

LEGEND	
○	MATHEMATICAL POINT
■	SUBDIVISION CONTROL CORNER

VICINITY MAP (NTS)

LOT 88
BM 2022
PG 442

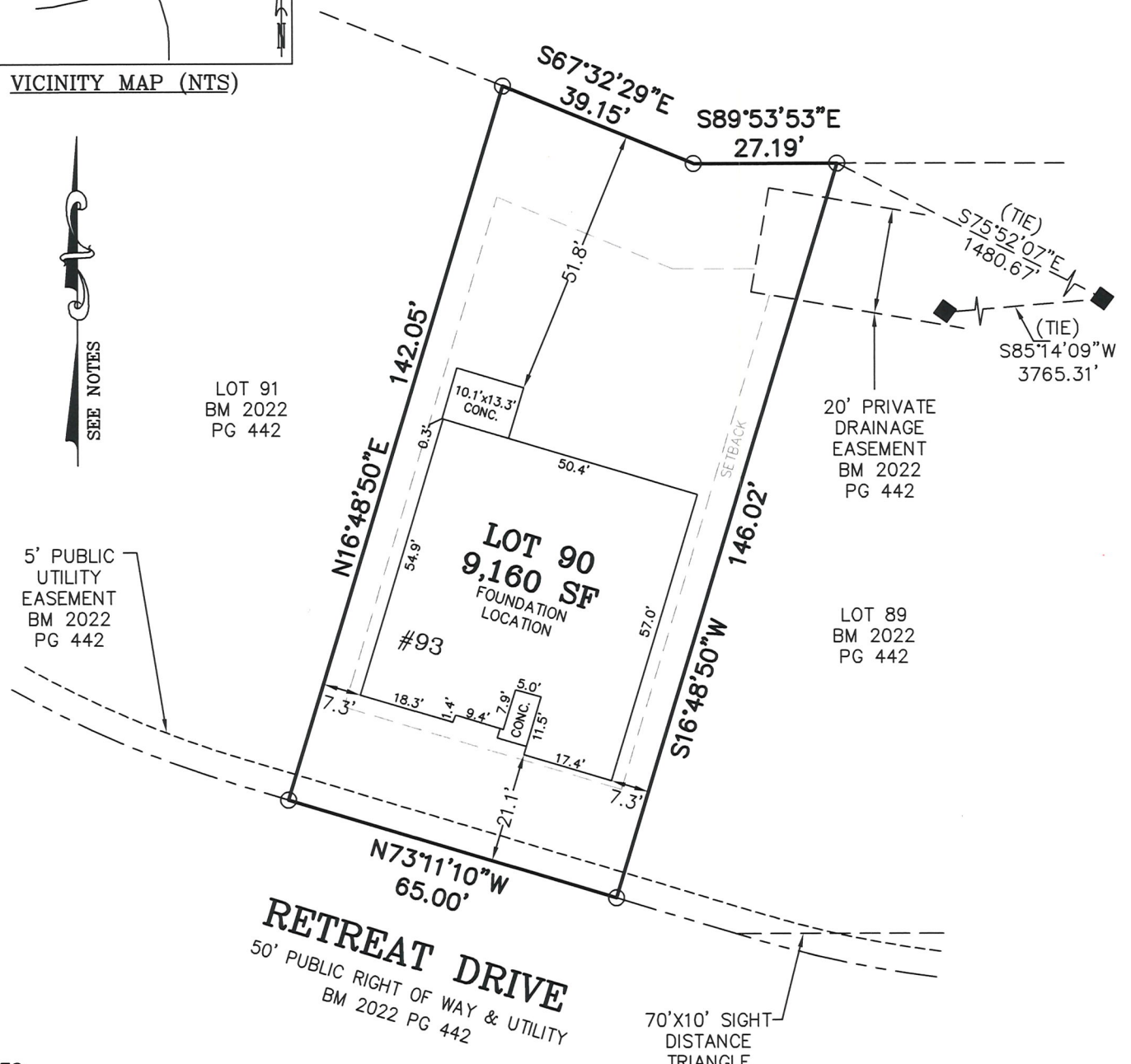
LOT 91
BM 2022
PG 442



5' PUBLIC UTILITY EASEMENT
BM 2022
PG 442

20' PRIVATE DRAINAGE EASEMENT
BM 2022
PG 442

LOT 89
BM 2022
PG 442



RETREAT DRIVE
50' PUBLIC RIGHT OF WAY & UTILITY
BM 2022 PG 442

70'X10' SIGHT-DISTANCE TRIANGLE

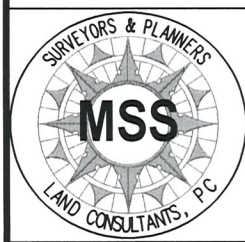
NOTES:

- REFERENCE HARNETT CO. BM 2022, PG 434-448 FOR BOUNDARY INFORMATION, NORTH INDEX & TIE LINES TO SUBDIVISION CONTROL CORNERS.
- ZONED: RA-30, RA-40, & CONSERVATION.
- SETBACKS:
43' LOT WIDTH:
FRONT YARD-20', SIDE YARD-4' & 4' OR 0' & 8', REAR YARD-20', CORNER YARD-12'.
>43' LOT WIDTH:
FRONT YARD-20', SIDE YARD-5', REAR YARD-20', CORNER YARD-12'.
- PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS SCALED FROM THE NFIP FIRM No. 3720065500L (EFFECTIVE DATE: JULY 19, 2022).

FOUNDATION LOCATION LOT 90

SERENITY SUBDIVISION, PHASE 1
HECTOR'S CREEK TOWNSHIP, HARNETT COUNTY, NC

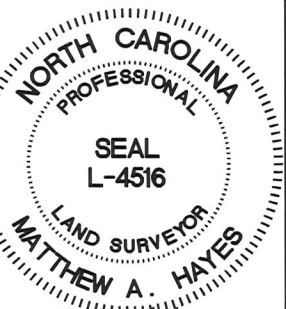
SURVEYED FOR
DAVID WEEKLEY HOMES
1901 N. HARRISON AVENUE, SUITE 200
CARY, NC 27513



MSS LAND CONSULTANTS, PC
"Committed to Total Quality Service"
Firm License: C-2070
EST. 1998

6118 St. Giles St Phone (919) 510-4464
(Suite E) Fax (919) 510-9102
Raleigh, NC 27612 Email: gowersw@mssland.com

I HEREBY CERTIFY THAT THIS FOUNDATION IS CORRECT AS SHOWN AND THAT THERE ARE NO ENCROACHMENTS UNLESS OTHERWISE SHOWN. THIS IS NOT A SURVEY. THIS PLAT DOES NOT CONFORM TO GS-47-30 AS AMENDED AND IS NOT FOR RECORDATION. THE DIMENSIONS SHOWN HEREON FROM THE PROPERTY LINES TO THE FOUNDATION ARE NOT INTENDED TO MONUMENT THE PROPERTY LINES OR TO GUIDE IN THE ERECTION OF FENCES OR ANY OTHER IMPROVEMENT. THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON. ANY EXTENSION OF THE USE BEYOND THE PURPOSE AGREED TO BETWEEN THE CLIENT AND SURVEYOR EXCEEDS THE SCOPE OF ENGAGEMENT.



Matthew A. Hayes
MATTHEW A. HAYES, PLS L-4516

O:\DWHOMES\DWH-22-02\dwg\FND LOC 90.dwg, Layout1, 10/11/2023 4:51:04 PM, smthbb, 1:1