

115 ITHICA LANE BUNNLEVEL, NC 28323



General Notes

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL DIMENSION, ROOF PITCHES AND SQUARE FOOTAGE IS CORRECT PRIOR TO CONSTRUCTION.
2. STUD WALL SHALL CONFORM TO ALL NORTH CAROLINA STATE BUILDING CODE REQUIREMENTS.
3. DO NOT SCALE PLANS, DRAWING SCALE MAY BE DISTORTED DUE TO COPIER IMPERFECTIONS.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NORTH CAROLINA STATE BUILDING CODE, 2018 EDITION

SQUARE FOOTAGE

HEATED SQUARE FOOTAGE

FIRST FLOOR - 2315

SECOND FLOOR 992

TOTAL HEATED - 3302

UNHEATED SQUARE FOOTAGE

GARAGE - 630 DECK - 20

FRONT PORCH - 282 SCREENED PORCH - 112

TOTAL UNHEATED - 1044

SPECIFICATIONS

TWO-STORY MULTIGENERATIONAL HOME
 2 LIVING AREAS
 2 KITCHENS
 2 MASTER SUITES
 3 BEDROOMS
 4 BATHROOMS
 2 OFFICES
 1 TWO-CAR GARAGE

REVISION TABLE	
NUMBER	DATE

COVER

115 ITHICA LANE
BUNNLEVEL, NC 28323

DRAWINGS PROVIDED BY:
**LIONTRIBE DESIGN &
CONTRACTING, LLC**

DATE:

7/17/2023

SCALE:

1/4"=1'

SHEET:

1



FRONT ELEVATION



REAR ELEVATION

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

ELEVATIONS

115 ITHICA LANE
BUNNLEVEL, NC 28323

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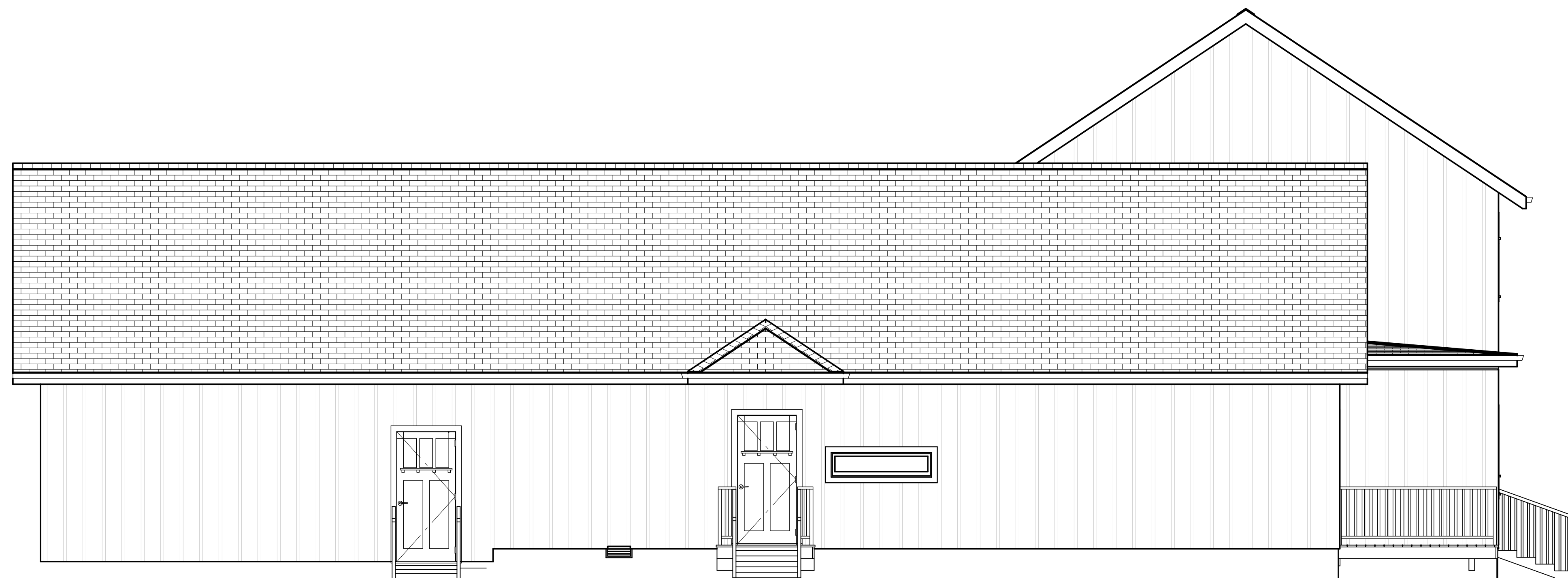
DATE:
7/17/2023

