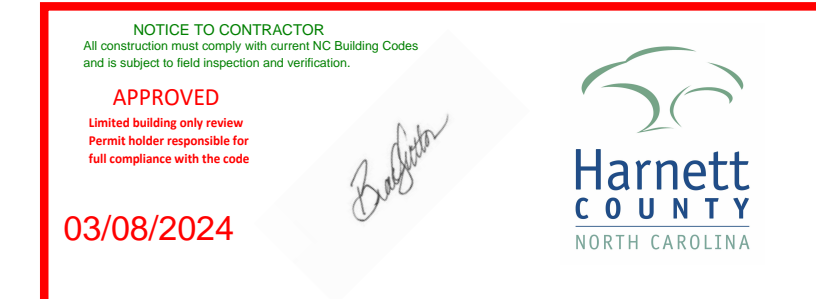


# 115 ITHICA LANE BUNNLEVEL, NC 28323



### General Notes

1. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT ALL DIMENSION, ROOF PITCHES AND SQUARE FOOTAGE IS CORRECT PRIOR TO CONSTRUCTION.
2. STUD WALL SHALL CONFORM TO ALL NORTH CAROLINA STATE BUILDING CODE REQUIREMENTS.
3. DO NOT SCALE PLANS, DRAWING SCALE MAY BE DISTORTED DUE TO COPIER IMPERFECTIONS.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NORTH CAROLINA STATE BUILDING CODE, 2018 EDITION

### SQUARE FOOTAGE

#### HEATED SQUARE FOOTAGE

FIRST FLOOR - 2315  
SECOND FLOOR 992  
**TOTAL HEATED - 3302**

#### UNHEATED SQUARE FOOTAGE

GARAGE - 630 DECK - 20  
FRONT PORCH - 282 SCREENED PORCH - 112  
**TOTAL UNHEATED - 1044**

### SPECIFICATIONS

TWO-STORY MULTIGENERATIONAL HOME  
2 LIVING AREAS  
2 KITCHENS  
2 MASTER SUITES  
3 BEDROOMS  
4 BATHROOMS  
2 OFFICES  
1 TWO-CAR GARAGE

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

COVER

115 ITHICA LANE  
BUNNLEVEL, NC 28323

DRAWINGS PROVIDED BY:  
**LIONTRIBE DESIGN &  
CONTRACTING, LLC**

DATE:

7/17/2023

SCALE:

1/4":1'

SHEET:

1



FRONT ELEVATION



REAR ELEVATION

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

ELEVATIONS

115 ITHICA LANE  
BUNNLEVEL, NC 28323

DRAWINGS PROVIDED BY:  
LIONTRIBE DESIGN &  
CONTRACTING, LLC

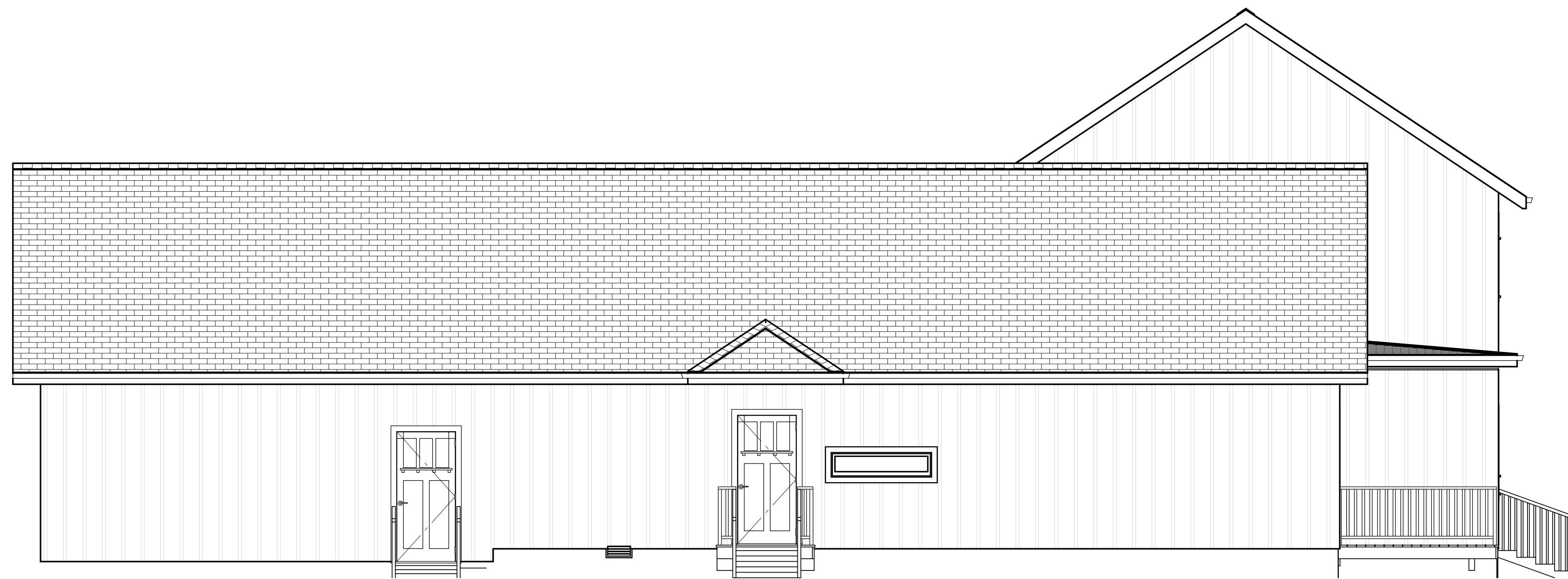
DATE:  
7/17/2023

SCALE:  
1/4":1'

SHEET:



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

ELEVATIONS

115 ITHICA LANE  
BUNNLEVEL, NC 28323

DRAWINGS PROVIDED BY:  
**LIONTRIBE DESIGN &  
CONTRACTING, LLC**

DATE:

7/17/2023

SCALE:

1/4":1'

SHEET:

3

**WALL FRAMING NOTES:**

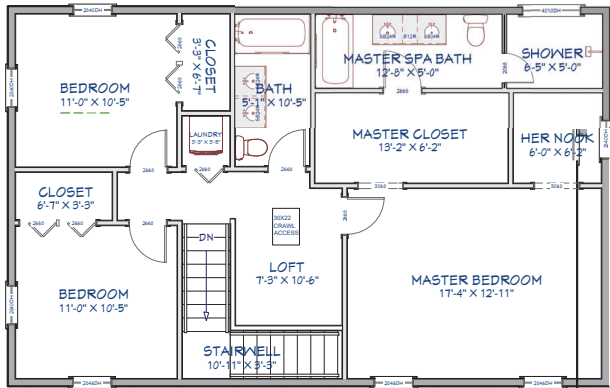
- Stud Size: 2x4
- Spacing: 16"OC
- Wood Type: Spruce or Pine
- Wall Bracing:
  - To be provided using continuous sheathing method per R602.10.3.
  - Exterior wall sheathing to be 7/16" min OSB
  - Provide portal frame bracing at garage door openings per figure R602.10.4.1.1

