

McGINNIS

DUNCANS CROSSING
LOT 0038



PLAN ID 070121

**110 VILLAGE TRAIL SUITE 215
WOODSTOCK, GA. 30188**

DRAWING INDEX	
A0.0	COVER SHEET
A1.1	FRONT ELEVATIONS
A2.1	SIDE & REAR ELEVATIONS
A3.1	SLAB FOUNDATIONS
A5.1	FIRST FLOOR PLANS
A5.2	SECOND FLOOR PLANS
A6.1	ROOF PLANS
A7.2-A7.3	ELECTRICAL PLANS

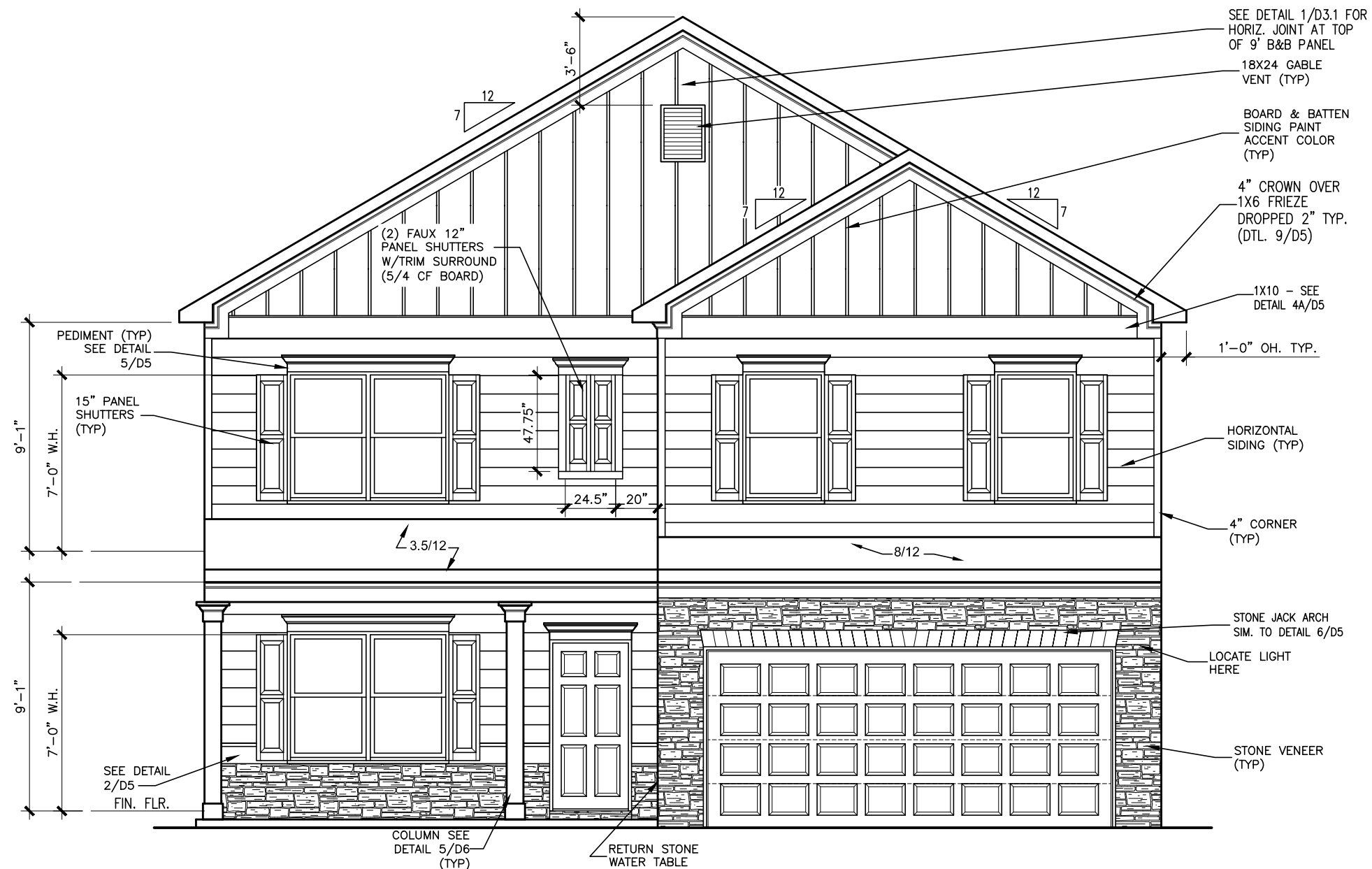
AREA TABULATION	
FIRST FLOOR	1001
SECOND FLOOR	1371
TOTAL	2372
GARAGE	410
FRONT PORCH (COVERED) B&C MASSINGS	108
REAR PATIO (COVERED)	200

PLAN REVISIONS			
DATE	BY	REVISION	PAGE #
2/23/2021	MM	PROTOTYPE WALK CHANGES - SEE REVISION SHT	ALL
4/7/2021	AW	Added elevations J & K	A1.10, A1.11
7/1/2021	AW	2ND Prototype walk changs - see revision sheet	A2.1-A2.3, A5.1-A5.3, A7.2-A7.3
9/2/2021	BB	ADDED FOURTH TURTLE BACK VENT TO C MASSING REAR ELEVATION	A2-3, A6.3
2/1/2022	AW	Added LED light in Laundry hall on same switch as Loft lights	A7.3

GOVERNMENTAL CODES & STANDARDS
HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

BUILDING CODE ANALYSIS / DESIGN CRITERIA
HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

DUNCANS CROSSING LOT 0038



FRONT ELEVATION "E"

SCALE : 3/16" = 1'-0"

ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

BY	REVISION	DATE
#	#	#
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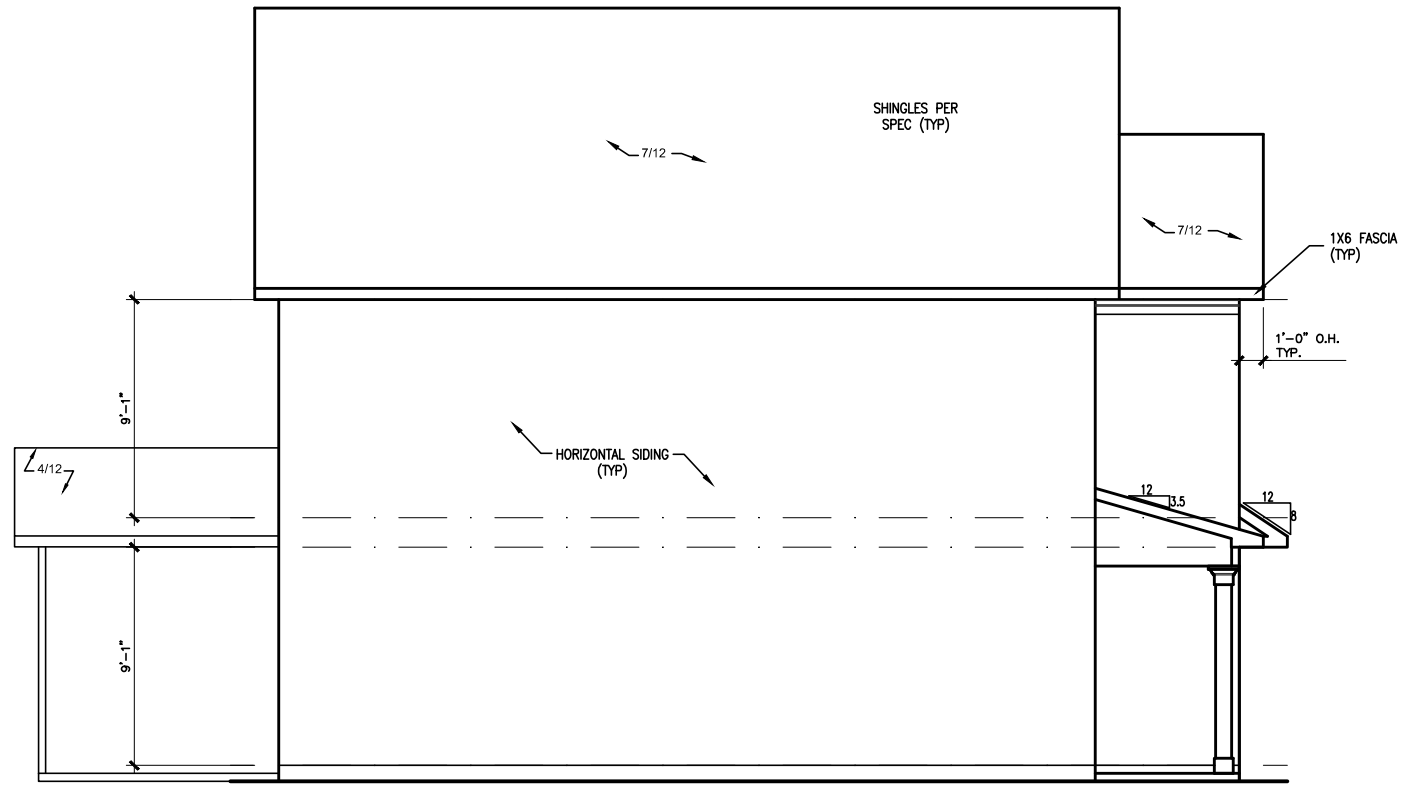
ELEVATIONS
FRONT ELEVATION
MCGINNIS

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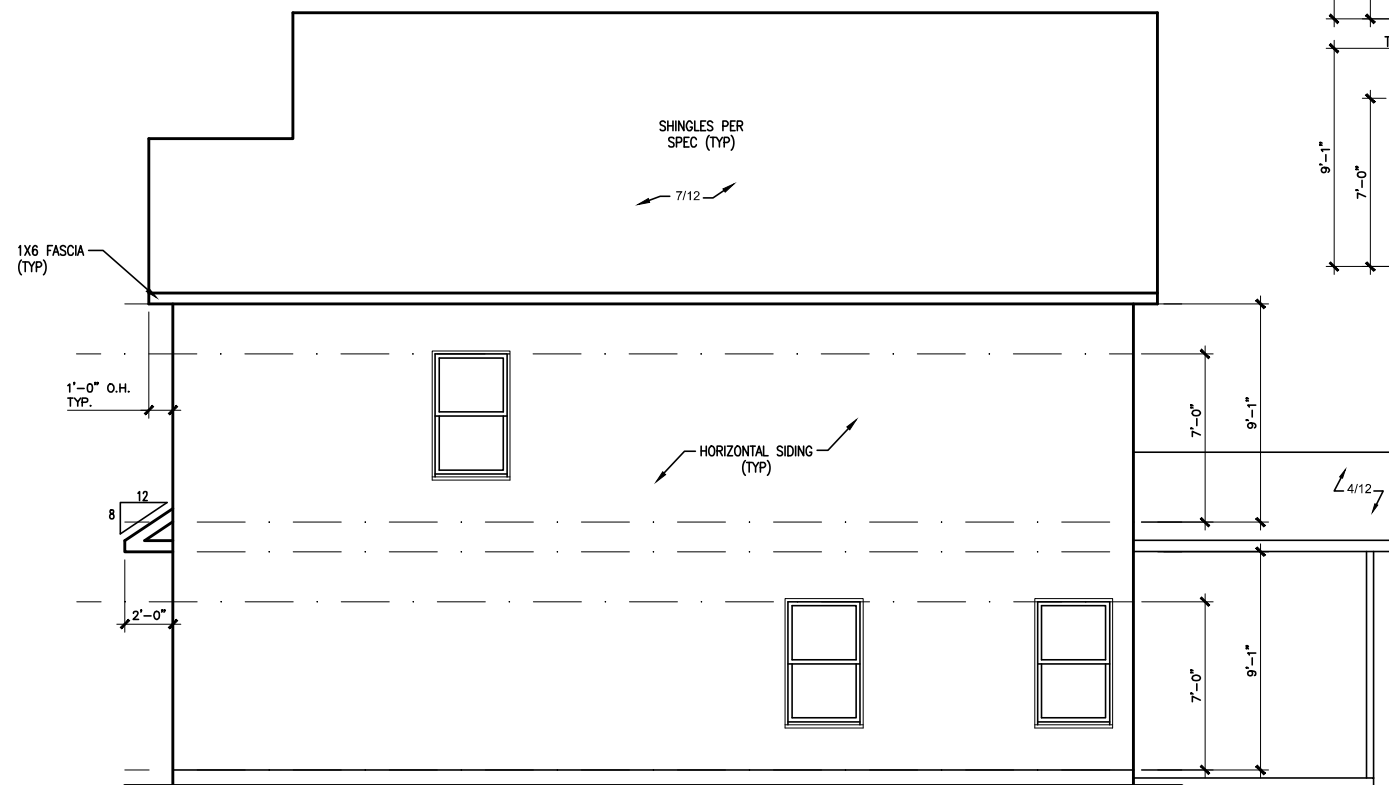
BY: KCC CH: AW
DATE: 10/27/2023
FACADE OPT: B
PLAN ID:
FND: ALL ELEV: E
PAGE NO: A1.1

DUNCANS CROSSING LOT 0038



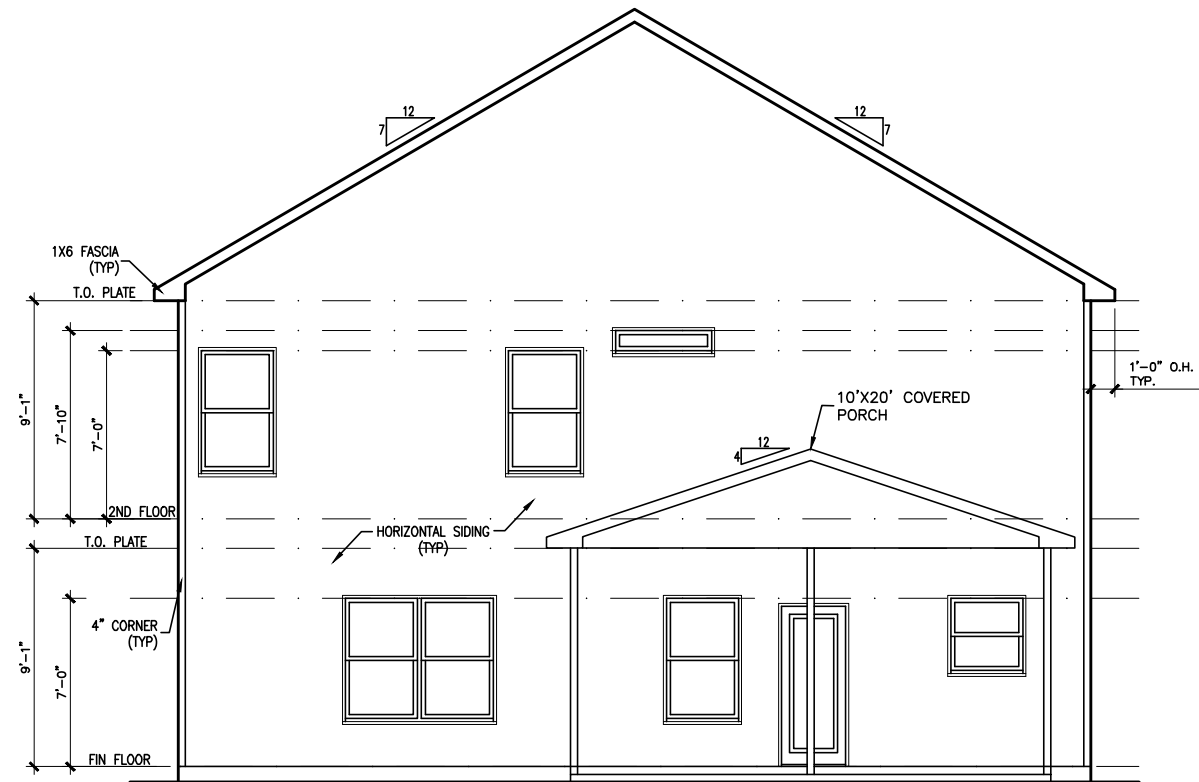
LEFT ELEVATION "E"

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION "E"

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

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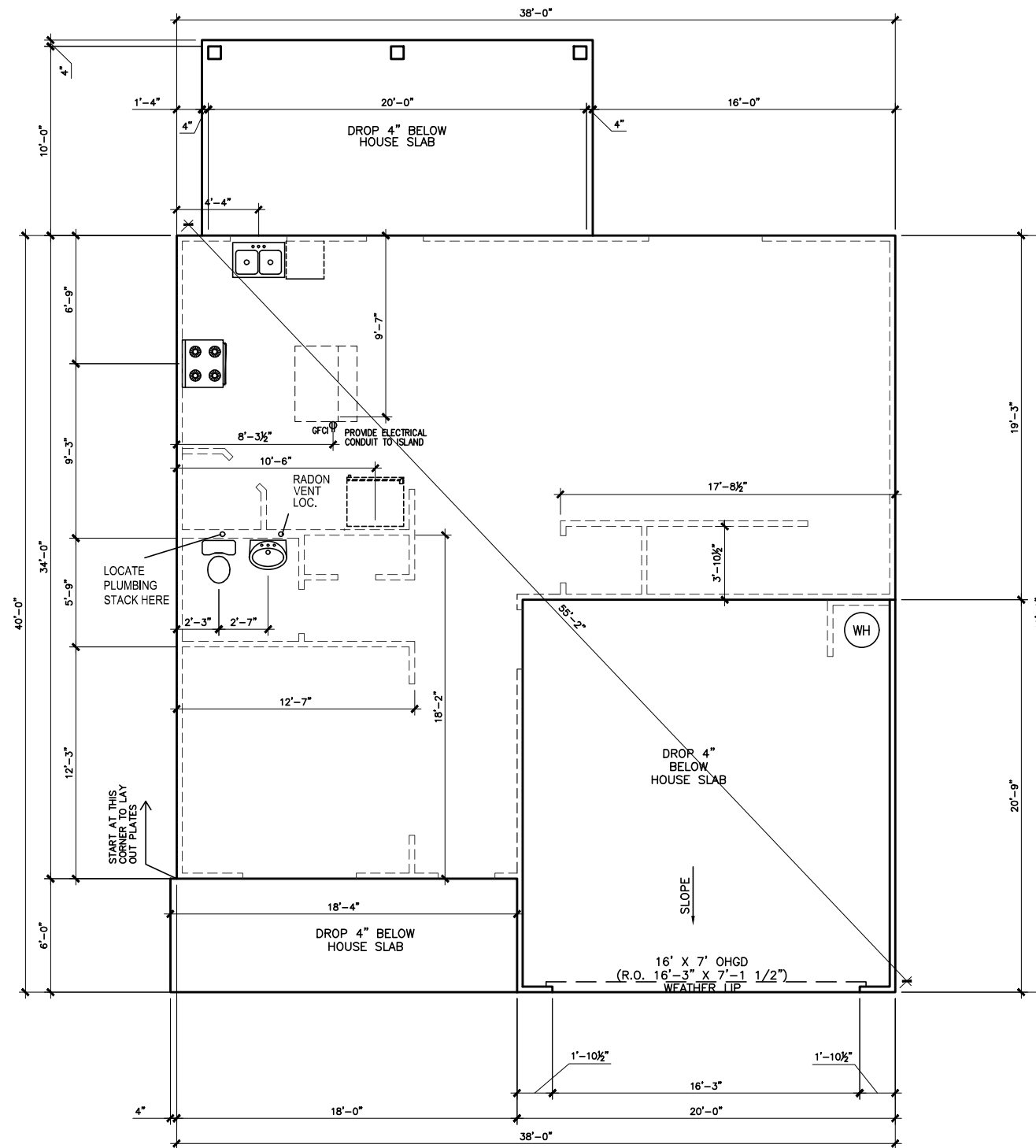
ELEVATIONS
SIDES AND REAR
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DUNCANS CROSSING LOT 0038



*RADON VENT PROVIDED
PER LOCAL CODE

REFER TO DETAIL 3/D1 FOR
BRICK LEDGE DETAIL WHEN
BRICK VENEER IS CHOSEN

SLAB PLAN

SCALE: 1/8" = 1'-0"