SCALE:
1/4":1"

SHEET:



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

ELEVATIONS

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SCALE:

1/4":1'

SHEET:

3

WALL FRAMING NOTES:

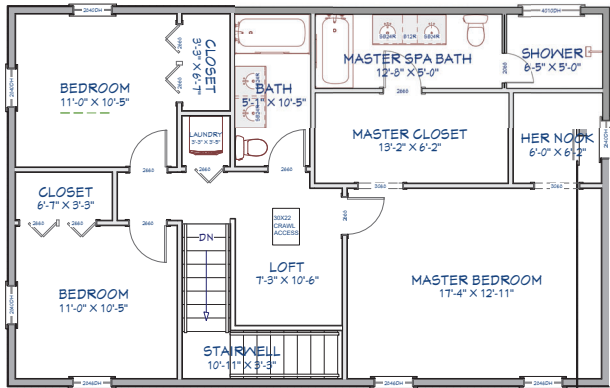
- 1. Stud Size: 2x4
- Spacing: 16"OC
- Wood Type: Spruce or Pine
- Wall Bracing:
 1. To be provided using continuous sheathing method per R602.10.3.
 2. Exterior wall sheathing to be 7/16" min OSB
 3. Provide portal frame bracing at garage door openings per figure R602.10.4.1.1

INSULATION VALUES:

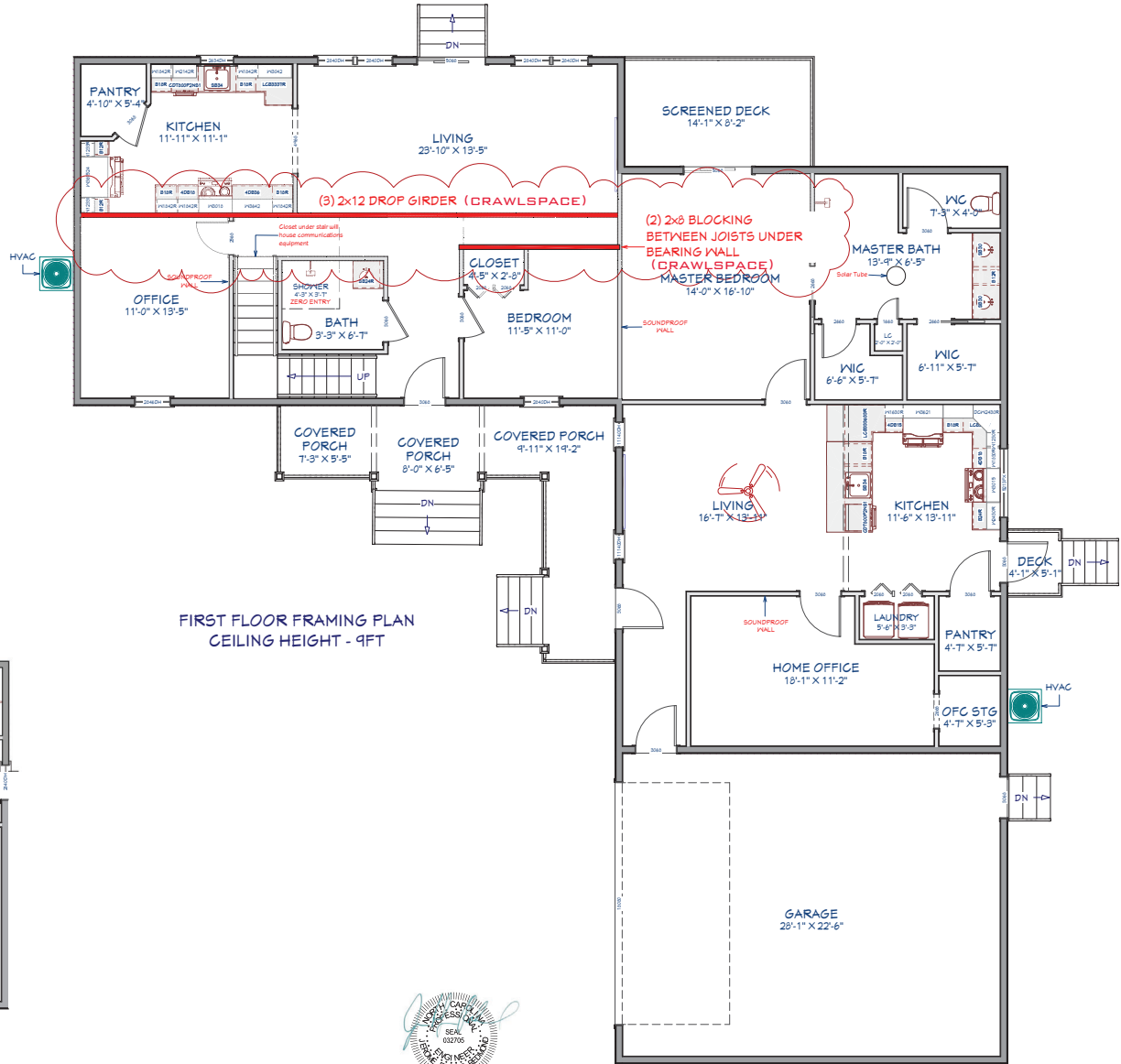
Ceiling: R38
 Wall: R19
 Floor: R19

PORCH POST NOTES

1. 4X4 (6X6) treated post
2. Attach rafters at porch with hurricane connectors
3. Post Cap: Simpson AC4-max (AC6-max)
4. Post cap at corner: (2) Simpson LCE4 (miter header at corner)
5. Post base: Simpson ABU44 (ABU66)
 - a. Mono: 5/8" anchor (embed 7")
 - b. CMU: 5/8" anchor
6. Post base: Wood foundation: (2) Simpson straps at posts. Extend 12" onto each post or to girder



SECOND FLOOR FRAMING PLAN
 CEILING HEIGHT - 9FT



FIRST FLOOR FRAMING PLAN
 CEILING HEIGHT - 9FT



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NUMBER	DATE	REVISION	DESCRIPTION

FLOOR PLAN

115 ITHICA LANE
 BUNNLEVEL, NC 28333

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DATE:	7/17/2023
SCALE:	1/4":1'
SHEET:	4

REVISION TABLE			
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**FOUNDATION
PLAN**

