

- LINE LEGEND:**
- Subject Boundary Surveyed
 - - - Subject Boundary Not Surveyed
 - Adjacent Property Lines
 - Abandoned Property Lines
 - - - Right of Way Lines
 - - - Center of Right-of-Way
 - - - Easement Lines
 - - - Survey Tie Lines
 - - - Minimum Building Setback
 - - - Overhead Electric Lines
 - - - Public Water Line
 - - - Edge of Waterbody
 - - - FEMA Flood Hazard Boundary

The NC GRID coordinates were determined from an actual Class A GPS Survey using NC Geodetic Survey's Real Time Kinematic (RTS) Network.

Date of Survey: July 5, 2023 Time: 15:59-16:08

Localization Point: "Control Point #2"

Horizontal positional accuracy: 0.05 ft.

Vertical positional accuracy: 0.15 ft.

Horizontal Datum: NAD 83 (NARS 2011)

Vertical positions are referenced to NAVD88

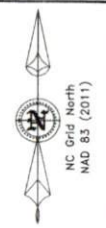
Combined Scale Factor: 0.9998636 Ground to Grid

Geoid Model: GEOID12B (conus)

Units: US Survey Feet (sFT)

NCSR 1178 - 50' Public R/W
"Vic Keith Rd."

(NCDOT Map, Job No. 1359, Drawing No. 1359A, Sheet 1 of 3, Dated 04/10/1991)



- SYMBOLS & ABBREVIATIONS:**
- EIP/EIS... Existing Iron Pipe or Stake
 - ERB... Existing ReBar Stake
 - ERRS... Existing Rail Road Spike
 - EPK... Existing Parker-Taylor Nail
 - EMN... Existing Magnetic Nail
 - ECS... Existing Cotton Picker Spindle
 - EICM... Existing Concrete Monument
 - ▲ AC/BG... Above/Below Ground Surface
 - △ CP... Calculated Point (not set)
 - CNTRL... Control Point - Grid Coordinates
 - ISS... Iron Stake Set (#4 rebar)
 - MNS... Magnetic Nail Set
 - CSS... Cotton Spindle Set
 - FH... Fire Hydrant
 - PP... Power Pole
 - OHE... Overhead Electric Lines
 - Land Hook (Property combined)
 - C/L... Centerline of Road or Easement
 - R/W... Right-of-Way
 - D.B... Deed Book
 - P.B/P.C... Plat Book / Plat Cabinet
 - M.B... Map Book
 - NC.PIN... Parcel Identifier Number
 - Ac... Acres (Area of property)
 - SF... Square Feet
 - [123]... House Address

- SURVEY NOTES:**
- Iron Stakes (1/2" Re-bar) set at all new property corners unless labeled otherwise.
 - Magnetic Nails set at all points in paved road surfaces, unless otherwise indicated.
 - Areas determined by coordinate method.
 - All distances & dimensions are horizontal ground distances unless otherwise indicated.
 - No NC Geodetic Survey monuments or other such control monuments were found within 2,000 feet of the subject property unless otherwise shown herein.
 - This survey is based upon the references shown as taken from County GIS records. No title search was provided for this survey. A complete title search by a licensed attorney may reveal other easements, restrictions, and title issues not made available to the surveyor.
 - No underground utilities were marked by providers prior to this survey. Call NC 811 prior to any excavation to locate any underground utilities.
 - Wetlands, soil conditions, or other environmental features were not delineated for this survey.