DATE	REVISION	BY



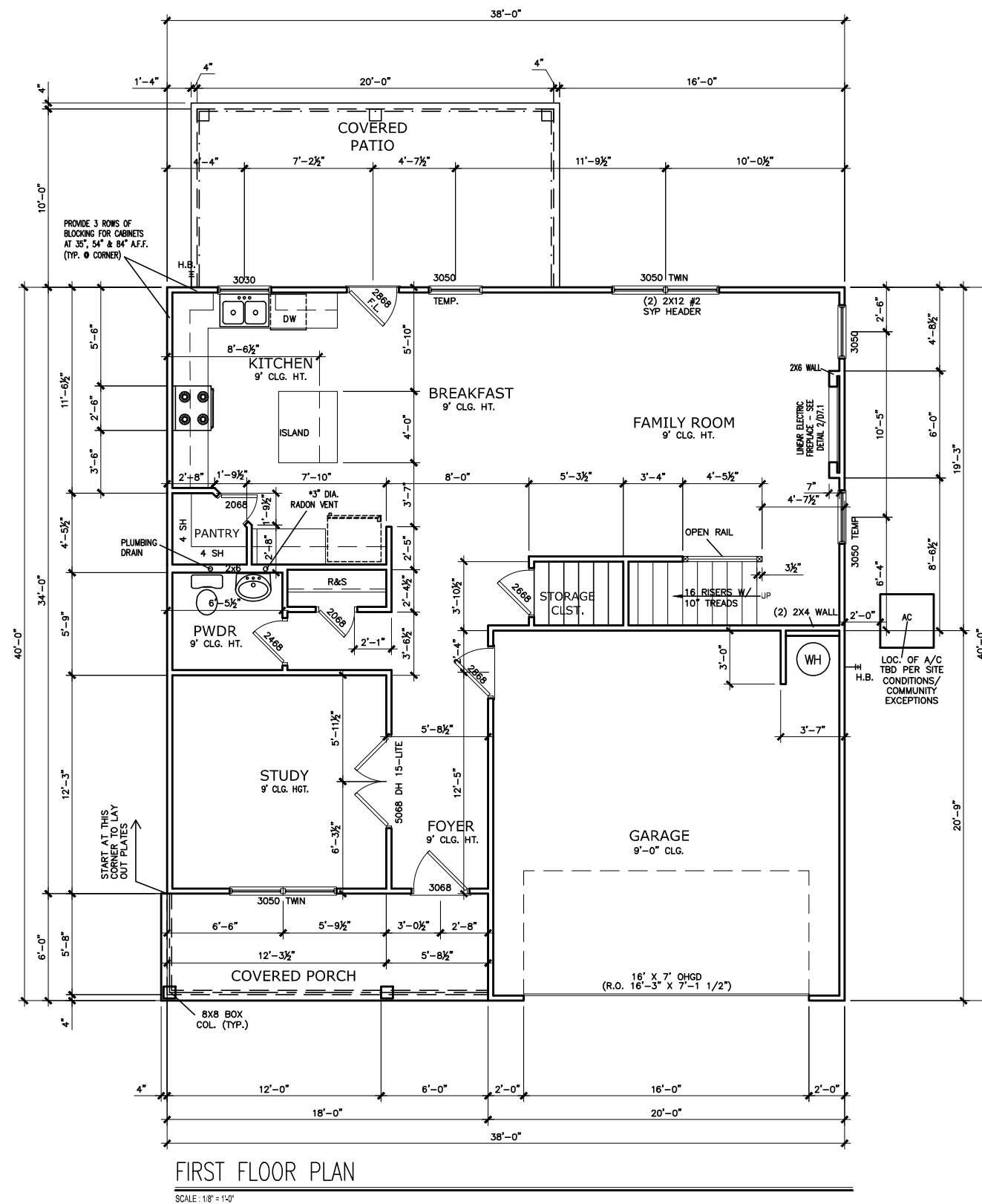
FOUNDATION PLAN
SLAB PLAN
MCGINNIS

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FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

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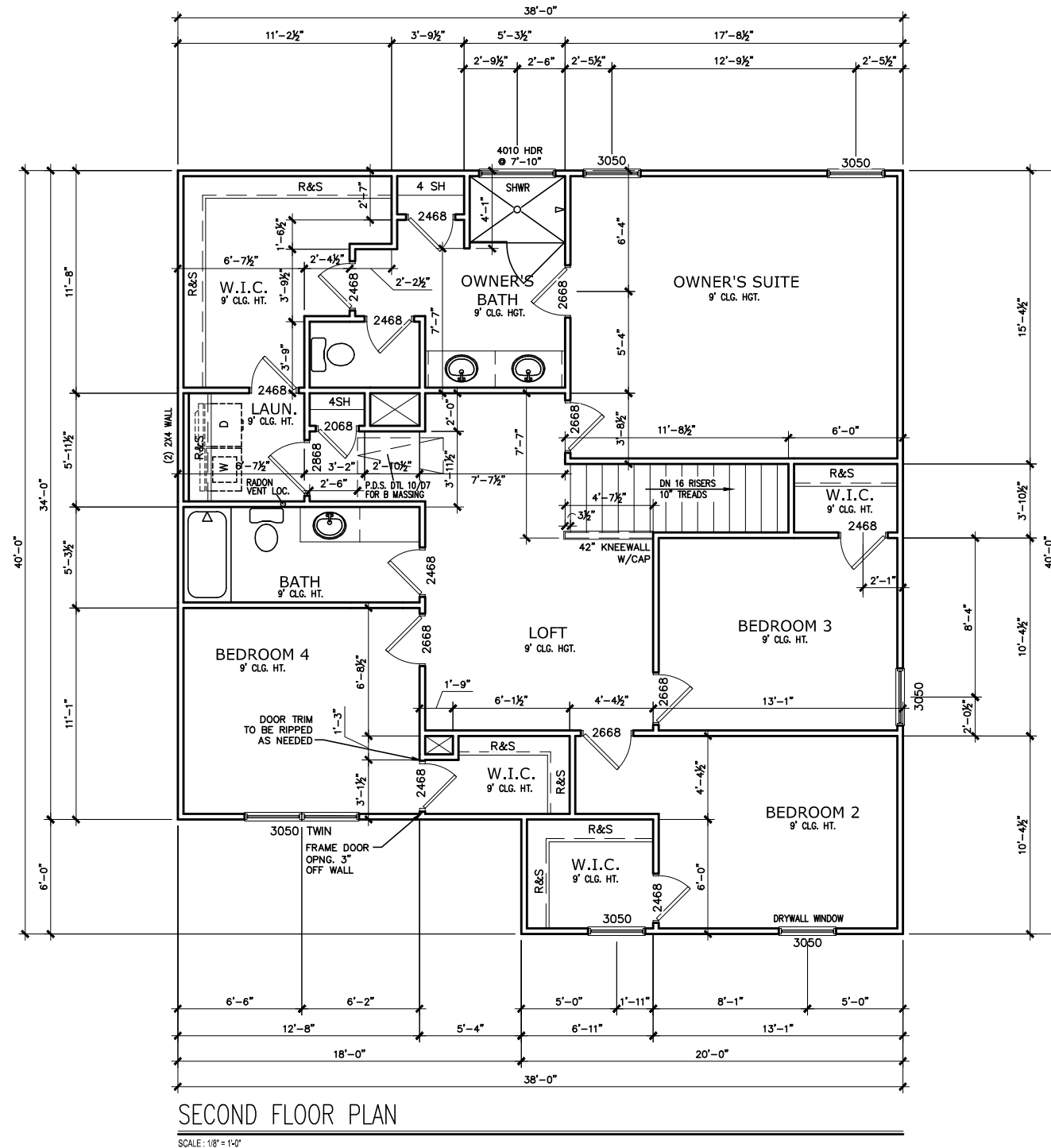
FLOOR PLAN
FIRST FLOOR
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DUNCANS CROSSING LOT 0038



*RADON VENT PROVIDED
PER LOCAL CODE

REFER TO MANUFACTURER'S SPECS.
FOR DRAIN LOCATIONS ON DETAIL
SHEETS D12, D12.1, D12.2 & D12.3

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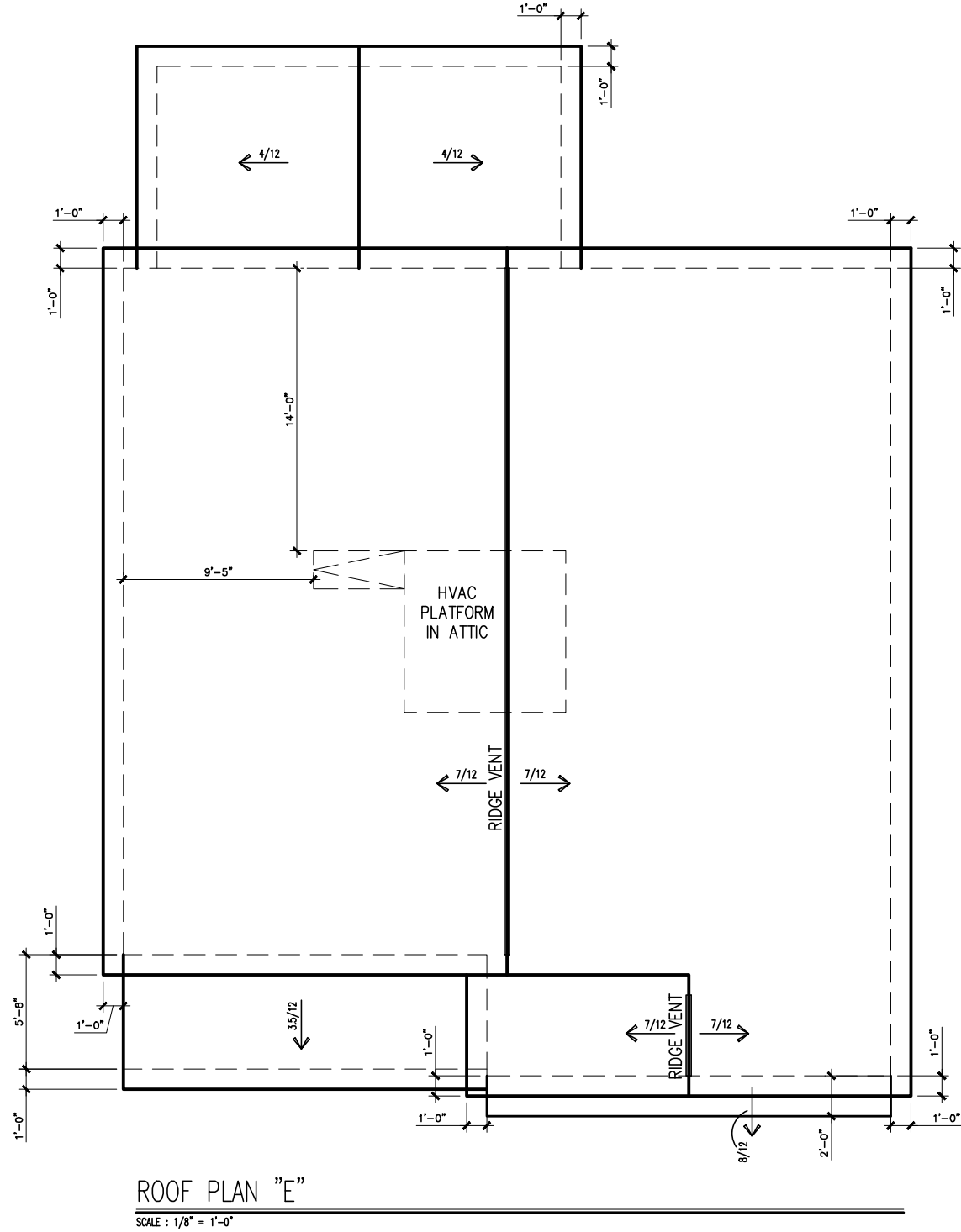
FLOOR PLANS
SECOND FLOOR
MCGINNIS

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DUNCANS CROSSING LOT 0038



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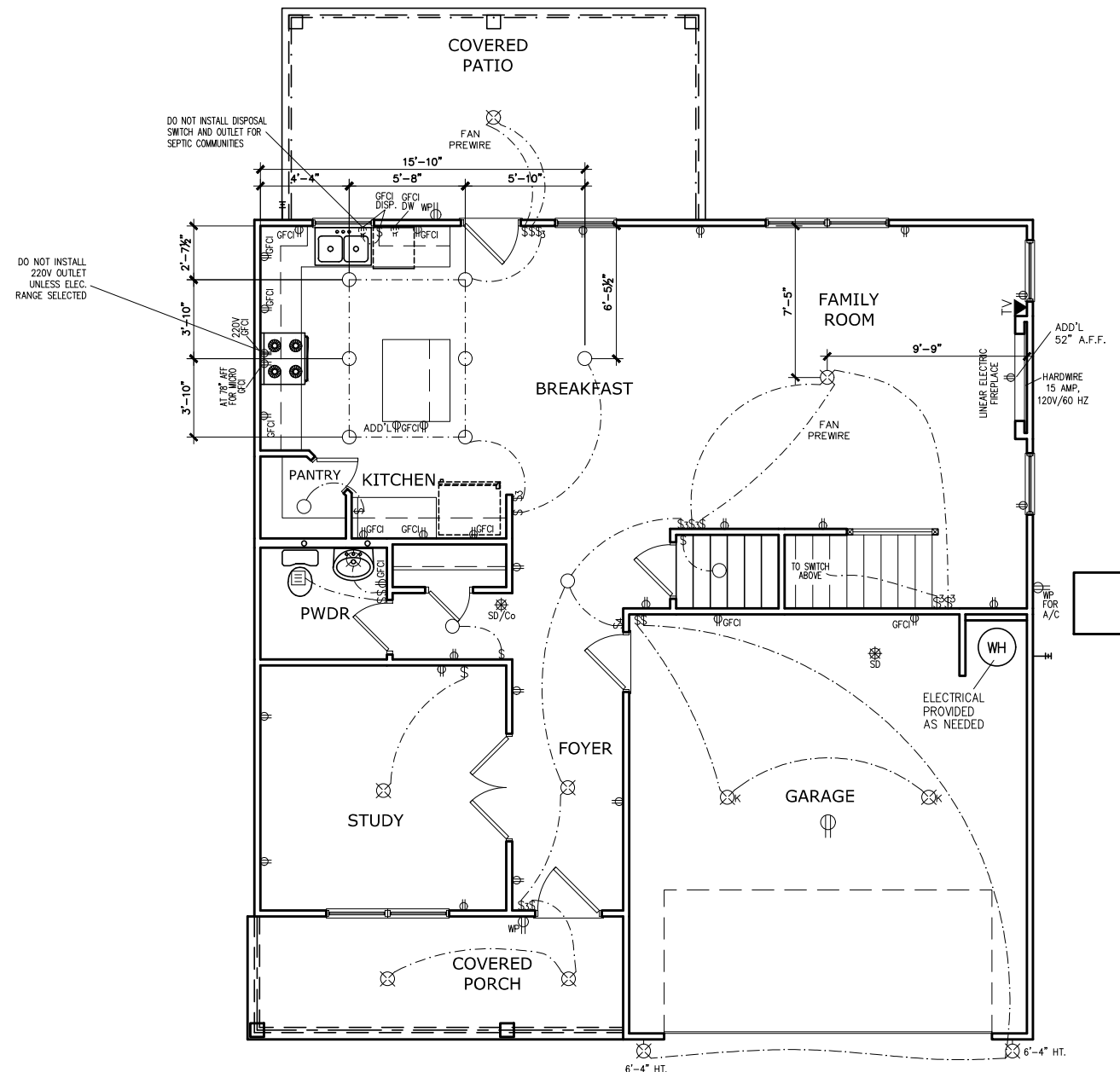
ROOF PLAN
ROOF PLAN
MCGINNIS

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DUNCANS CROSSING LOT 0038



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL LEGEND

\$	SWITCH	TV	TV
\$3	3 WAY SWITCH	⊕	120V RECEPTACLE
\$4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕	KEYLESS	⊕GFCI	GFCI OUTLET
⊗	WALL MOUNT FIXTURE	⊕IAFCI	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	†GL	GAS LINE
●	FLEX CONDUIT	†WL	WATER LINE
CH	CHIMES	↓	HOSE BIBB
PH	TELEPHONE	⊕	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	⊕	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊗	CEILING FAN
□	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
⊕	EXHAUST FAN	⊕	CEILING FIXTURE
⊕	FAN/LIGHT		

ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES

APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)

BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR
CEILING FAN	96" ABOVE FINISHED FLOOR
FLOOD LIGHT	10' MAX. ABOVE FIN. FLOOR

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

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DATE							



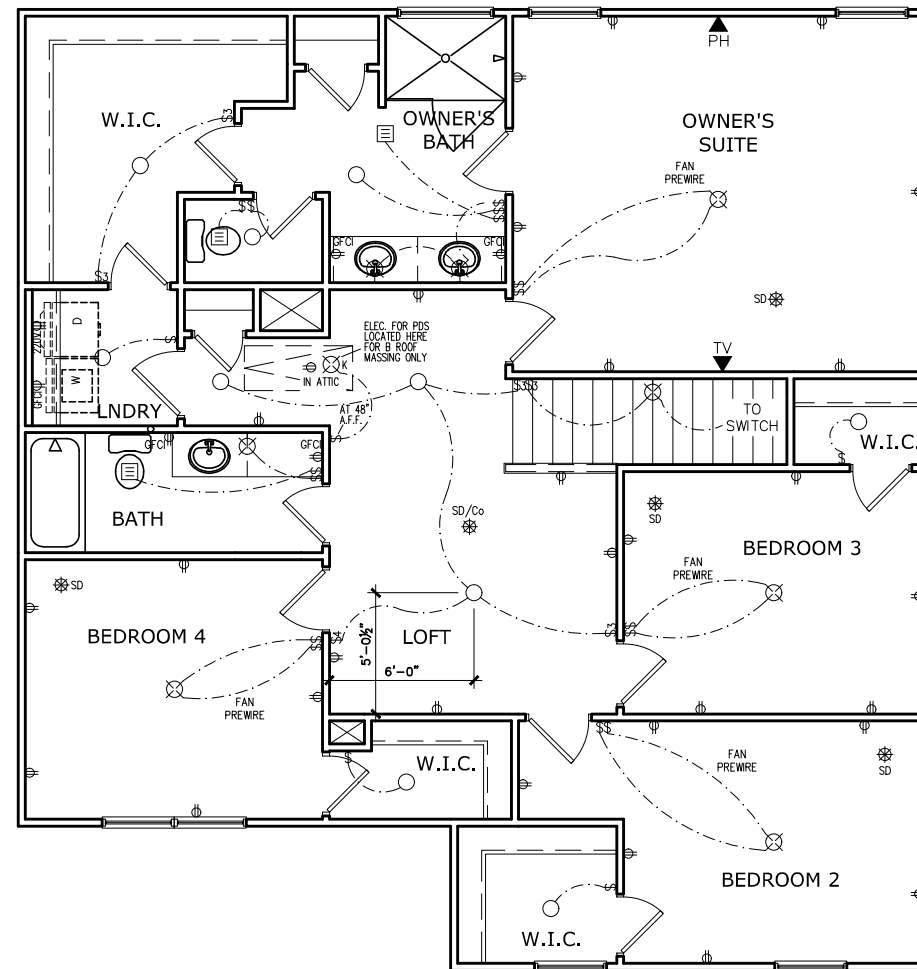
ELECTRICAL PLAN
FIRST FLOOR
MCGINNIS

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DUNCANS CROSSING LOT 0038



SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL LEGEND

\$	SWITCH	TV	TV
\$3	3 WAY SWITCH	⊕	120V RECEPTACLE
\$4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕	KEYLESS	⊕	GFCI OUTLET
⊗	WALL MOUNT FIXTURE	⊕	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	†	GAS LINE
●	FLEX CONDUIT	†	WATER LINE
CH	CHIMES	↓	HOSE BIBB
PH	TELEPHONE	⊕	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	⊕	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊗	CEILING FAN
□	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
⊕	EXHAUST FAN	⊕	CEILING FIXTURE
⊕	FAN/LIGHT		

ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES

APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)

BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR
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TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR
CEILING FAN	96" ABOVE FINISHED FLOOR
FLOOD LIGHT	10' MAX. ABOVE FIN. FLOOR

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

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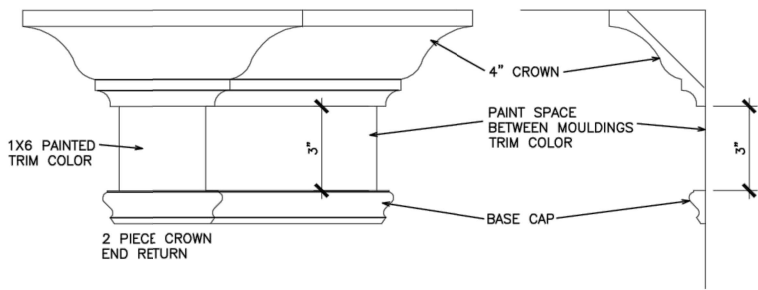
ELECTRICAL PLAN
SECOND FLOOR
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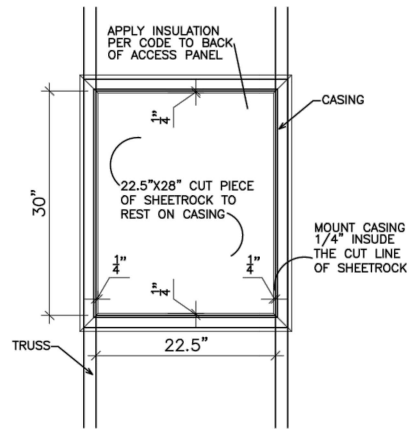
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DATE: 10/27/2023	
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REFER TO LOT SPECIFIC PLAN TO DETERMINE WHICH DETAILS APPLY



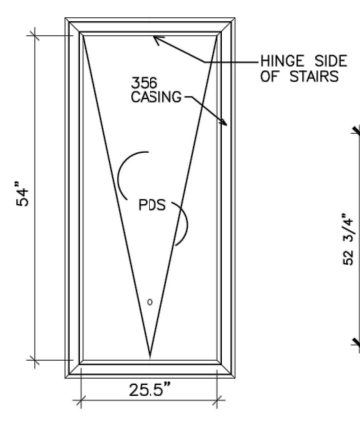
TYPICAL TWO PIECE CROWN

N.T.S.