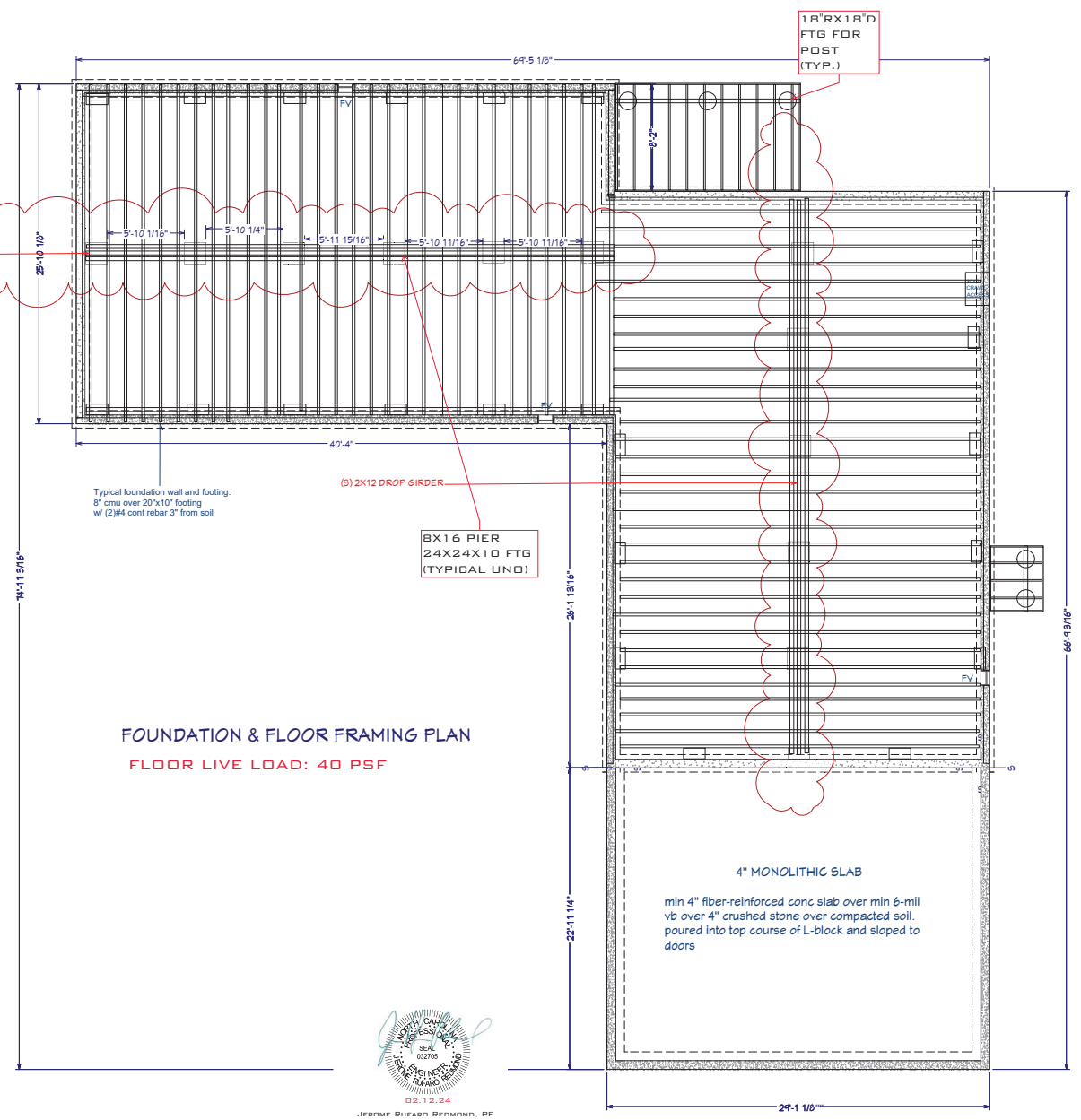
115 ITHICA LANE
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SCALE:
1/4":1'