**INSULATION VALUES:**

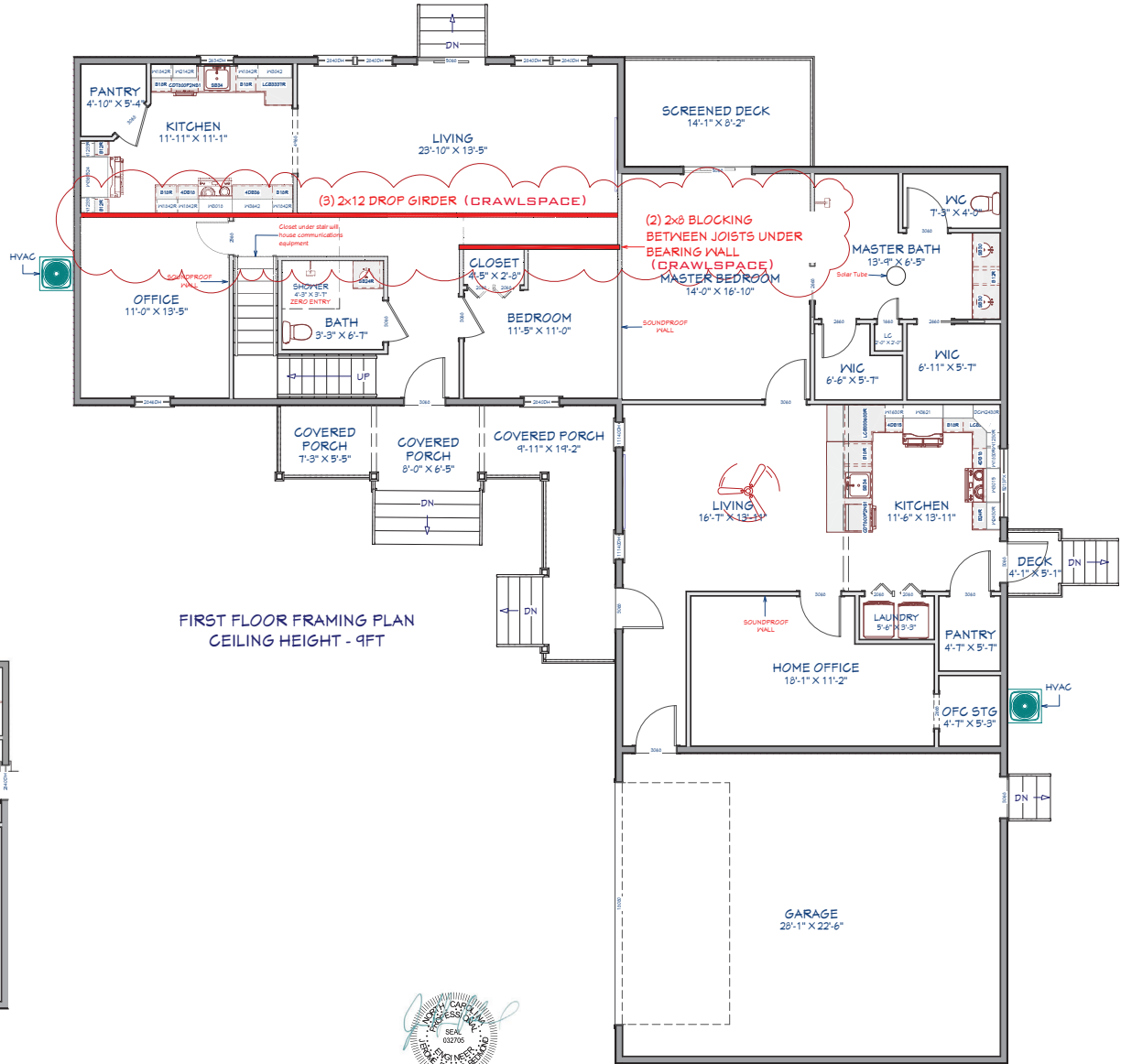
- Ceiling: R38
- Wall: R19
- Floor: R19

**PORCH POST NOTES**

- 4X4 (6X6) treated post
- Attach rafters at porch with hurricane connectors
- Post Cap: Simpson AC4-max (AC6-max)
- Post cap at corner: (2) Simpson LCE4 (miter header at corner)
- Post base: Simpson ABU44 (ABU66)
  - Mono: 5/8" anchor (embed 7")
  - CMU: 5/8" anchor
- Post base: Wood foundation: (2) Simpson straps at posts. Extend 12" onto each post or to girder



SECOND FLOOR FRAMING PLAN  
CEILING HEIGHT - 9FT



FIRST FLOOR FRAMING PLAN  
CEILING HEIGHT - 9FT



JEROME RUFARD REDMOND, PE  
BUILDING ENGINEERING & DESIGN  
8208A MARKET ST. STE 222  
WILMINGTON, NC 28411  
P: 910.919.6520  
JREDMOND@YAHOO.COM

NUMBER	DATE	REVISION	DESCRIPTION

FLOOR PLAN

115 ITHICA LANE  
BUNNLEVEL, NC 28333

DRAWINGS PROVIDED BY:  
LIONTRIBE DESIGN &  
CONTRACTING, LLC

DATE:  
7/17/2023

SCALE:  
1/4":1

SHEET:  
4

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

**FOUNDATION  
PLAN**

115 ITHICA LANE  
BUNNLEVEL, NC 28333

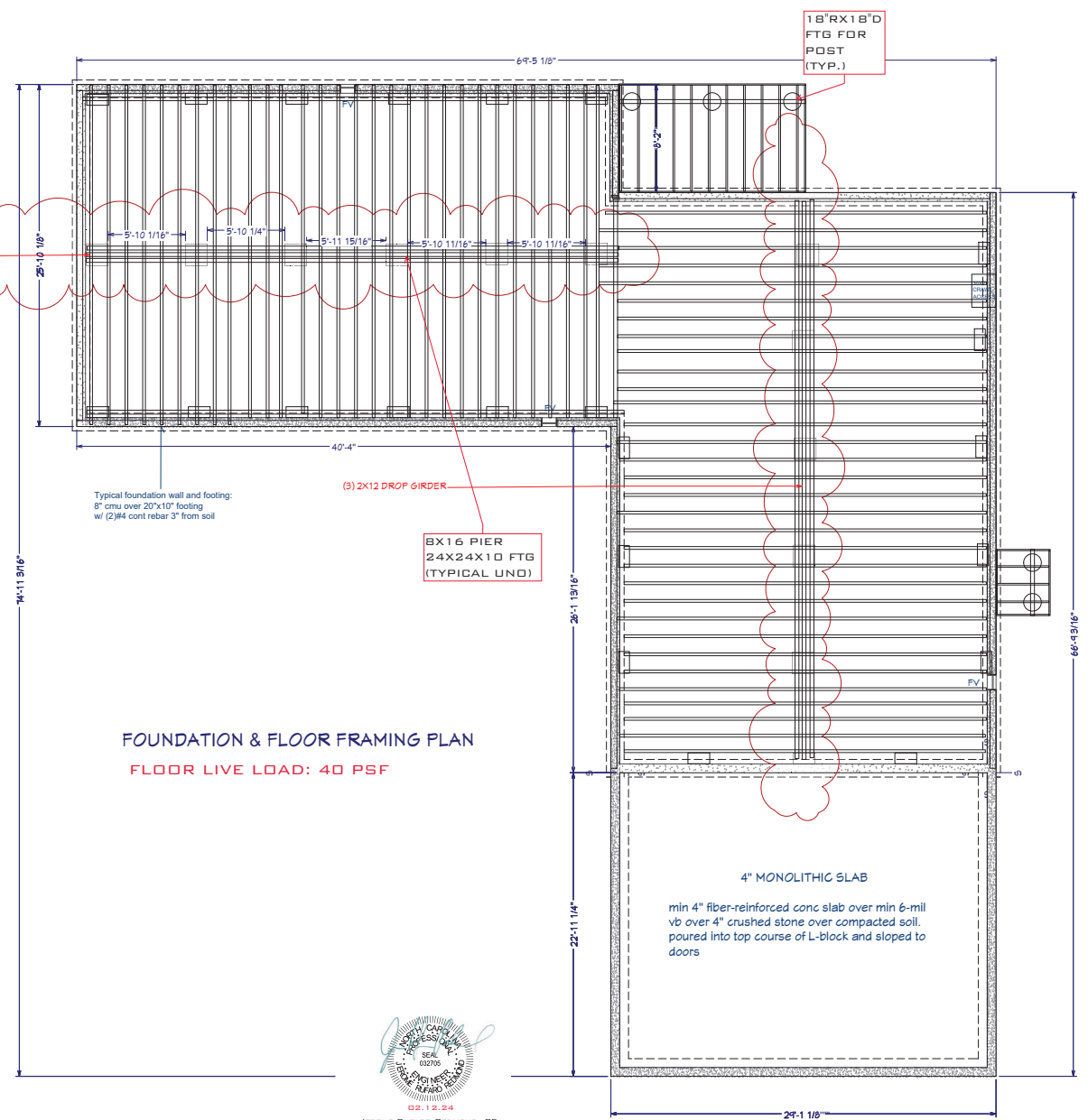
DRAWINGS PROVIDED BY:  
**LIONTRIBE DESIGN &  
CONTRACTING, LLC**

DATE:  
7/17/2023

SCALE:  
1/4":1

SHEET:

**5**



**FOUNDATION & FLOOR FRAMING PLAN**  
FLOOR LIVE LOAD: 40 PSF

**FOUNDATION NOTES**

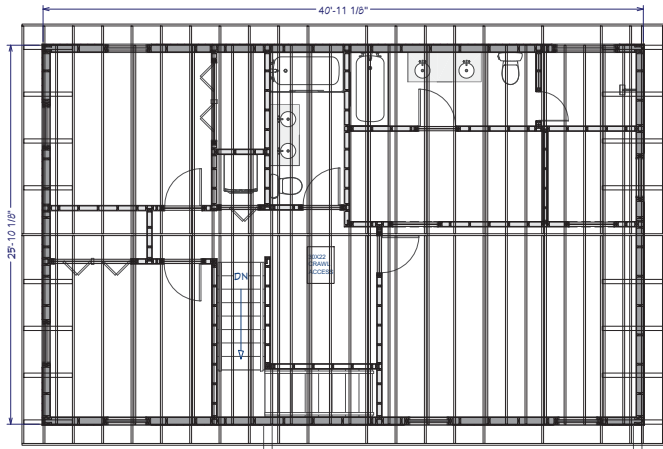
1. ALL STRUCTURAL WORK SHALL BE COMPLETED IN COMPLIANCE WITH THE 2018 NC INTERNATIONAL RESIDENTIAL CODE (IRC) & APPLICABLE LOCAL AND CITY ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING AND SECURING ALL NECESSARY PERMITS, APPROVALS, ETC. FOR ALL TRADES.
3. REFERENCES FOR DIMENSIONS:
  - WALLS TO FACE OF STUD OR THE FACE OF CMU, UNLESS NOTED OTHERWISE
  - OUTDOOR DECK & PORCH = TO FACE OF HOUSE SHEATHING.
4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD DIMENSIONS.
5. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY DAMAGED STRUCTURAL COMPONENTS IF DISCOVERED DURING DEMOLITION.
6. ALL CONCRETE TO BE 3000 PSI, UNLESS NOTED OTHERWISE.
7. ALL CONCRETE SLABS TO BE FIBER-REINFORCED
8. PROVIDE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE.
9. BOTTOM OF FOOTING MUST BE A MINIMUM OF 12" BELOW GRADE TO PREVENT FROST UPHEAVAL.
10. PROVIDE CONTINUOUS 4" CORRUGATED PIPE W/CRUSHED STONE & FILTER FABRIC WHERE PERIMETER FOOTINGS MEET FOUNDATION WALLS.
11. EXTERIOR WALL STUDS TO BE 2X4 #2 GRADE SPF OR SYP @ 16" OC TYP. UNLESS NOTED OTHERWISE.
12. FLOOR FRAMING TO BE 2X12 #2 GRADE SPF. @ 16" OC UNLESS OTHERWISE NOTED.

**Foundation Vent Calculation:**  
Crawl Space Area: 2315  
Opening Requirements Per R408.1:  $SF/150 = 15.4$   
Vent Size (8x16): .89  
No. of Vents: 18



02-15-24  
JEROME RUFARD REDMOND, PE  
BUILDING ENGINEERING & DESIGN  
8208A MARKET ST. STE 222  
WILMINGTON, NC 28411  
P: 910.919.6520  
JREDMOND@YAHOO.COM