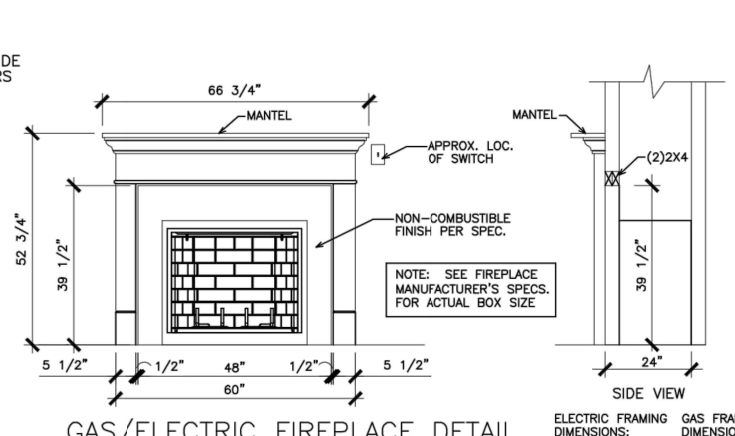
SCUTTLE HOLE DETAIL

N.T.S.



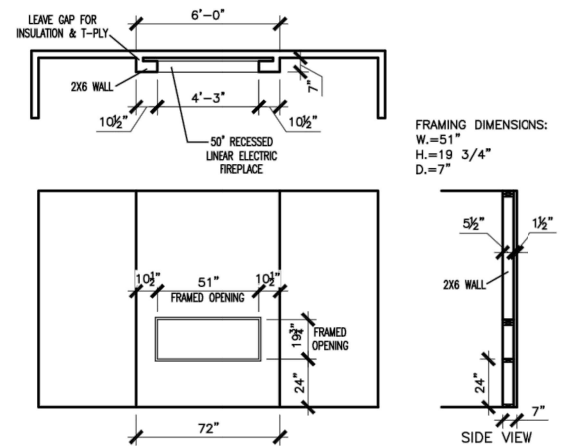
PDS TRIM DETAIL

N.T.S.



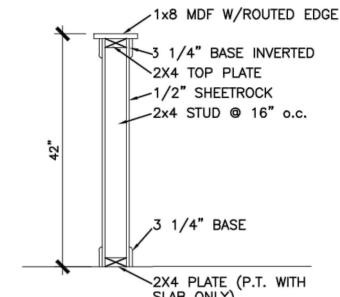
GAS/ELECTRIC FIREPLACE DETAIL WITH WESCOTT WOOD MANTEL

N.T.S.



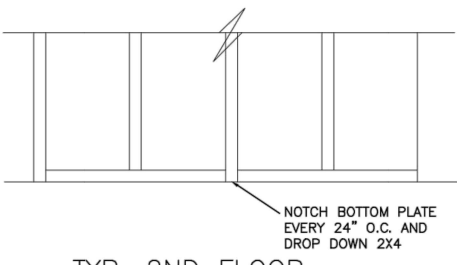
LINEAR ELECTRIC FIREPLACE DETAIL

N.T.S.



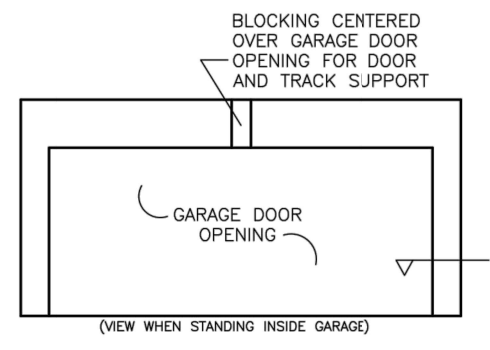
TYP. KNEEWALL SECTION

N.T.S.



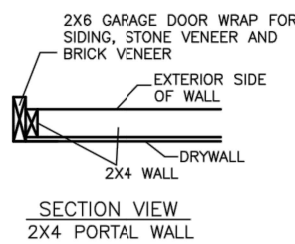
TYP. 2ND FLOOR KNEEWALL STABILITY

N.T.S.

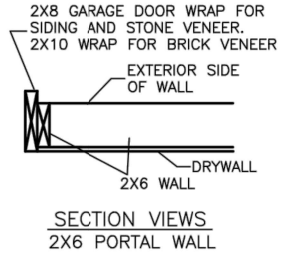


TYP. GARAGE WRAP & BLOCKING

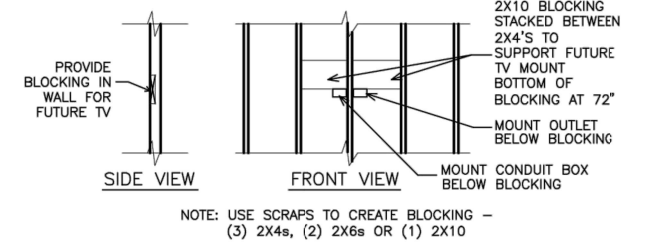
N.T.S.



SECTION VIEW 2X4 PORTAL WALL

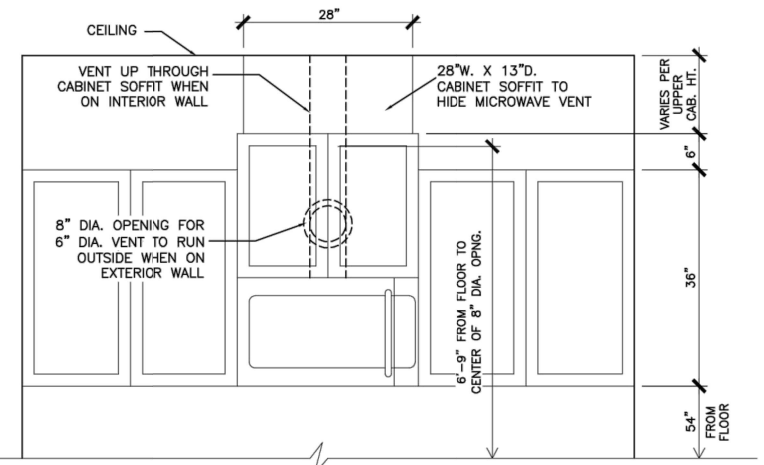


SECTION VIEWS 2X6 PORTAL WALL



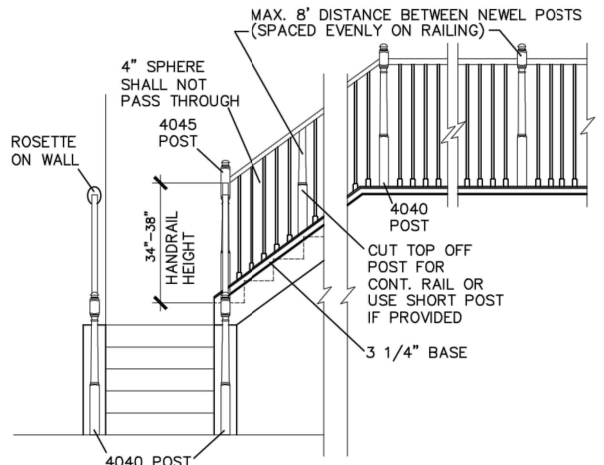
TYP. TV WALL PREP

N.T.S.



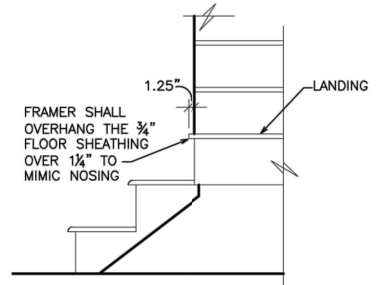
CABINET SOFFIT DETAIL ABOVE VENTED MICROWAVE W/CABINET ABOVE RANGE BUMPED UP & OUT

N.T.S.



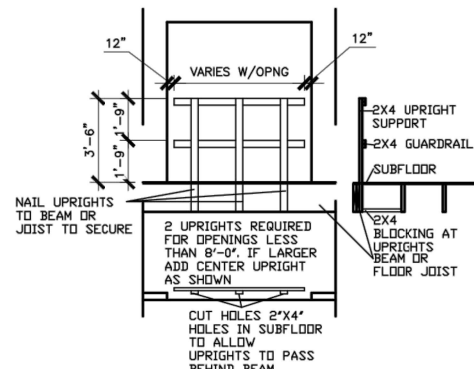
HANDRAIL/POST DETAIL @ STAIRS

N.T.S.



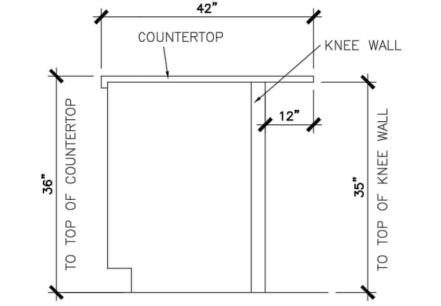
BOX STEP OVERHANG

N.T.S.



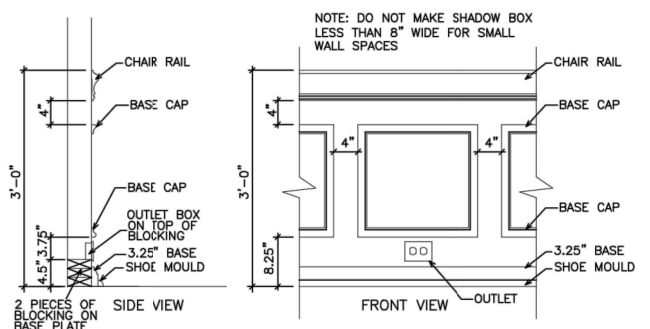
GUARD RAIL DTL. AS REQ'D

N.T.S.



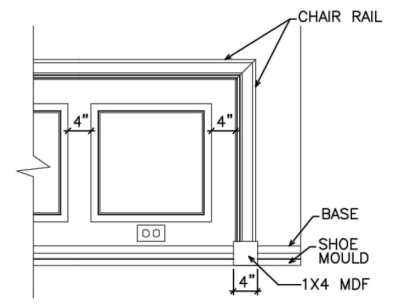
SECTION @ ISLAND KNEEWALL

N.T.S.



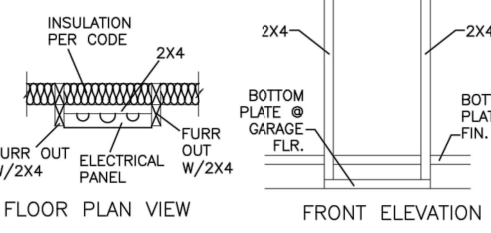
TYPICAL CHAIR RAIL & SHADOW BOX DETAIL

N.T.S.



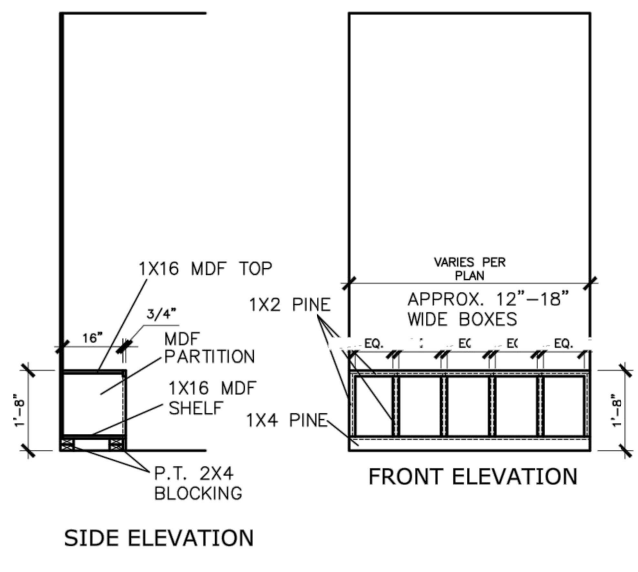
CHAIR RAIL END TRIM DETAIL

N.T.S.



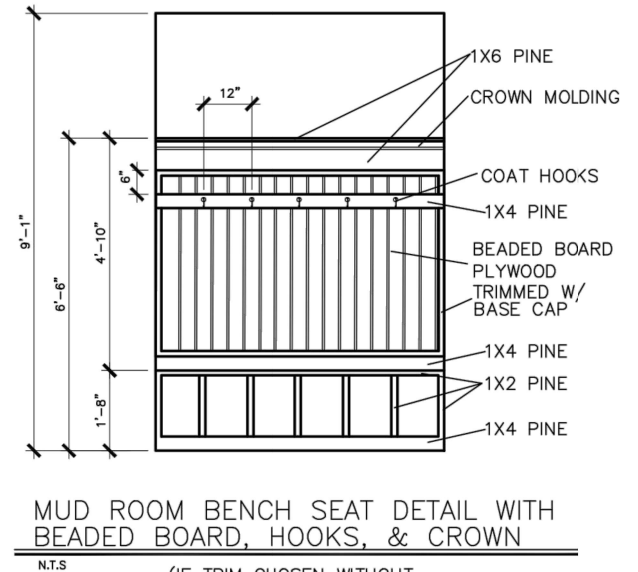
ELECTRICAL PANEL DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL WITH BEADED BOARD, HOOKS, & CROWN

N.T.S.

(IF TRIM CHOSEN WITHOUT BENCH CONTINUE TO FLOOR)

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INTERIOR TRIM
DETAILS

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PLAN ID:	
PND:	ELEV:
PAGE NO:	D1.1

Mulhern+Kulp project number:
256-21009

project mgr: **SMK**
 drawn by: **MJF**
 issue date: **10-26-2021**

REVISIONS:

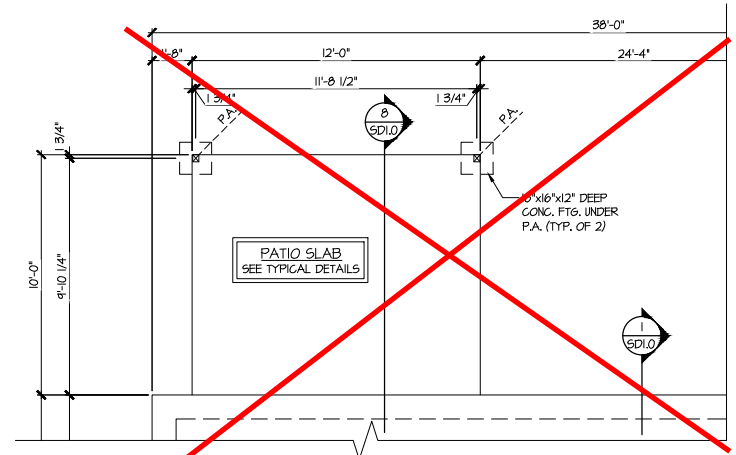
date:	initial:
1/22/21	JPP
08/18/23	MMD

STRAP, PORTAL FRAME, GARAGE EXT. WALLS

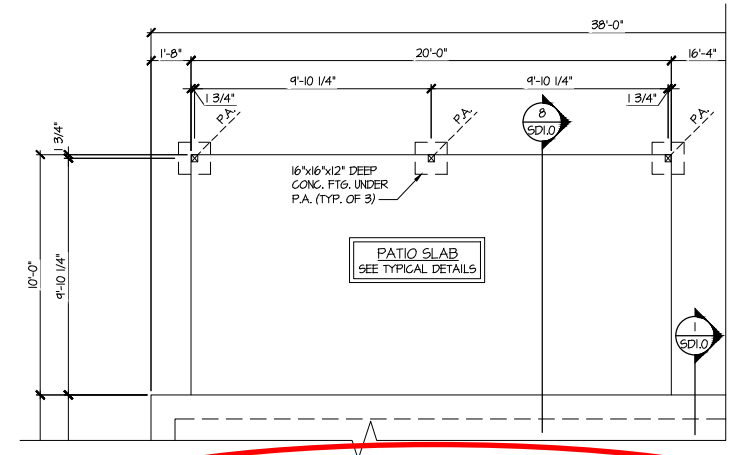
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MONO-SLAB FOUNDATION
 MCGINNIS MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

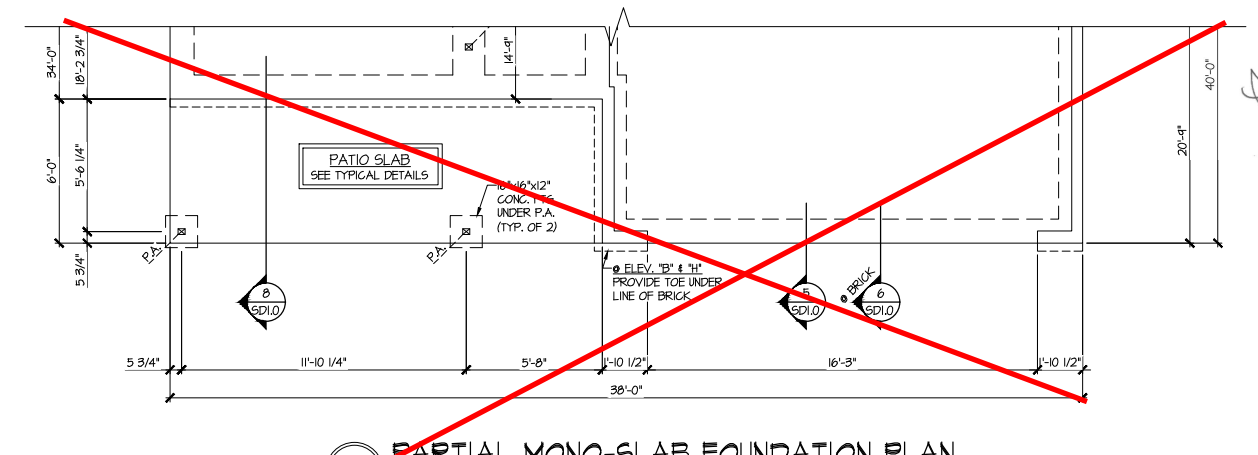
sheet:
S1.0



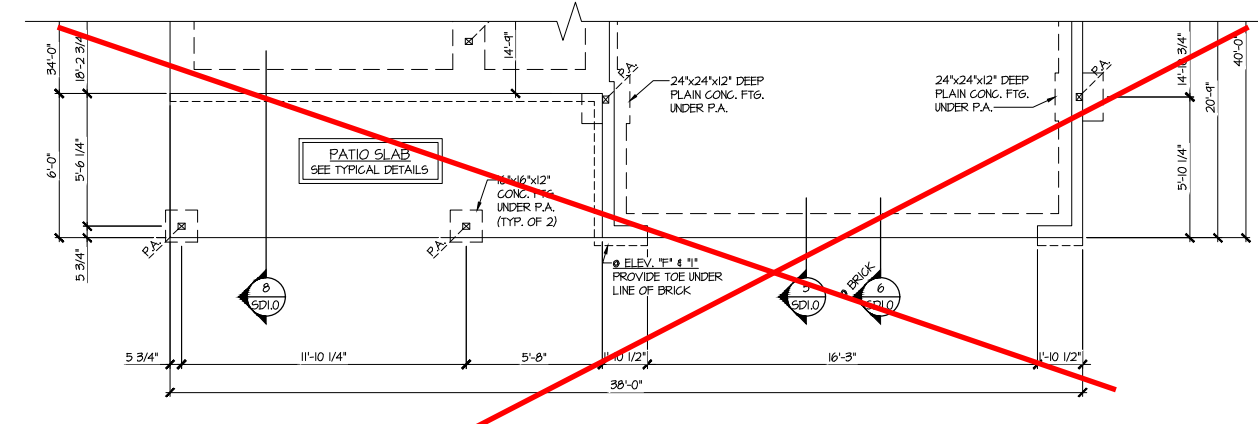
4 PARTIAL MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. COVERED PORCH



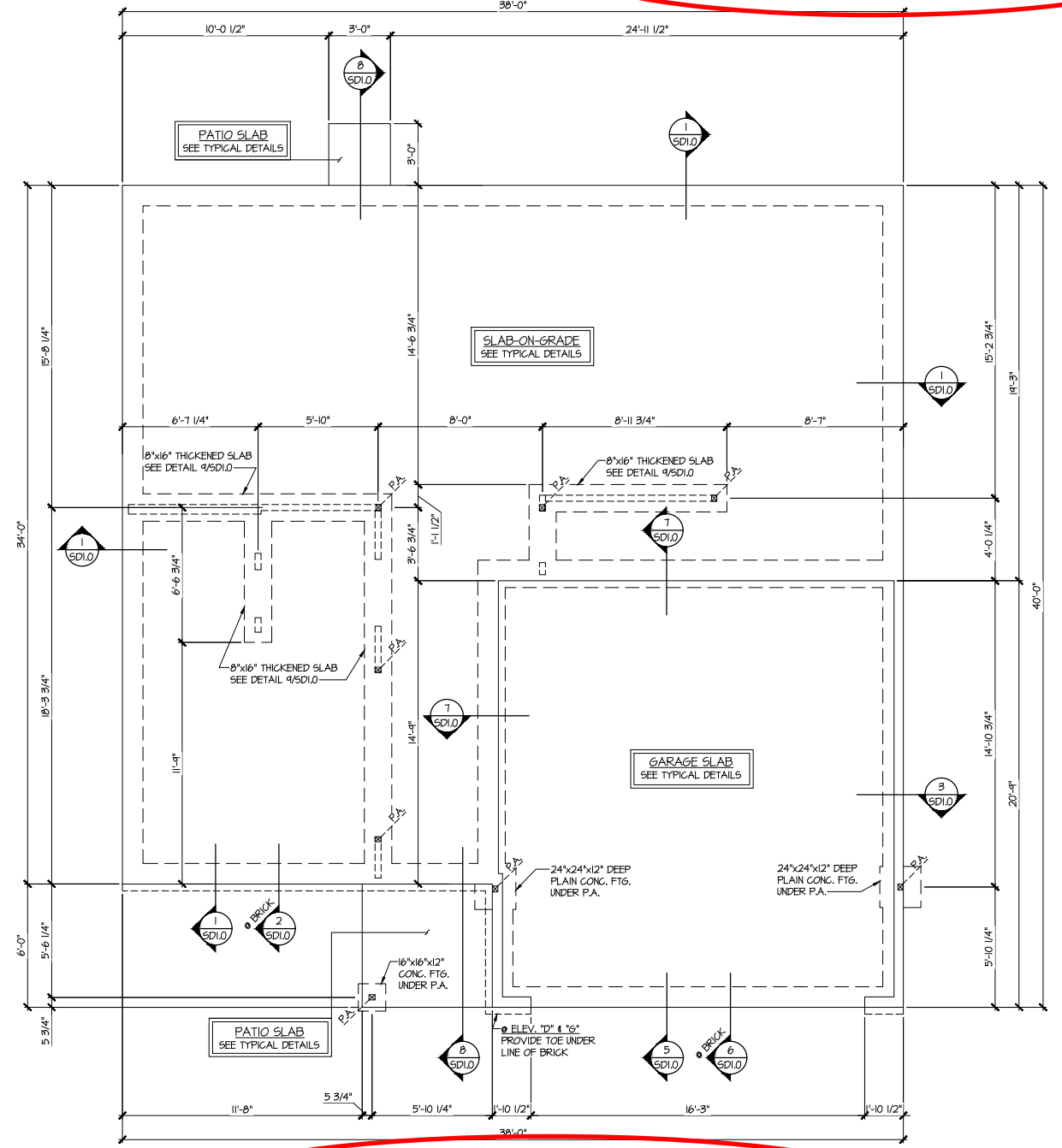
5 PARTIAL MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. LARGE COVERED PORCH



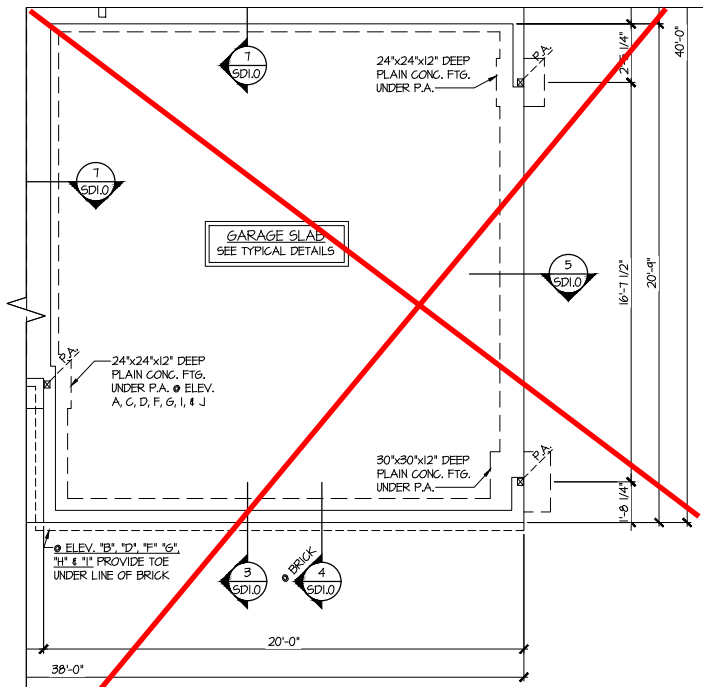
2 PARTIAL MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. B, E, H, & K



3 PARTIAL MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. C, F, & I



1 MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. A, D, G, & J



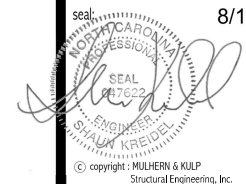
6 PARTIAL MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. SIDE ENTRY GARAGE

**Duncans
 Lot 38**

REFER TO S0.0 FOR TYPICAL
 STRUCTURAL NOTES & SCHEDULES

LEGEND

- RT. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
- OF. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- JL METAL HANGER
- * INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



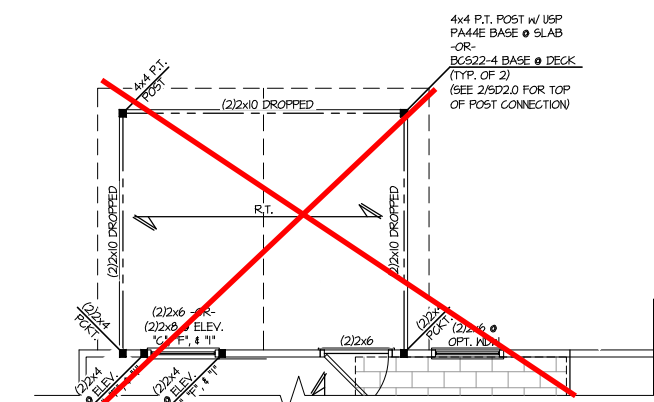
MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
3025 Glenwilde Parkway, Suite 105 - Alpharetta, GA 30022
770-777-8974 - mulhern+kulp.com
NC License # C-3825

Mulhern+Kulp project number:
256-21009
project mgr: **SMK**
drawn by: **MJF**
issue date: **10-26-2021**
REVISIONS:
date: initial:
11/22/21 JPP
MISSED PLANS ADDED
08/18/23 MMD
STRAP, PORTAL FRAME, GARAGE EXT. WALLS

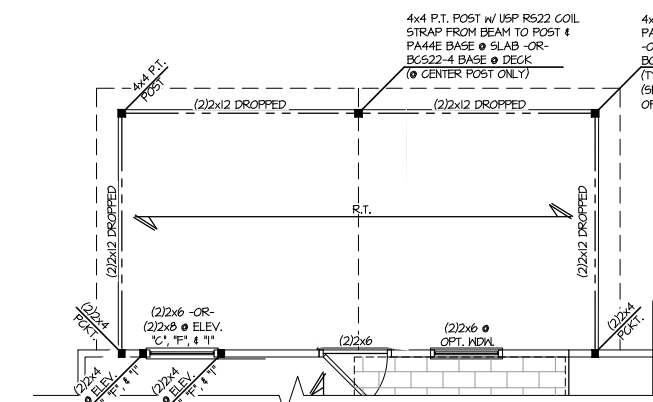
SMITH DOUGLAS
HOMES

2ND FLOOR FRAMING PLAN
MCGINNIS MODEL
120 MPH WIND ZONE
NORTH CAROLINA

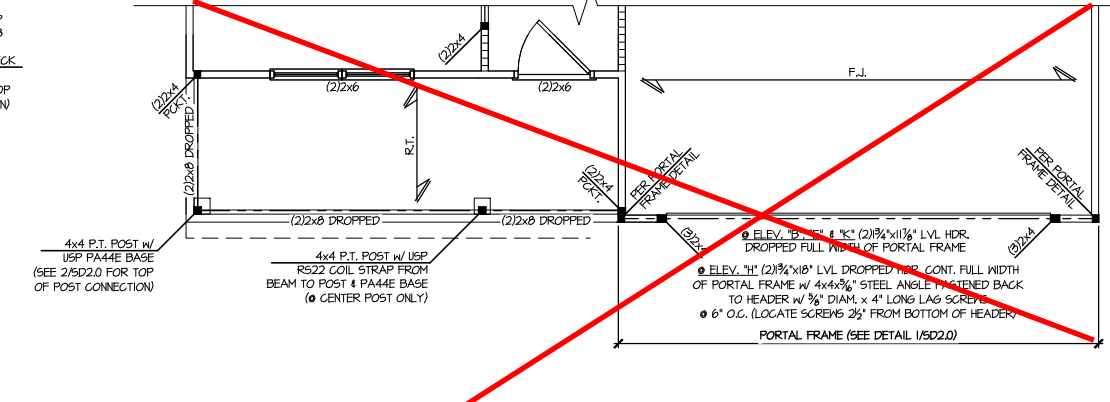
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S3.0



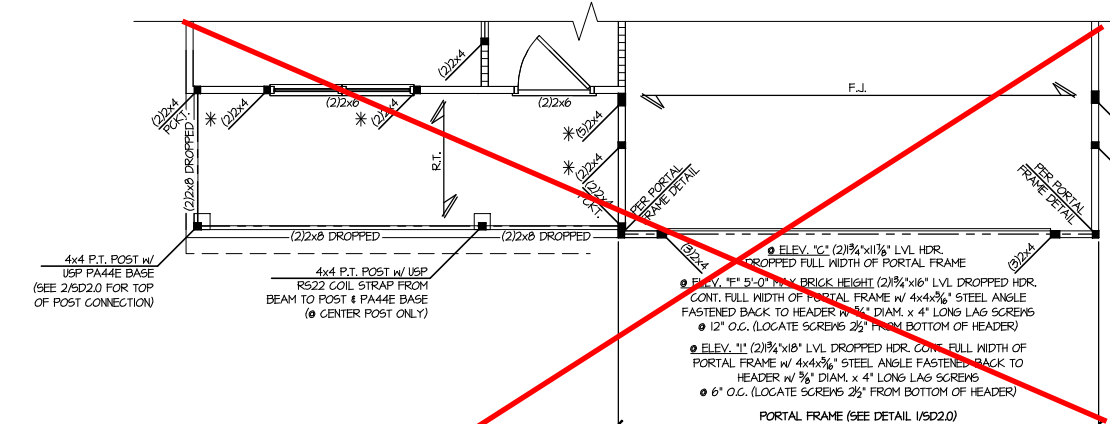
4 PARTIAL 2ND FLOOR FRAMING
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. COVERED PORCH



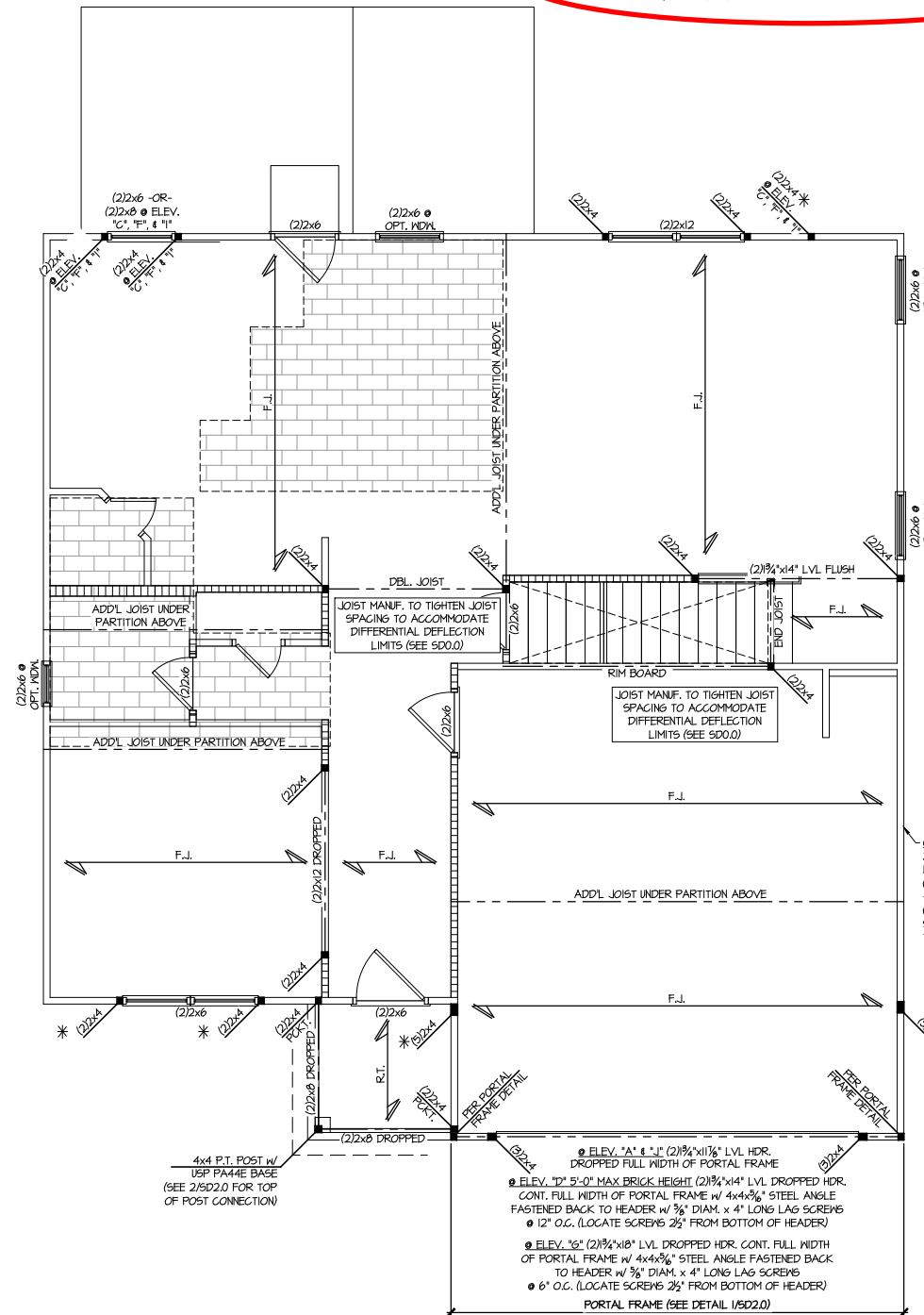
5 PARTIAL 2ND FLOOR FRAMING
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. LARGE COVERED PORCH



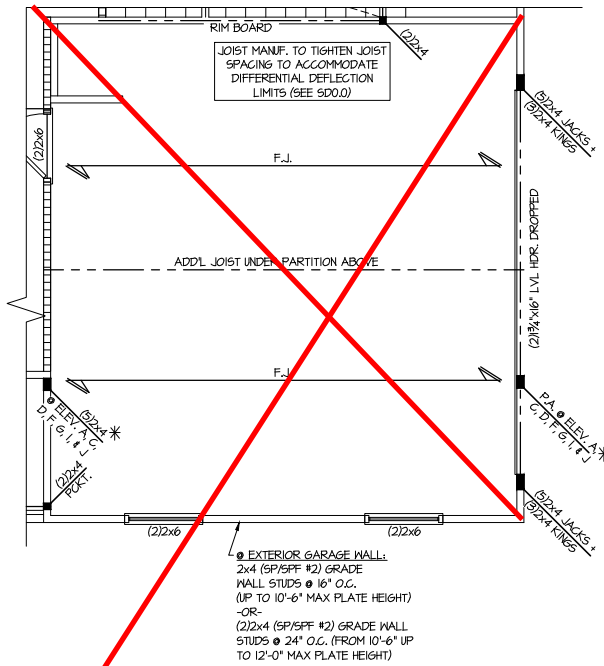
2 PARTIAL 2ND FLOOR FRAMING
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
ELEV. B, E, H, & K



3 PARTIAL 2ND FLOOR FRAMING
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
ELEV. C, F, & I



1 2ND FLOOR FRAMING
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
ELEV. A, D, G, & J



6 PARTIAL 2ND FLOOR FRAMING
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. SIDE ENTRY GARAGE

**Duncans
Lot 38**

REFER TO SDD.0 FOR TYPICAL
STRUCTURAL NOTES & SCHEDULES
THIS LEVEL HAS BEEN DESIGNED
FOR 9'-1" PLATE HEIGHT

LEGEND

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
- OF INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
- [Symbol] INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- [Symbol] INTERIOR BEARING WALL
- [Symbol] BEARING WALL ABOVE (B.W.A.)
- [Symbol] BEAM/HEADER
- [Symbol] METAL HANGER
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REVISIONS:
date: 11/22/21 initial: JPP
MISSED PLANS ADDED
08/18/23 MMD
STRAP, PORTAL FRAME, GARAGE EXT. WALLS

SMITH DOUGLAS
HOMES

1ST FLOOR WALL BRACING PLAN
MCGINNIS MODEL
120 MPH WIND ZONE
NORTH CAROLINA

sheet:
S3.0L

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:
120MPH WIND IN 2018 NCSEBC:RC & 120MPH WIND IN 2018 IRC
(120 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC SECTION 1604) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2018 NCSEBC:RC & 2018 IRC. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSEBC:RC & 2018 IRC SECTION R802.11.1.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 & R802.11.

MHC STD. - MAR 2016

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:
FASTEN SHEATHING w/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. UNO.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

3" O.C. EDGE NAILING

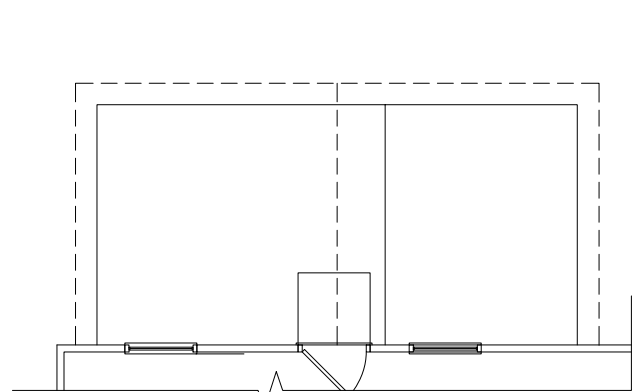
- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACINGS, UNO.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

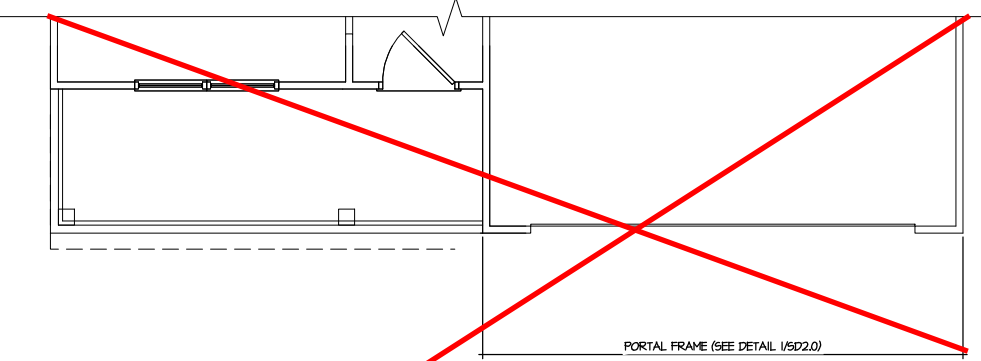
--- INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING
▶ INDICATES HOLDDOWN

MHC STD. - MAR 2016

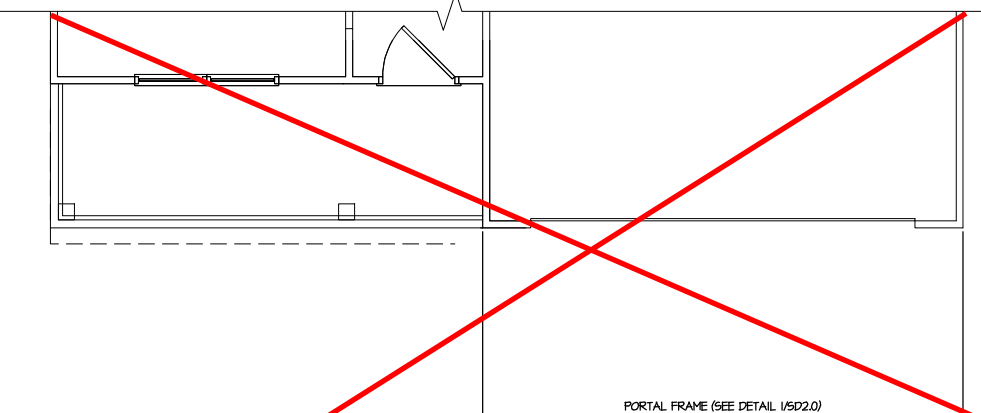


5 PARTIAL 1ST FLOOR WALL BRACING
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. LARGE COVERED PORCH

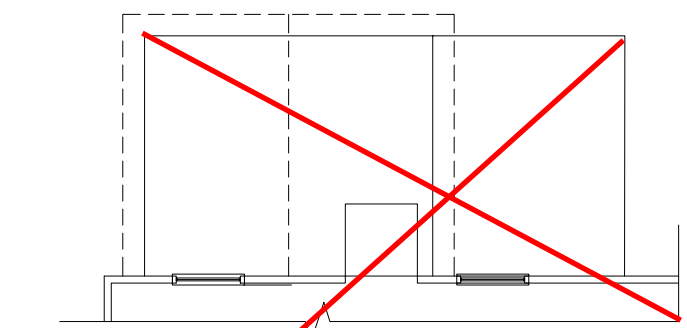
NOTE:
NO ADD'L SHEARWALL REQUIREMENTS ARE REQUIRED BEYOND THE STANDARD EXTERIOR WALL SHEATHING SPECIFICATION FOR THIS OPTION



2 PARTIAL 1ST FLOOR WALL BRACING
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
ELEV. B, E, H, & K

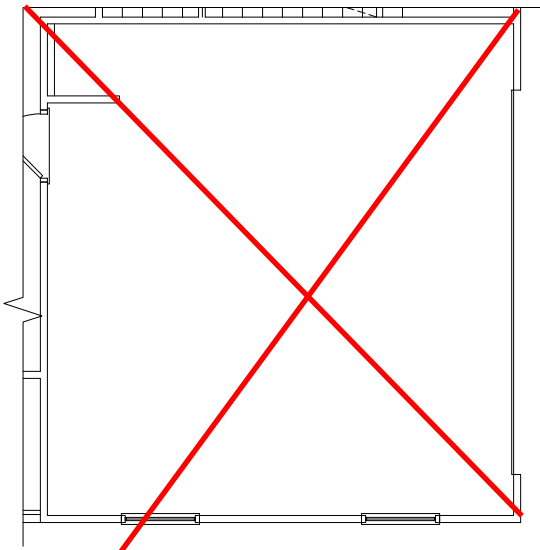


3 PARTIAL 1ST FLOOR WALL BRACING
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
ELEV. C, F, & I



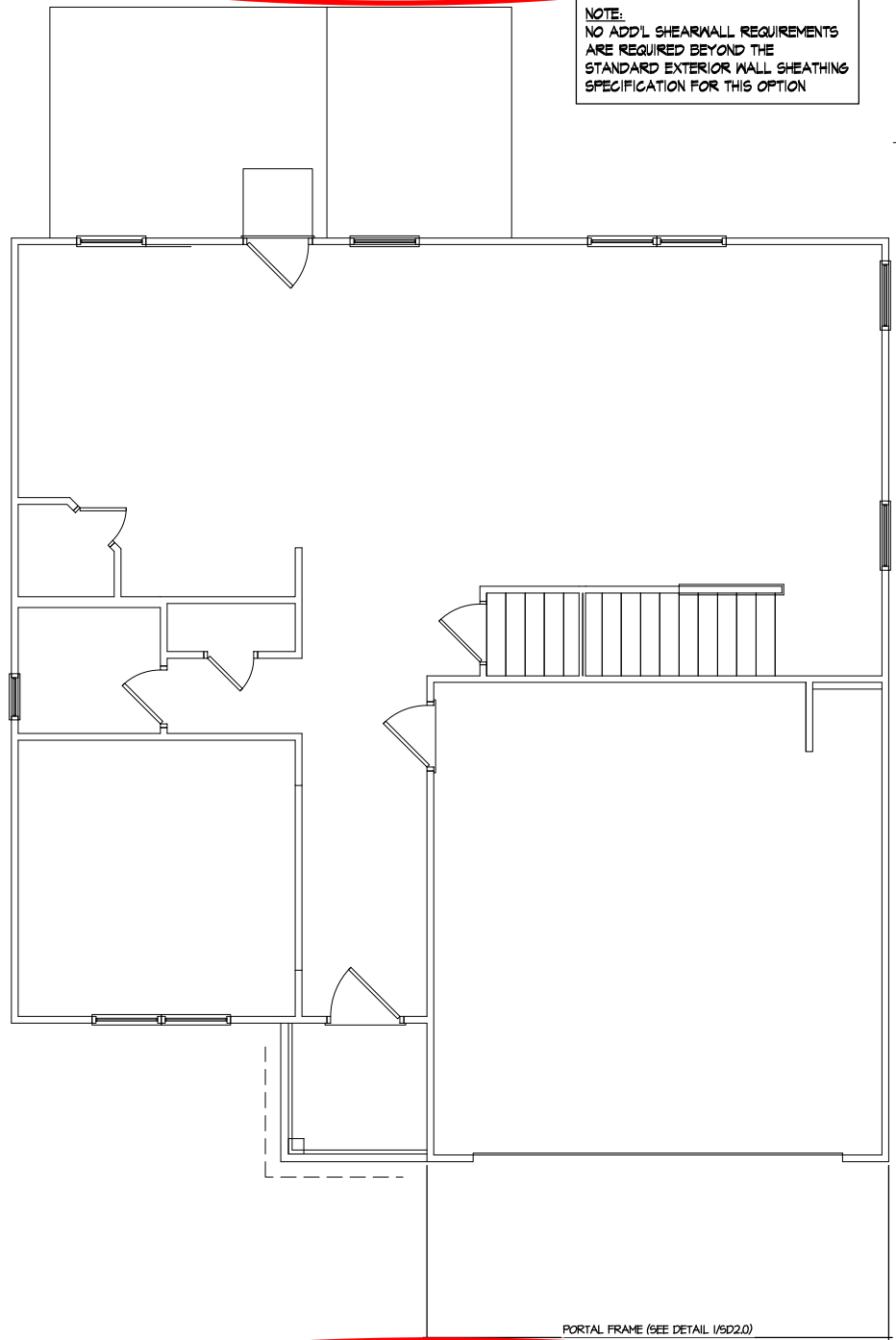
4 PARTIAL 1ST FLOOR WALL BRACING
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. COVERED PORCH

NOTE:
NO ADD'L SHEARWALL REQUIREMENTS ARE REQUIRED BEYOND THE STANDARD EXTERIOR WALL SHEATHING SPECIFICATION FOR THIS OPTION



6 PARTIAL 1ST FLOOR WALL BRACING
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. SIDE ENTRY GARAGE

NOTE:
NO ADD'L SHEARWALL REQUIREMENTS ARE REQUIRED BEYOND THE STANDARD EXTERIOR WALL SHEATHING SPECIFICATION FOR THIS OPTION



1 1ST FLOOR WALL BRACING
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
ELEV. A, D, G, & J

Duncans Lot 38

REFER TO 50.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

LEGEND

- RT. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
- OF. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
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- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- JL METAL HANGER
- * INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



Mulhern+Kulp project number:
256-21009
 project mgr: **SMK**
 drawn by: **MJF**
 issue date: **10-26-2021**

REVISIONS:

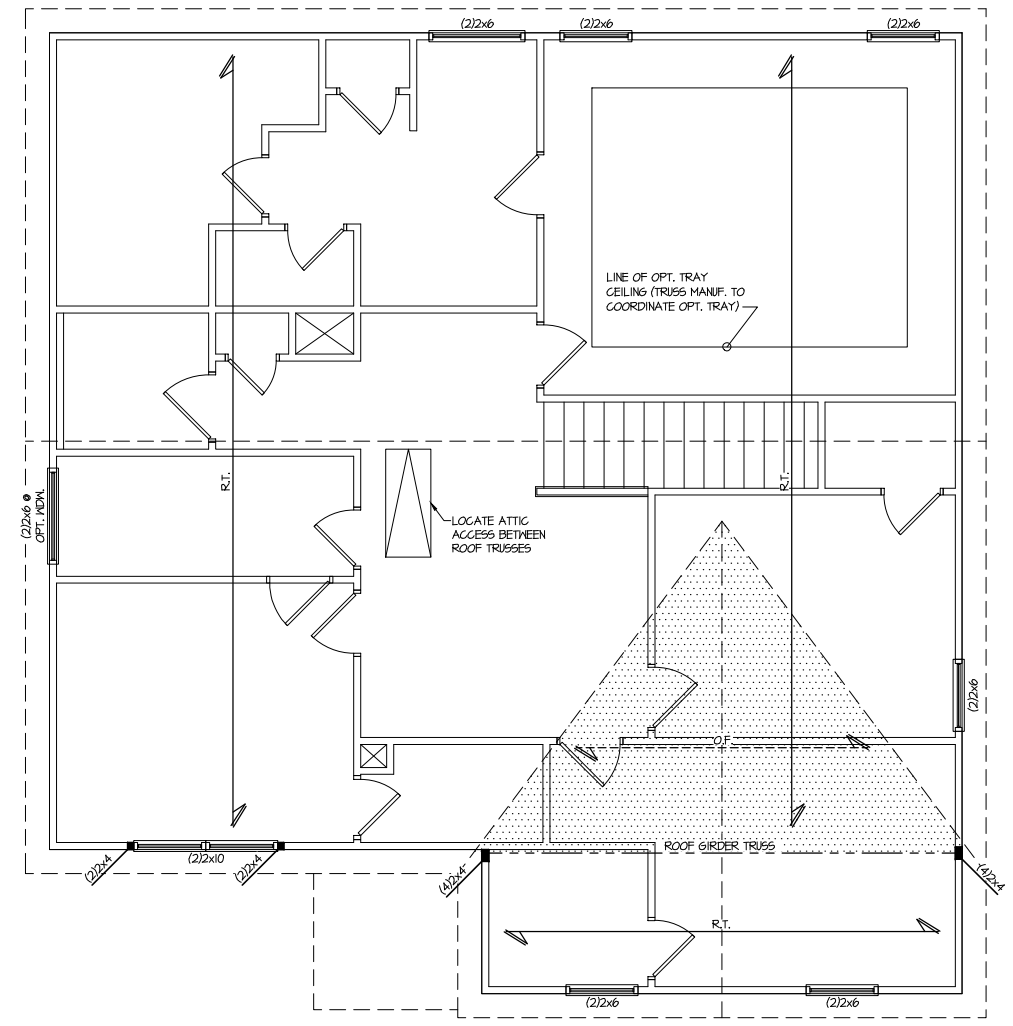
date:	initial:
11/22/21	JPP
08/18/23	MMD

MISSED PLANS ADDED
 STRAP, PORTAL FRAME, GARAGE EXT. WALLS

SMITH DOUGLAS
 HOMES

**Duncans
 Lot 38**

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT
 REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES



1 **ROOF FRAMING PLAN**
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. A, D, G, & J

LEGEND

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- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- JL METAL HANGER
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ROOF FRAMING PLAN

MCGINNIS MODEL

120 MPH WIND ZONE
 NORTH CAROLINA

sheet:

S4.0



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11/22/21 JPP
MISSED PLANS ADDED
08/18/23 MMD
STRAP, PORTAL FRAME, GARAGE EXT. WALLS

SMITH DOUGLAS
HOMES

2ND FLOOR WALL BRACING PLAN
MCGINNIS MODEL
120 MPH WIND ZONE
NORTH CAROLINA

sheet:
S4.0L

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:
120MPH WIND IN 2018 NCSBG:RC
& **120MPH WIND IN 2018 IRC**
(120 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC SECTION 1604) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2018 NCSBG:RC & 2018 IRC. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

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MHC STD. - MAR 2016

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:
FASTEN SHEATHING w/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

3" O.C. EDGE NAILING

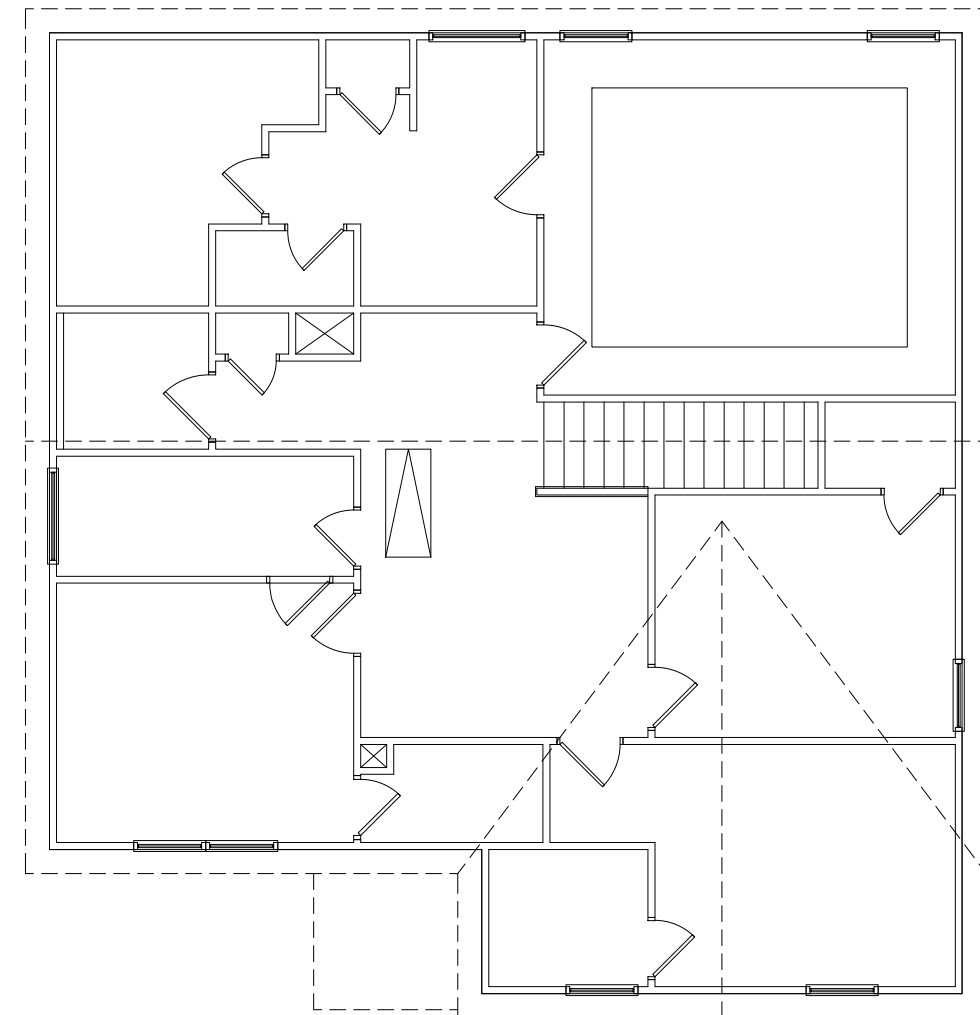
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NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
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- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

--- INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING
▶ INDICATES HOLDDOWN

MHC STD. - MAR 2016



NOTE:
NO ADD'L SHEARWALL REQUIREMENTS ARE REQUIRED BEYOND THE STANDARD EXTERIOR WALL SHEATHING SPECIFICATION FOR THIS ELEVATION

2ND FLOOR WALL BRACING PLAN
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
ELEV. A, D, G, & J

**Duncans
Lot 38**

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT
REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
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 drawn by: MJF
 issue date: 10-26-2021

REVISIONS:

date:	initial:
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08/18/23	MMD

MISSED PLANS ADDED
 STRAP, PORTAL FRAME, GARAGE EXT. WALLS

SMITH DOUGLAS
 HOMES

**Duncans
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REFER TO S0.0 FOR TYPICAL
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THIS LEVEL HAS BEEN DESIGNED
 FOR 9'-1" PLATE HEIGHT

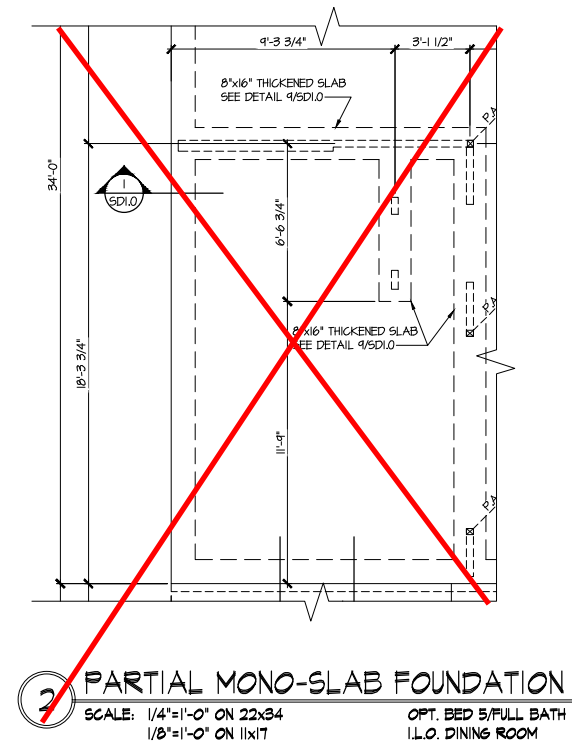
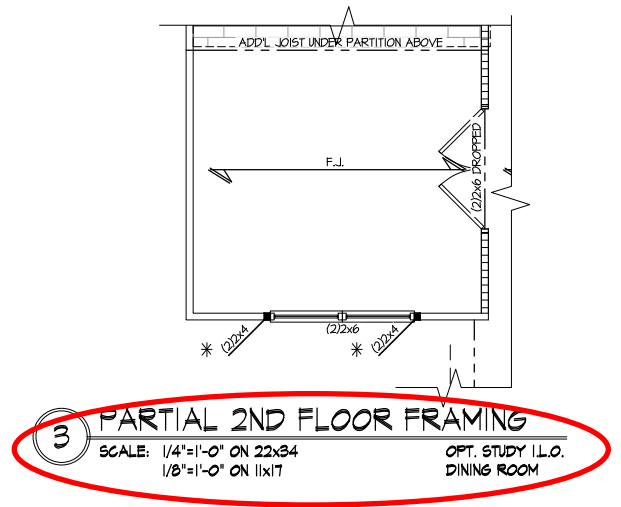
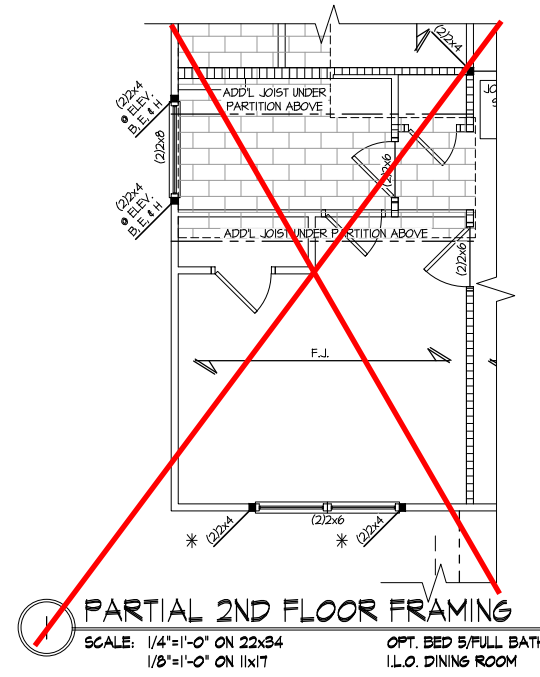
OPTIONS

MCGINNIS MODEL

120 MPH WIND ZONE
 NORTH CAROLINA

sheet:

S5.0



LEGEND

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- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
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HOMES

OPTIONS
MCGINNIS MODEL
120 MPH WIND ZONE
NORTH CAROLINA

sheet:
S5.0L

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

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(120 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

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MHC STD. - MAR 2016

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:
FASTEN SHEATHING w/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

3" O.C. EDGE NAILING

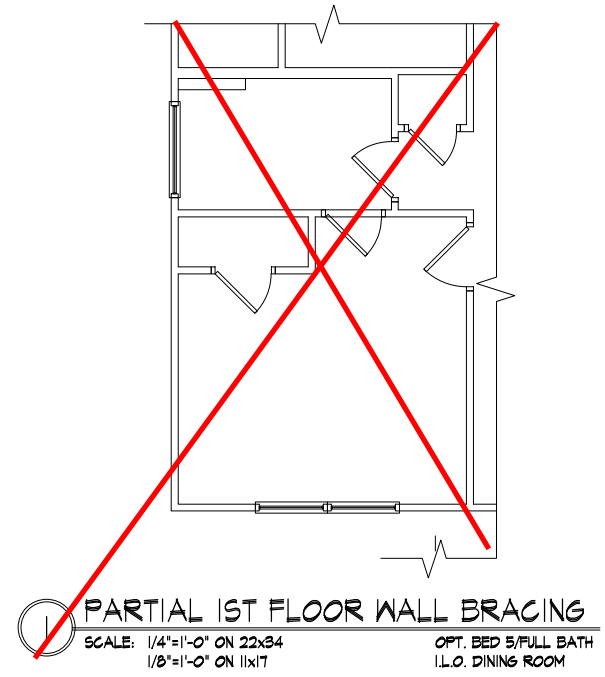
- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

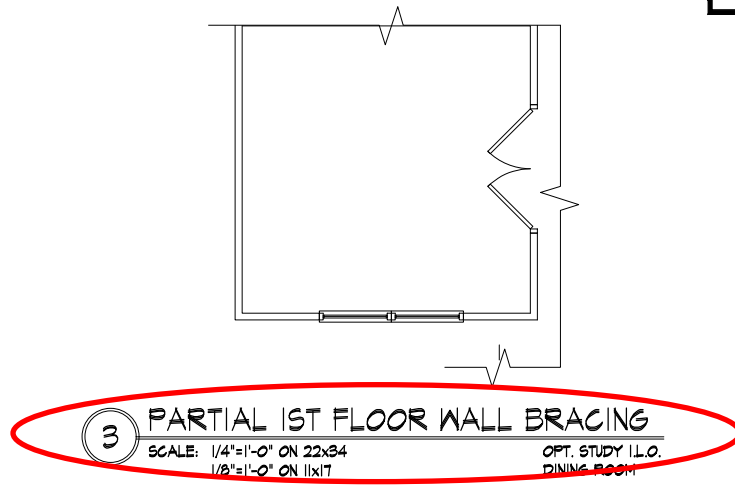
- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACINGS, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

--- INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING
▶ INDICATES HOLDDOWN

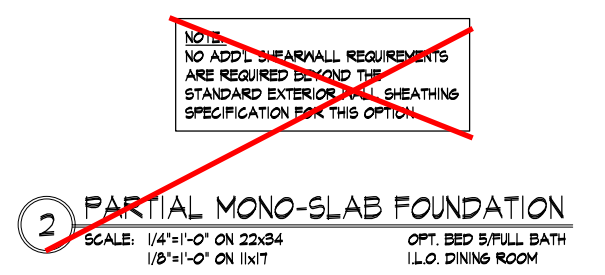
MHC STD. - MAR 2016



NOTE:
NO ADD'L SHEARWALL REQUIREMENTS ARE REQUIRED BEYOND THE STANDARD EXTERIOR WALL SHEATHING SPECIFICATION FOR THIS OPTION



NOTE:
NO ADD'L SHEARWALL REQUIREMENTS ARE REQUIRED BEYOND THE STANDARD EXTERIOR WALL SHEATHING SPECIFICATION FOR THIS OPTION



NOTE:
NO ADD'L SHEARWALL REQUIREMENTS ARE REQUIRED BEYOND THE STANDARD EXTERIOR WALL SHEATHING SPECIFICATION FOR THIS OPTION

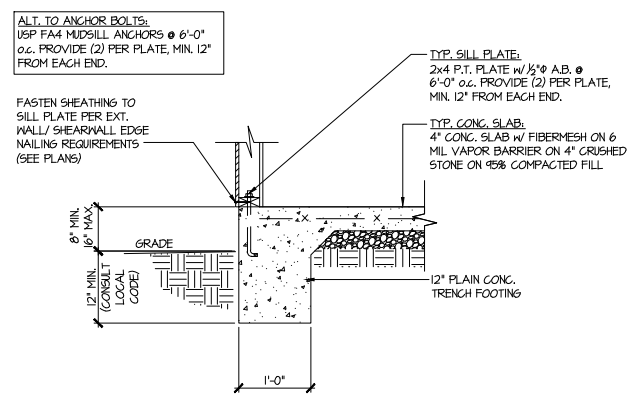
Duncans Lot 38

REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

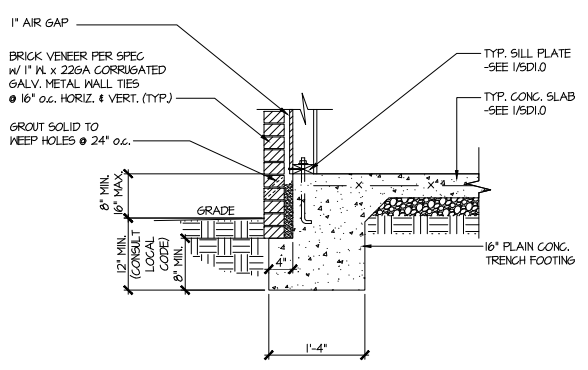
THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

LEGEND

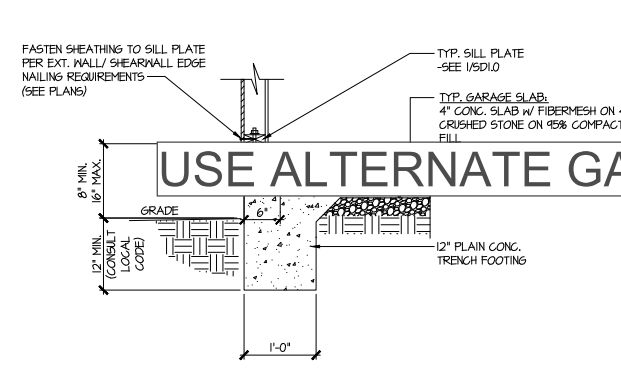
- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



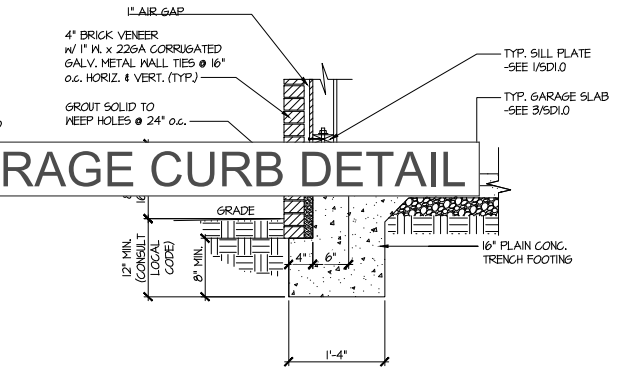
1 TYPICAL SLAB ON GRADE PERIMETER FOOTING



2 TYPICAL SLAB ON GRADE PERIMETER FOOTING w/ BRICK VENEER

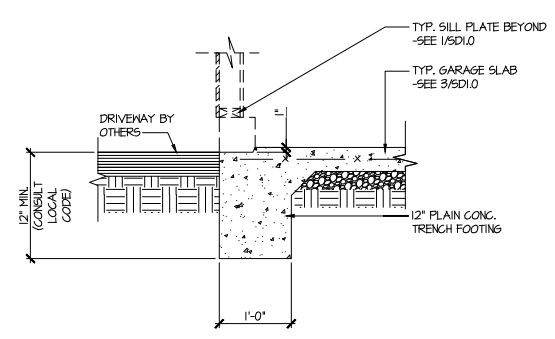


3 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

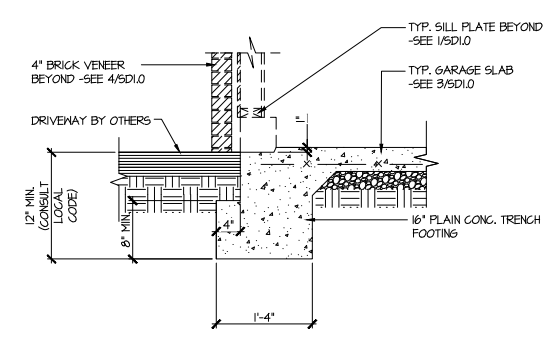


4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING w/ BRICK VENEER

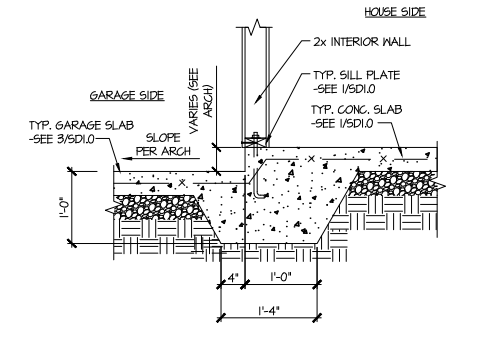
USE ALTERNATE GARAGE CURB DETAIL



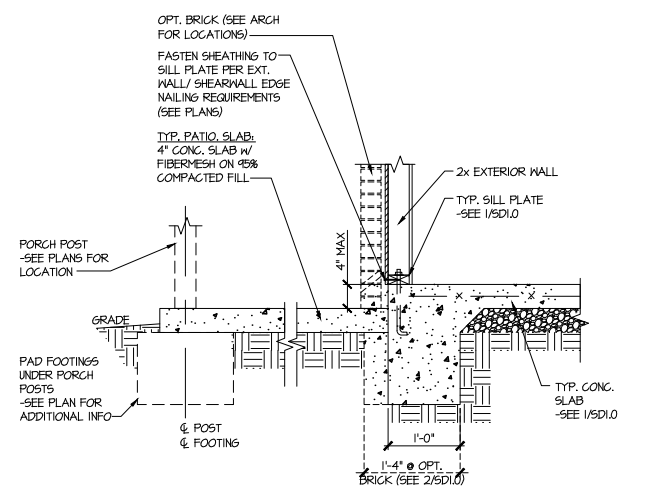
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



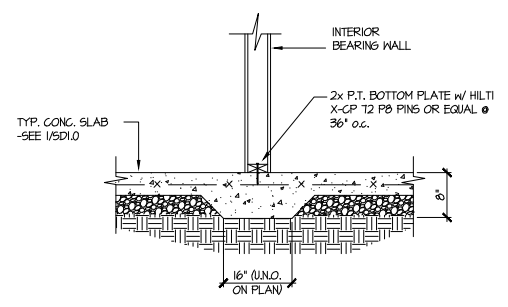
6 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING w/ BRICK VENEER



7 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



8 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



9 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

MULHERN+KULP
 RESIDENTIAL STRUCTURAL ENGINEERING
 3025 Greenhills Parkway, Suite 105 - Alpharetta, GA 30022
 770-777-8974 - mulhern+kulp.com
 NC License # C-3825

Mulhern+Kulp project number:	256-21009
project mgr:	SMK
drawn by:	MJF
issue date:	10-26-2021
REVISIONS:	
date:	initial:
11/22/21	JPP
08/18/23	MMD
STRAP, PORTAL FRAME, GARAGE EXT. WALLS	

SMITH DOUGLAS
 HOMES

FOUNDATION DETAILS
 MCGINNIS MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

Duncans
 Lot 38

sheet:
SD1.0



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING

3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

August 18, 2023

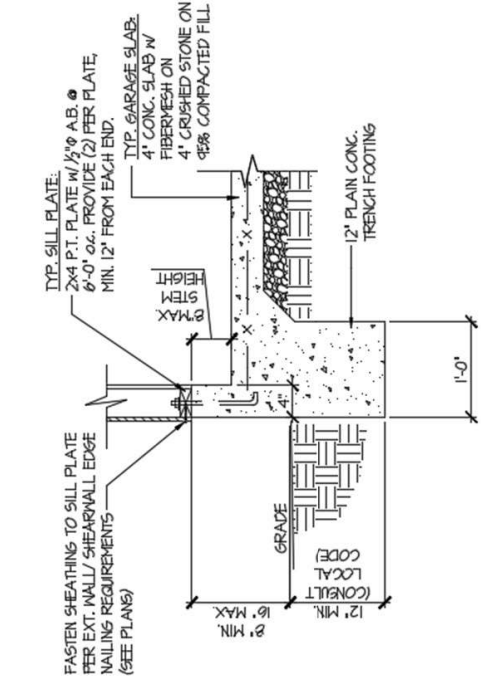
Jody Hunt
Director of Product Development
SMITH DOUGLAS HOMES
110 Village Trail, Suite 215
Woodstock, GA 30188

ALTERNATE GARAGE CURB DETAIL
Smith Douglas Homes

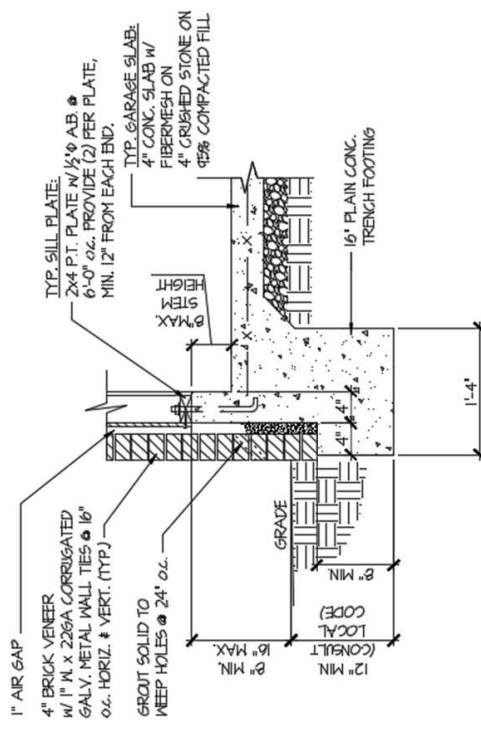
Reference
Current Structural Plans prepared by Mulhern & Kulp

Jody:

Pursuant to your request, we have prepared this letter to address the “Alternate Garage Curb Details”, prepared by Mulhern & Kulp for Smith Douglas Homes shown below. The foundation details shown below call for a 4” wide curb with a maximum of 8” stem wall height; these are an acceptable alternative to the 6” wide curb at the garage per M&K foundation details 3 & 4 on sheet SD-1.0 at 2x4 garage wall locations.



(A) TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



(B) TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

Please feel free to call if you have any questions.

Respectfully,

MULHERN & KULP STRUCTURAL ENGINEERING, INC.

NC License # C-3825

Shaun M. Kreidel, P.E. Project Manager + Atlanta Office Director



Signature + Seal 08/18/2023

Mulhern+Kulp project number:
256-21009

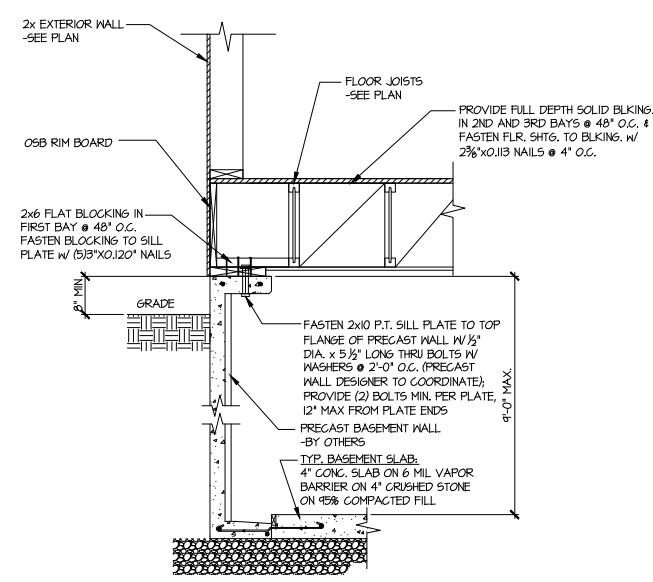
project mgr: **SMK**
 drawn by: **MJF**
 issue date: **10-26-2021**

REVISIONS:

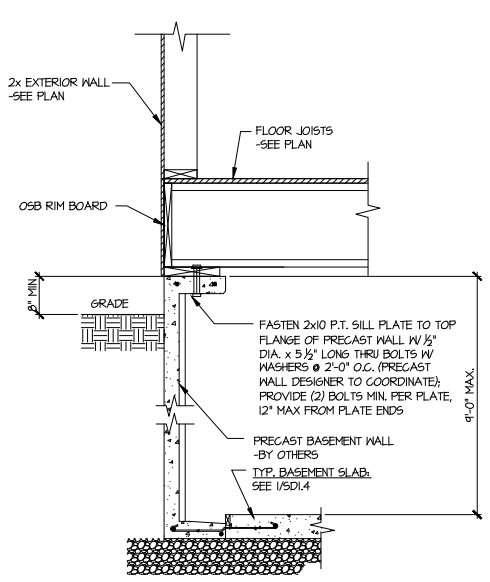
date:	initial:
11/22/21	JPP
MISSED PLANS ADDED	
08/18/23	MMD
STRAP, PORTAL FRAME, GARAGE EXT. WALLS	

SMITH DOUGLAS
 HOMES

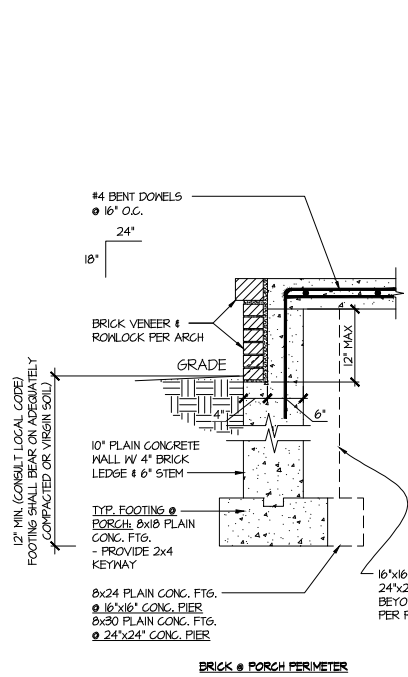
FOUNDATION DETAILS
MCGINNIS MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA



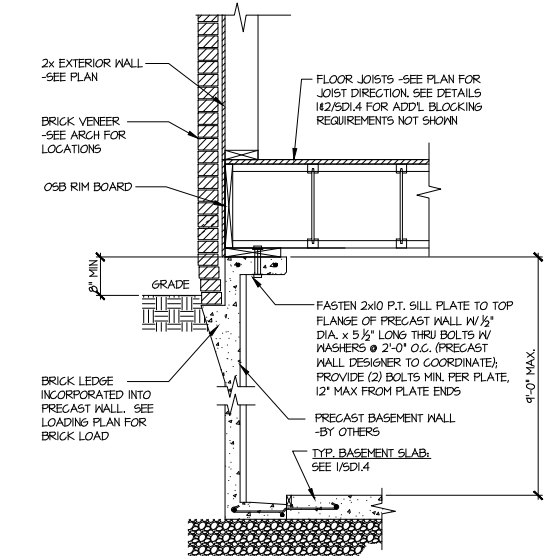
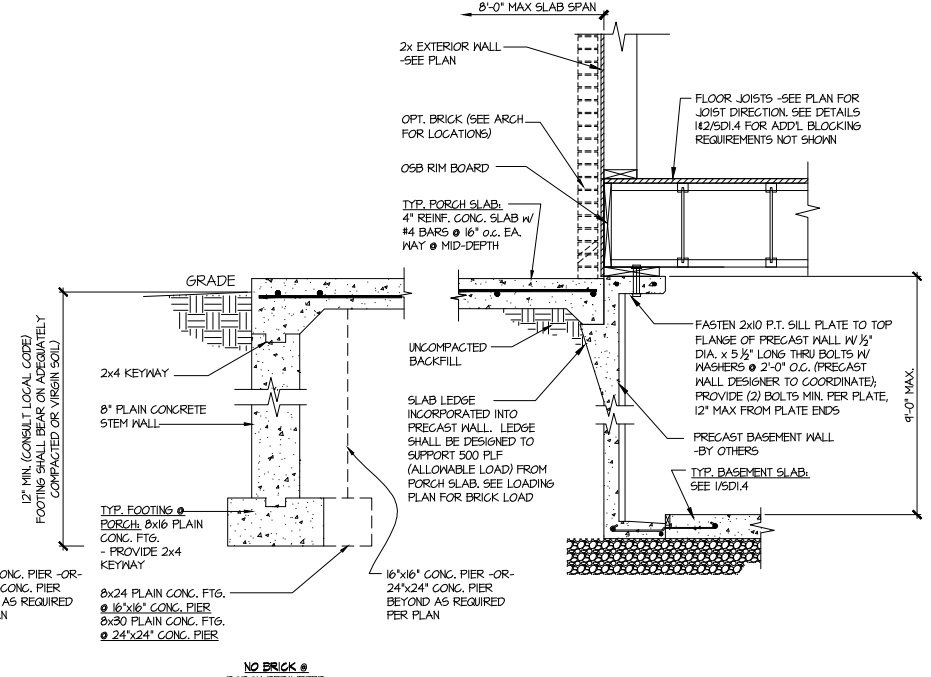
1 SECTION
 SCALE: 3/4"=1'-0"



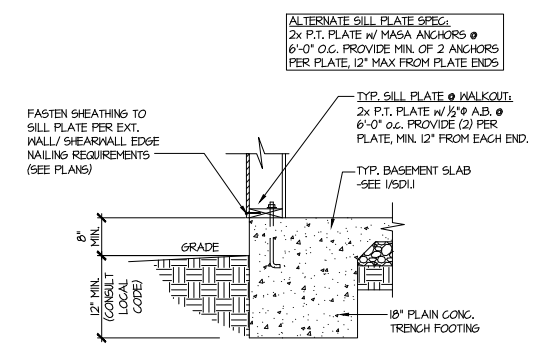
1A SECTION
 SCALE: 3/4"=1'-0"



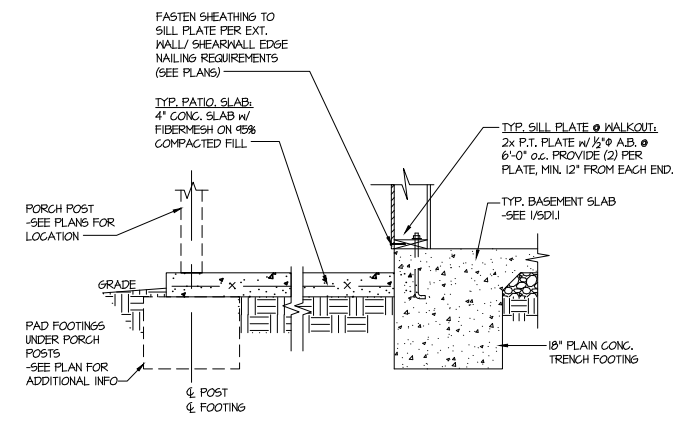
3 SECTION
 SCALE: 3/4"=1'-0"



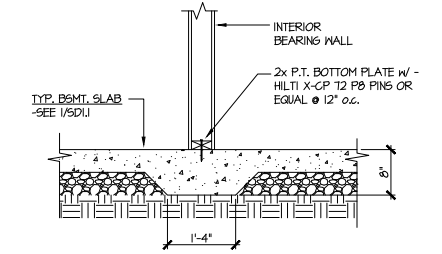
2 SECTION
 SCALE: 3/4"=1'-0"



4 TYPICAL BASEMENT FOUNDATION @ WALKOUT



5 TYPICAL BASEMENT FOUNDATION @ WALKOUT



6 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

Duncans
 Lot 38

Mulhern+Kulp project number:
 256-21009

project mgr: SMK
 drawn by: MJF
 issue date: 10-26-2021

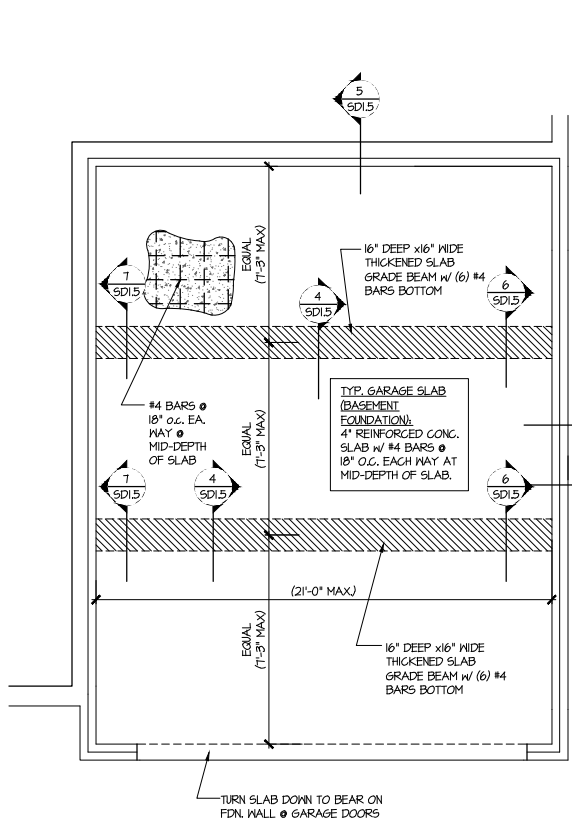
REVISIONS:

date:	initial:
11/22/21	JPP
08/18/23	MMD

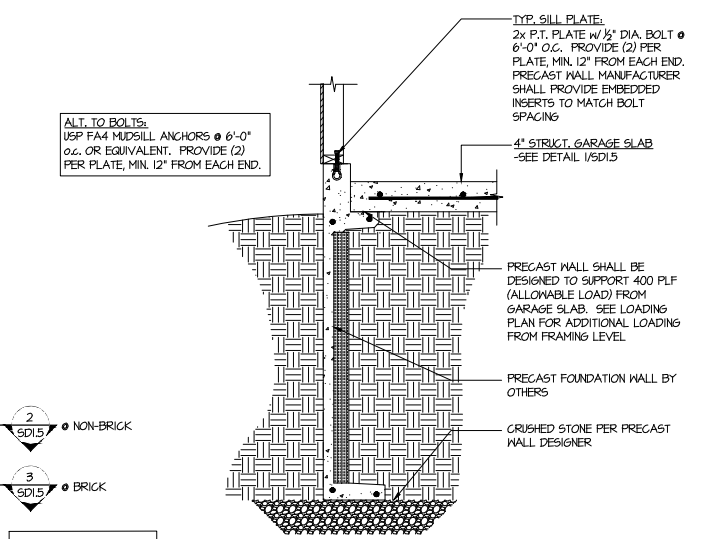
STRAP, PORTAL FRAME, GARAGE EXT. WALLS

SMITH DOUGLAS
 HOMES

FOUNDATION DETAILS
 MCGINNIS MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA



1 **GENERIC FOUNDATION PLAN KEY @ GARAGE**
 SCALE: 1/4"=1'-0"

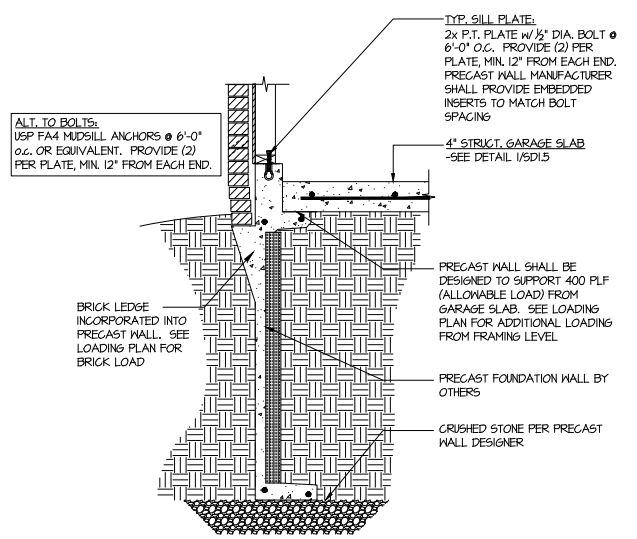


2 **TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION**

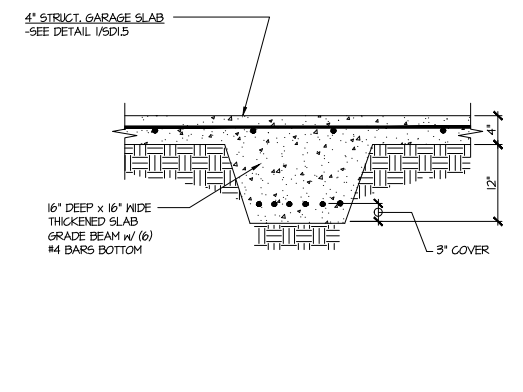
2 \varnothing SD1.5 \varnothing NON-BRICK
 3 \varnothing SD1.5 \varnothing BRICK

SLAB THICKNESS SHOWN IS MIN. THICKNESS REQ'D - SLOPE OF SLAB SHALL NOT COMPROMISE MIN. THICKNESS

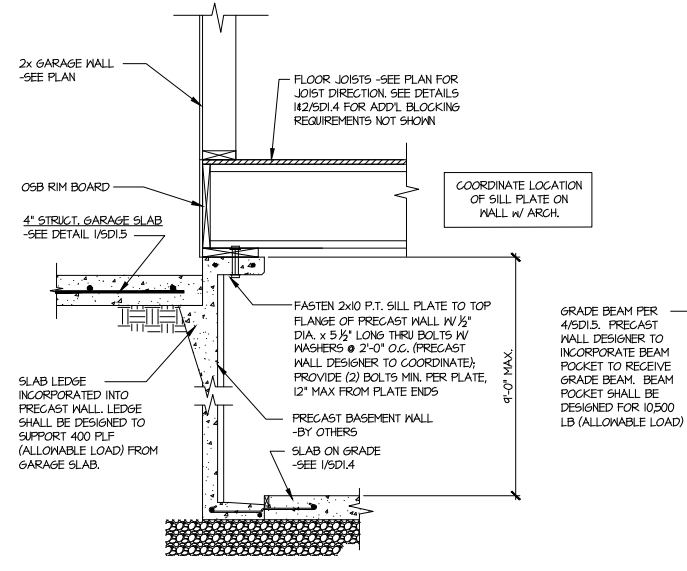
SEE ARCHITECTURAL PLANS FOR ACTUAL GARAGE DIMENSIONS



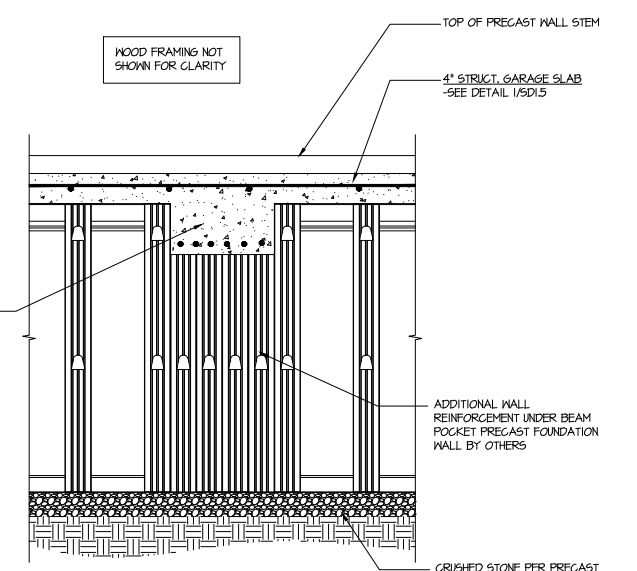
3 **TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION (BRICK)**



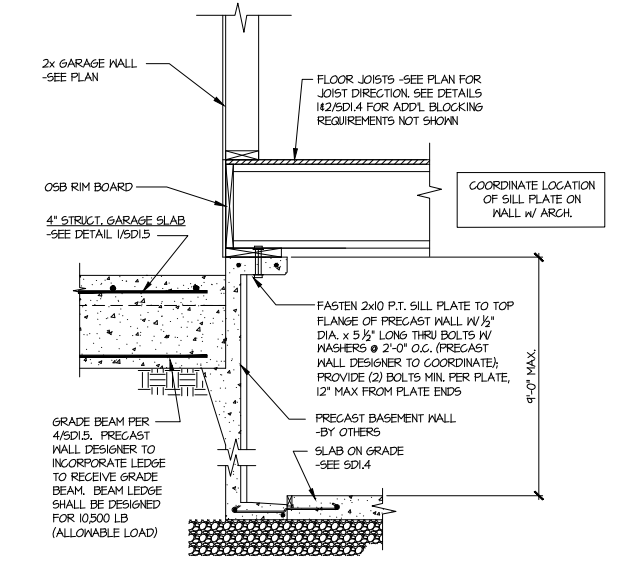
4 **TYPICAL CONCRETE GRADE BEAM @ GARAGE FDN.**
 SCALE: 3/4"=1'-0"



5 **CONCRETE BSMT. FDN. WALL @ GARAGE**



6 **SECTION**
 SCALE: 3/4"=1'-0"



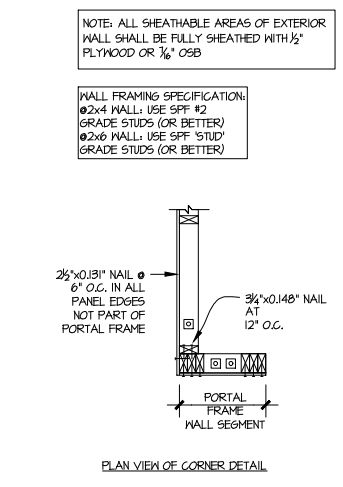
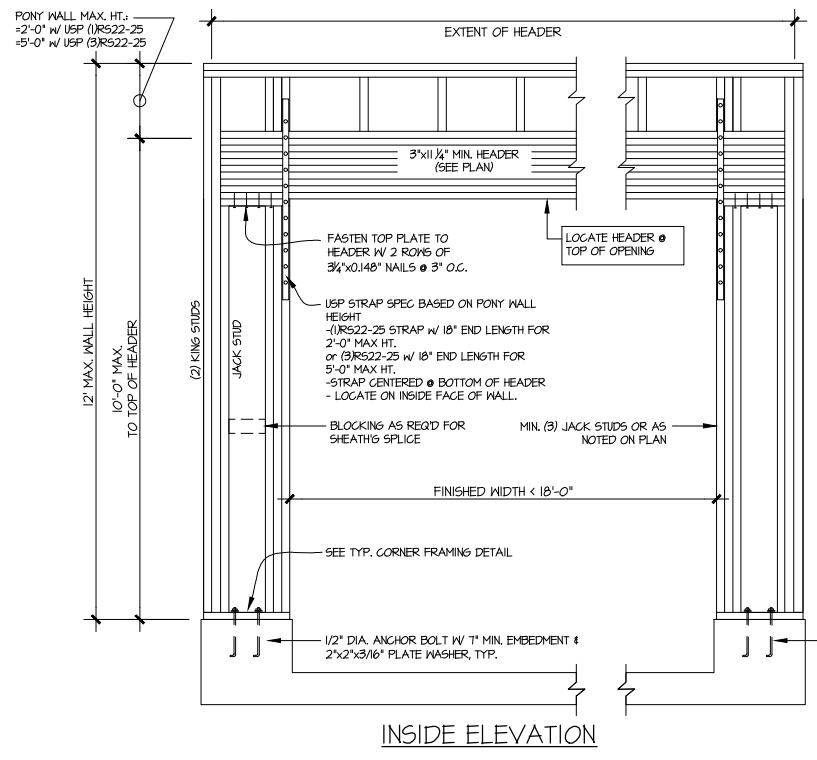
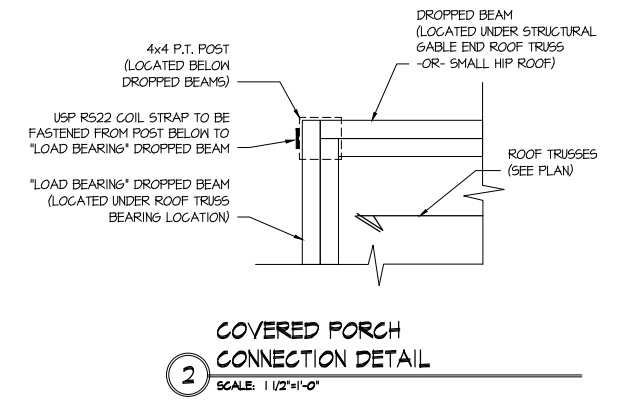
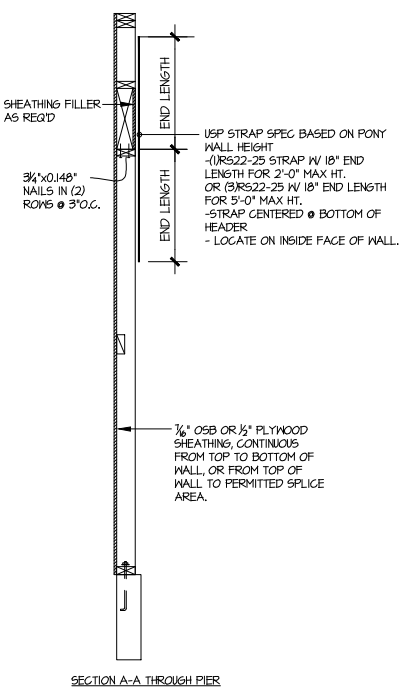
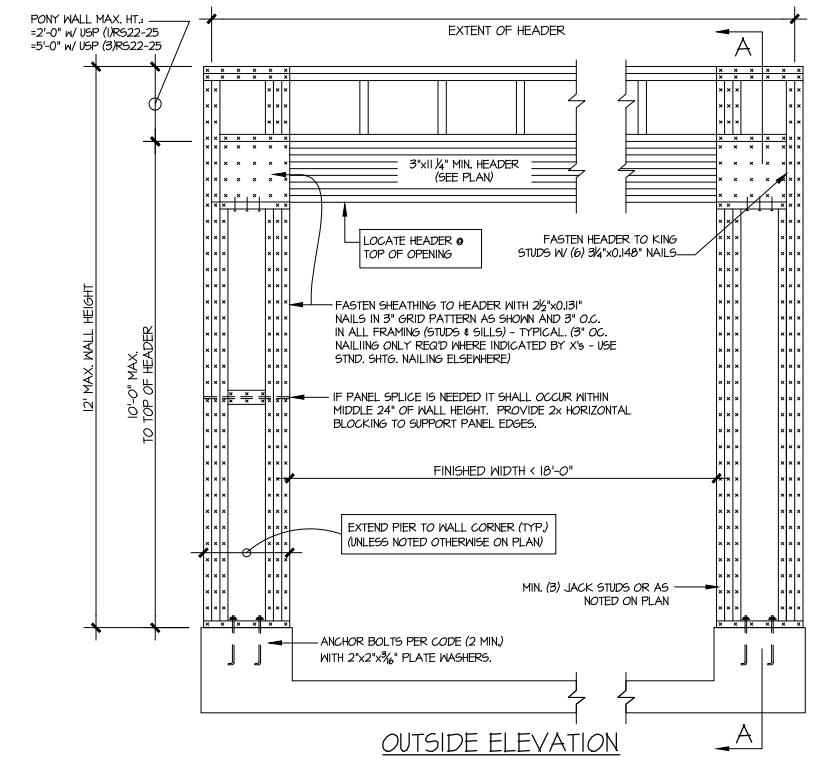
7 **SECTION**
 SCALE: 3/4"=1'-0"

Duncans
 Lot 38

Mulhern+Kulp project number:	256-21009
project mgr:	SMK
drawn by:	MJF
issue date:	10-26-2021
REVISIONS:	
date:	initial:
11/22/21	JPP
MISSED PLANS ADDED	
08/18/23	MMD
STRAP, PORTAL FRAME, GARAGE EXT. WALLS	

SMITH DOUGLAS
 HOMES

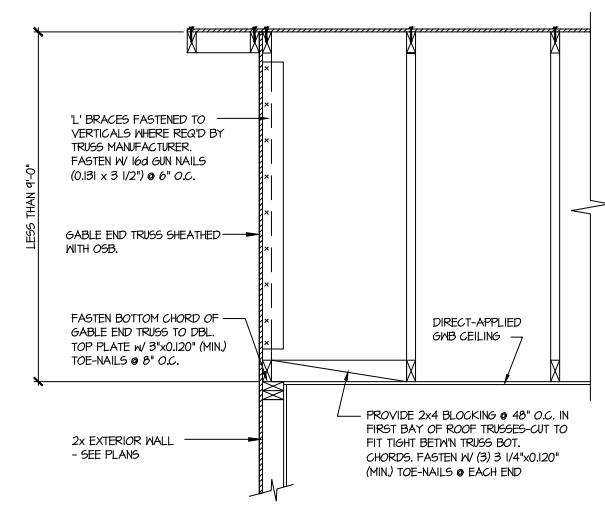
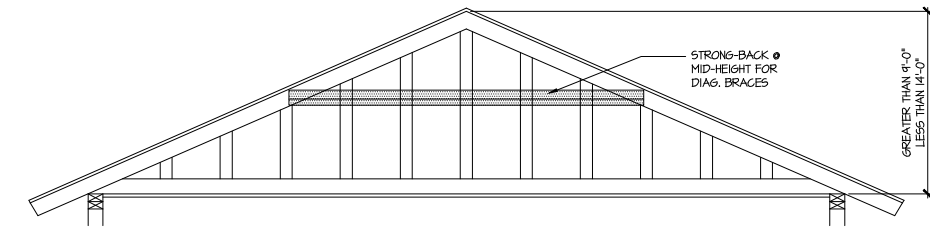
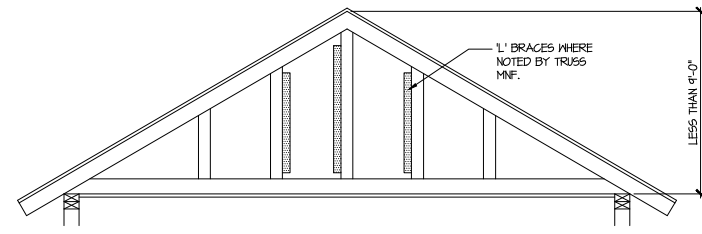
FRAMING DETAILS
 MCGINNIS MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA



ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
 1) 1/2" DIA. THREADED ROD EPOXY SET W/4 1/2" EMB.
 (MIN UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM OR EQUAL)

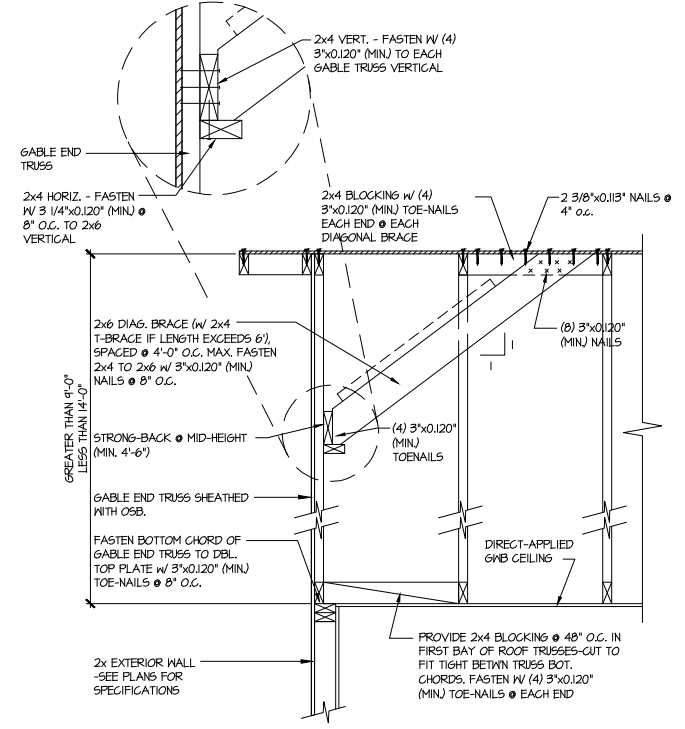
GARAGE PORTAL FRAME BRACING ELEVATION
 SCALE: N.T.S. BOTH SIDES OF GARAGE DOOR
 120 MPH WIND SPEED (ULT)

Duncans
 Lot 38



A TYPICAL GABLE END BRACING DETAIL
 SCALE: NONE
 REQ'D • GABLE END TRUSS HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



B TYPICAL GABLE END BRACING DETAIL
 SCALE: NONE
 REQ'D • GABLE END TRUSS HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

MULHERN+KULP
 RESIDENTIAL STRUCTURAL ENGINEERING
 3025 Glenwilde Parkway, Suite 105 - Alpharetta, GA 30022
 770-777-8974 • mulhern+kulp.com
 NC License # C-3825

Mulhern+Kulp project number:
256-21009

project mgr: **SMK**
 drawn by: **MJF**
 issue date: **10-26-2021**

REVISIONS:

date:	initial:
11/22/21	JPP
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STRAP, PORTAL FRAME, GARAGE EXT. WALLS	

SMITH DOUGLAS
 HOMES

FRAMING DETAILS

MCGINNIS MODEL

120 MPH WIND ZONE
 NORTH CAROLINA

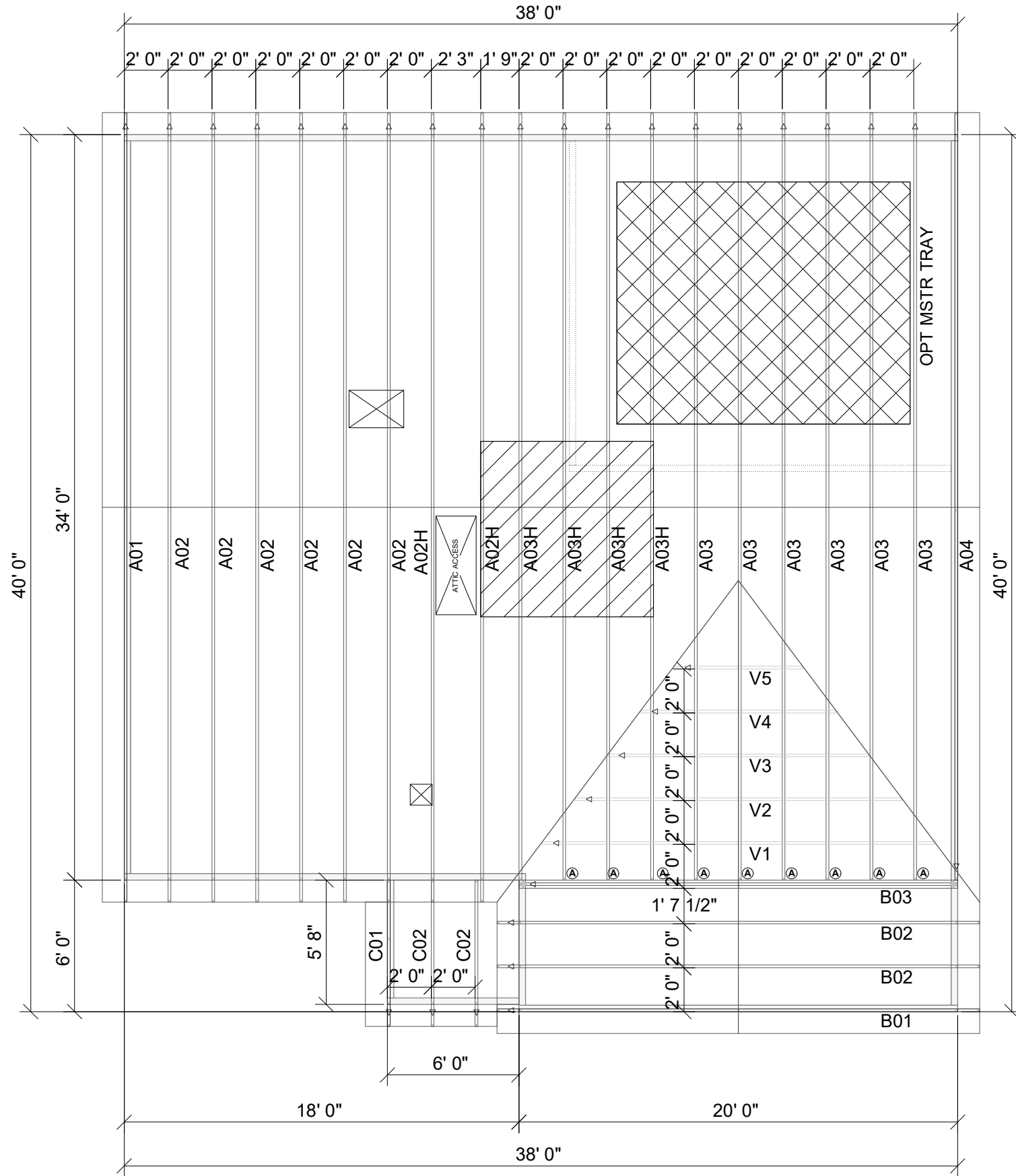
Duncans
 Lot 38

sheet:
SD2.1

72332449 38 DUNCANS CROSSING

THIS IS A TRUSS/COMPONENT PLACEMENT DIAGRAM (TPD). ONLY: NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDDs) for each truss design identified on the TPD. The Contractor is responsible for the temporary bracing of the roof and floor system, and the building designer is responsible for the permanent bracing of the roof and floor system and the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbc.com/resources). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.

PLACEMENT PLAN



Roof Hanger List			
MARK	TYPE	DESCRIPTION	QTY
(A)	HUS26	FACE MOUNT HANGER	9

MCGINNIS ADG

SCALE: N.T.S.

REVISIONS		DSN
DATE	DESCRIPTION	

DESIGNER - THATHCOCK
 LAYOUT DATE - 04.21.2022
 ARCH DATE -
 STRUC DATE -
 JOB #: -22041547

-SD COMMUNITIES

MCGINNIS ADG (NO TRAY) RH



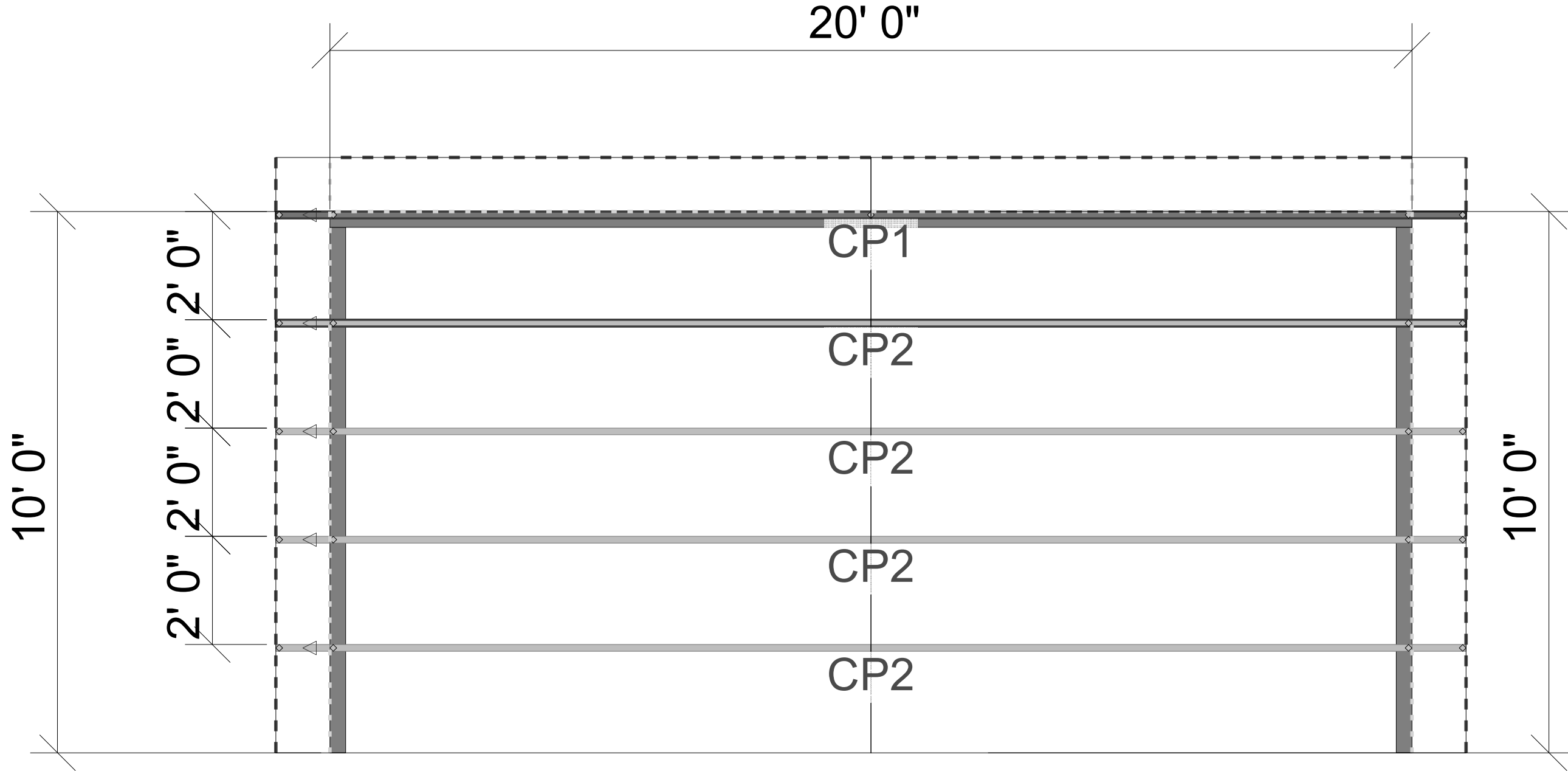
This drawing is property of UFP Site Built, LLC. Any unauthorized use of this document without written permission is prohibited. UFP relinquishes ownership of delivered product upon delivery. Owner of product must obtain UFP's authorization prior to any alteration or modification of product. UFP will not be held responsible for any unauthorized modifications done or costs incurred without prior written authorization from UFP.

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 Stanfield, NC

Customer Service (800) 476-9356

THIS IS A TRUSSCOMPONENT PLACEMENT DIAGRAM (TPD) ONLY; NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDDs) for each truss design identified on the TPD. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbcassociation.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.



PLACEMENT PLAN

SCALE: N.T.S.

REVISIONS		DSN
DATE	DESCRIPTION	
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

DESIGNER JNN
 LAYOUT DATE 4/25/22
 ARCH DATE -
 STRUC DATE -

JOB #: MASTER

MCGINNIS 10X20 PORCH

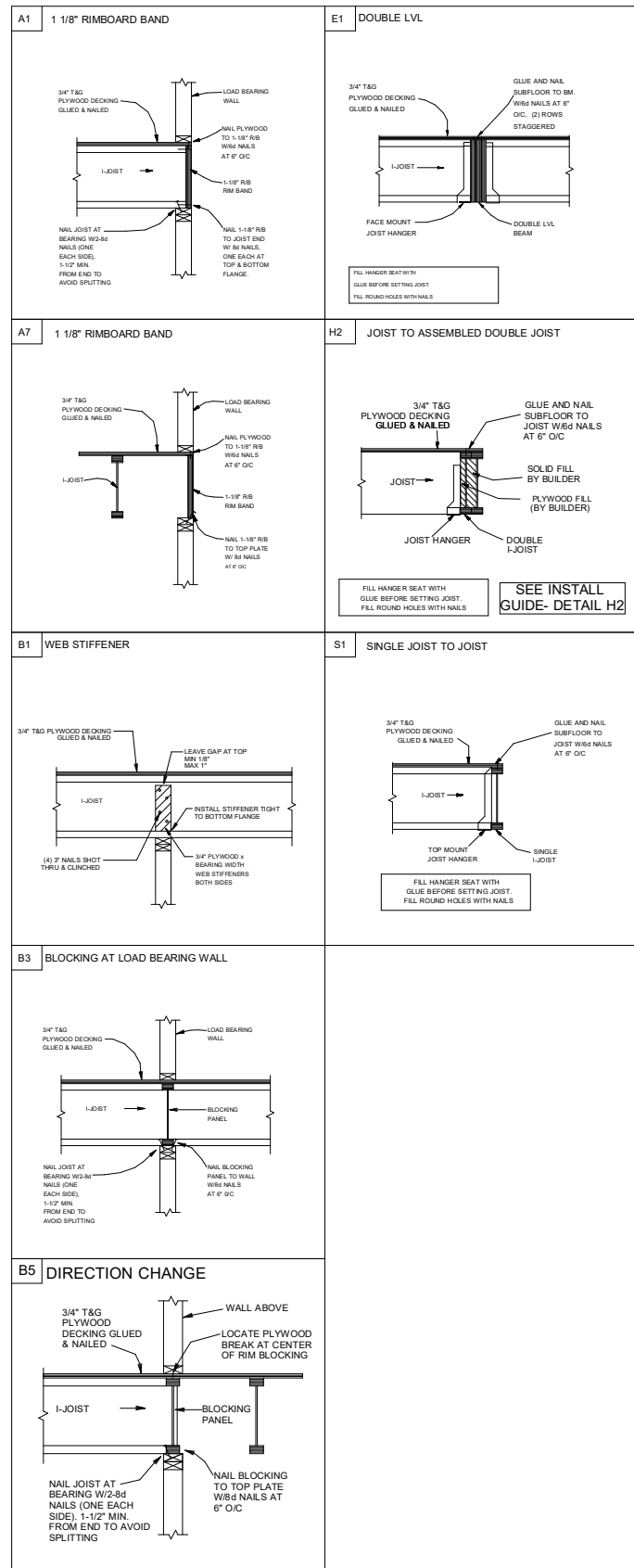
Smith Douglas

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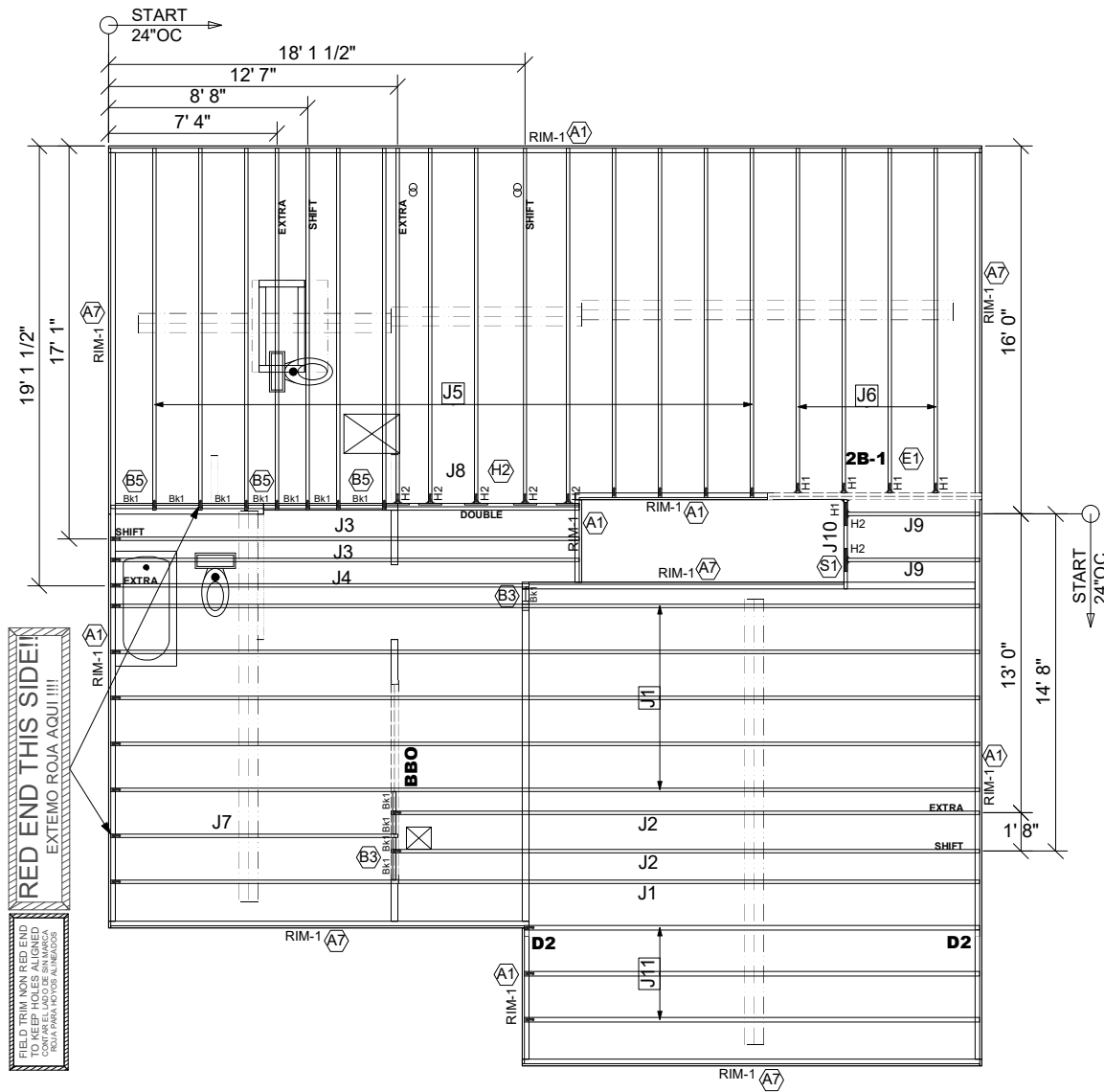


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THIS IS AN ENGINEERED WOOD PRODUCT (EWP) MEMBER PLACEMENT DIAGRAM ONLY; NOT AN ENGINEERED DOCUMENT. EWP members are designed as individual building components to be incorporated into the building design at the specification of the building designer. The Contractor is responsible for the temporary bracing of the floor system, and the building designer is responsible for the permanent bracing and blocking of the floor system and the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. It is the responsibility of the General Contractor to verify that the provided layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" EWP MEMBERS IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not joist to joist are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not joist to joist as they apply to this specific structure.



2ND FLOOR PLACEMENT PLAN



Products					
PlotID	Length	Product	Plies	Net Qty	Fab Type
J1	38' 0"	14" TJI@ 110	1	6	MFD
J2	26' 0"	14" TJI@ 110	1	2	MFD
J3	21' 0"	14" TJI@ 110	1	2	MFD
J4	19' 0"	14" TJI@ 110	1	1	MFD
J5	16' 0"	14" TJI@ 110	1	16	MFD
J6	15' 0"	14" TJI@ 110	1	4	MFD
J7	13' 0"	14" TJI@ 110	1	1	MFD
J8	9' 0"	14" TJI@ 110	2	2	FF
J9	6' 0"	14" TJI@ 110	1	2	MFD
J10	4' 0"	14" TJI@ 110	1	1	MFD
J11	20' 0"	14" TJI@ 360	1	3	MFD
2B-1	10' 0"	1 3/4" x 14" 2.0E Microllam® LVL	2	2	MFD
RIM-1	16' 0"	1 1/8" x 14" TJI@ Rim Board	1	12	MFD
Bk1	2' 0"	14" TJI@ 110	1	12	MFD

Connector Summary			
PlotID	Qty	Manuf	Product
H1	5	MiTek	IHFL1714
H2	7	MiTek	TFL1714

GENERAL NOTES:

- 1.) TOP CHORD OF JOISTS ARE PAINTED RED AT NUMBERED END. PLACE PAINTED END AS NOTED ON PLAN.
- 2.) FOLLOW SPECIAL SPACING AND LOCATION DIMENSIONS FOR EXTRAS OR SHIFTED JOISTS AS SHOWN ON PLAN.
- 3.) ALL INTERIOR WALL PLATES MUST BE LEVEL WITH OUTSIDE WALL TOP PLATES.
- 4.) DO NOT STACK CONSTRUCTION LOADS ON UN-BRACED JOISTS.
- 5.) PROVIDE SOLID SUPPORT BELOW ALL BEAM AND HEADER BEARING POINTS IN WALL AND JOIST SPACES CONTINUOUS DOWN TO THE FOUNDATION.
- 6.) LOCATE CRIPPLE STUDS IN JOIST SPACE DIRECTLY BELOW HEADER JACKS AT ALL FIRST FLOOR EXTERIOR DOOR LOCATIONS.
- 7.) INSTALL NAILS IN ALL HOLES PROVIDED IN JOIST HANGERS EXCEPT AT BOTTOM CHORD SEAT. PLACE A DAB OF GLUE IN THE HANGER SEAT BEFORE SETTING JOISTS.
- 8.) IMPORTANT NOTE! NO STRUCTURAL ANALYSIS OF CONVENTIONAL HEADERS HAS BEEN CONDUCTED IF NOT NOTED. THEY ARE CONSIDERED TO BE ADEQUATE TO SUPPORT THE APPLIED LOADS.

FRAMER NOTE

--- DENOTES DUCT HOLE RUNS

ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED

- Avoid Plumbing Drops

FRAMER NOTE

1. GLUE AND NAIL PLYWOOD SUBFLOOR TO BEAMS AND GIRDERS AT 6" O/C WHERE NO WALL IS ABOVE.
2. FILL HANGER SEAT WITH GLUE BEFORE SETTING JOIST IN HANGER. FILL ROUND HOLES WITH NAILS.

CRITICAL !!

INSTALL 2X4 SQUASH BLOCKS IN FLOOR TRUSS SPACE BELOW ALL EXTERIOR DOOR HEADER JACKS. CUT 1/16" TALLER THAN TRUSS.

PLAN LEGEND

- 1B-, 2B-** INDICATES BEAM ABOVE TOP PLATE (FLUSH WITH FLOOR SYSTEM)
- H-, 1H-, GDH-** INDICATES BEAM BELOW TOP PLATE (DROPPED BELOW FLOOR SYSTEM)
- *BEAMS MAY PROTRUDE ABOVE OR BELOW DECKING OR TOP PLATE RESPECTIVELY, REFER TO DETAIL IF BEAM IS A DIFFERENT DEPTH THAN FLOOR SYSTEM
- SINGLE PLY BEAM** (ADD LINE FOR EACH ADDITIONAL PLY)
- SHIFT** SHIFT JOIST TO MISS PLUMBING, ALIGN WITH WALL OR SUPPORT FURNITURE
- EXTRA** A JOIST ADDED TO THE LAYOUT IN ADDITION TO THE ON CENTER JOISTS
- DOUBLE** TWO JOISTS SIDE BY SIDE (ONLY ASSEMBLED IF NOTED)

FIELD TRIM NON RED END TO KEEP HOLES ALIGNED
 CONTAR EL LADO DE SIN MARCA ROJA PARA HOYOS ALINEADOS

FIELD LOCATE PLUMBING DROPS/CAN LIGHTS, ETC... PRIOR TO JOIST SECUREMENT TO AVOID INTERFERENCE.

LAYOUT FOR 19.2" O/C

1= 19-3/16"	9= 172-13/16"
2= 38-3/8"	10= 192"
3=57-5/8"	11= 211-3/16"
4= 76-13/16"	12= 230-3/8"
5= 96"	13= 249-13/16"
6= 115-3/16"	14= 268-13/16"
7= 134-3/8"	15= 288"
8= 153-5/8"	

FIELD VERIFY DIMENSIONS TO JOISTS LOCATED UNDER WALLS!!
2ND FLOOR LAYOUT

SCALE: 1/8"=1'

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Smith Douglas Homes

McGinnis 2nd Floor

REVISIONS	DATE	DESCRIPTION	DSN

DESIGNER PB2
 LAYOUT DATE 11/1/2023
 ARCH DATE 10/27/2023
 STRUCT DATE 8/18/2023
 JOB #: 23081805F2