SHEET:
5



FOUNDATION & FLOOR FRAMING PLAN
FLOOR LIVE LOAD: 40 PSF

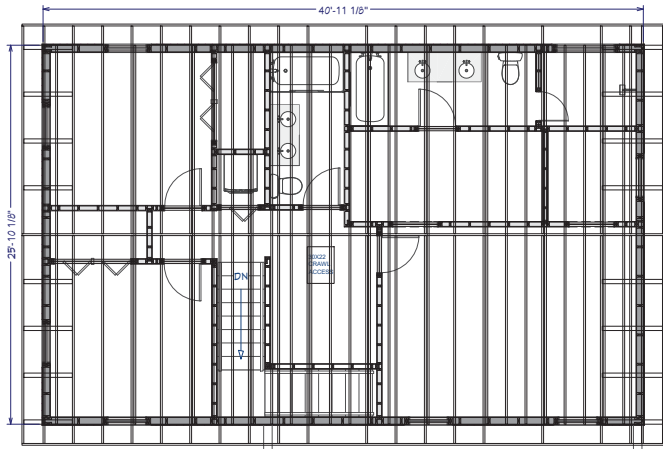
FOUNDATION NOTES

1. ALL STRUCTURAL WORK SHALL BE COMPLETED IN COMPLIANCE WITH THE 2018 NC INTERNATIONAL RESIDENTIAL CODE (IRC) & APPLICABLE LOCAL AND CITY ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING AND SECURING ALL NECESSARY PERMITS, APPROVALS, ETC. FOR ALL TRADES.
3. REFERENCES FOR DIMENSIONS:
 - WALLS TO FACE OF STUD OR THE FACE OF CMU, UNLESS NOTED OTHERWISE
 - OUTDOOR DECK & PORCH = TO FACE OF HOUSE SHEATHING.
4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD DIMENSIONS.
5. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY DAMAGED STRUCTURAL COMPONENTS IF DISCOVERED DURING DEMOLITION.
6. ALL CONCRETE TO BE 3000 PSI, UNLESS NOTED OTHERWISE.
7. ALL CONCRETE SLABS TO BE FIBER-REINFORCED
8. PROVIDE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE.
9. BOTTOM OF FOOTING MUST BE A MINIMUM OF 12" BELOW GRADE TO PREVENT FROST UPHEAVAL.
10. PROVIDE CONTINUOUS 4" CORRUGATED PIPE W/CRUSHED STONE & FILTER FABRIC WHERE PERIMETER FOOTINGS MEET FOUNDATION WALLS.
11. EXTERIOR WALL STUDS TO BE 2X4 #2 GRADE SPF OR SYP @ 16" OC TYP. UNLESS NOTED OTHERWISE.
12. FLOOR FRAMING TO BE 2X12 #2 GRADE SPF. @ 16" OC UNLESS OTHERWISE NOTED.

Foundation Vent Calculation:
 Crawl Space Area: 2315
 Opening Requirements Per R408.1: $SF/150 = 15.4$
 Vent Size (6x16): .89
 No. of Vents: 18



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SECOND FLOOR CEILING FRAMING PLAN

CEILING FRAMING NOTES:

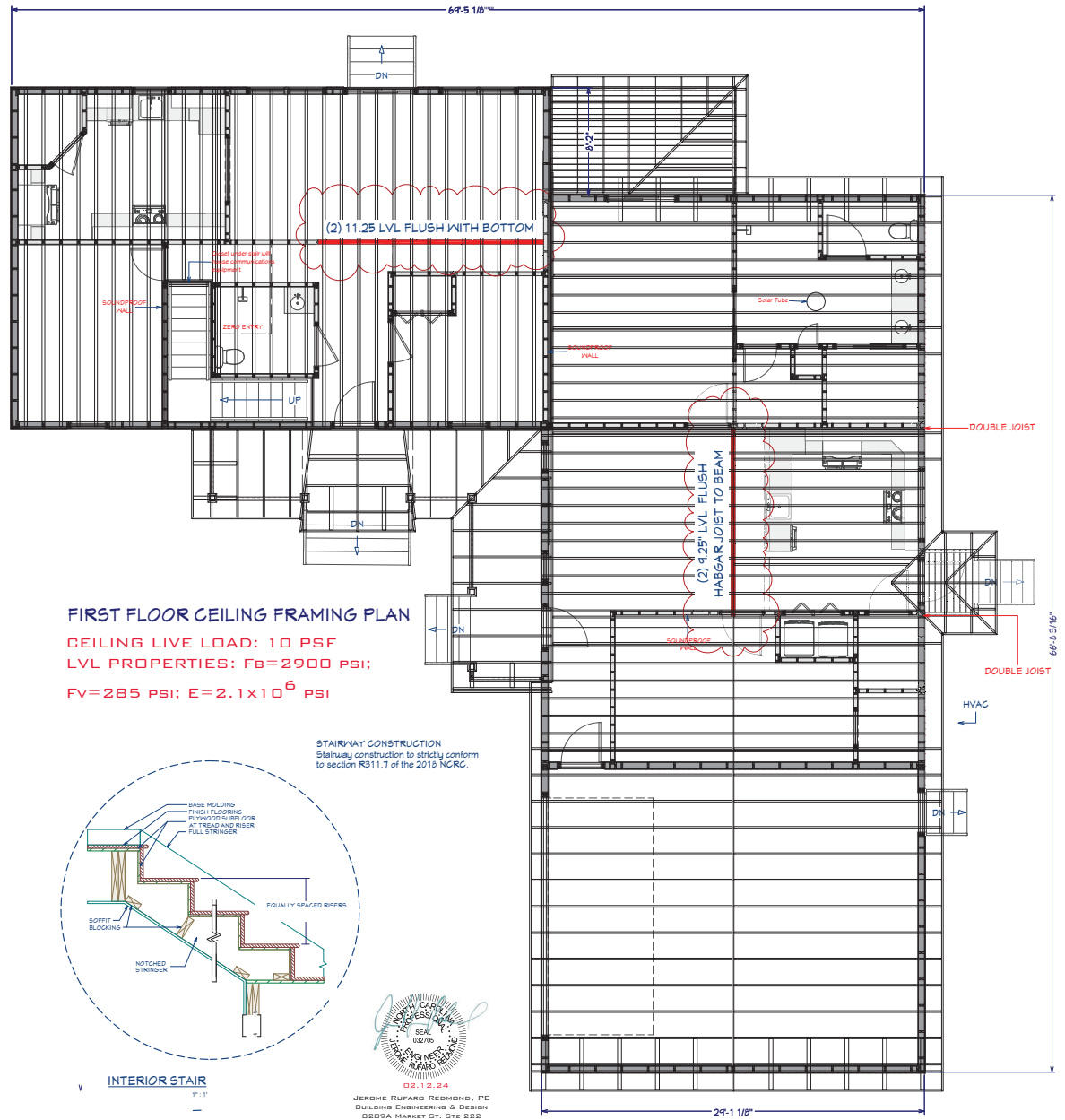
Joist Size: 2x10'
 Joists shall stagger and span no more than 15'
 Spacing: 16"OC
 Girder Size: 2x12'
 Girders shall lineup with load bearing walls.

Wood Type: Spruce or Pine
 Sill plate pressure treated with insulation

Attic Vent Calculation:

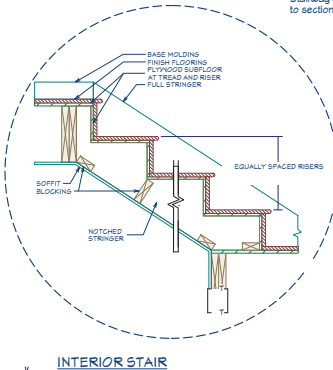
Attic Area 1: 1943
 Net Free Vent Area: 3.17
 50% of Ventilation: 2.97
 Ridge Length:
 Ridge Ventilation: 6.71

Attic Area 2: 992
 Net Free Vent Area: 3.17
 50% of Ventilation: 1.59
 Ridge Length: 39
 Ridge Ventilation: 4.88



FIRST FLOOR CEILING FRAMING PLAN

CEILING LIVE LOAD: 10 PSF
 LVL PROPERTIES: $F_b = 2900 \text{ PSI}$;
 $F_v = 285 \text{ PSI}$; $E = 2.1 \times 10^6 \text{ PSI}$



STAIRWAY CONSTRUCTION
 Stairway construction to strictly conform to section R311.7 of the 2018 NRC.



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CEILING FRAMING PLAN

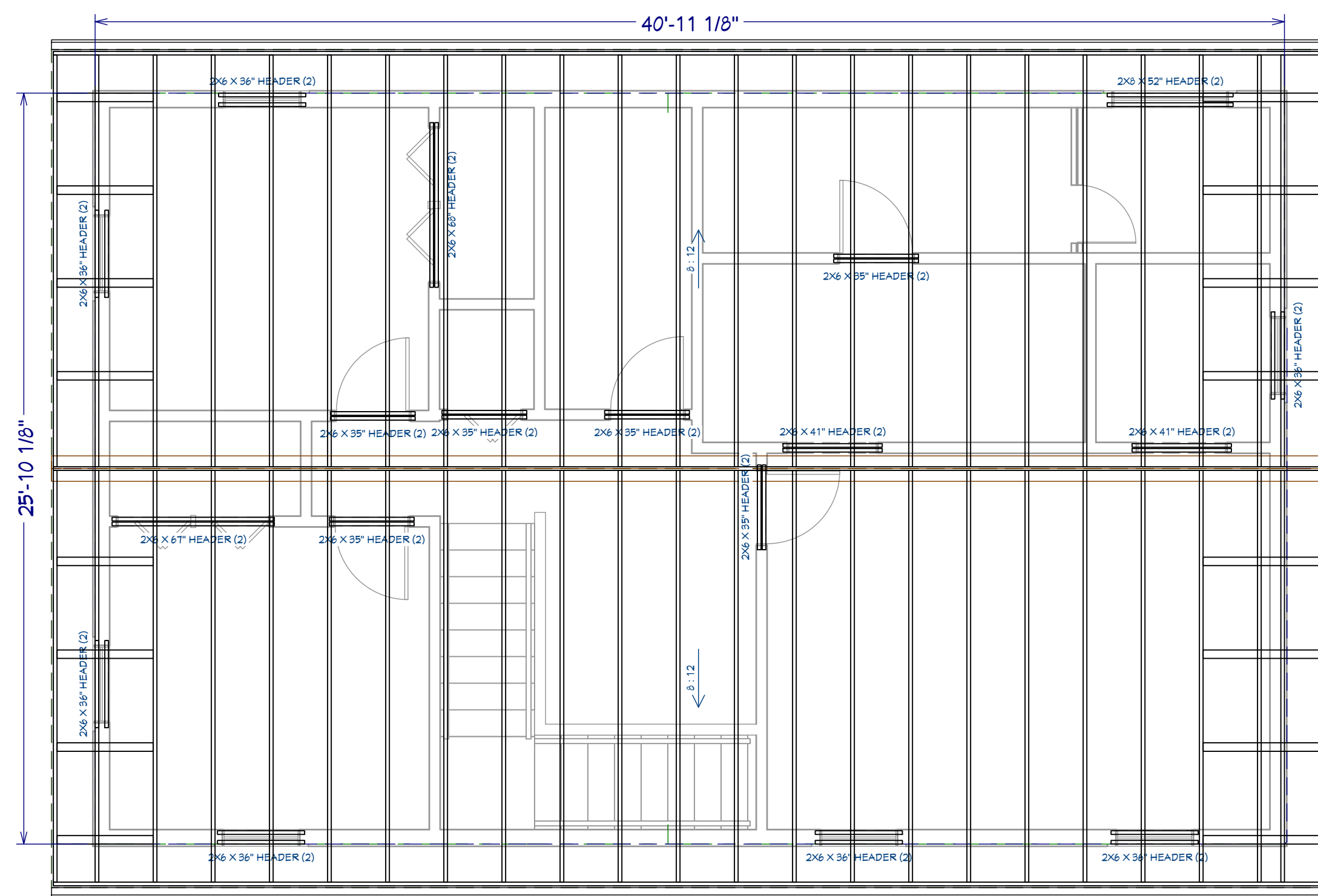
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 6