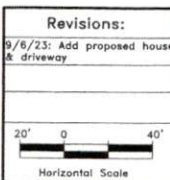
Harnett County Minimum Building Setback Requirements
RA-20R, RA-20M,
RA-30 & RA-40

FRONT: 35' from R/W
REAR: 25'
SIDE: 10'
CORNER LOT SIDE: 20'
MAXIMUM HEIGHT: 35'

FEMA FLOOD HAZARD STATEMENT
A portion of the subject property shown on this plot is located within the FEMA 1% Annual Chance Flood Hazard Area "Zone A" or "Zone AE" as shown on FIRW Number: 371095860J
Effective date: 10/3/2006

REFERENCES:
Map #2023-436

Formerly:
Map No. 2, Buffalo Lakes
Map Book 7, Page 39
- 1/2 of Lot 46
Deed Book 4159, Pg. 2624
PID: 03958612 0108
PIN: 9586-71-4942.000
- Lot 47
Deed Book 4159, Pg. 2626
PIN: 03958612 0088 01
PIN: 9586-71-4984.000
- Lot 48
Deed Book 4159, Pg. 2626
PIN: 03958612 0088 01
PIN: 9586-71-5935.000
- Lot 49
Deed Book 4159, Pg. 2630
PIN: 03958612 0087
PIN: 9586-72-5060.000



PLOT PLAN FOR:

Helen Krick Pool

Mailing Address: 100 Rivergreen Ct., Cary, NC 27518-7802

Property Address: 486 Vic Keith Rd., Sanford

BARBECUE TOWNSHIP - HARNETT COUNTY - NORTH CAROLINA

ZONED: RA-20R

STREAMLINE LAND SURVEYING, Inc.
NC FIRM C-1898
870 NC 55 W, Coats, N.C. 27521
Phone: 910-897-7715

SURVEY DATE: 7/5/2023

SCALE: 1" = 40' SURVEYED BY: REG DRAWN BY: MGG

FILE: DATA\9586\230627PO.dwg (PlotPlan)

North Carolina
Harnett County

I, Robert E. Godwin, Jr., hereby certify that this plot was drawn under my supervision from an actual survey made under my supervision per deed description recorded in Book 2023, Page 436. That the boundaries not surveyed are shown as broken lines plotted from references as shown herein. That the ratio of precision meets or exceeds Class B standards; that there were no encroachments across surveyed property lines unless otherwise shown herein.

And that this survey was conducted in accord with the Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1600) and this map may not meet all statutory mapping requirements for recordation.

Witness my original signature, license number, and seal this 6TH day of July, A.D. 2023

Robert E. Godwin, Jr., P.L.S.
License Number: L-3790



Control Point #1 to Control Point #2
NC Grid Bearing: S 41°47'56"E
NC Grid Distance: 330.54 sFT

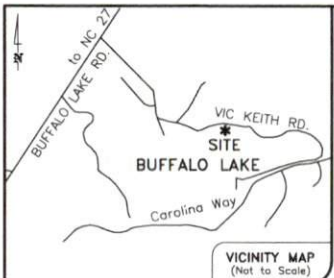
Control Point #1
Existing Iron Pipe
N: 962,063.70 sFT
E: 1,987,373.25 sFT
EL: 317.05'

[514]
MDN Rentals LLC
D.B. 3589, Pg. 308
MB 7, Pg. 39

Lot Area
1.19 Acres
(51,947 S.F.)

Control Point #2
Mag. Survey Nail
N: 561,817.29 sFT
E: 1,987,593.56 sFT
EL: 301.7'

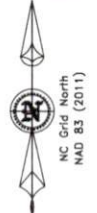
Buffalo Lakes Property Owners Association Lakes
D.B. 599, Pg. 5
MB 19, Pg. 28



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 - - - Edge of Waterbody
 - - - FEMA Flood Hazard Boundary

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- Date of Survey: July 5, 2023 Time: 15:59-16:08
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- Horizontal Datum: NAD 83 (NRSR 2011)
- Vertical positional accuracy: 0.15 ft.
- Vertical positions are referenced to NAVD88
- Combined Scale Factor: 0.9998636 Ground to Grid
- Geoid Model: GEOID12B (conus)
- Units: US Survey Feet (sft)



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 - ERSS..... Existing Rail Road Spike
 - EPK..... Existing Pinner-Kayton Nail
 - EMN..... Existing Magnetic Nail
 - ECS..... Existing Cotton Picker Spindle
 - ECM..... Existing Concrete Monument
 - ▲ AG/BG..... Above/Below Ground Surface
 - ▲ CP..... Calculated Point (not set)
 - CNTRL..... Control Point - Grid Coordinates
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 - Areas determined by coordinate method.
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 - No NC Geodetic Survey monuments or other such control monuments were found within 2,000 feet of the subject property unless otherwise shown hereon.
 - This survey is based upon the references shown as taken from County GIS records. No title search was provided for this survey. A complete title search by a licensed attorney may reveal other easements, restrictions, and title issues not made available to the surveyor.
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Harnett County Minimum Building Setback Requirements
 RA-20R, RA-20M, RA-30 & RA-40

FRONT: 35' from R/W
 REAR: 25'
 SIDE: 10'
 CORNER LOT SIDE: 20'
 MAXIMUM HEIGHT: 35'

FEMA FLOOD HAZARD STATEMENT
 A portion of the subject property shown on this plat is located within the FEMA 1% Annual Chance Flood Hazard Area "Zone A" or "Zone AE" as shown on FIRM Number: 37109S860J.
 Effective date: 10/3/2006

North Carolina
 Harnett County

I, Robert Edward Godwin, Jr., certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book _____, Page _____), that the ratio of precision as calculated is 1:10,000; that the boundaries not surveyed are shown as broken lines plotted from information found in references as shown hereon; that this plat was prepared in accordance with G. S. 47-30 as amended. Witness my original signature, registration number and seal this _____ day of _____.

I further certify that the survey is of another category, such as the recombination of existing parcels, a court-ordered survey, or other exemption or exception to the definition of subdivision.

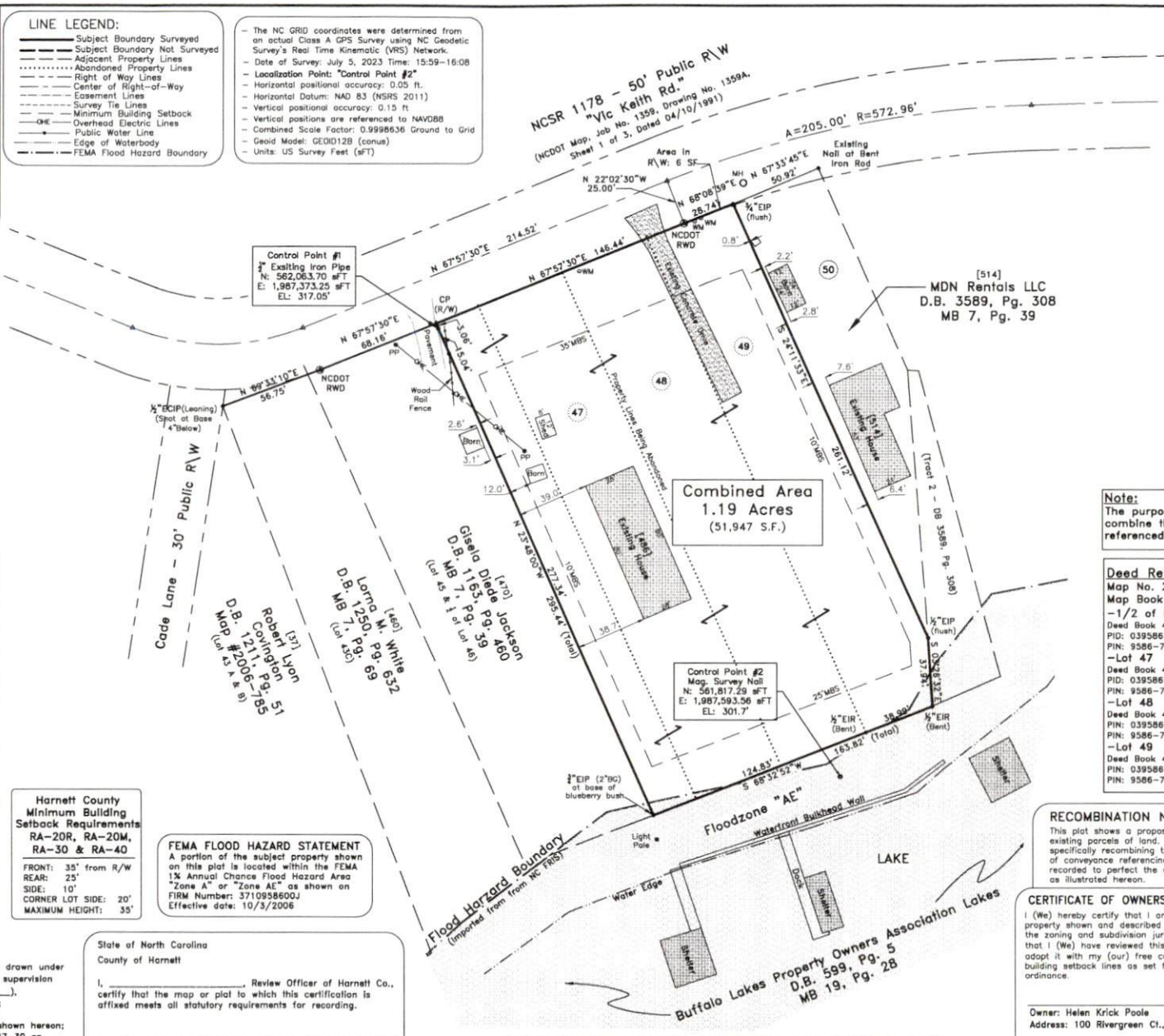
Robert E. Godwin, Jr. Professional Seal
 Registration Number: L-3790

~PRELIMINARY PLAT~
For Review Only

State of North Carolina
 County of Harnett

I, _____, Review Officer of Harnett Co., certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.

Review Officer _____ Date _____



Note:
 The purpose of this map is to combine the four adjoining lots referenced below into one lot.

- Deed References:**
- Map No. 2, Buffalo Lakes Map Book 7, Page 39
 - 1/2 of Lot 46
 - Deed Book 4159, Pg. 2624
 - PID: 03958612 0108
 - PIN: 9586-71-4984.000
 - Lot 47
 - Deed Book 4159, Pg. 2626
 - PID: 03958612 0088
 - PIN: 9586-71-4984.000
 - Lot 48
 - Deed Book 4159, Pg. 2626
 - PID: 03958612 0088 01
 - PIN: 9586-71-5935.000
 - Lot 49
 - Deed Book 4159, Pg. 2630
 - PIN: 03958612 0087
 - PIN: 9586-72-5060.000

RECOMBINATION NOTE:
 This plat shows a proposed recombination of existing parcels of land. Subsequent Deeds specifically recombining these parcels or Deeds of conveyance referencing this plat must be recorded to perfect the combining of the parcels as illustrated hereon.

CERTIFICATE OF OWNERSHIP
 I (We) hereby certify that I am (we are) the owner(s) of the property shown and described hereon which is located within the zoning and subdivision jurisdiction of Harnett County and that I (We) have reviewed this plat of recombination and adopt it with my (our) free consent and establish minimum building setback lines as set forth by the county zoning ordinance.

Owner: Helen Krick Poole Date _____
 Address: 100 Rivergreen Ct., Cary, NC 27518-7802

"Recombination Survey"
 Map For:
Helen Krick Poole
 Mailing Address: 100 Rivergreen Ct., Cary, NC 27518-7802
 Property Address: 486 Vic Keith Rd., Sanford

BARBECUE TOWNSHIP - HARNETT COUNTY - NORTH CAROLINA
 ZONED: RA-20R

STREAMLINE LAND SURVEYING, Inc.
 NC FIRM C-1888
 870 NC 55 W, Coats, N.C. 27521
 Phone: 910-897-7715

SURVEY DATE: 7/5/2023
 SCALE: 1" = 40'
 SURVEYED BY: REG
 DRAWN BY: MGG
 FILE: DATA\9586\230627PO.dwg (Recombination)