SECOND FLOOR CEILING FRAMING PLAN

**CEILING FRAMING NOTES:**

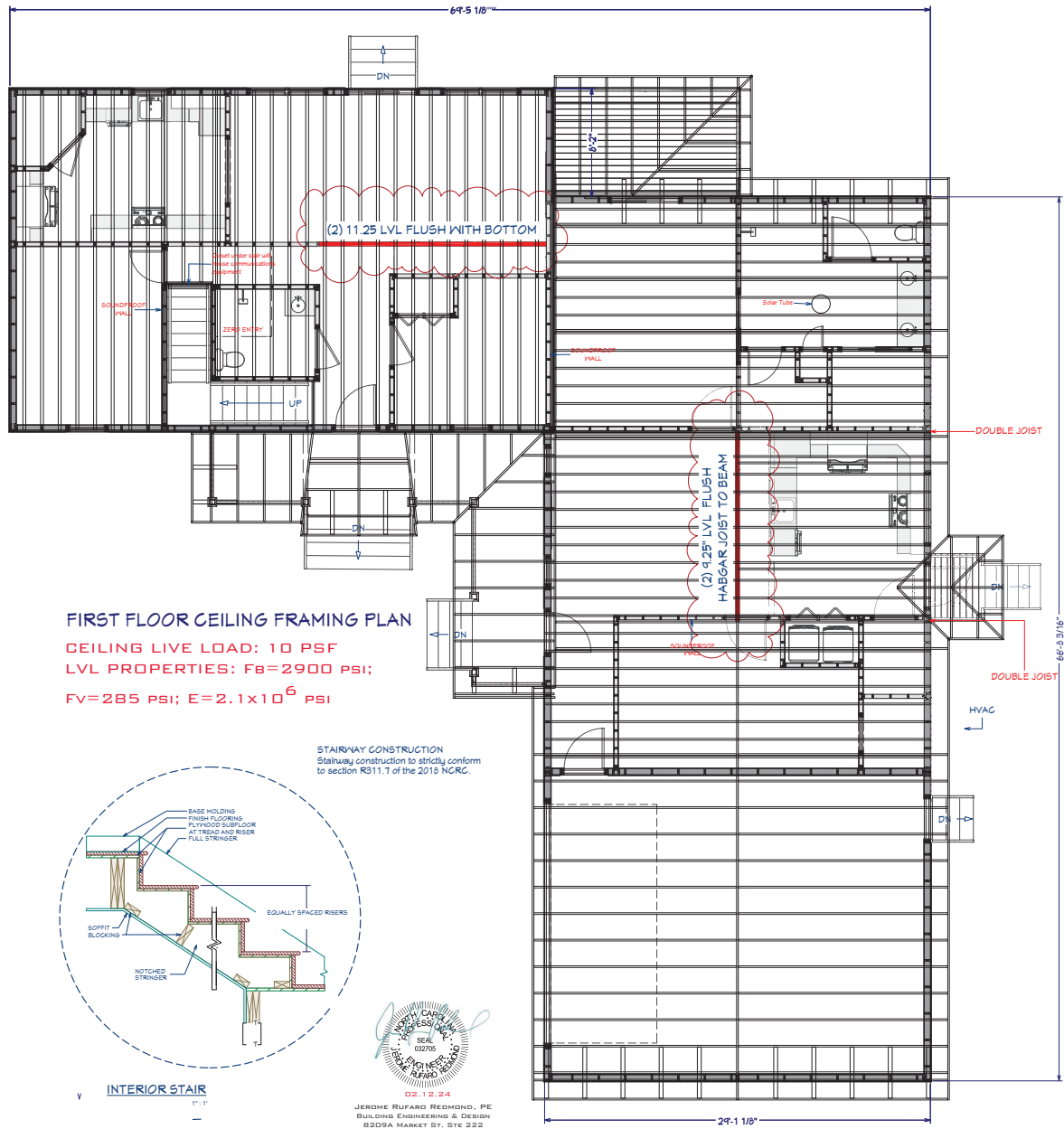
- Joist Size: 2x10'
- Joists shall stagger and span no more than 15'
- Spacing: 16"OC
- Girder Size: 2x12'
- Girders shall lineup with load bearing walls.

Wood Type: Spruce or Pine  
Sill plate pressure treated with insulation

**Attic Vent Calculation:**

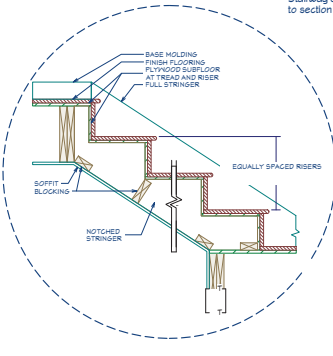
Attic Area 1: 1943  
Net Free Vent Area: 3.17  
50% of Ventilation: 2.97  
Ridge Length:  
Ridge Ventilation: 6.71

Attic Area 2: 992  
Net Free Vent Area: 3.17  
50% of Ventilation: 1.59  
Ridge Length: 39  
Ridge Ventilation: 4.88



FIRST FLOOR CEILING FRAMING PLAN

CEILING LIVE LOAD: 10 PSF  
LVL PROPERTIES: F<sub>B</sub>=2900 PSI;  
F<sub>V</sub>=285 PSI; E=2.1x10<sup>6</sup> PSI



INTERIOR STAIR

STAIRWAY CONSTRUCTION  
Stairway construction to strictly conform to section R311.7 of the 2018 NRC.



JEROME RUFARD REDMOND, PE  
BUILDING ENGINEERING & DESIGN  
8202A MARKET ST. STE 222  
WILMINGTON, NC 28411  
P: 910.919.6520  
JREDMOND@YAHOO.COM

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

CEILING FRAMING PLAN

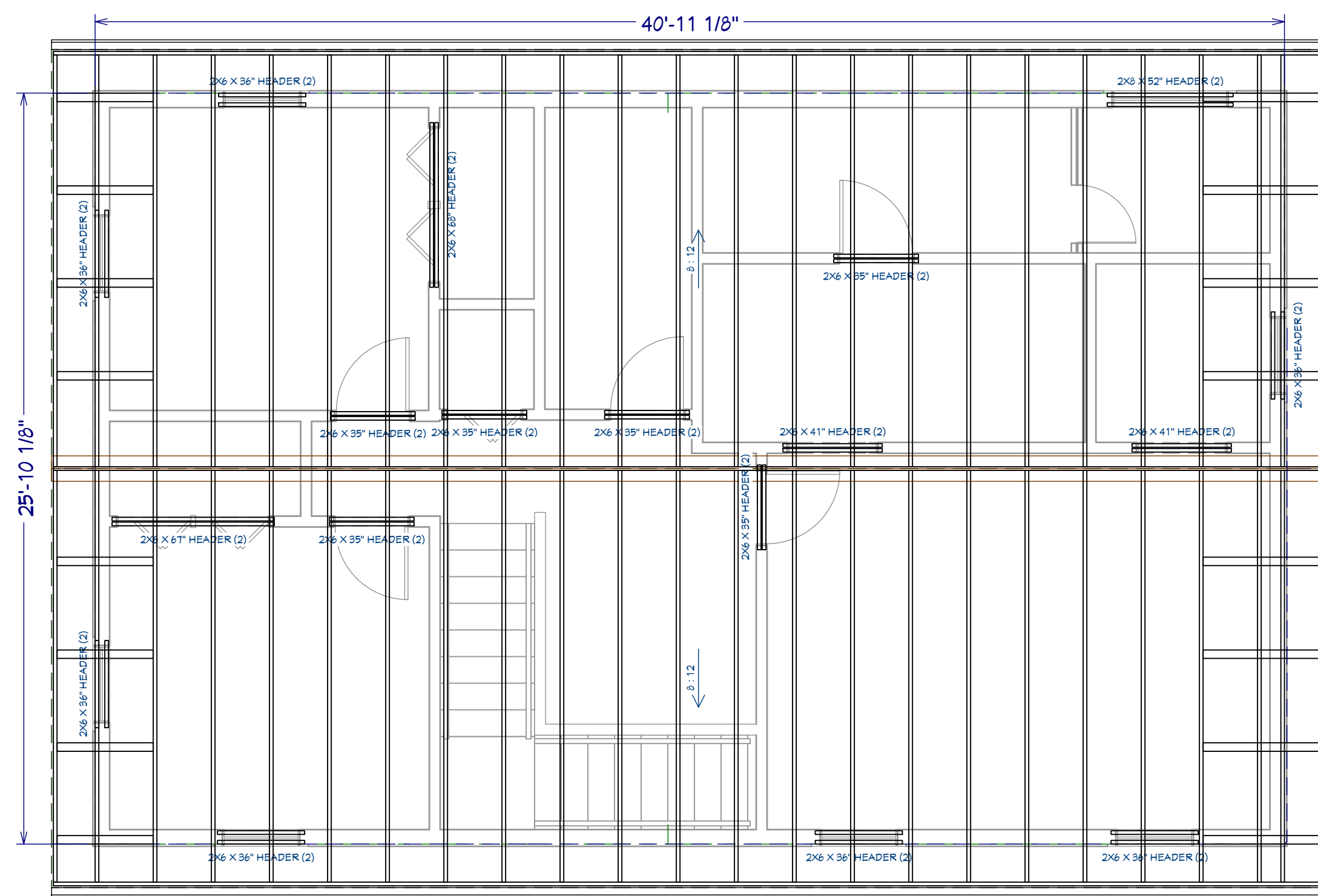
115 ITHICA LANE  
BUNNLEVEL, NC 28833

DRAWINGS PROVIDED BY:  
LIONTRIBE DESIGN & CONTRACTING, LLC

DATE:  
7/17/2023

SCALE:  
1/4":1

SHEET:  
6



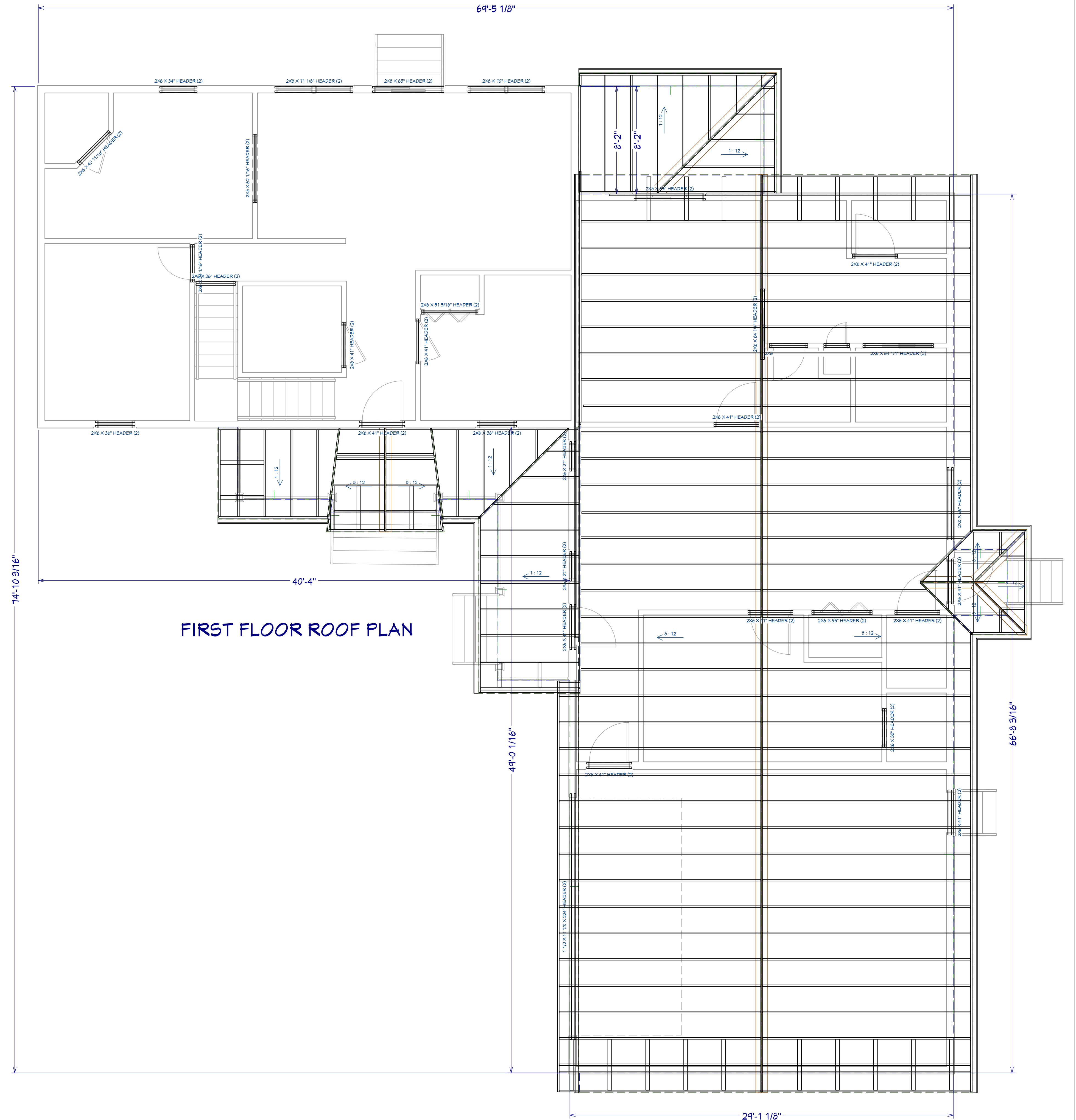
SECOND FLOOR ROOF PLAN

**ROOF FRAMING NOTES**

1. 2X10 Rafters @ 16" OC with 2x12 Ridge
2. (2) 2x12 maybe spiced with a min 6' overlap at center
3. (2) 2x10 Valley
4. Extend ridge 12" beyond intersection

**HEADER/BEAM & COLUMN NOTES**

1. All exterior and load bearing headers shall be min. (2) 2x6(4" wall) or (3)2x6 (6" wall) with (1) support stud, unless noted otherwise
2. The number shown at beam and header supports indicates the number of support studs required in stud pocket or column. The number of king studs at each end of headers in exterior walls shall be according to item "d" in Table R602.3(5) or as below per NCDOT commentary "king studs at wall openings" revised 1-9-2020:
  - up to 3' span: (1) king stud
  - over 3' up to 6' span: (2) king studs
  - over 6' up to 9' span: (3) king studs
  - over 9' up to 12' span: (4) king studs
  - over 12' up to 15' span: (5) king studs