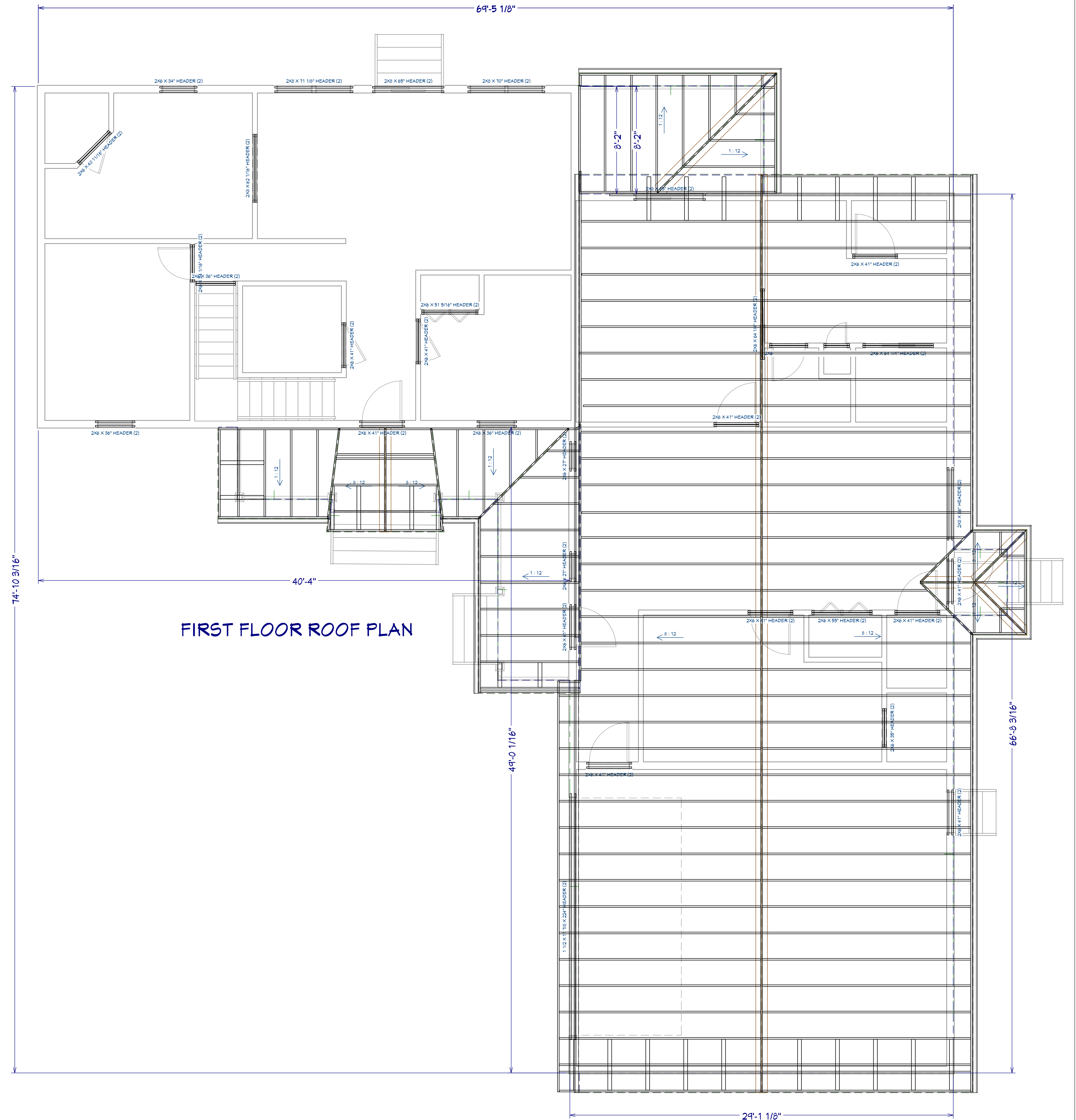
SECOND FLOOR ROOF PLAN

ROOF FRAMING NOTES

1. 2X10 Rafters @ 16" OC with 2x12 Ridge
2. (2) 2x12 maybe spiced with a min 6' overlap at center
3. (2) 2x10 Valley
4. Extend ridge 12" beyond intersection

HEADER/BEAM & COLUMN NOTES

1. All exterior and load bearing headers shall be min. (2) 2x6(4" wall) or (3)2x6 (6" wall) with (1) support stud, unless noted otherwise
2. The number shown at beam and header supports indicates the number of support studs required in stud pocket or column. The number of king studs at each end of headers in exterior walls shall be according to item "d" in Table R602.3(5) or as below per NCDOT commentary "king studs at wall openings" revised 1-9-2020:
 - up to 3' span: (1) king stud
 - over 3' up to 6' span: (2) king studs
 - over 6' up to 9' span: (3) king studs
 - over 9' up to 12' span: (4) king studs
 - over 12' up to 15' span: (5) king studs



FIRST FLOOR ROOF PLAN

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ROOF PLAN

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SHEET: