

For Registration Matthew S. Willis
Register of Deeds
Harnett County, NC
Electronically Recorded
2021 Apr 27 12:56 PM NC Rev Stamp: \$ 117.00
Book: 3974 Page: 723 - 724 Fee: \$ 26.00
Instrument Number: 2021009500

HARNETT COUNTY TAX ID #
010525 0095 27

04-27-2021 BY: EG

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax: \$ 117.00

Parcel Identifier No. 0526-31-9472 Verified by _____ County on the _____ day of _____, 20____
By: _____

Mail/Box to: Jeffrey E. Radford, The Law Office of Jeffrey E. Radford, 232 Hay Street, Fayetteville, NC 28301

This instrument was prepared by: The Law Office of Jeffrey E. Radford, 232 Hay Street, Fayetteville, NC 28301

Brief description for the Index: LOT 23 & 24, SEC 2, Carlie Hills

THIS DEED made this 27th day of April, 2021, by and between

GRANTOR
David R. Glenn and wife, Robin R. P. Glenn
190 Piney Lane
Southern Pines, NC 28387

GRANTEE
John Earnest Fleshman single
178 Frenchie Lane
Bunnlevel, NC 28323

**Mailing Address: 88 Jack Harris Lane
Spring Lake, NC 28390**

Enter in appropriate block for each Grantor and Grantee: name, mailing address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot, parcel of land or condominium unit situated in the City of Bunnlevel, Anderson Creek Township, Harnett County, North Carolina and more particularly described as follows:

BEING ALL of Lots 23 and 24, Carlie Hills Subdivision, as shown on a map there of recorded in Map Book 2007, Page 523, Harnett County Registry, North Carolina.

The property hereinabove described was acquired by Grantor by instrument recorded in Book 2403 page 409.
All or a portion of the property herein conveyed ___ includes or X does not include the primary residence of a Grantor.

A map showing the above described property is recorded in Plat Book 2007 page 523.

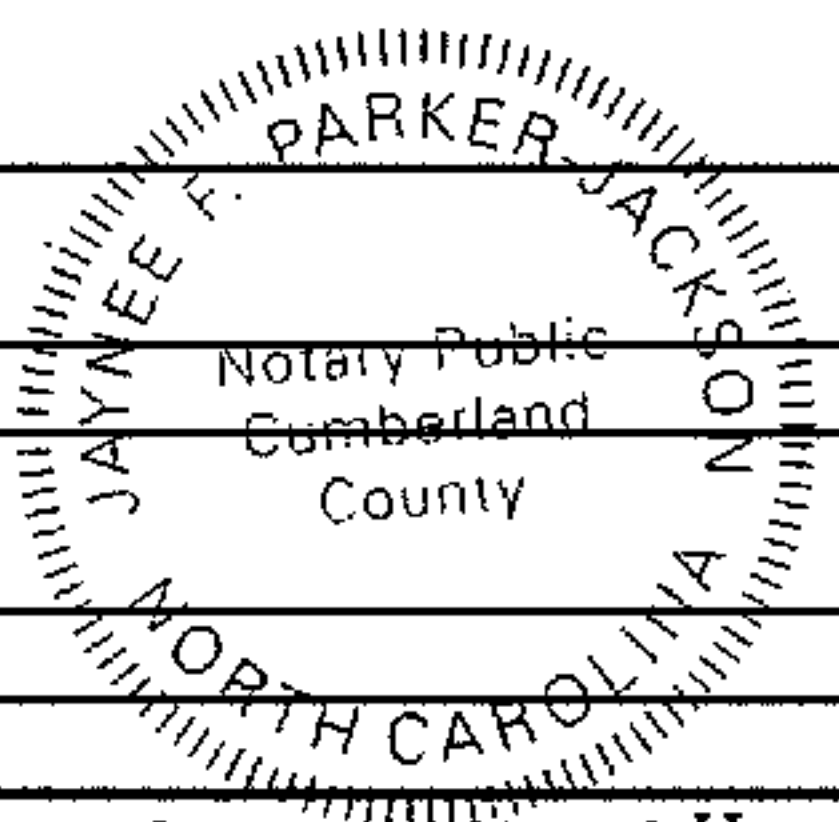
TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions: Restrictive covenants recorded in Book 1357, Page 107, Harnett County Registry.

Easements and Restrictions of record.

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

_____ (Entity Name) David R. Glenn (SEAL)
 By: _____ Print/Type Name: David R. Glenn
 Print/Type Name & Title: _____ Robin R. P. Glenn (SEAL)
 By: _____ Print/Type Name: Robin R. P. Glenn
 Print/Type Name & Title: _____ (SEAL)
 By: _____ Print/Type Name: _____
 Print/Type Name & Title: _____ (SEAL)
 By: _____ Print/Type Name: _____
 Print/Type Name & Title: _____ (SEAL)



State of North Carolina - County or City of Harnett

I, the undersigned Notary Public of the County or City of Cumberland and State aforesaid, certify that David R. Glenn and wife, Robin R. P. Glenn personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this 27th day of April, 2021.

My Commission Expires: August 10, 2025
(Affix Seal)

Jaynee F. Parker-Jackson
 Jaynee F Parker-Jackson Notary Public
 Notary's Printed or Typed Name

State of _____ - County or City of _____

I, the undersigned Notary Public of the County or City of _____ and State aforesaid, certify that _____ personally came before me this day and acknowledged that he is the _____ of _____, a North Carolina or _____ corporation/limited liability company/general partnership/limited partnership (strike through the inapplicable), and that by authority duly given and as the act of such entity, he signed the foregoing instrument in its name on its behalf as its act and deed. Witness my hand and Notarial stamp or seal, this _____ day of _____, 20____.

My Commission Expires: _____
(Affix Seal)

Notary Public
Notary's Printed or Typed Name

State of _____ - County or City of _____

I, the undersigned Notary Public of the County or City of _____ and State aforesaid, certify that _____
Witness my hand and Notarial stamp or seal, this _____ day of _____, 20____.

My Commission Expires: _____
(Affix Seal)

Notary Public
Notary's Printed or Typed Name