FIRST FLOOR ROOF PLAN

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

ROOF PLAN

115 ITHICA LANE  
BUNNLEVEL, NC 28323

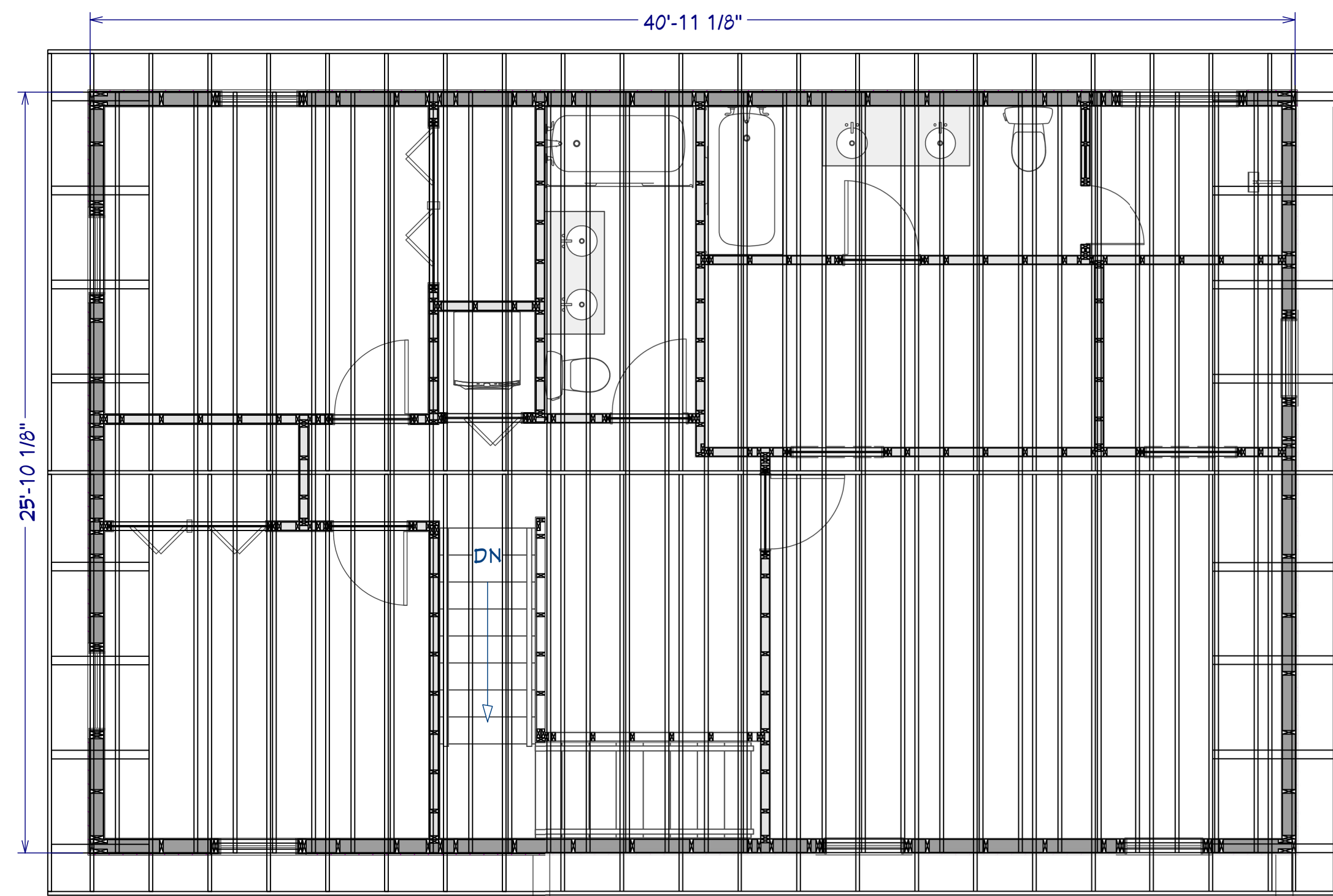
DRAWINGS PROVIDED BY:  
**LIONTRIBE DESIGN & CONTRACTING, LLC**

DATE:  
7/17/2023

SCALE:  
1/4":1"

SHEET:





SECOND FLOOR CEILING FRAMING PLAN

**CEILING FRAMING NOTES:**

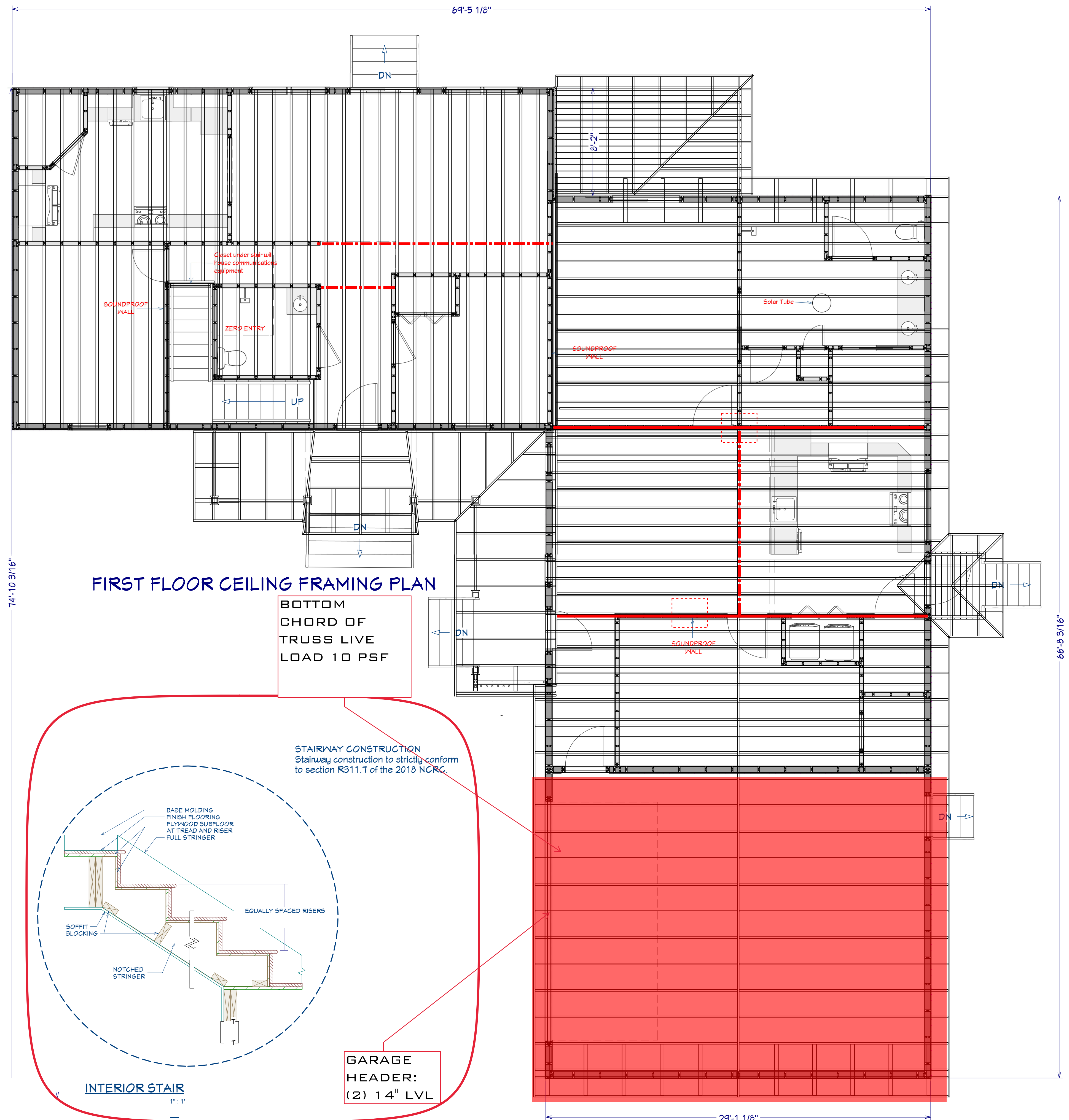
- Joist Size: 2"x10'
- Joists shall stagger and span no more than 15'
- Spacing: 16"OC
- Girder Size: 2"x12'
- Girders shall lineup with load bearing walls.

Wood Type: Spruce or Pine  
Sill plate pressure treated with insulation

Attic Vent Calculation:

Attic Area 1: 1943  
Net Free Vent Area: 3.17  
50% of Ventilation: 2.97  
Ridge Length:  
Ridge Ventilation: 6.71

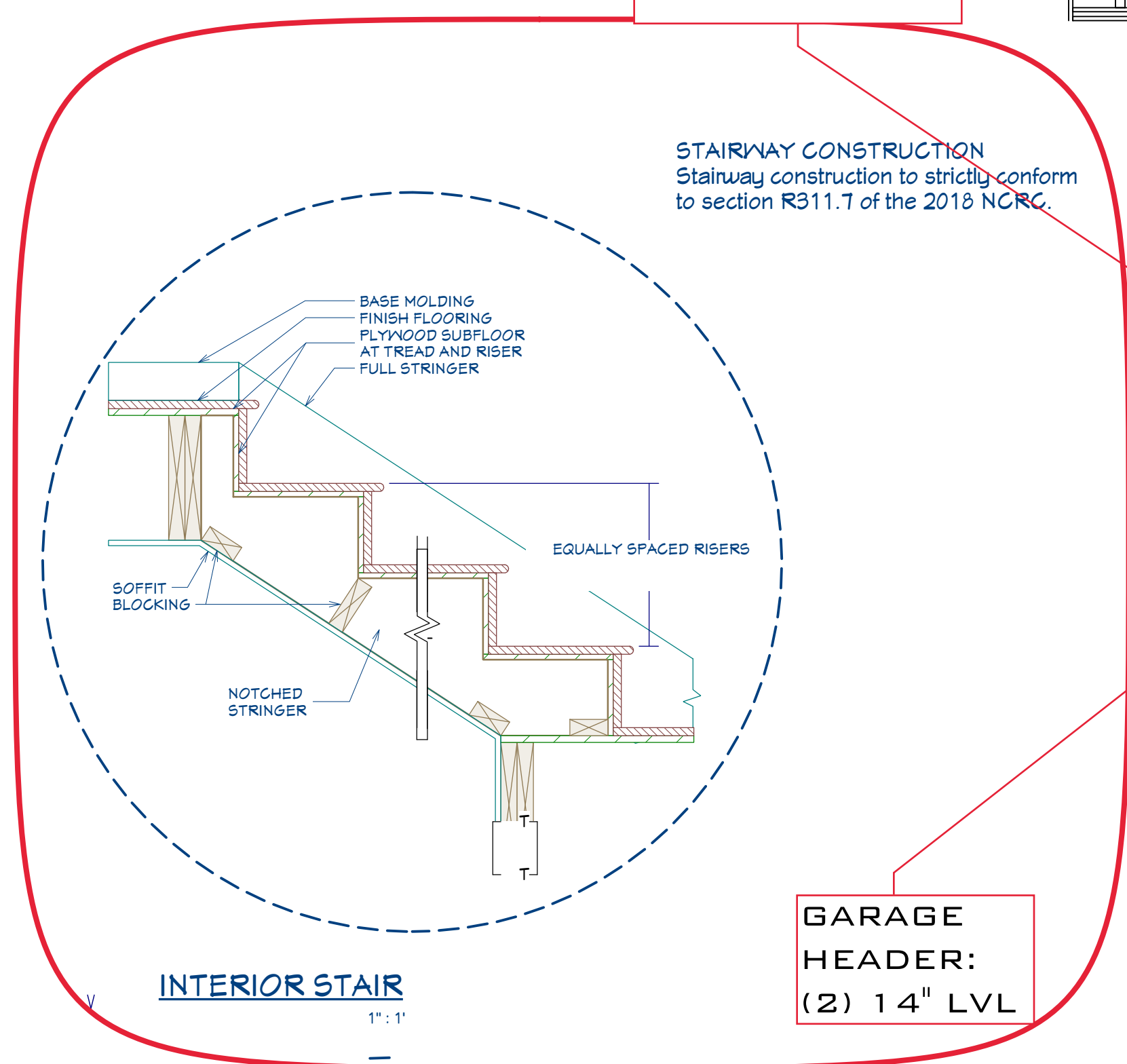
Attic Area 2: 992  
Net Free Vent Area: 3.17  
50% of Ventilation: 1.59  
Ridge Length: 39  
Ridge Ventilation: 4.88



FIRST FLOOR CEILING FRAMING PLAN

BOTTOM CHORD OF TRUSS LIVE LOAD 10 PSF

STAIRWAY CONSTRUCTION  
Stairway construction to strictly conform to section R311.7 of the 2018 NRC.



INTERIOR STAIR  
1"=1'

GARAGE HEADER:  
(2) 14" LVL

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

CEILING FRAMING PLAN

115 ITHICA LANE  
BUNNLEVEL, NC 28323

DRAWINGS PROVIDED BY:  
LIONTRIBE DESIGN & CONTRACTING, LLC

DATE:

7/17/2023

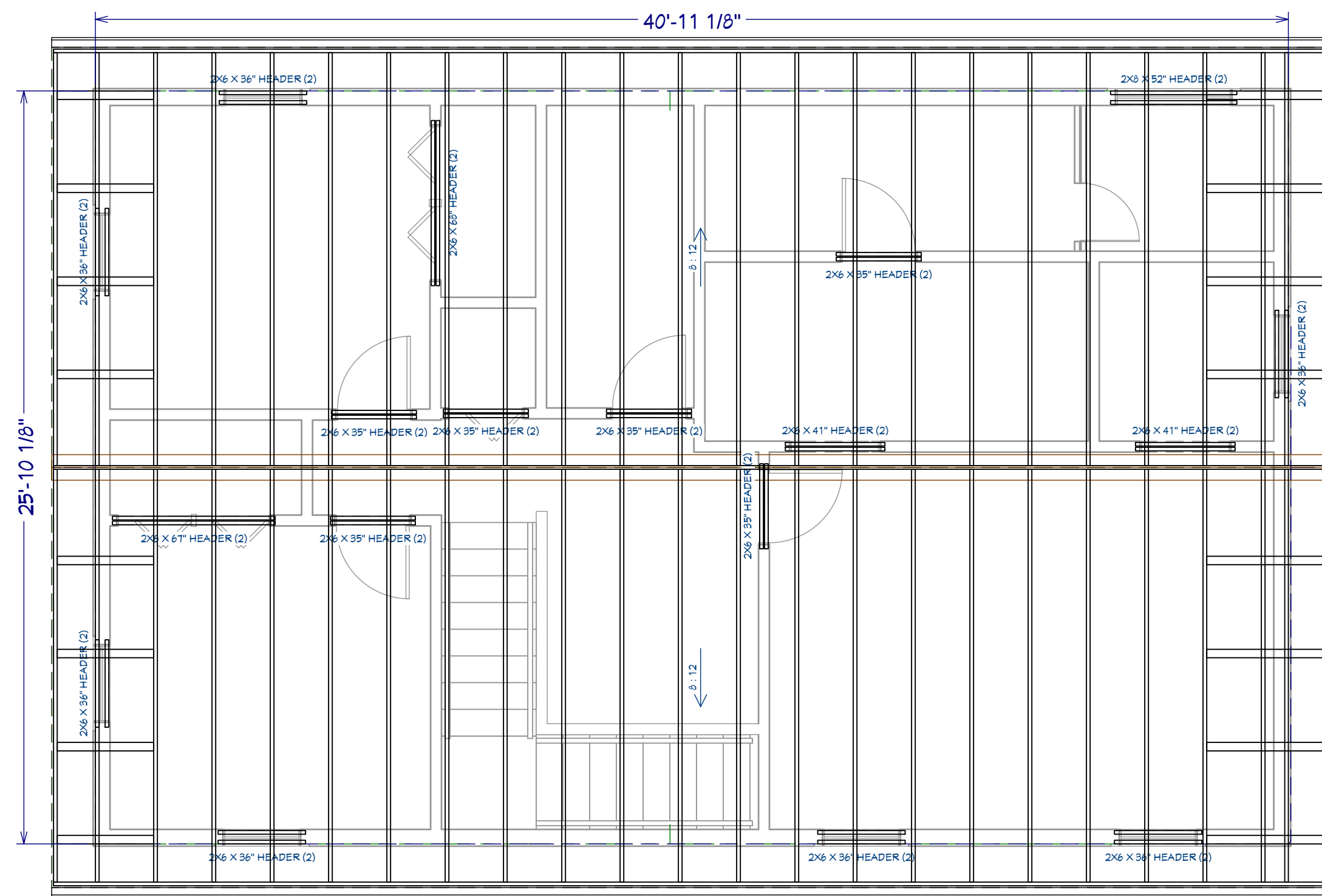
SCALE:

