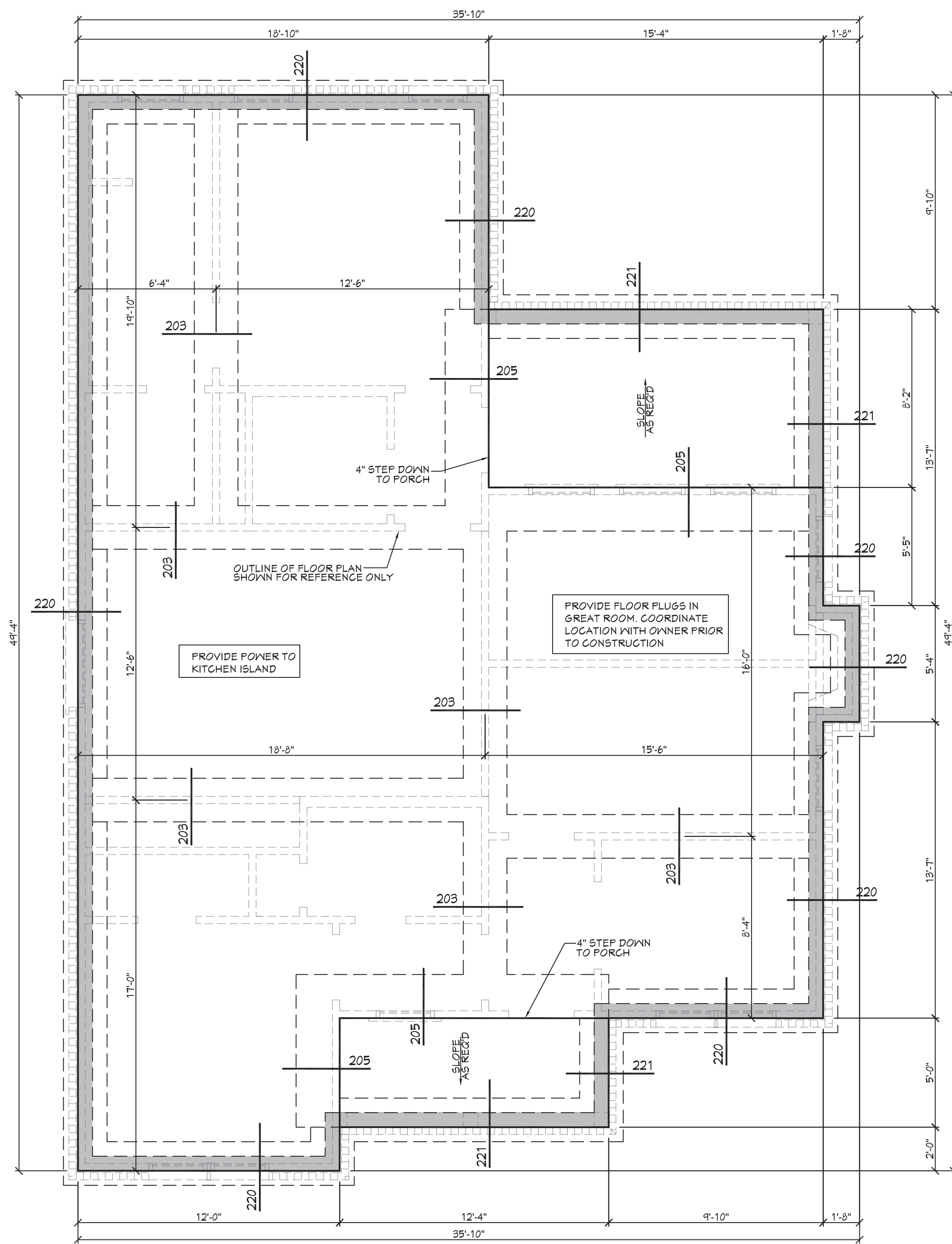
Date: 2.09.21

Drawn By: C.A.B.

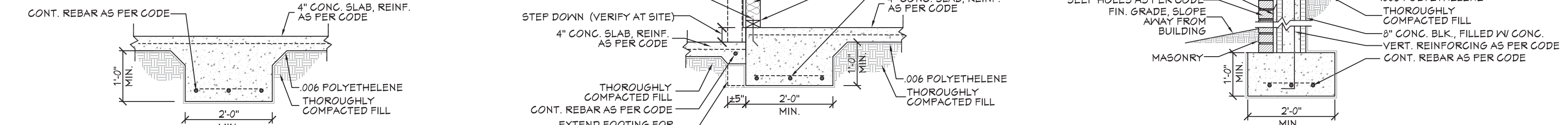
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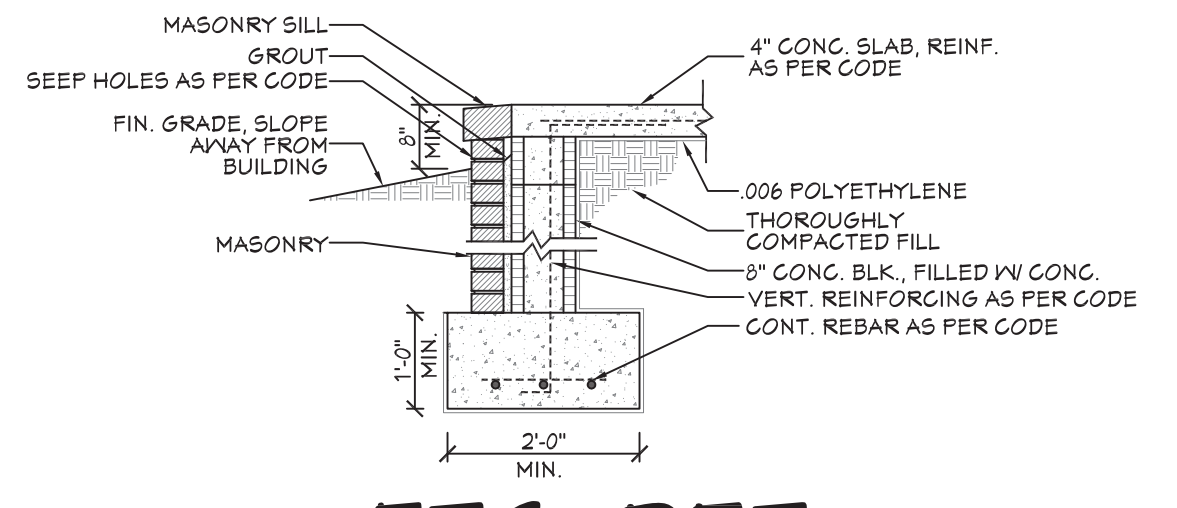
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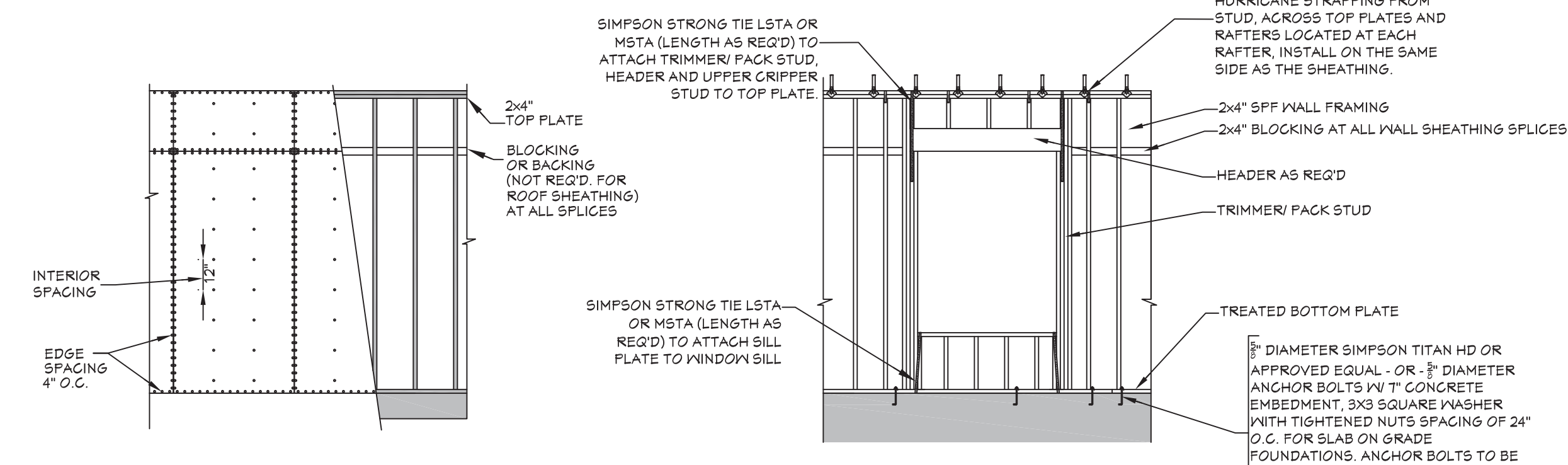
**201 FOUNDATION PLAN**  
SCALE 1/4" = 1'-0"



**203 FTG. DET.**      **205 FTG. DET.**      **220 FTG. DET.**



**221 FTG. DET.**



**233 WALL/ROOF FASTENING DETAILS**  
SCALE 1/4" = 1'-0"

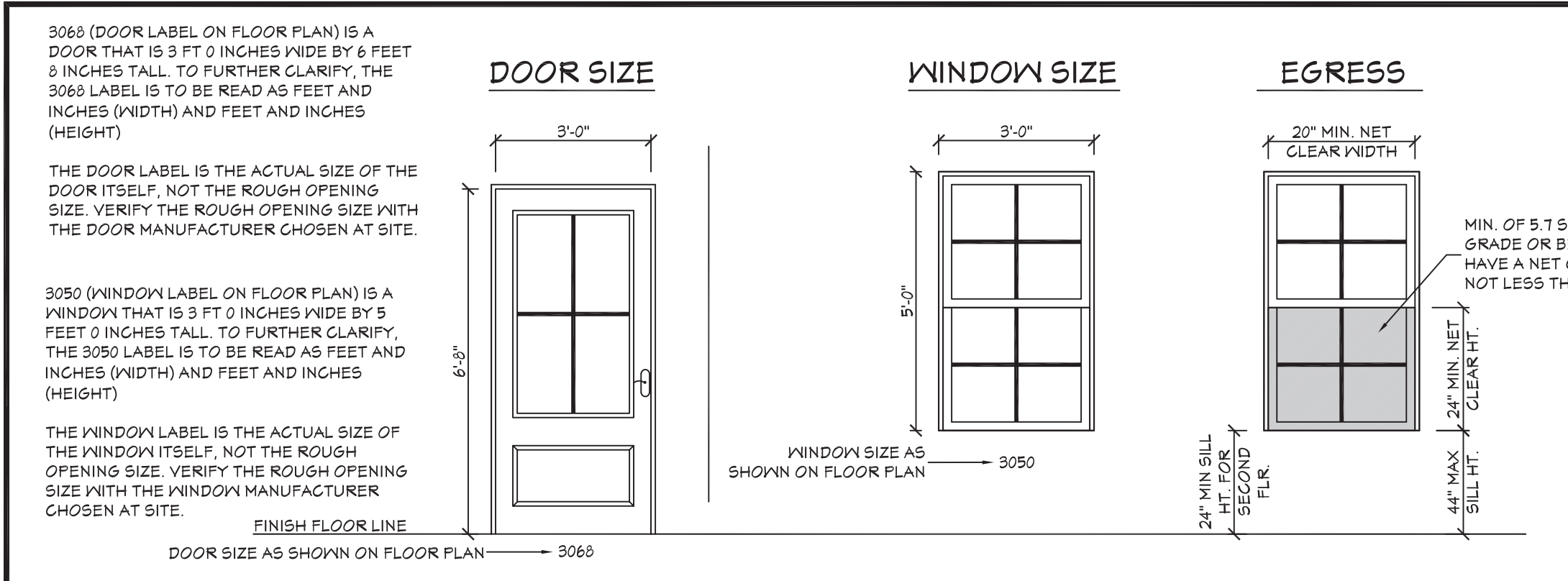
NAIL SIZE SPACING FOR WALL SHEATHING
8d NAILS MIN. OF 7/16" O.S.B. EDGE SPACING = 4" O.C. INTERIOR SPACING = 12" O.C.
NAIL SIZE SPACING FOR ROOF SHEATHING
8d NAILS MIN. OF 7/16" O.S.B. EDGE SPACING = 4" O.C. INTERIOR SPACING = 4" O.C.

**NOTES:**

- ALL EXTERIOR SHEATHING TO EXTEND FROM BOTTOM OF BOTTOM PLATE TO THE TOP OF THE TOP PLATES.
- PROVIDE 2x4 OR GREATER COLLAR TIES ON EACH RAFTER IN THE UPPER THIRD OF ATTIC AND ATTACHED TO RAFTERS WITH 5 - 10d NAILS ON EACH SIDE TO SHINGLES OR OTHER ROOF MATERIALS TO BE FASTENED AS PER MANUFACTURERS INSTRUCTIONS FOR HIGH WIND APPLICATIONS.
- EXTERIOR WALL FINISHES TO BE INSTALLED AS PER MANUFACTURERS INSTRUCTIONS BASED ON HIGH WIND APPLICATIONS.

**SLAB FOUNDATION NOTES:**

- ALL FOOTING SIZES AND LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.
- CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH FLOOR PLAN PRIOR TO CONSTRUCTION AND MAKE ANY NECESSARY ADJUSTMENTS.
- CONTRACTOR TO PROVIDE WATERPROOFING AS REQ'D TO MEET ALL APPLICABLE CODES AND TYPICAL BUILDING PRACTICES.
- CONCRETE SLABS TO BE 4" (3000 psi MIN.), REINFORCED AS PER CODE OR AS DETERMINED BY LICENSED ENGINEER.
- ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE OF THE STUDWALL AND DO NOT INCLUDE THE BRICK LEDGE (IF APPLICABLE)



**234 OPENING SIZES/ EGRESS**  
SCALE NTS

**R311.1** Means of egress. Dwellings shall be provided with a means of egress in accordance with this section. The means of egress shall provide a continuous and unobstructed path of vertical and horizontal egress travel from all portions of the dwelling to the required egress door without requiring travel through a garage. The required egress door shall open directly into a public way or to a yard or court that opens to a public way.

**R310.2.1** Minimum opening area. Emergency and escape rescue openings shall have a net clear opening of not less than 5.7 square feet (0.530 m<sup>2</sup>). The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. The net clear height opening shall be not less than 24 inches (610 mm) and the net clear width shall be not less than 20 inches (505 mm). Exception: Grade floor or below grade openings shall have a net clear opening of not less than 5 square feet (0.465 m<sup>2</sup>).

**R310.2.2** Window sill height. Where a window is provided as the emergency escape and rescue opening, it shall have a sill height of not more than 44 inches (1119 mm) above the floor; where the sill height is below grade, it shall be provided with a window well in accordance with Section R310.2.3.

**R310.2.3** Window wells. The horizontal area of the window well shall be not less than 9 square feet (0.9 m<sup>2</sup>), with a horizontal projection and width of not less than 36 inches (914 mm). The area of the window well shall allow the emergency escape and rescue opening to be fully opened. Exception: The ladder or steps required by Section R310.2.3.1 shall be permitted to encroach not more than 6 inches (152 mm) into the required dimensions of the window well.

**R310.2.3.1** Ladder and steps. Window wells with a vertical depth greater than 44 inches (1119 mm) shall be equipped with a permanently affixed ladder or steps usable with the window in the fully open position. Ladders or steps required by this section shall not be required to comply with Sections R311.1 and R311.2. Ladders or rungs shall have an inside width of not less than 12 inches (305 mm), shall project not less than 3 inches (76 mm) from the wall and shall be spaced not more than 18 inches (457 mm) on center vertically for the full height of the window well.

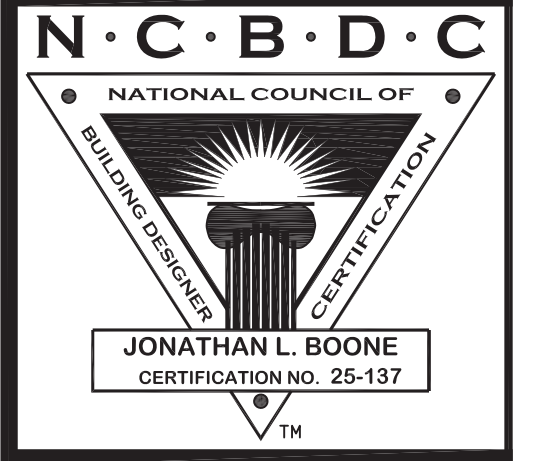
**R312.2** Window fall protection. Window fall protection shall be provided in accordance with Sections R312.2.1 and R312.2.2.

**R312.2.1** Window sills. In dwelling units, where the top of the sill of an operable window opening is located less than 24 inches (610 mm) above the finished grade and greater than 72 inches (1829 mm) above the finished grade or other surface below on the exterior of the building, the operable window shall comply with one of the following:

- Operable windows with openings that will not allow a 4-inch-diameter (102 mm) sphere to pass through the opening where the opening is in its largest opened position.
- Operable windows that are provided with window fall prevention devices that comply with ASTM F 2040.
- Operable windows that are provided with window opening control devices that comply with Section R312.2.2.

**R312.2.2** Window opening control devices. Window opening control devices shall comply with ASTM F 2040. The window opening control device, after operation to release the control device allowing the window to fully open, shall not reduce the net clear opening area of the window unit to less than the area required by Section R310.2.1.

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Pre-Drawn Plan ID:  
**1254-S**

Date:  
2.09.21  
Drawn By:  
C.A.B.

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SHEET NUMBER  
**2**

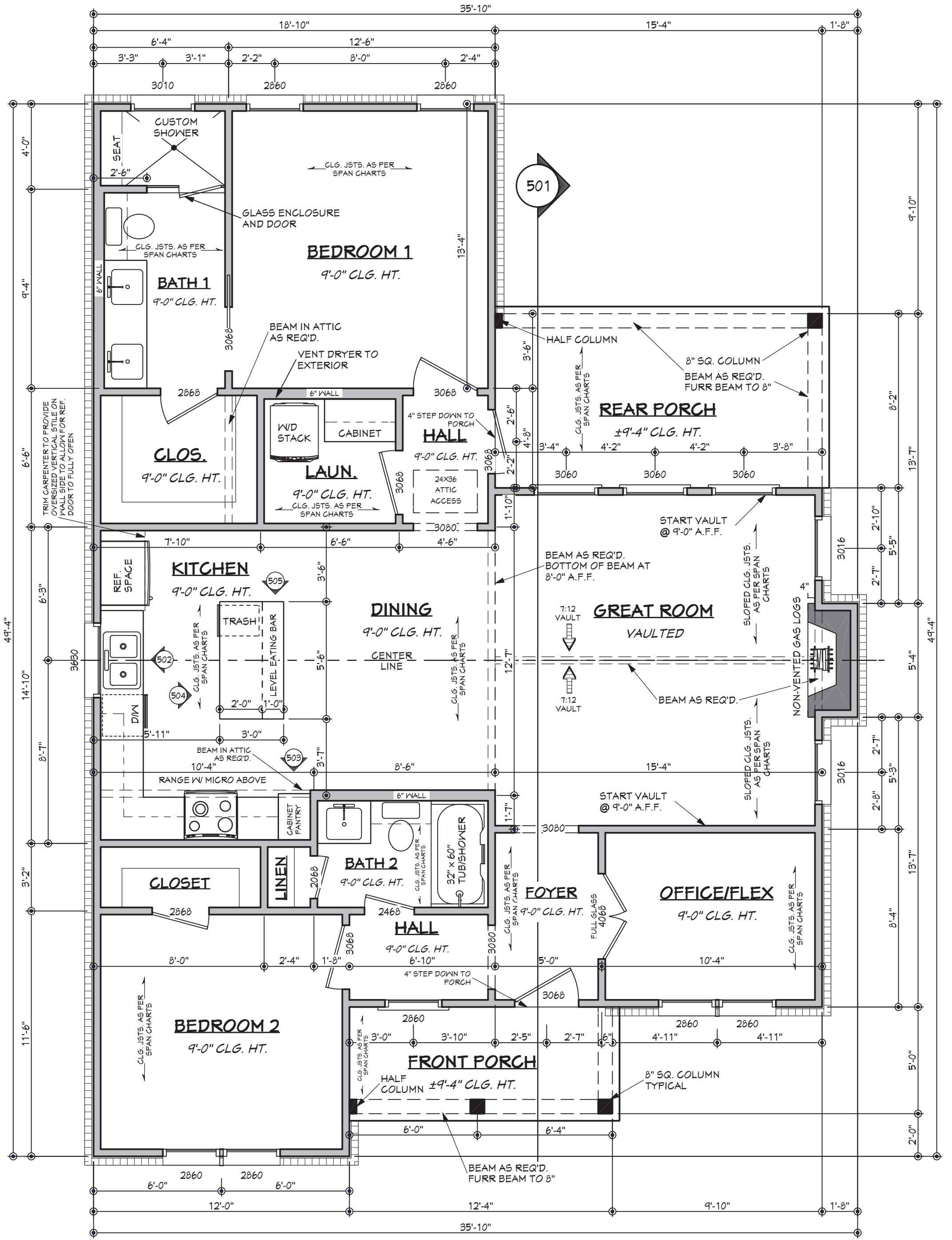
House Plan Zone, LLC has exercised great care and effort in the development of these plans and the completion of these construction documents. However, the contractor is responsible for verifying all dimensions and conditions of the site and for obtaining all necessary permits. House Plan Zone, LLC is not responsible for any damages, including structural failures, resulting from errors, omissions or deficiencies in the design. House Plan Zone, LLC highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction. Other special conditions may be required by local building codes. All dimensions to be verified on site prior to construction. If a foundation plan has been included in these plans, it is a general note and shall be verified by a licensed engineer prior to construction.

■ **DOOR LABEL SIZE:** 3068 IS A DOOR THAT IS 3 FT 0 INCHES WIDE BY 6 FEET 8 INCHES TALL. TO FURTHER CLARIFY, THE 3068 LABEL IS TO BE READ AS FEET AND INCHES (WIDTH) AND FEET AND INCHES (HEIGHT). THE DOOR LABEL IS THE ACTUAL SIZE OF THE DOOR ITSELF, NOT THE ROUGH OPENING SIZE. VERIFY THE ROUGH OPENING SIZE WITH THE DOOR MANUFACTURER CHOSEN AT SITE.

■ **WINDOW LABEL SIZE:** 3050 IS A WINDOW THAT IS 3 FT 0 INCHES WIDE BY 5 FEET 0 INCHES TALL. TO FURTHER CLARIFY, THE 3050 LABEL IS TO BE READ AS FEET AND INCHES (WIDTH) AND FEET AND INCHES (HEIGHT). THE WINDOW LABEL IS THE ACTUAL SIZE OF THE WINDOW ITSELF, NOT THE ROUGH OPENING SIZE. VERIFY THE ROUGH OPENING SIZE WITH THE WINDOW MANUFACTURER CHOSEN AT SITE.

<b>AREAS:</b>	<b>1254 S.F. HEATED</b>
	<b>125 S.F. UNHEATED - REAR PORCH</b>
	<b>62 S.F. UNHEATED - FRONT PORCH</b>
	<b>187 S.F. UNHEATED - TOTAL</b>
	<b>1441 S.F. TOTAL</b>

**SQUARE FOOTAGE CALCULATION NOTES:**  
 1. SQUARE FOOTAGE OF HEATED AREA IS FIGURED TO THE OUTSIDE OF THE STUD/WALL OF THE EXTERIOR WALLS (DOES NOT INCLUDE MASONRY OR OTHER EXTERIOR MATERIALS).  
 2. FIREPLACES THAT PROTRUDE FROM THE EXTERIOR FOOTPRINT ARE NOT INCLUDED IN THE HEATED AREA.  
 3. STAIRWELLS ARE ONLY INCLUDED IN THE FIRST FLOOR CALCULATIONS AND NOT THE SECOND FLOOR CALCULATIONS (IF APPLICABLE).



# FLOOR PLAN

SCALE: 1/4" = 1'-0"

**MECHANICAL NOTE:**  
WATER HEATER & HVAC UNIT TO BE LOCATED IN ATTIC SPACE BY CONTRACTOR.

**WALL FRAMING NOTE:**  
ALL WALLS TO BE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.

## ELECTRICAL SYMBOLS LEGEND

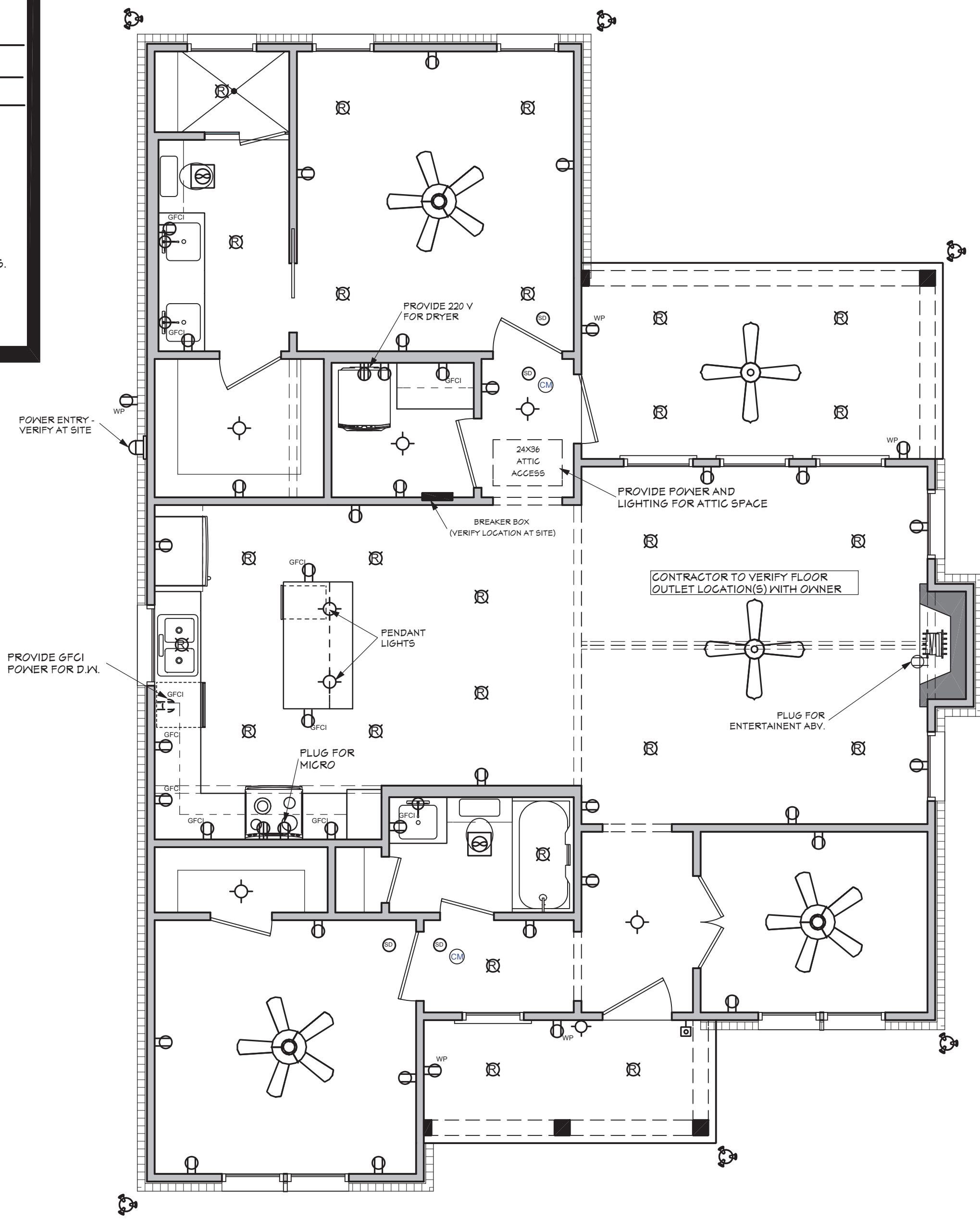
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	110 VOLT OUTLET	[Symbol]	TV SPEAKER
[Symbol]	GROUND FAULT PROTECTED OUTLET	[Symbol]	RADIO SPEAKER
[Symbol]	WEATHERPROOF OUTLET	[Symbol]	CEILING FAN ONLY, NO LIGHT KIT
[Symbol]	220 VOLT RECEPTACLE	[Symbol]	CEILING FAN WITH LIGHT KIT
[Symbol]	FLOOR OUTLET (OWNER TO LOCATE)	[Symbol]	TRACK LIGHTING (OWNER TO LOCATE)
[Symbol]	CEILING HUNG FIXTURE	[Symbol]	WALL SCONCE (OWNER TO LOCATE)
[Symbol]	OVERHANG MOUNTED FLOODLIGHTS	[Symbol]	CHANDELIER 1 (O.T.S.)
[Symbol]	WALL MOUNTED FLOODLIGHTS	[Symbol]	CHANDELIER 2 (O.T.S.)
[Symbol]	RECESSED CEILING FIXTURE	[Symbol]	UNDER COUNTER LIGHTING
[Symbol]	FLUORESCENT LIGHT	[Symbol]	EMERGENCY LIGHTING/ EXIT SIGN
[Symbol]	CARBON MONOXIDE DETECTOR		
[Symbol]	SMOKE DETECTOR		
[Symbol]	SWITCH		
[Symbol]	THREE WAY SWITCH		
[Symbol]	WALL MOUNTED LIGHT		
[Symbol]	DIMMER SWITCH (OWNER TO LOCATE)		
[Symbol]	DOOR ACTIVATED SWITCH		
[Symbol]	WEATHERPROOF OUTLET		
[Symbol]	CATS NETWORKING JACK (OWNER TO LOCATE)		
[Symbol]	TELEPHONE OUTLET (OWNER TO LOCATE)		
[Symbol]	TELEVISION OUTLET (OWNER TO LOCATE)		
[Symbol]	DOORBELL BUTTON (CONTRACTOR TO LOCATE)		
[Symbol]	THERMOSTAT (CONTRACTOR TO LOCATE)		
[Symbol]	CEILING EXHAUST FAN, VENT TO EXTERIOR		

**ELECTRICAL NOTES: (2018 IRC)**

- ALL WORK SHALL COMPLY WITH ALL CODES APPLICABLE AT SITE.
- SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN A DWELLING THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SMOKE ALARMS SHALL BE HARD WIRED WITH A BATTERY BACK UP.
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS WITH ATTACHED GARAGES.
- A 125 VOLT, SINGLE PHASE, 15-20 AMPERE RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. THE RECEPTACLE OUTLET SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE HVAC EQUIPMENT DISCONNECTING MEANS.

## FLOOR PLAN NOTES: (2018 IRC)

- ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE FACE OF THE STUD AND DO NOT INCLUDE EXTERIOR FINISHES SUCH AS SIDING, BRICK, STUCCO, ETC.
- ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
- VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
- CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL, PRIOR TO CONSTRUCTION.
- CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
- ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
- PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD. IRC 2018, R312.1.1 & R312.1.2
- M1305.1.2 APPLIANCES IN ATTICS. ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. EXCEPTIONS: (A) THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING. (B) WHERE THE PASSAGEWAY IS UNOBSTRUCTED AND NOT LESS THAN 6 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 50 FEET LONG.
- APPLIANCE ACCESS FOR INSPECTION SERVICE, REPAIR AND REPLACEMENT. APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED, SERVICED, REPAIRED OR REPLACED. A LEVEL WORKING SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. M1305.1.1
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2018 R310.2.1. EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. MAXIMUM SILL HEIGHT TO BE 44 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES.
- ALL RETURN AIR GRILLS ARE TO BE LOCATED TO COMPLY WITH SECTION M1602 OF THE IRC 2018.
- ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTED RESIDENCE OR BUILDING. FOOTAGES SHOWN ARE TO THE OUTSIDE OF THE STUD/WALL AND DO NOT INCLUDE THE EXTERIOR FINISH MATERIAL SUCH AS SIDING, BRICK, STONE ETC.
- FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED (IF REQUIRED BY LOCAL CODES) AS PER THE IRC 2018 AND BY A LICENSED PROFESSIONAL IN THE AREA OF CONSTRUCTION.
- ALL BATHROOM EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. IRC 2018, M1505.2



# ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

NOTE: SWITCHES AND ELECTRICAL CONNECTIONS ARE NOT SHOWN. OWNER TO LOCATE THESE ITEMS DURING ELECTRICAL WALK-THROUGH WITH ELECTRICAL CONTRACTOR AT SITE.



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JONATHAN L. BOONE  
CERTIFICATION NO. 25-137

Pre-Drawn Plan ID:  
**1254-S**

Date:  
2.09.21

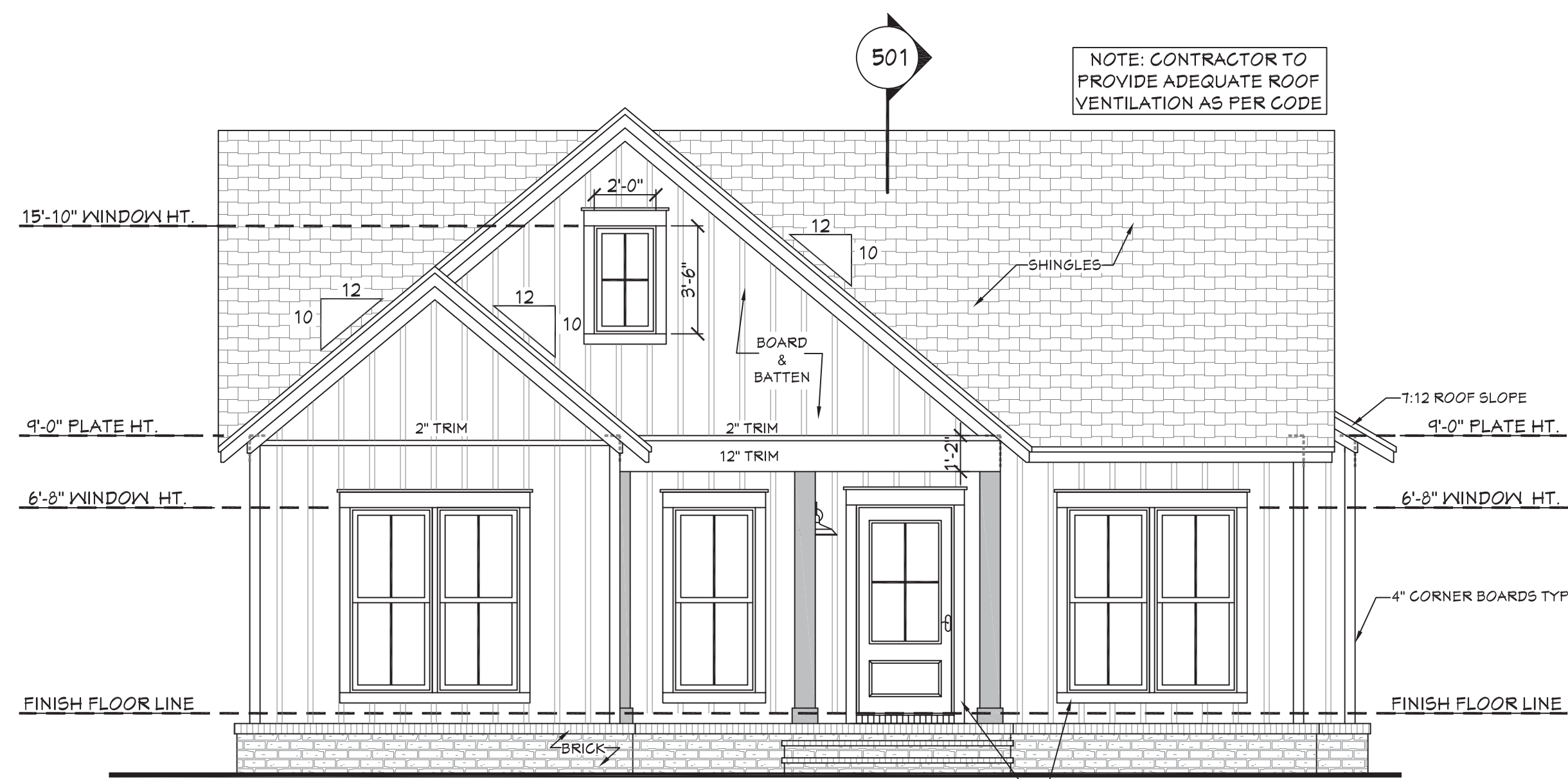
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**3**

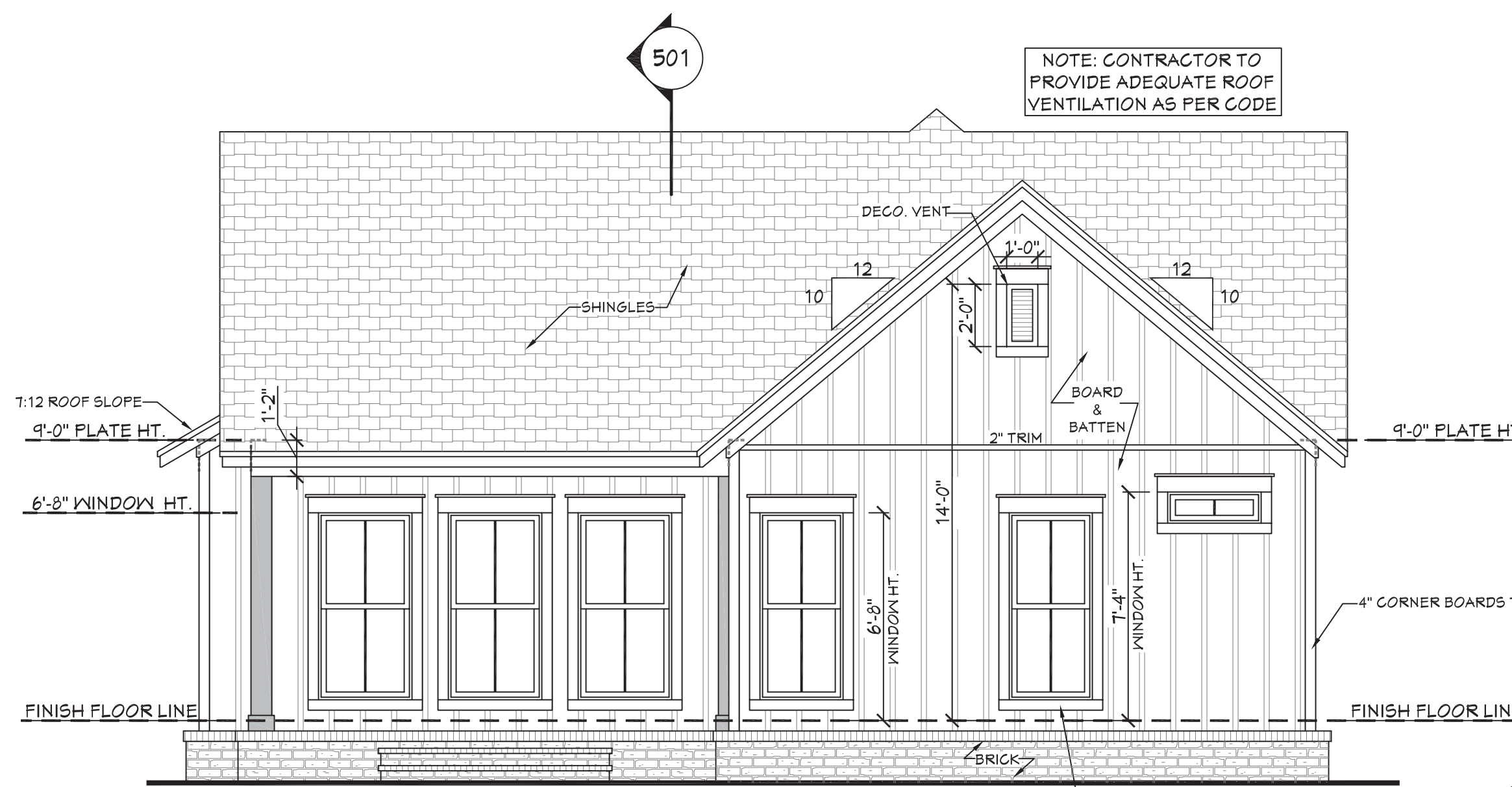
House Plan Zone, LLC has exercised great care and effort in the development of these plans and the completion of these construction documents. However, the user assumes all responsibility for any errors, omissions or deficiencies in the design. House Plan Zone, LLC highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction. Other special conditions required by local building codes. All dimensions to be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.



401

**FRONT VIEW**

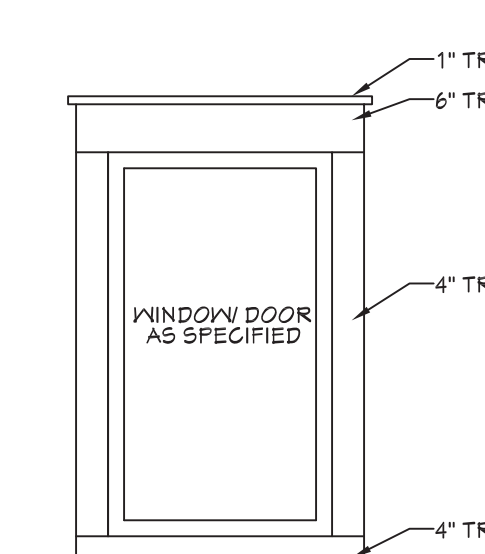
SCALE-----1/4" = 1'-0"



402

**REAR VIEW**

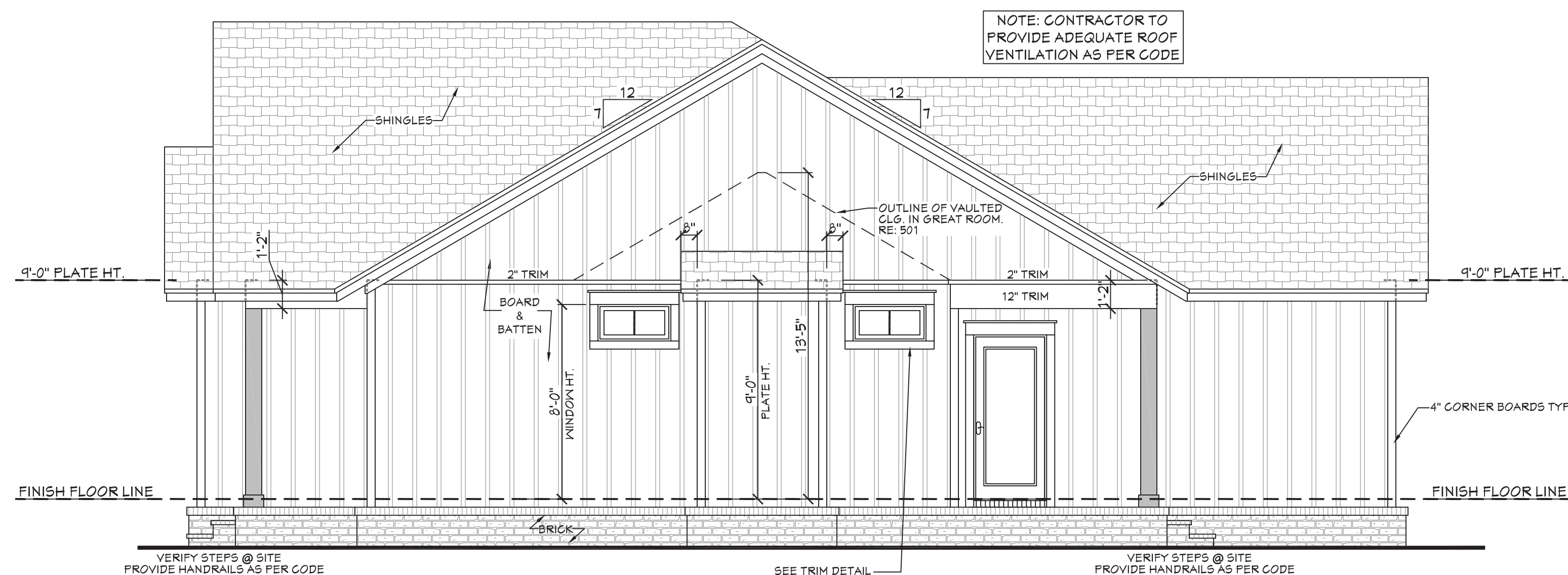
SCALE-----1/4" = 1'-0"



405

**TYPICAL TRIM DETAIL**

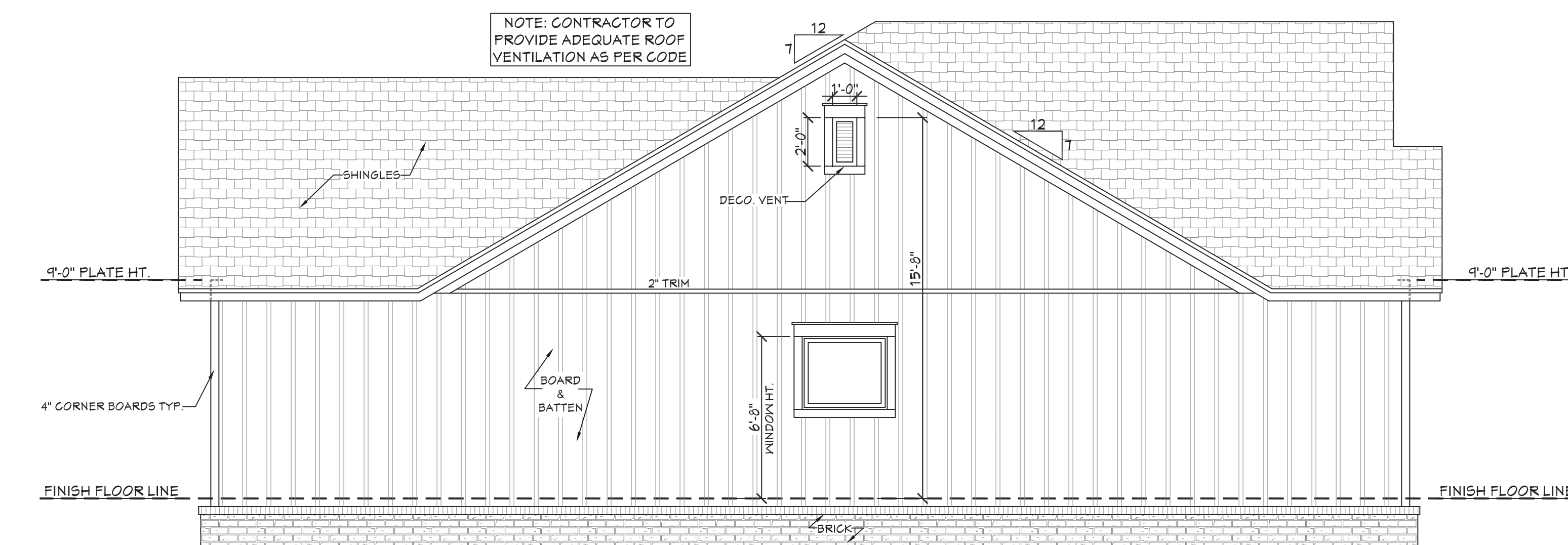
SCALE-----1/2" = 1'-0"



403

**RIGHT VIEW**

SCALE-----1/4" = 1'-0"

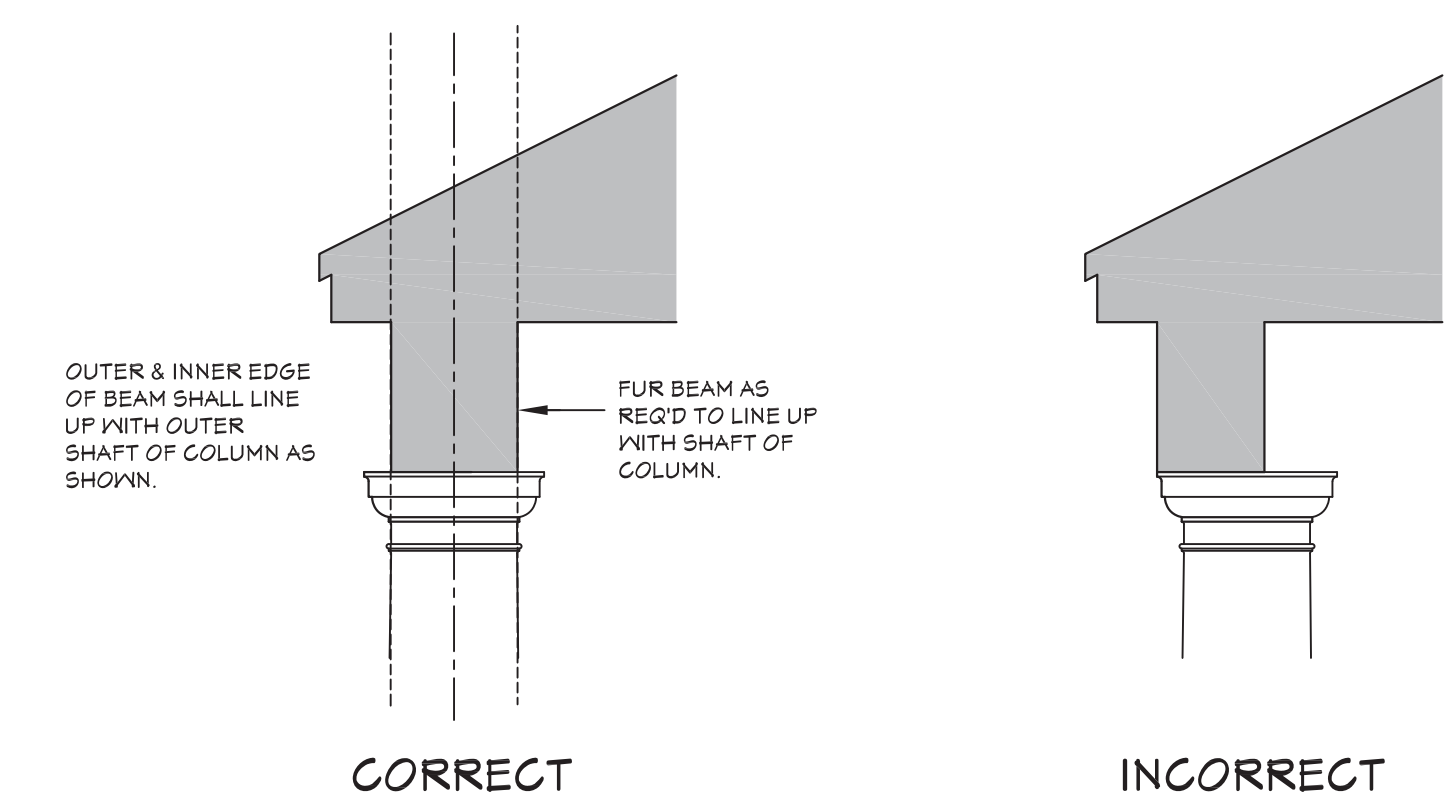


404

**LEFT VIEW**

SCALE-----1/4" = 1'-0"

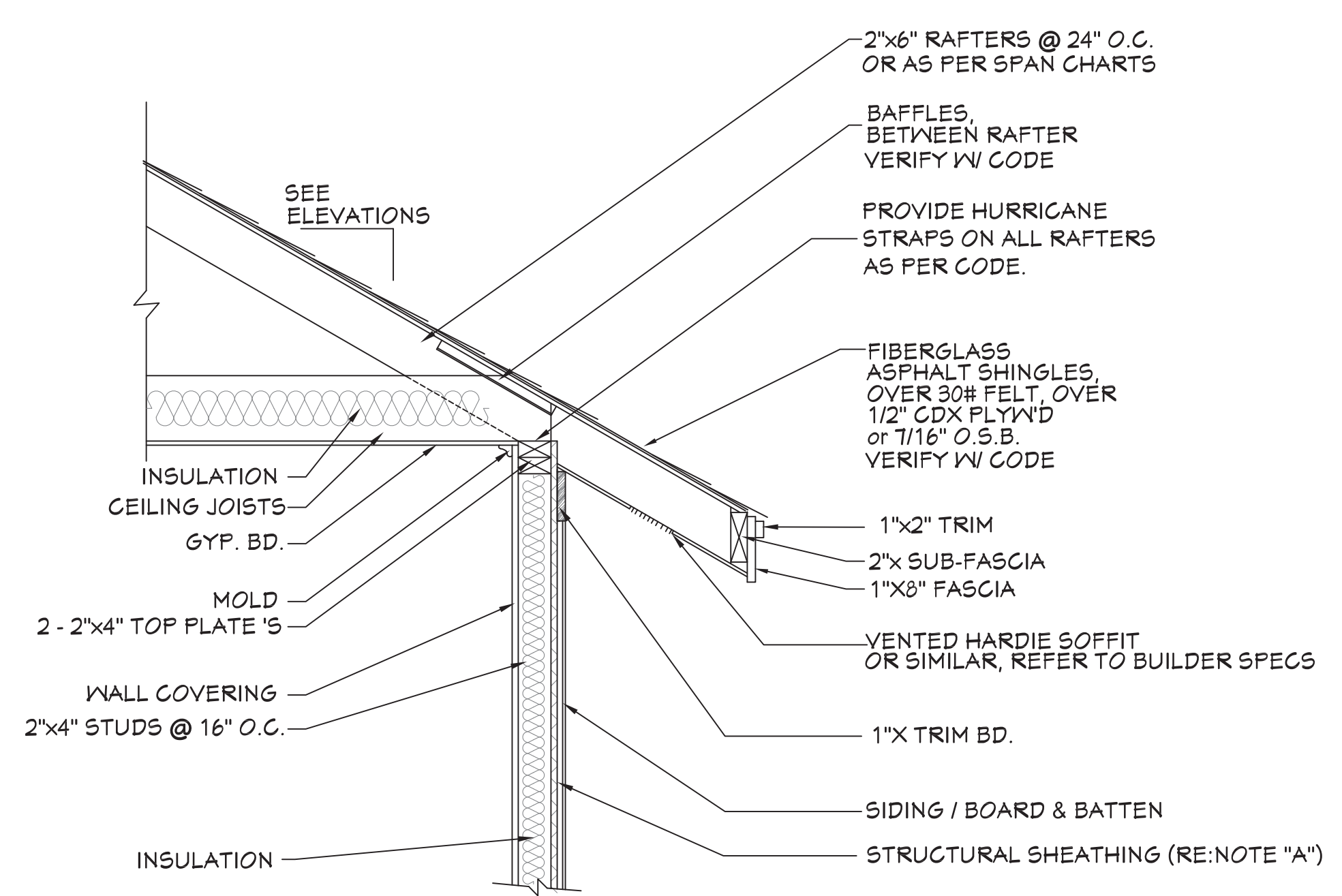
- EXTERIOR ELEVATION NOTES:**
1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
  2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
  3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
  4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
  5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
  6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



406

**COLUMN/ BEAM LOCATIONS**

SCALE-----N.T.S.

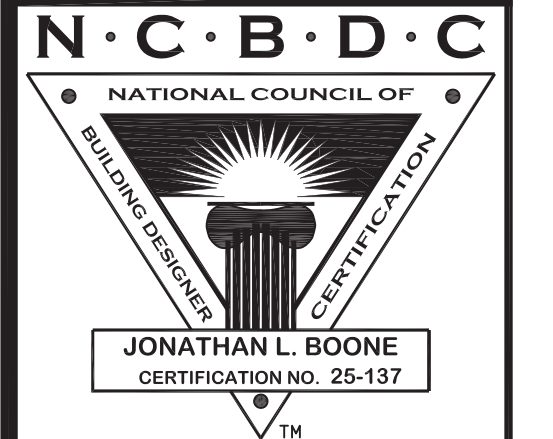


407

**TYP. CORNICE DETAIL**

SCALE-----3/4" = 1'-0"

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Pre-Drawn Plan ID:  
**1254-S**

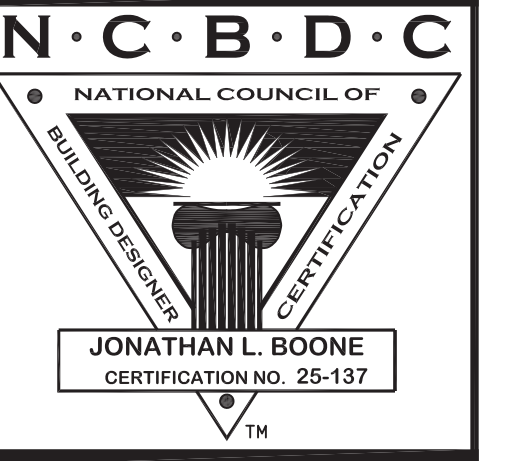
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Date: 2.09.21  
 Drawn By: C.A.B.

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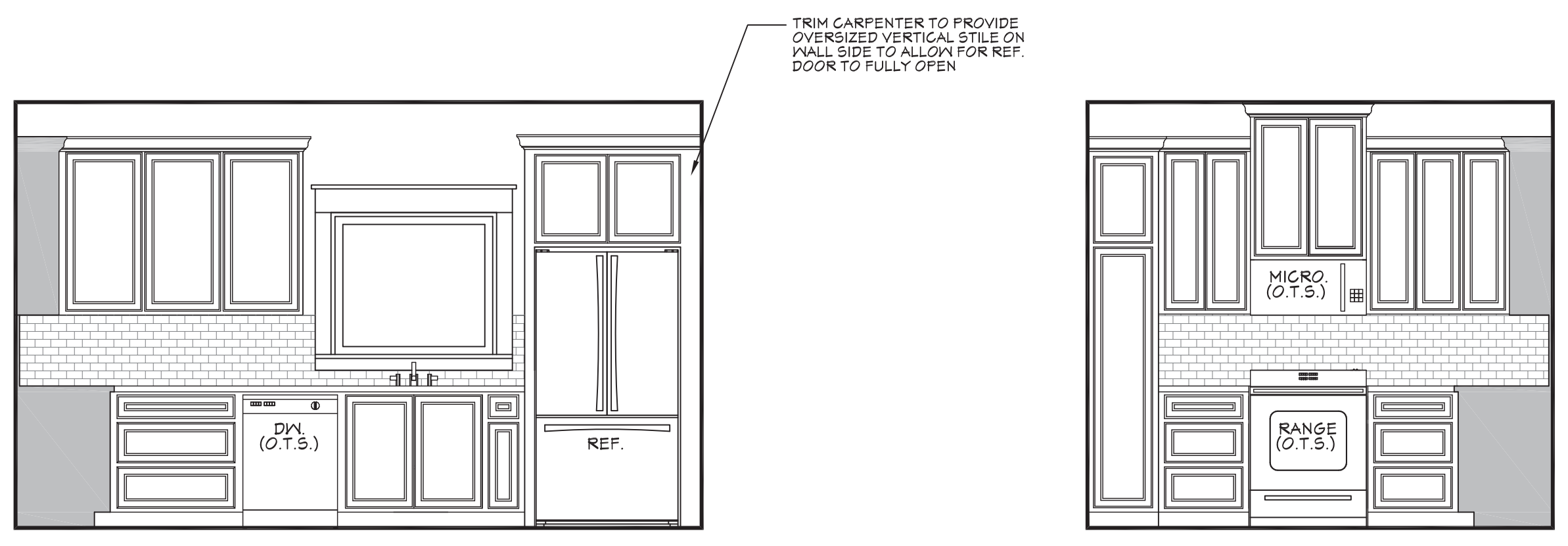
Pre-Drawn Plan ID:  
**1254-S**

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**502** **KITCHEN**  
 SCALE----- 3/8" = 1'-0"

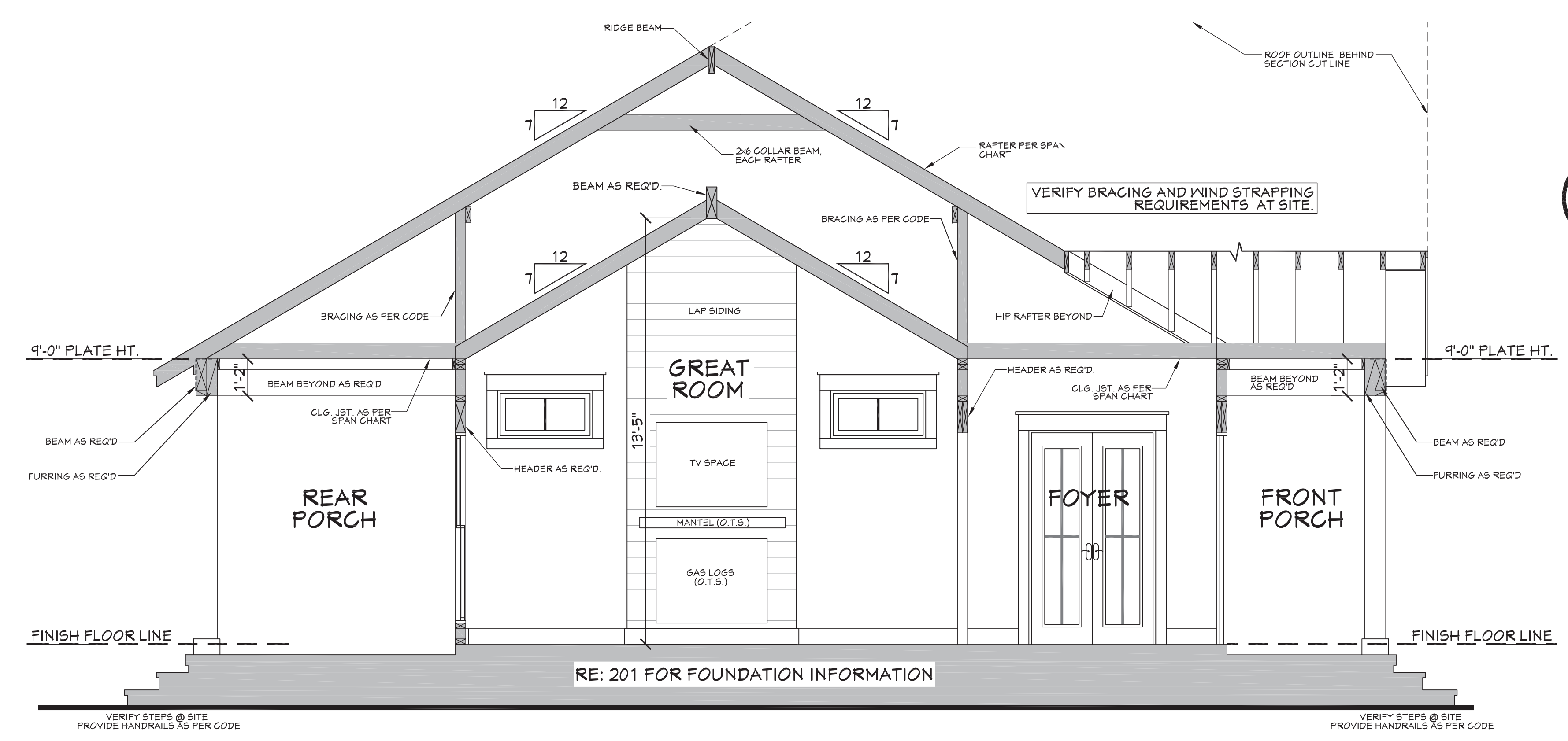
**503** **KITCHEN**  
 SCALE----- 3/8" = 1'-0"



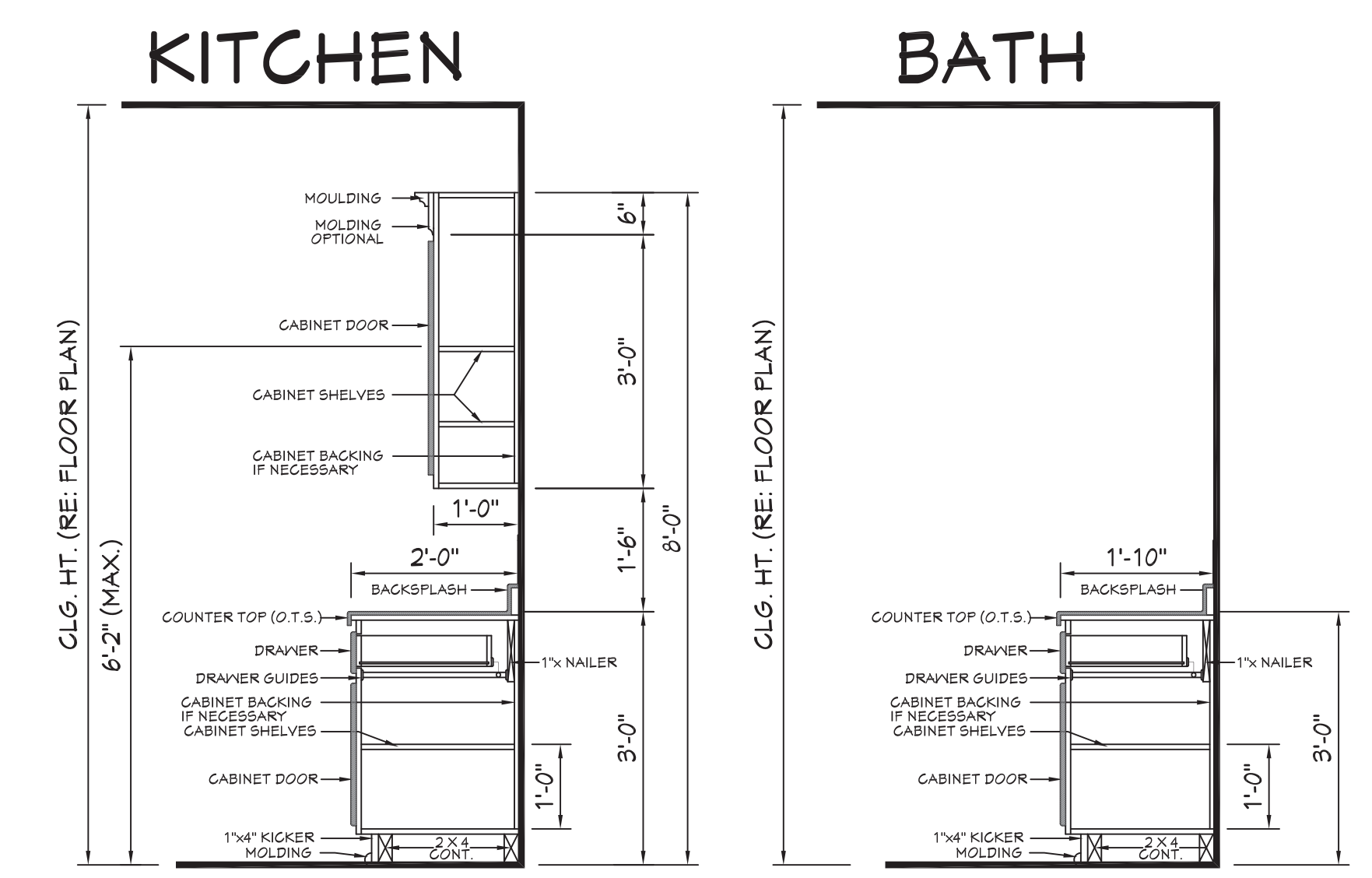
**504** **KITCHEN**  
 SCALE----- 3/8" = 1'-0"

**505** **KITCHEN**  
 SCALE----- 3/8" = 1'-0"

- CROSS SECTION NOTES:**
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
  2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" x 10", OR AS REQUIRED BY LOCAL ENGINEER.
  3. CONTRACTOR TO PROVIDE RAFTER BRACING TO MEET APPLICABLE CODES.
  4. CONTRACTOR TO THOROUGHLY WATERPROOF ALL EXTERIOR INTERSECTIONS AS PER CODE AND TYPICAL BUILDING PRACTICES.
  5. ALL BEAMS TO BE SIZED BY A LOCAL PROFESSIONAL OR LICENSED STRUCTURAL ENGINEER.
  6. ALL LUMBER SIZES AND SPACING TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
  7. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D. BY CURRENT CODES.



**501** **CROSS SECTION**  
 SCALE----- 3/8" = 1'-0"



**506** **TYP. CABINET SECTIONS**  
 SCALE----- N.T.S.

**CEILING JOIST SPANS**

CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES  
(UNINHABITABLE ATTICS WITH LIMITED STORAGE,  
LIVE LOAD = 20psf, L/A=240) DEAD LOAD = 10psf)

\*\*\*IF HABITABLE ATTIC SPACE IS DESIRED,  
REFER TO THE INTERNATIONAL RESIDENTIAL CODE, SPAN TABLES.\*\*\*

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPANS) (FT. - IN.)
2 x 4	12.0	9-3
	16.0	8-0
	19.2	7-4
	24.0	6-7
2 x 6	12.0	13-11
	16.0	12-0
	19.2	11-0
	24.0	9-10
2 x 8	12.0	17-7
	16.0	15-3
	19.2	13-11
	24.0	12-6
2 x 10	12.0	20-11
	16.0	18-1
	19.2	16-6
	24.0	14-4

NOTES:  
The above tables are based on the IRC 2018 TABLE R802.5.1(2)

**HIP/VALLEY CONVERSION**

IF COMMON RAFTER ROOF PITCH IS:

RISE/RUN	SLOPE	THEN HIP/VALLEY RAFTER ROOF PITCH BECOMES:
1/12	5°	1/11 3°
2/12	10°	2/11 7°
3/12	14°	3/11 10°
4/12	18°	4/11 13°
5/12	23°	5/11 16°
6/12	27°	6/11 19°
7/12	30°	7/11 22°
8/12	34°	8/11 25°
9/12	37°	9/11 28°
10/12	40°	10/11 30°
11/12	42°	11/11 33°
12/12	45°	12/11 35°

CONVERSION CHART FOR SIMPLE ROOFS ONLY.  
CHART DOES NOT APPLY FOR DUAL PITCH ROOFS.

**RAFTER LENGTH CHART**

ROOF PITCH	FACTOR
3/12	1.05
4/12	1.07
5/12	1.10
6/12	1.14
7/12	1.17
8/12	1.20
9/12	1.25
10/12	1.30
11/12	1.35
12/12	1.40
14/12	1.54
16/12	1.70

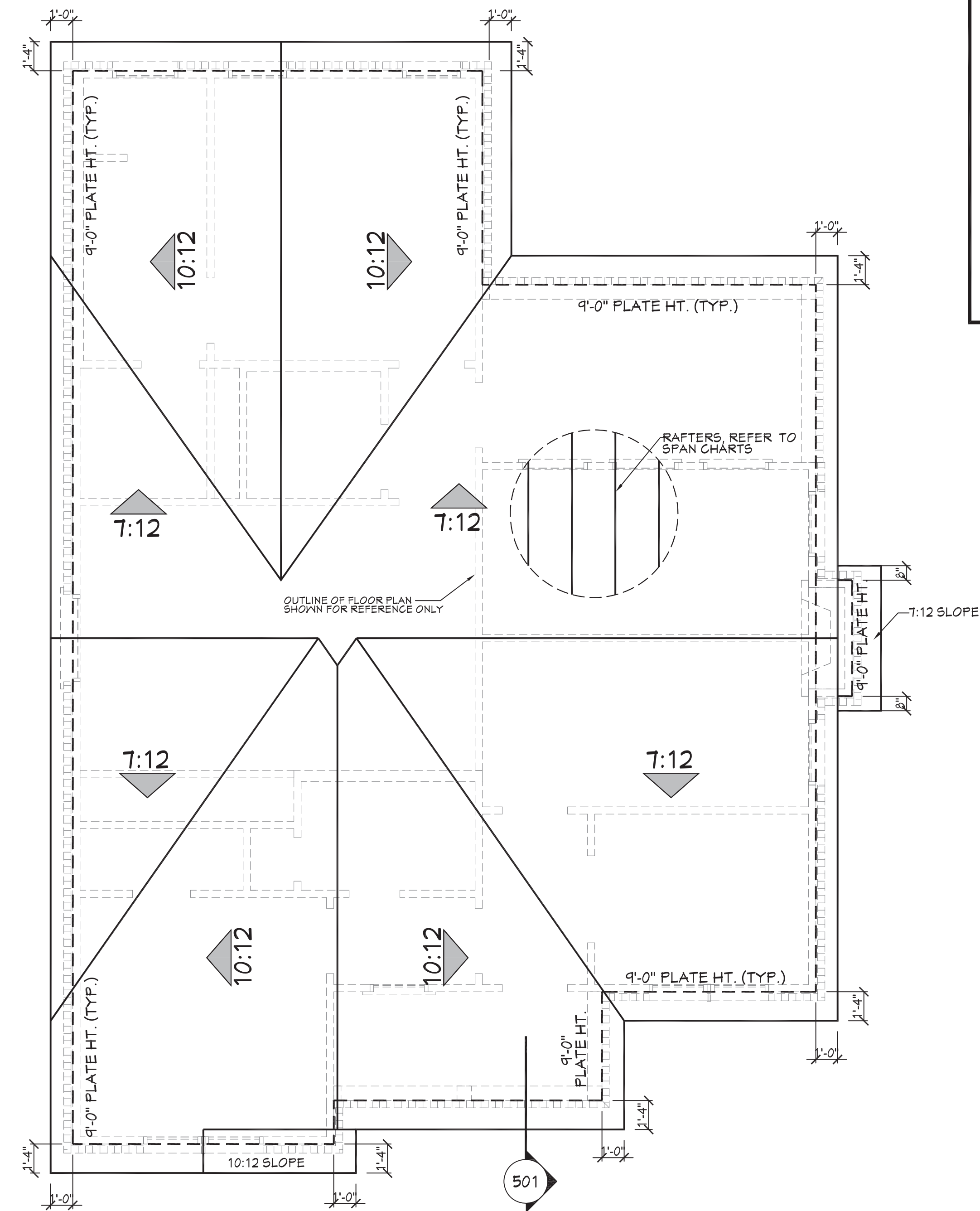
MULTIPLY HORIZONTAL SPAN OF MEMBER BY FACTOR.  
CHOOSE APPROPRIATE FACTOR BY ROOF PITCH.

**RAFTER SPANS**

RAFTER SPANS FOR SOUTHERN PINE SPECIES  
LIVE LOAD=30psf, L/A=180 DEAD LOAD = 10psf

SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT. - IN.)
2 x 6	12.0	12-11
	16.0	11-2
	19.2	10-2
	24.0	9-2
2 x 8	12.0	16-4
	16.0	14-2
	19.2	12-11
	24.0	11-7
2 x 10	12.0	19-5
	16.0	16-10
	19.2	15-4
	24.0	13-9
2 x 12	12.0	22-10
	16.0	19-10
	19.2	18-1
	24.0	16-2

NOTES:  
The above tables are based on the IRC 2018 TABLE R802.4.1(3)



**601 ROOF PLAN**  
SCALE----- 1/4" = 1'-0"

**ROOF PLAN NOTES:**

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS CONTRACTOR TO BE 2" X 10", No.2 S.Y.P. OR AS REQ'D BY ENGINEER.
3. ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
4. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
5. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS PER CODE.

**MAXIMUM HEADER SPANS**

HEADER SPANS FOR EXTERIOR BEARING WALLS  
SOUTHERN PINE #2 OR BETTER LIVE LOAD=30psf DEAD LOAD = 10psf

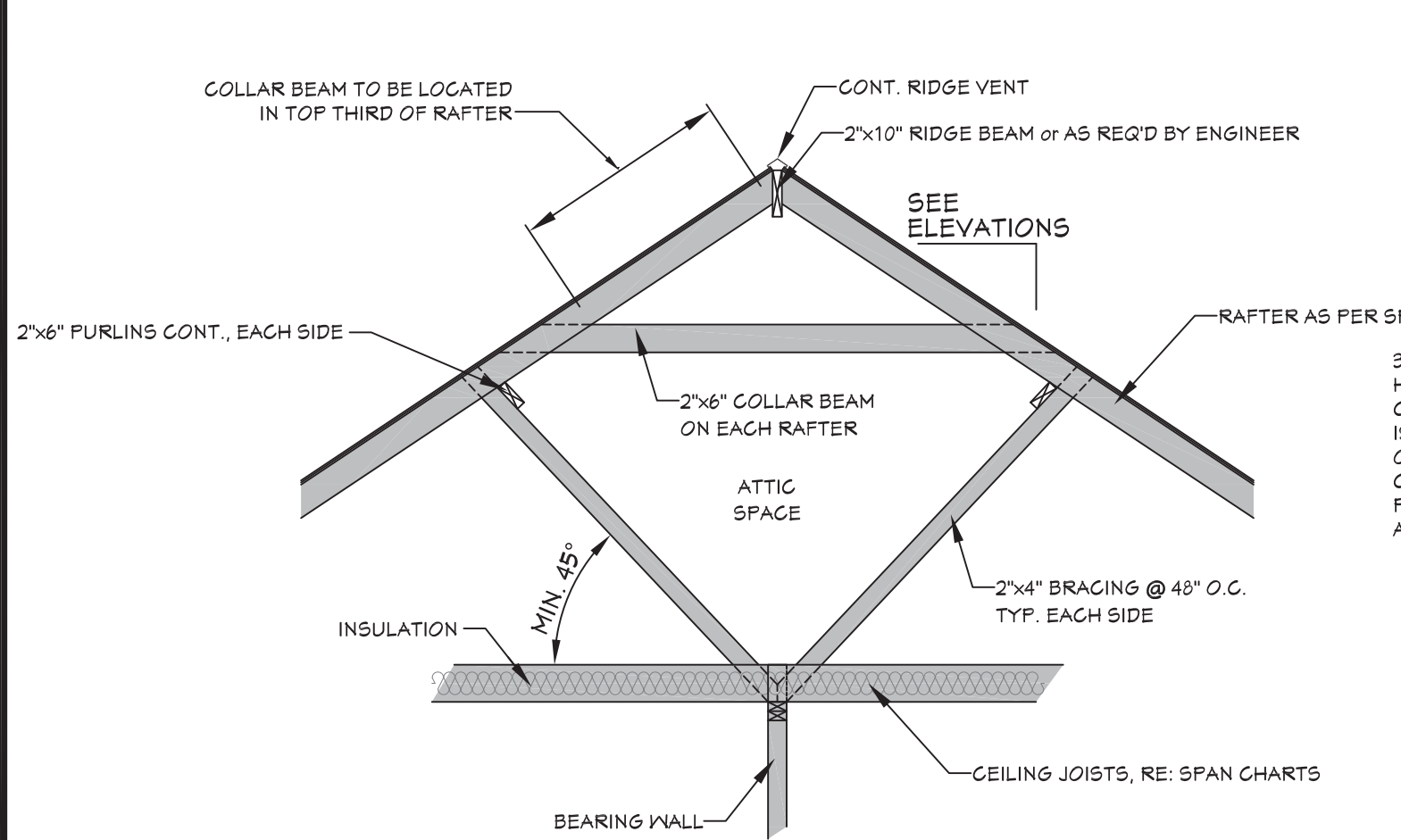
ALL SPANS ARE ASSUMING A MAXIMUM OF 24 FEET OF SUPPORTED ROOF FRAMING.

SUPPORTING ROOF AND CEILING ONLY		
SIZE NUMBER OF FLIES IN ( )	MAXIMUM SPAN (FEET AND INCHES)	JACK STUDS
(2) 2 x 6	4-7	1
(2) 2 x 8	5-9	1
(2) 2 x 10	6-10	2
(2) 2 x 12	8-1	2
(3) 2 x 8	7-3	1
(3) 2 x 10	8-7	2
(3) 2 x 12	10-1	2

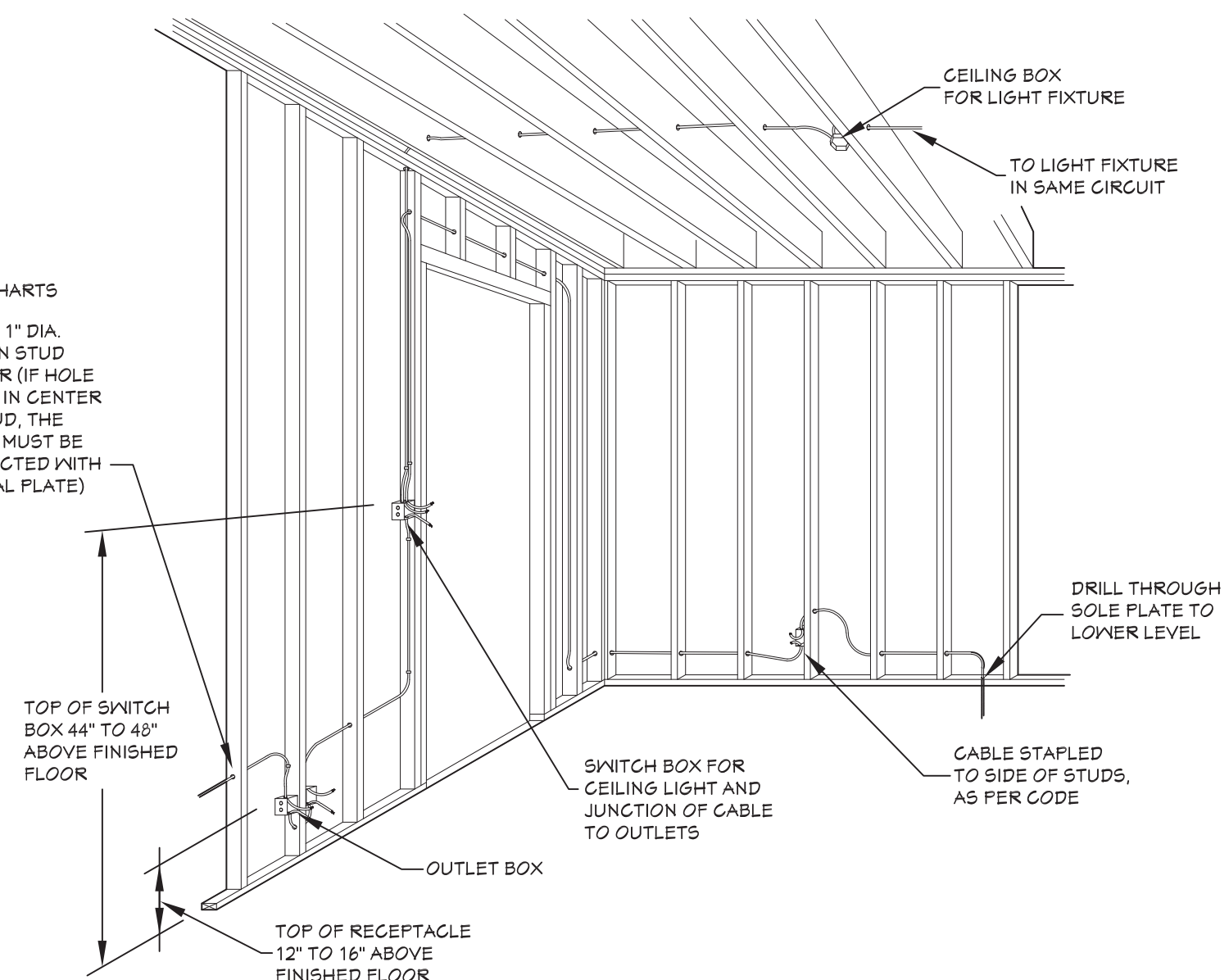
  

SUPPORTING ROOF, CEILING AND ONE CENTER BEARING FLOOR		
SIZE NUMBER OF FLIES IN ( )	MAXIMUM SPAN (FEET AND INCHES)	JACK STUDS
(2) 2 x 10	5-8	2
(2) 2 x 12	6-8	2
(3) 2 x 10	7-2	2
(3) 2 x 12	8-5	2

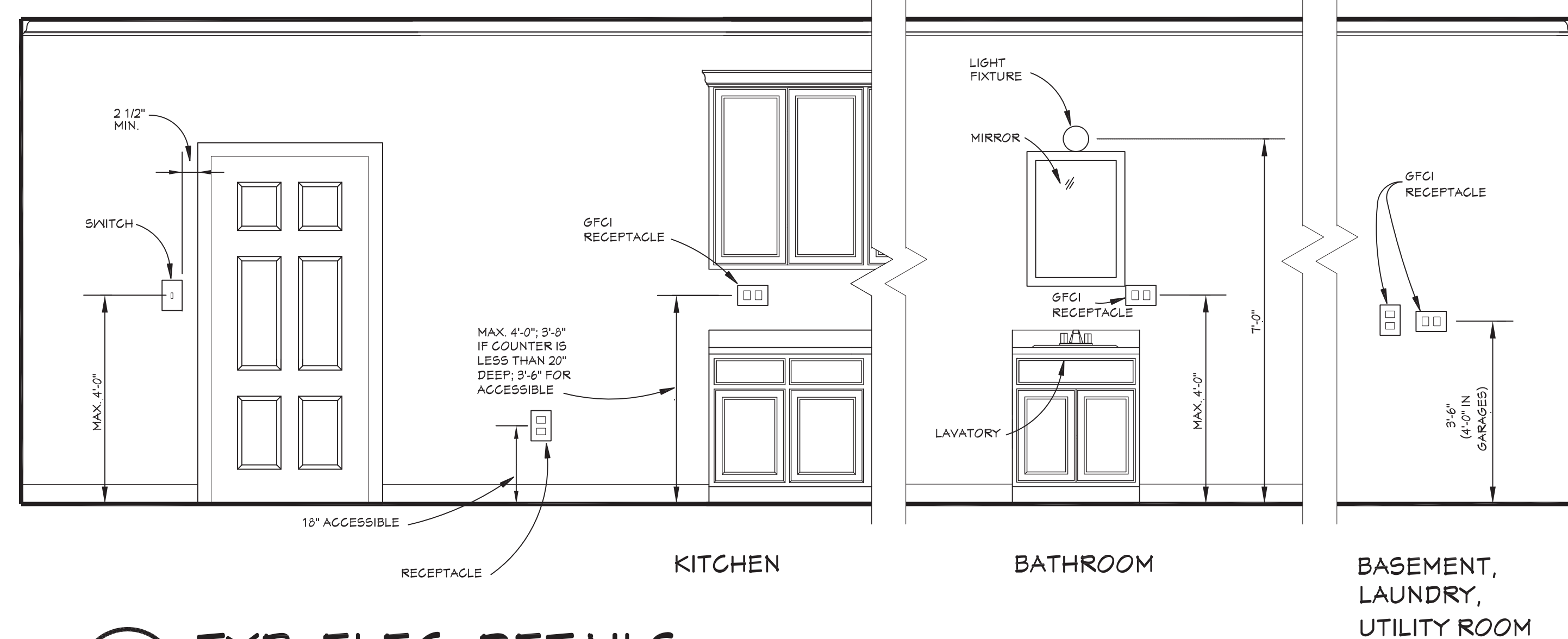
NOTES:  
1. THE ABOVE INFORMATION IS FROM THE 2018 IRC TABLE R602.7(1).  
2. PLEASE REFER TO THE IRC 2018 FOR ADDITIONAL LUMBER SPECIES AND HEADER OPTIONS.  
3. ALL HEADER SIZES SHALL BE DESIGNED/ VERIFIED BY A LOCAL PROFESSIONAL.



**602 TYP. ROOF BRACING**  
SCALE----- N.T.S.

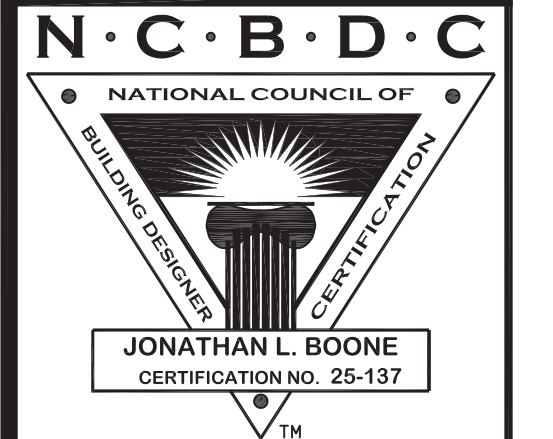


**603 TYP. ELEC. DETAILS**  
SCALE----- N.T.S.



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Pre-Drawn Plan ID:  
**1254-S**

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**6**