1/4":1'

SHEET:

6





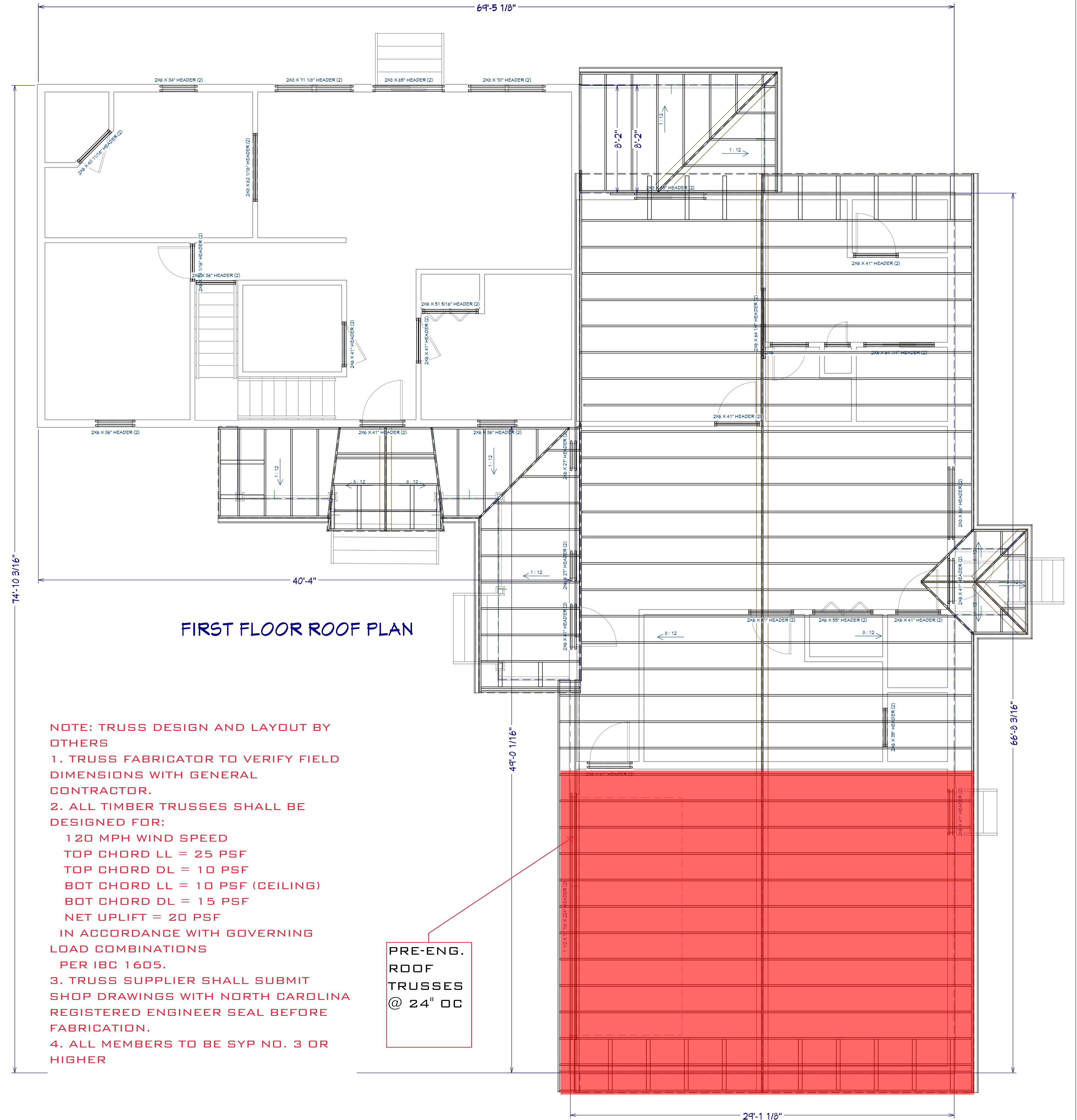
SECOND FLOOR ROOF PLAN

**ROOF FRAMING NOTES**

1. 2X10 Rafters @ 16" OC with 2x12 Ridge
2. (2) 2x12 maybe spiced with a min 6' overlap at center
3. (2) 2x10 Valley
4. Extend ridge 12" beyond intersection

**HEADER/BEAM & COLUMN NOTES**

1. All exterior and load bearing headers shall be min. (2) 2x6(4" wall) or (3)2x6 (6" wall) with (1) support stud, unless noted otherwise
2. The number shown at beam and header supports indicates the number of support studs required in stud pocket or column. The number of king studs at each end of headers in exterior walls shall be according to item "d" in Table R602.3(5) or as below per NCDOT commentary "king studs at wall openings" revised 1-9-2020:
  - up to 3' span: (1) king stud
  - over 3' up to 6' span: (2) king studs
  - over 6' up to 9' span: (3) king studs
  - over 9' up to 12' span: (4) king studs
  - over 12' up to 15' span: (5) king studs



FIRST FLOOR ROOF PLAN

NOTE: TRUSS DESIGN AND LAYOUT BY OTHERS

1. TRUSS FABRICATOR TO VERIFY FIELD DIMENSIONS WITH GENERAL CONTRACTOR.

2. ALL TIMBER TRUSSES SHALL BE DESIGNED FOR:

- 120 MPH WIND SPEED
- TOP CHORD LL = 25 PSF
- TOP CHORD DL = 10 PSF
- BOT CHORD LL = 10 PSF (CEILING)
- BOT CHORD DL = 15 PSF
- NET UPLIFT = 20 PSF

IN ACCORDANCE WITH GOVERNING LOAD COMBINATIONS PER IBC 1605.

3. TRUSS SUPPLIER SHALL SUBMIT SHOP DRAWINGS WITH NORTH CAROLINA REGISTERED ENGINEER SEAL BEFORE FABRICATION.

4. ALL MEMBERS TO BE SYP NO. 3 OR HIGHER

PRE-ENG. ROOF TRUSSES @ 24" OC

NUMBER	DATE	REVISION BY	DESCRIPTION

ROOF PLAN

115 ITHICA LANE  
BUNNLEVEL, NC 28323

DRAWINGS PROVIDED BY:  
**LIONTRIBE DESIGN & CONTRACTING, LLC**

DATE:  
7/17/2023

SCALE:  
1/4":1"

SHEET: