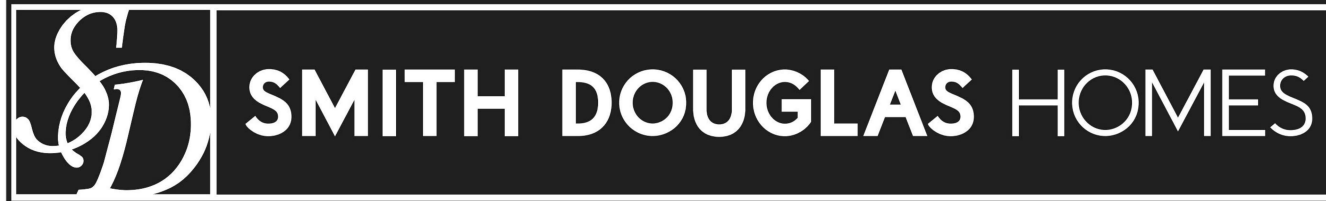


# LANDEN

DUNCANS CROSSING  
LOT 36

PLAN ID 010123



QUALITY | INTEGRITY | VALUE

110 VILLAGE TRAIL SUITE 215  
WOODSTOCK, GA. 30188

DRAWING INDEX	
A0.0	COVER SHEET
A1.1	FRONT ELEVATIONS
A2.1	SIDE & REAR ELEVATIONS
A3.1	SLAB FOUNDATIONS
A5.1	FIRST FLOOR PLAN
A6.1	ROOF PLANS
A7.2	ELECTRICAL PLAN
A8.1	TRIM LOCATION LAYOUT

AREA TABULATION	
FIRST FLOOR	1535
TOTAL	1535
GARAGE	397
FRONT PORCH A & C MASSING(COVERED)	48
REAR PATIO (COVERED)	120

PLAN REVISIONS			
DATE	BY	REVISION	PAGE #
11/29/2022	BB	REVISED ROOF PITCH ON ALL ELEVATIONS AND ROOF PLANS	A1.1-A1.9, A2.1-A2.3, A6.1-A6.3

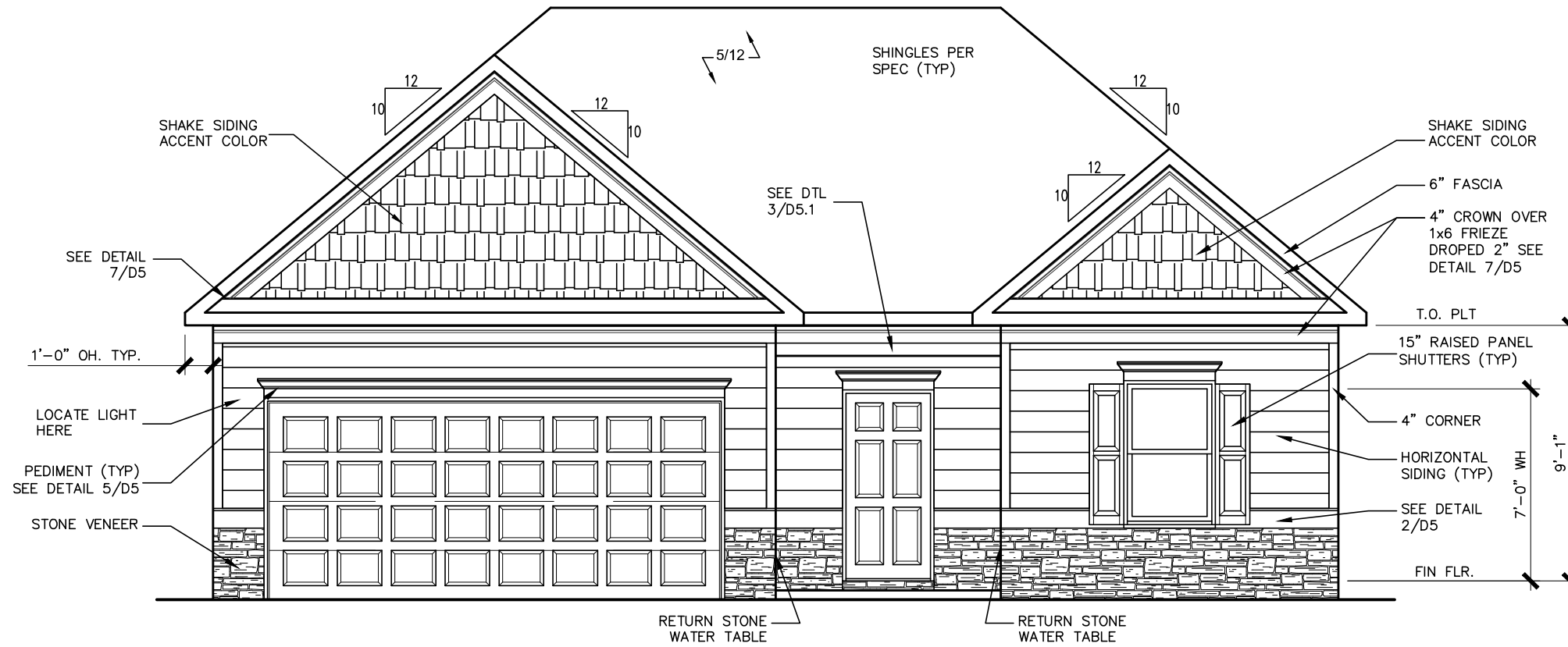
**GOVERNMENTAL CODES & STANDARDS**  
HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

**BUILDING CODE ANALYSIS / DESIGN CRITERIA**  
HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

# DUNCANS CROSSING LOT 36



FRONT ELEVATION "C"

SCALE: 3/16"=1'-0"

BY	REVISION	DATE
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



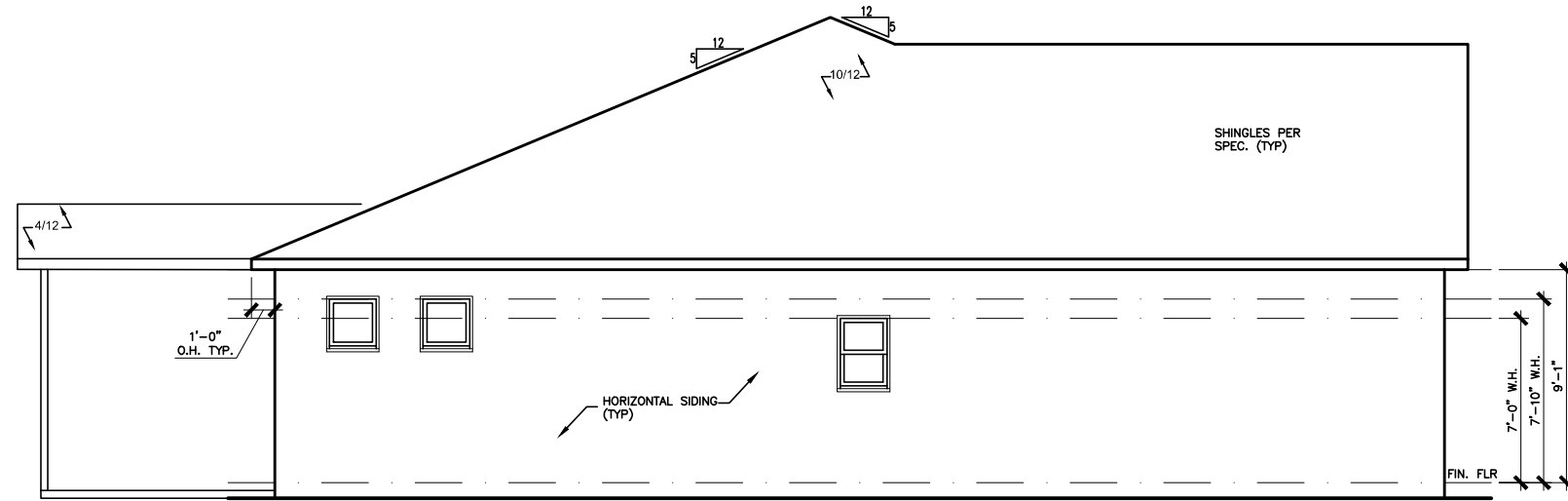
ELEVATIONS  
FRONT ELEVATION  
LANDEN

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www.smithdouglas.com

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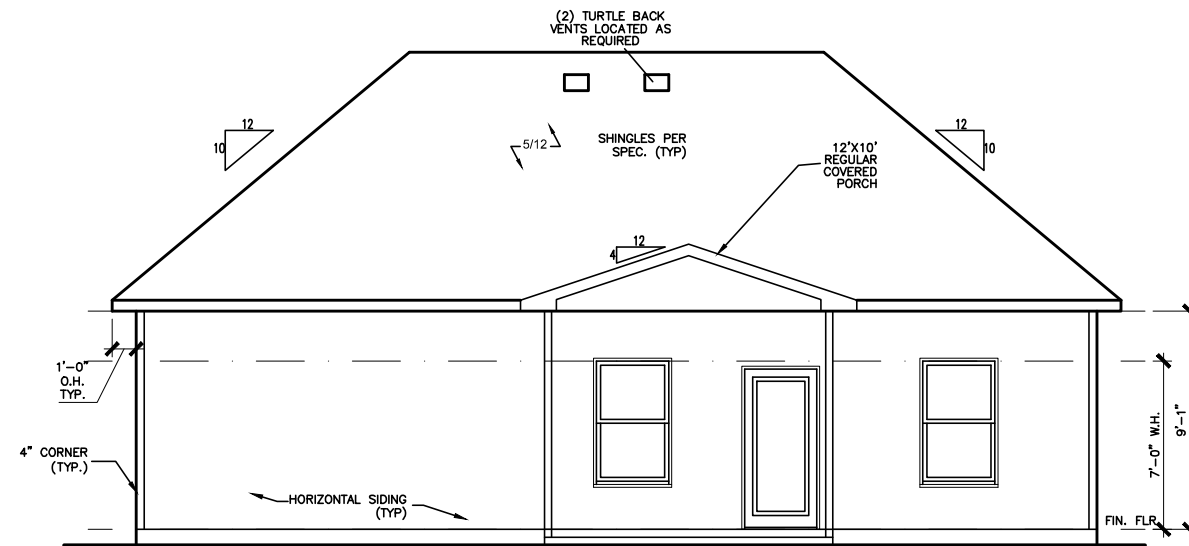
BY: CLJ	CH: AW
DATE: 09-15-23	
FACADE OPT: C	
PLAN ID:	
FND: ALL	ELEV: C
PAGE NO: A1.1	

# DUNCANS CROSSING LOT 36



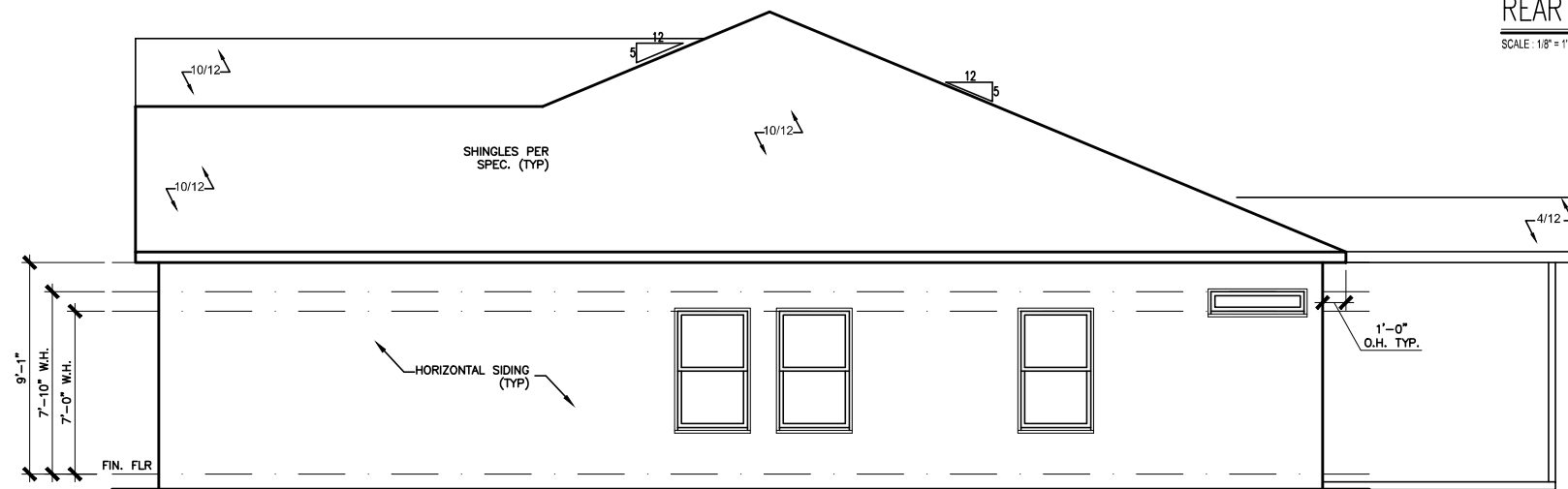
LEFT ELEVATION "C"

SCALE: 1/8" = 1'-0"



REAR ELEVATION "C"

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION "C"

SCALE: 1/8" = 1'-0"

BY	REVISION	DATE



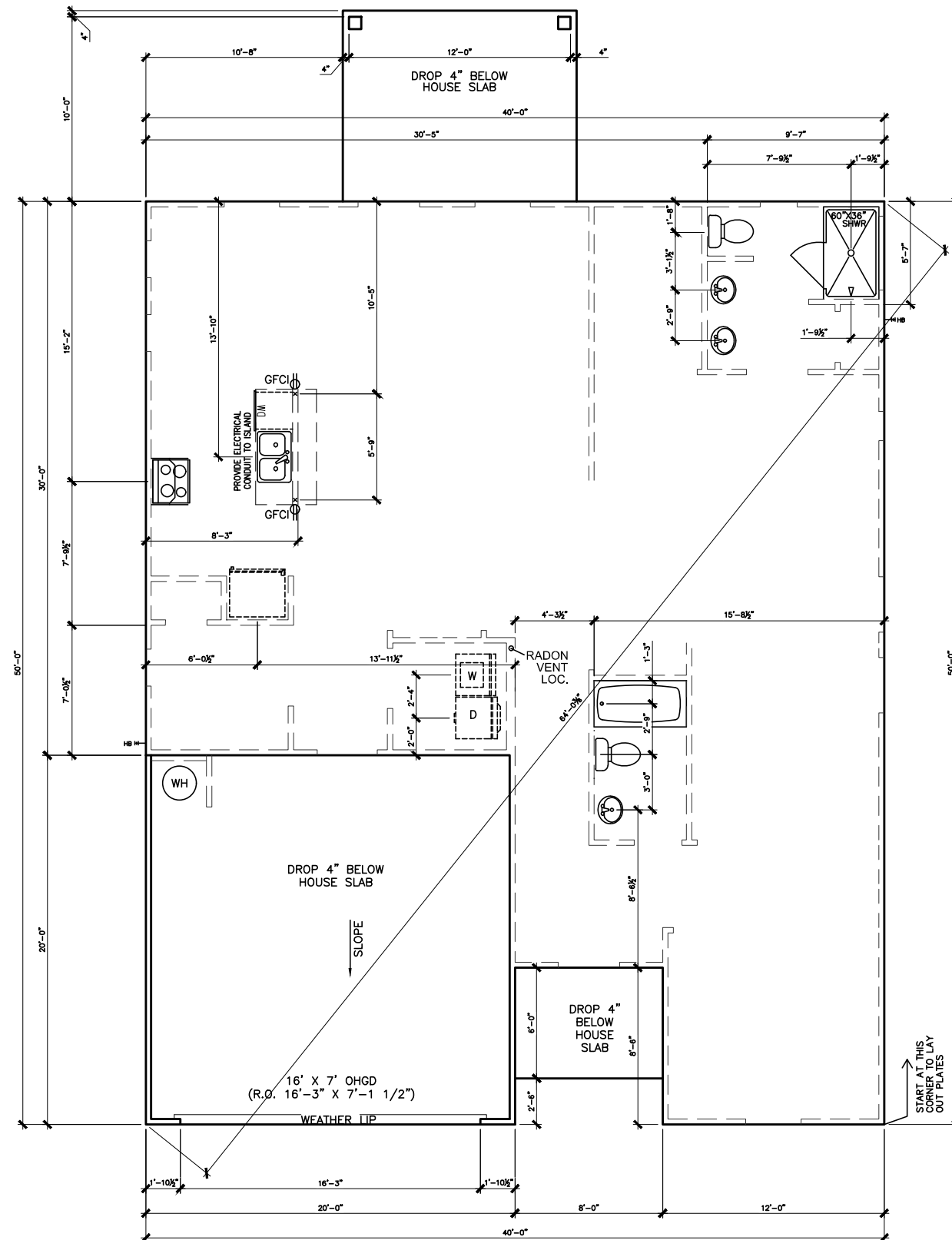
ELEVATIONS  
SIDES AND REAR  
LANDEN

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FACADE OPT: C	
PLAN ID:	
FND: ALL	ELEV: C
PAGE NO: A2.1	

# DUNCANS CROSSING LOT 36



SLAB PLAN

SCALE: 1/8" = 1'-0"

\*RADON VENT PROVIDED  
PER LOCAL CODE

REFER TO DETAIL 3/D1  
FOR BRICK LEDGE  
DETAIL WHEN BRICK  
VENEER IS CHOSEN

DATE	BY	REVISION
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



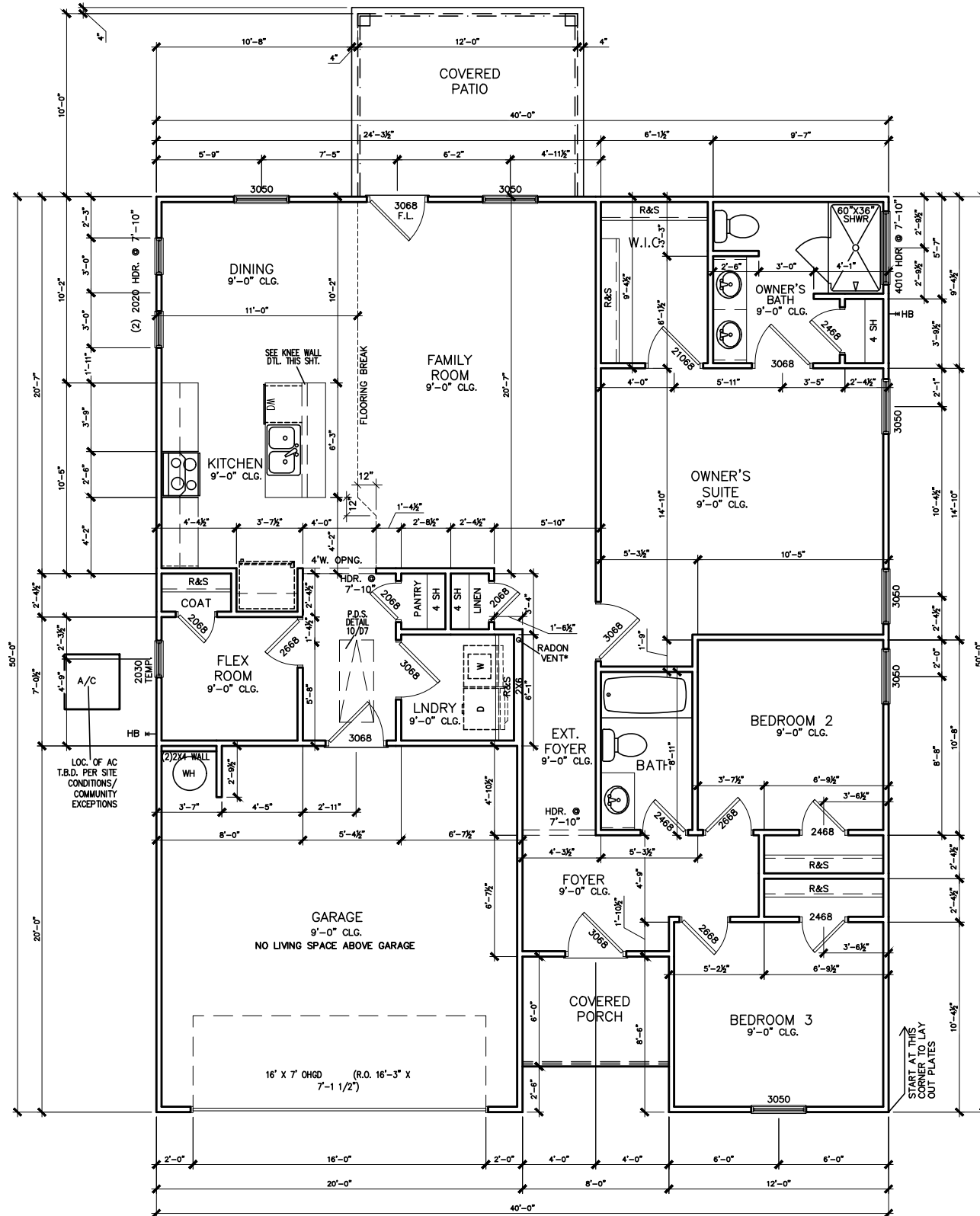
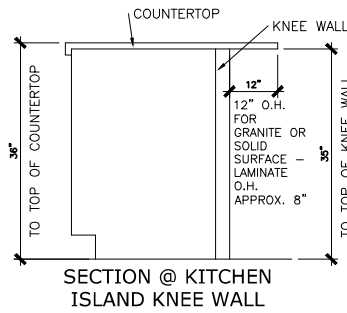
FOUNDATION PLAN  
SLAB PLAN  
LANDEN

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BY: CLJ	CH: AW
DATE: 09-15-23	
FACADE OPT: C	
PLAN ID:	
FND: ALL	ELEV: C
PAGE NO: A3.1	

DUNCANS CROSSING  
LOT 36



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

REFER TO MANUFACTURER'S SPECS. FOR DRAIN LOCATIONS ON DETAIL SHEETS D12, D12.1, D12.2 & D12.3

\*RADON VENT PROVIDED PER LOCAL CODE

BY:	#	#	#	#
DATE:	#	#	#	#
REVISION:	#	#	#	#

**SMITH DOUGLAS HOMES**  
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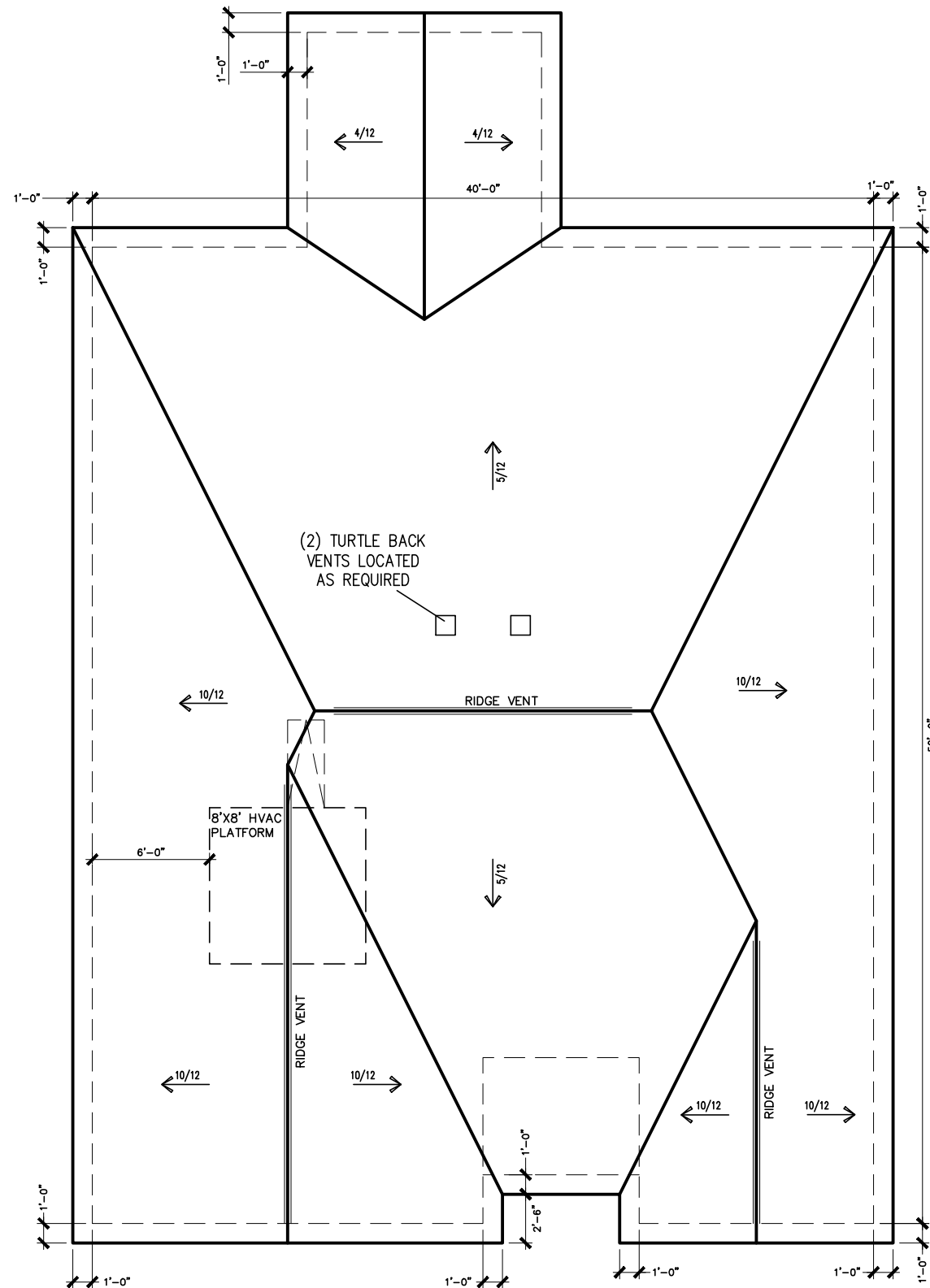
FLOOR PLAN  
FIRST FLOOR  
LANDEN

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DATE: 09-15-23	
FACADE OPT: C	
PLAN ID:	
FIN: ALL	ELEV: C
PAGE NO: A5.1	

# DUNCANS CROSSING LOT 36



ROOF PLAN "C"

SCALE : 1/8" = 1'-0"

DATE	REVISION	BY
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



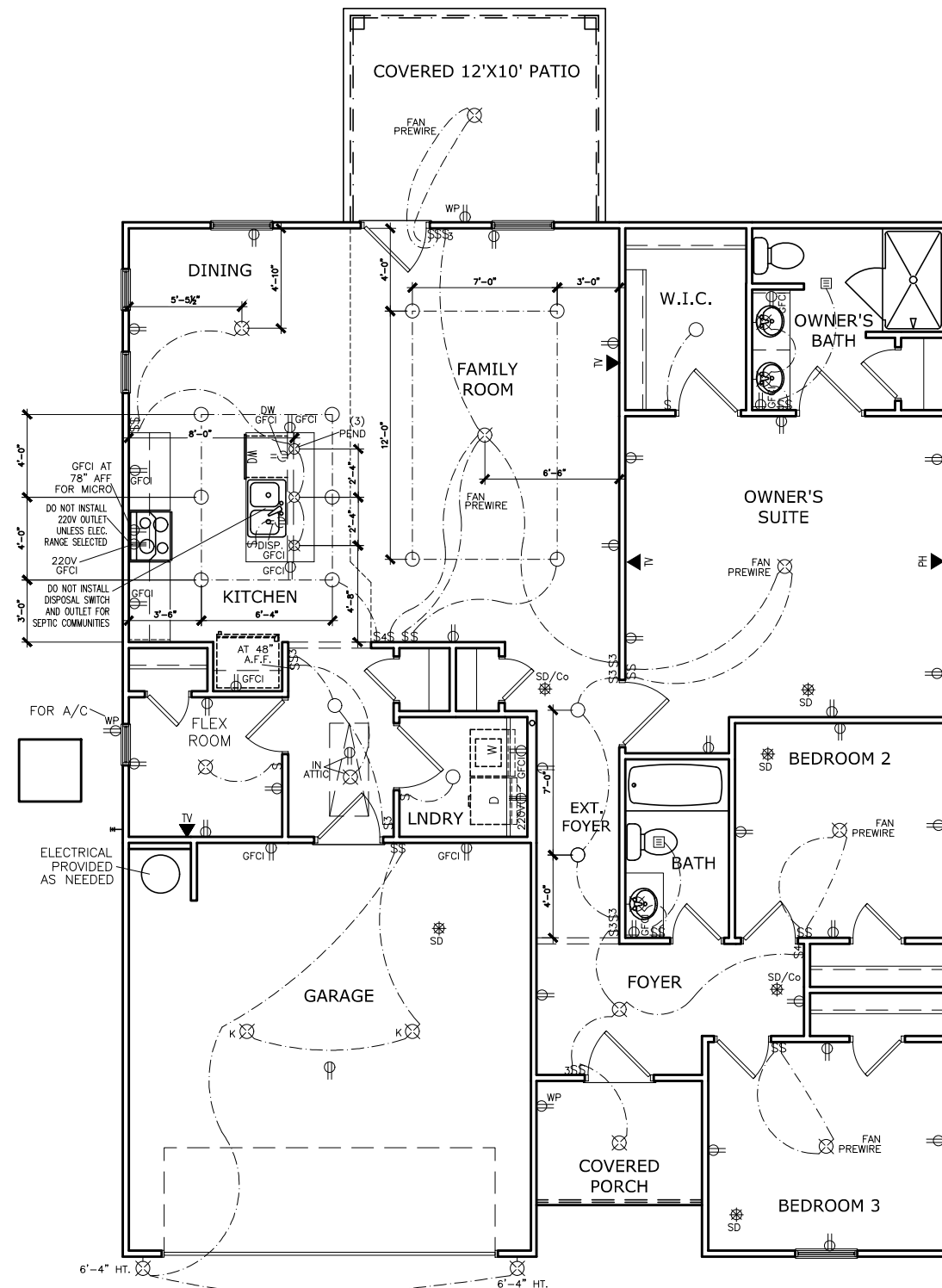
ROOF PLAN  
ROOF PLAN  
LANDEN

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PLAN ID:	
FND: ALL	ELEV: C
PAGE NO: A6.1	

# DUNCANS CROSSING LOT 36



FIRST FLOOR ELECTRICAL PLAN

SCALE : 1/8" = 1'-0"

## ELECTRICAL LEGEND

\$	SWITCH	TV	TV
\$3	3 WAY SWITCH	⊕	120V RECEPTACLE
\$4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕	KEYLESS	⊕	GFCI OUTLET
⊕	WALL MOUNT FIXTURE	⊕	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	†	GAS LINE
●	FLEX CONDUIT	†	WATER LINE
CH	CHIMES	⊥	HOSE BIBB
PH	TELEPHONE	⊕	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	⊕	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊕	CEILING FAN
□	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
⊕	EXHAUST FAN	⊕	CEILING FIXTURE
⊕	FAN/LIGHT		

ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES

APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)

BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR
CEILING FAN	96" ABOVE FINISHED FLOOR

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

BY:	CLJ	CH:	AW
DATE:	09-15-23	FACADE OPT:	C
REVISION		PLAN ID:	
		FND:	ALL
		ELEV:	C
		PAGE NO:	A7.2



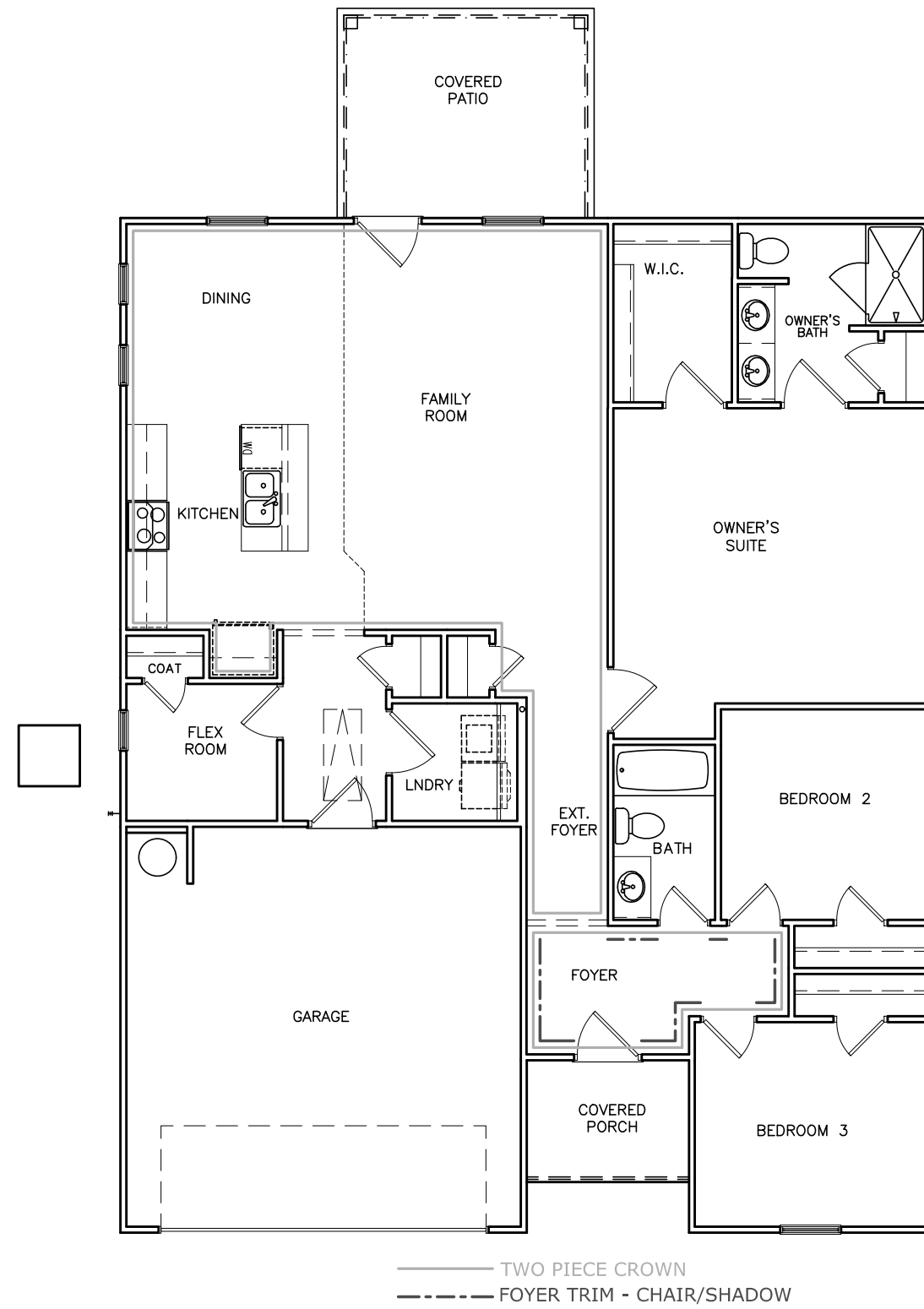
ELECTRICAL PLAN  
FIRST FLOOR  
LANDEN

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PLAN ID:		FND:	ALL
		ELEV:	C
PAGE NO:	A7.2		

# DUNCANS CROSSING LOT 36



TRIM LAYOUT FIRST FLOOR PLAN

SCALE : 1/8" = 1'-0"

DATE	REVISION	BY
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



FLOOR PLAN  
TRIM LAYOUT  
LANDEN

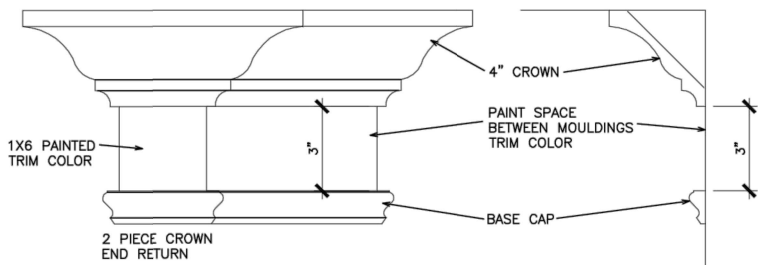
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PLAN ID:	
FND: ALL	ELEV: C
PAGE NO: A8.1	

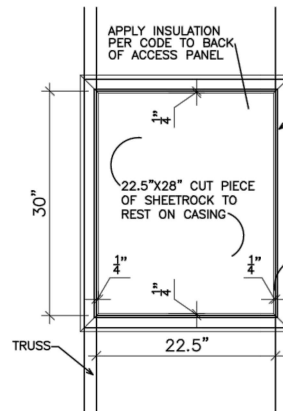


REFER TO LOT SPECIFIC PLAN TO DETERMINE WHICH DETAILS APPLY



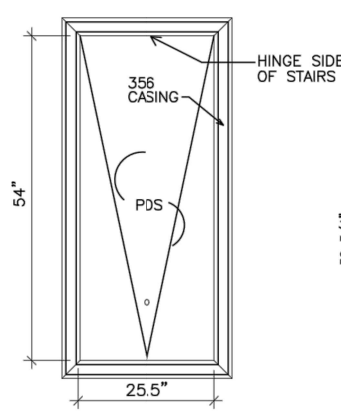
TYPICAL TWO PIECE CROWN

N.T.S.



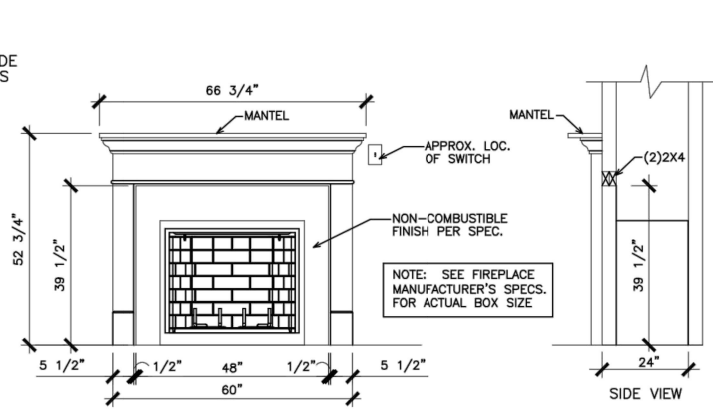
SCUTTLE HOLE DETAIL

N.T.S.



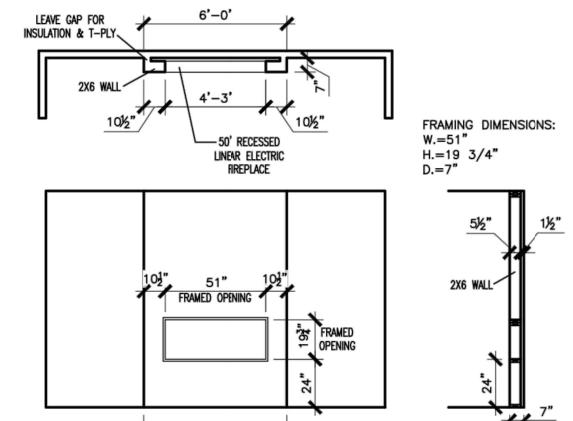
PDS TRIM DETAIL

N.T.S.



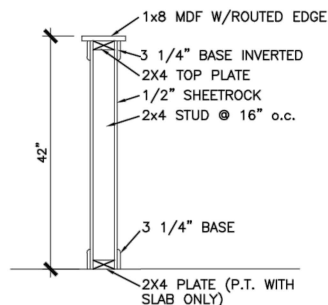
GAS/ELECTRIC FIREPLACE DETAIL WITH WESCOTT WOOD MANTEL

N.T.S.



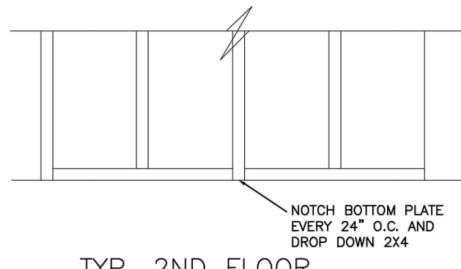
LINEAR ELECTRIC FIREPLACE DETAIL

N.T.S.



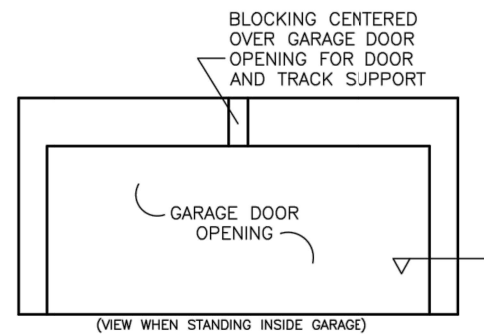
TYP. KNEEWALL SECTION

N.T.S.



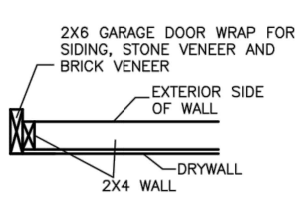
TYP. 2ND FLOOR KNEE WALL STABILITY

N.T.S.

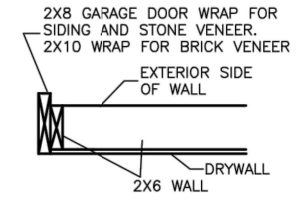


TYP. GARAGE WRAP & BLOCKING

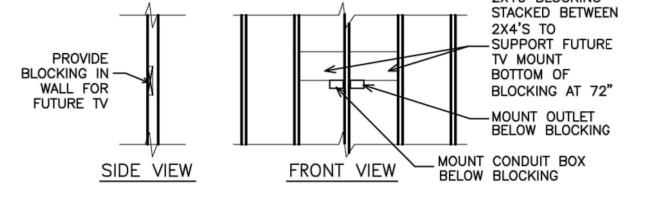
N.T.S.



SECTION VIEW 2X4 PORTAL WALL

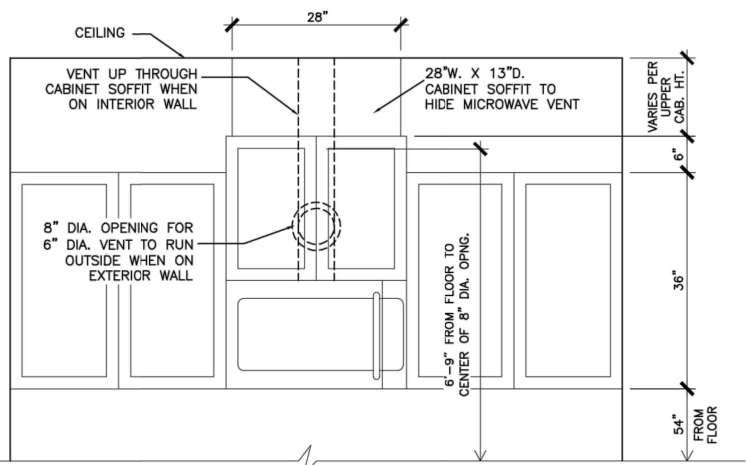


SECTION VIEWS 2X6 PORTAL WALL



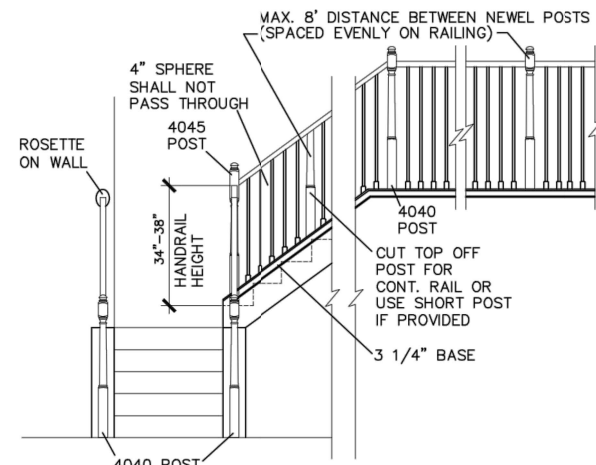
TYP. TV WALL PREP

N.T.S.



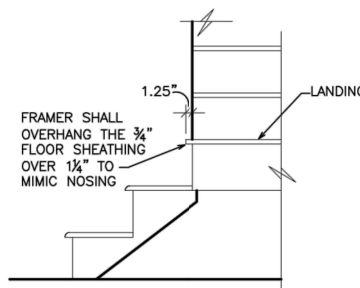
CABINET SOFFIT DETAIL ABOVE VENTED MICROWAVE W/CABINET ABOVE RANGE BUMPED UP & OUT

N.T.S.



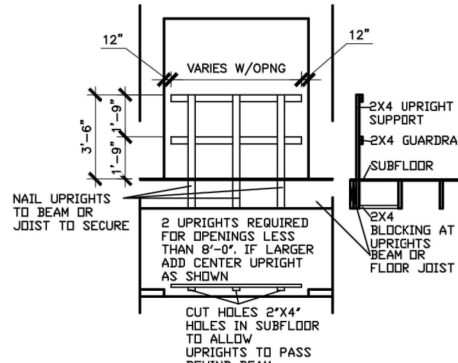
HANDRAIL/POST DETAIL @ STAIRS

N.T.S.



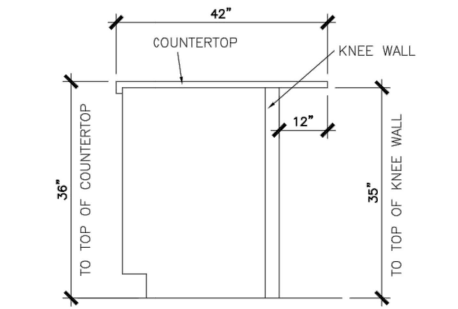
BOX STEP OVERHANG

N.T.S.



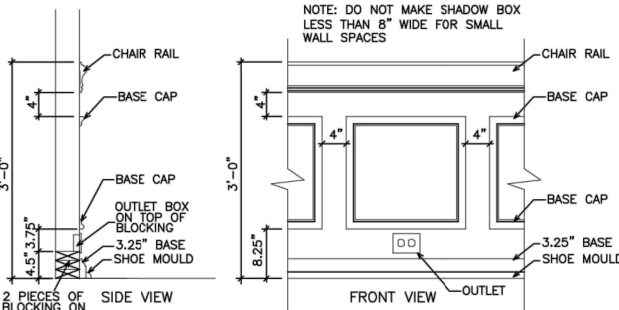
GUARD RAIL DTL. AS REQ'D

N.T.S.



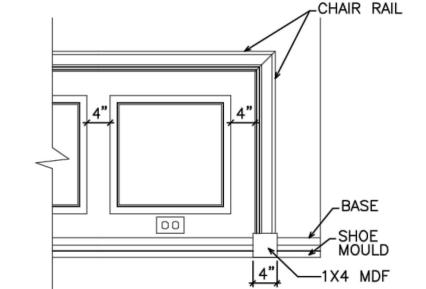
SECTION @ ISLAND KNEEWALL

N.T.S.



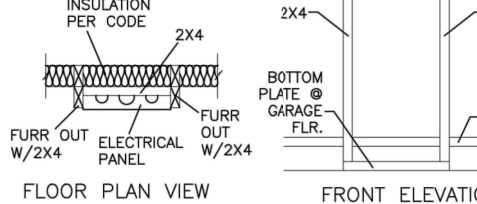
TYPICAL CHAIR RAIL & SHADOW BOX DETAIL

N.T.S.



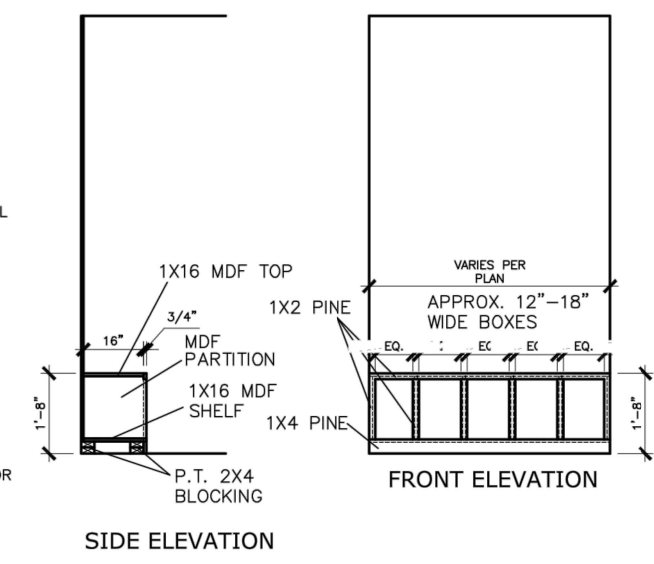
CHAIR RAIL END TRIM DETAIL

N.T.S.



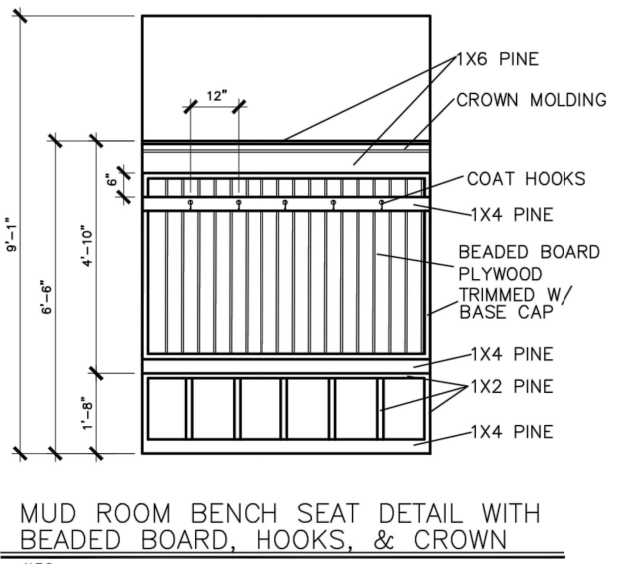
ELECTRICAL PANEL DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL WITH BEADED BOARD, HOOKS, & CROWN

N.T.S.

(IF TRIM CHOSEN WITHOUT BENCH CONTINUE TO FLOOR)

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BY	REVISION
DATE	

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INTERIOR TRIM  
DETAILS

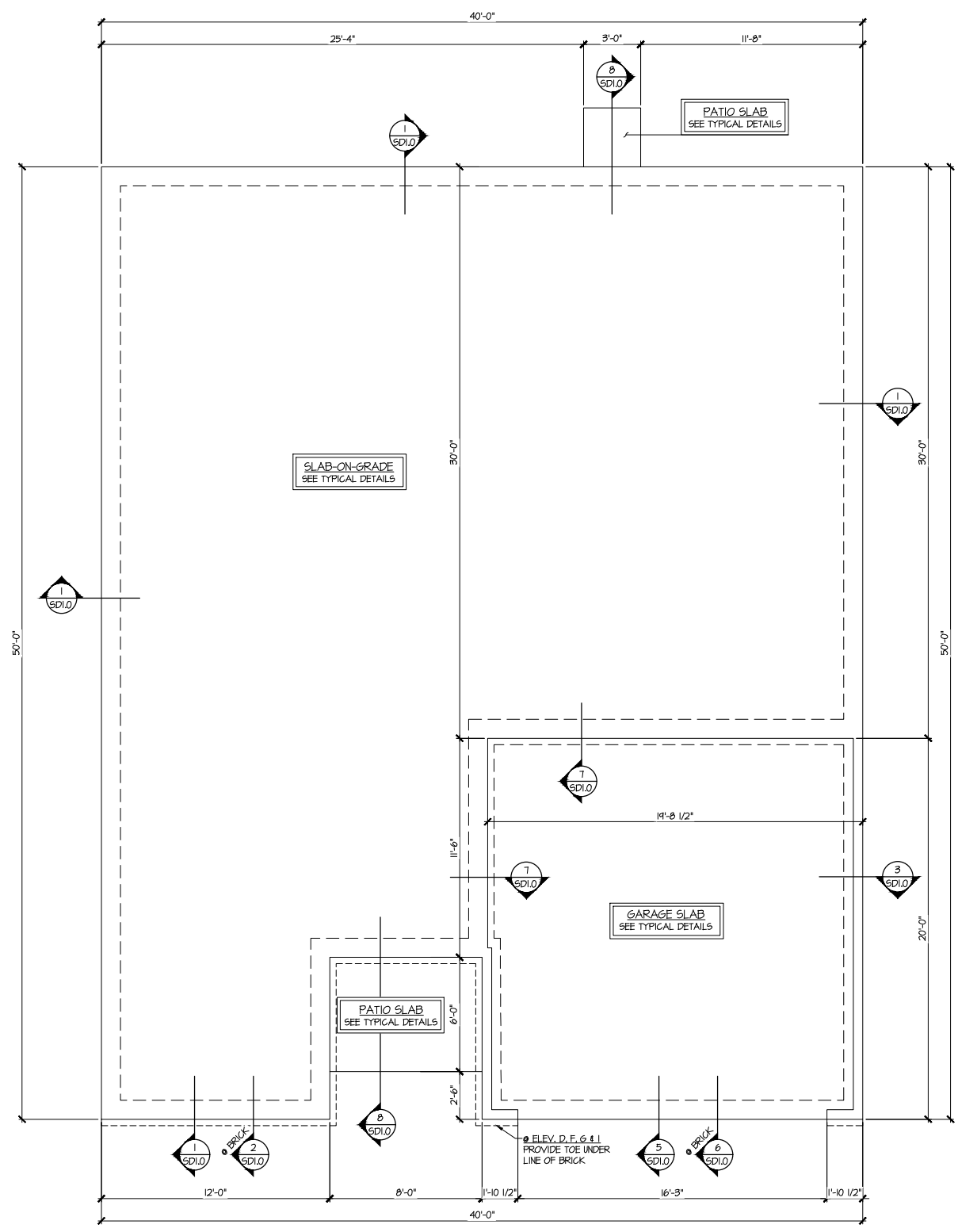
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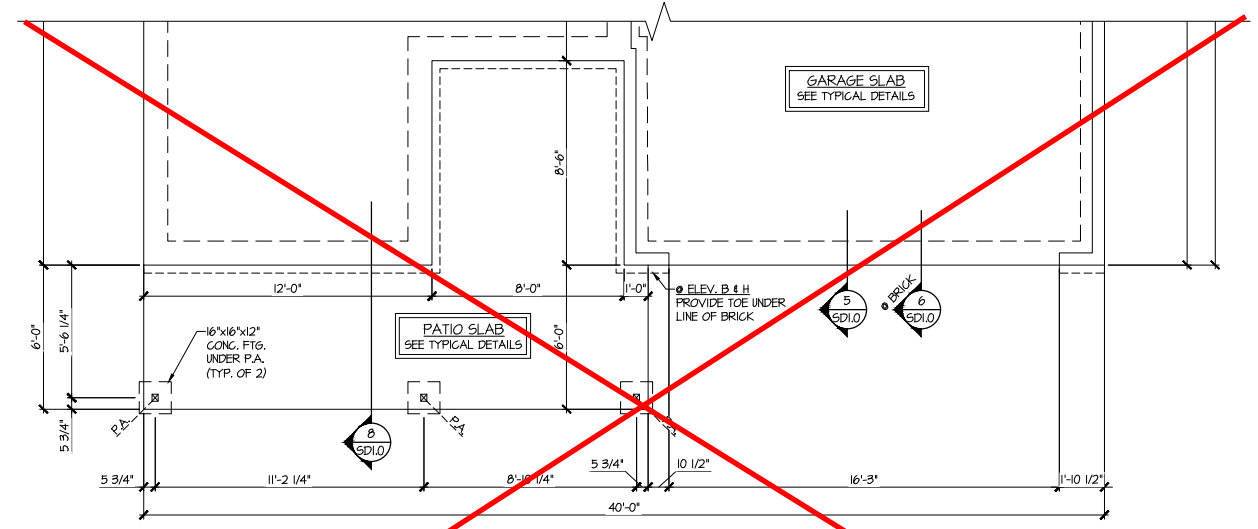
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PARADE OPT:	
PLAN ID:	
END:	
ELEV:	
PAGE NO:	D1.1



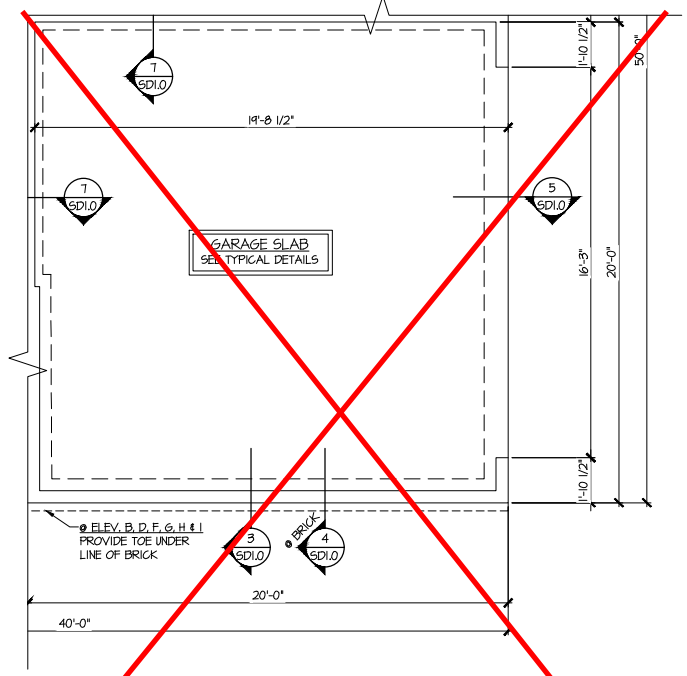
**Duncans  
 Lot 36**



**1 MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34 ELEV. A, C, D, F, G & I  
 1/8"=1'-0" ON 11x17



**2 PARTIAL MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34 ELEV. B, F & H  
 1/8"=1'-0" ON 11x17 (SEE ELEV. A FOR ADD'L INFO)



**3 PARTIAL MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34 OPT. SIDE ENTRY GARAGE  
 1/8"=1'-0" ON 11x17

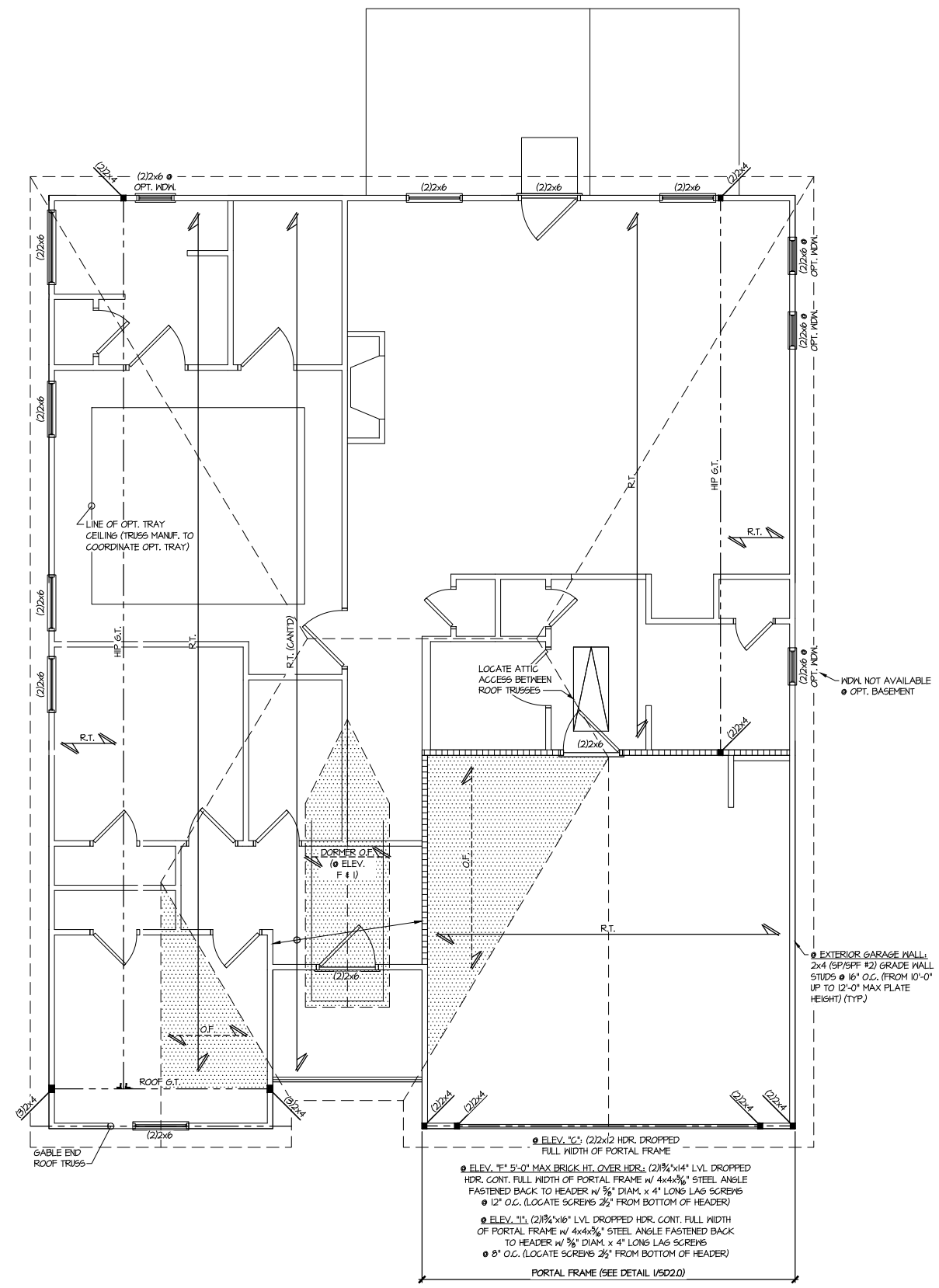
REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND	
	R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
	O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
	F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
	D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	JL METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

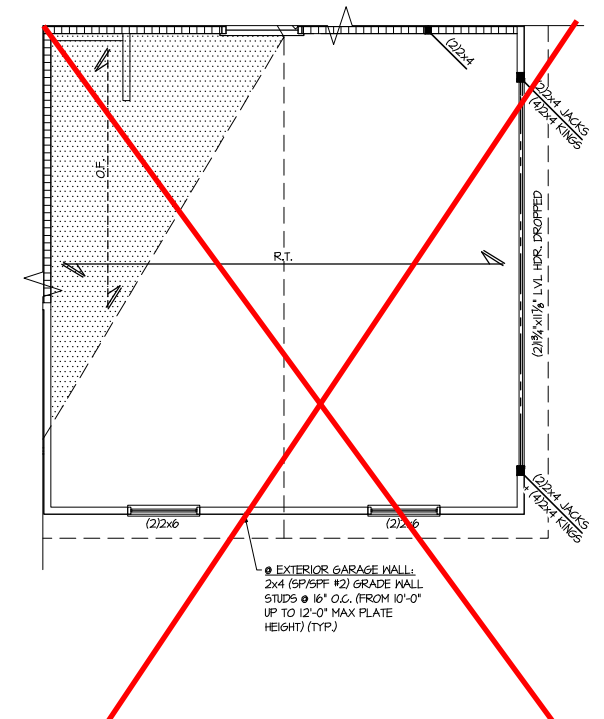
**Duncans  
 Lot 36**

REFER TO 50.0 FOR TYPICAL  
 STRUCTURAL NOTES & SCHEDULES

THIS LEVEL HAS BEEN DESIGNED  
 FOR 9'-1" PLATE HEIGHT

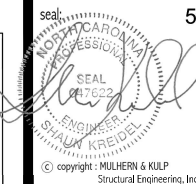


**1 ROOF FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 ELEV. C, F, # 1



**2 PARTIAL ROOF FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. SIDE ENTRY GARAGE

LEGEND	
	R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANIF. (TYP. UNO.)
	O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
	F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
	D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	JL METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



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3825 S. HARRIS PARKWAY, SUITE 105 - ALPHARETTA, GA 30202  
978-777-8874 - mulhern@mulhernkulp.com  
NC License # C-3825

Mulhern+Kulp project number:  
**256-21019**  
project mgr: **SMK**  
drawn by: **MJF**  
issue date: **02-03-22**

REVISIONS:  
date: \_\_\_\_\_ initial: \_\_\_\_\_

SMITH DOUGLAS  
HOMES

1ST FLOOR WALL BRACING PLAN  
LANDEN MODEL  
120 MPH WIND ZONE  
NORTH CAROLINA

sheet:  
**S3.2L**

### LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:  
**120MPH WIND IN 2018 NCSBG:RC**  
& **120MPH WIND IN 2018 IRC**  
(120 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC SECTION 1604) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2018 NCSBG:RC & 2018 IRC. IF THE PARAMETERS OF SECTION R602.12 COMPLY. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBG:RC & 2018 IRC SECTION R802.11.1.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 & R802.11.

### EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:  
FASTEN SHEATHING w/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/8" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

### 3" O.C. EDGE NAILING

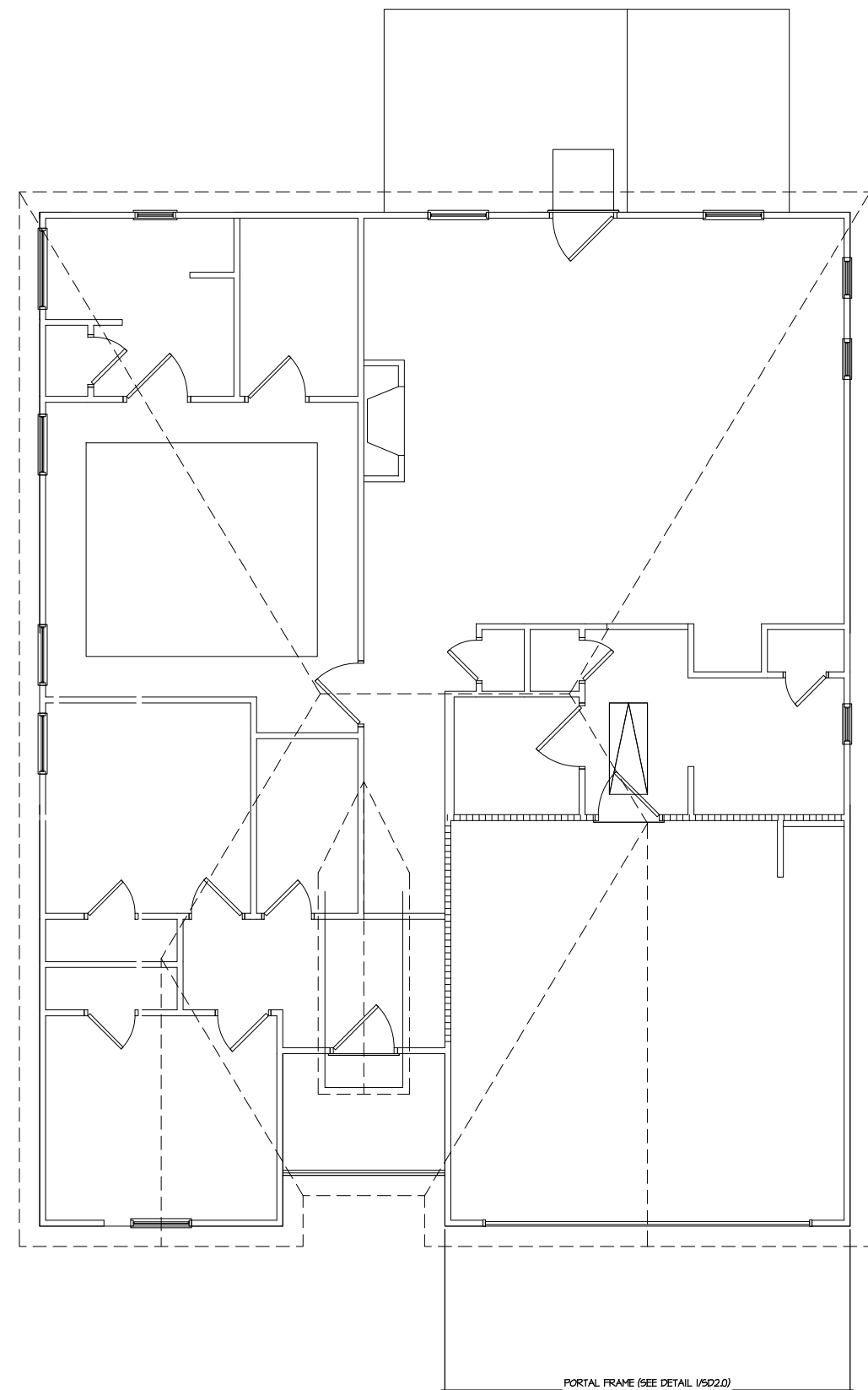
- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

### NOTES

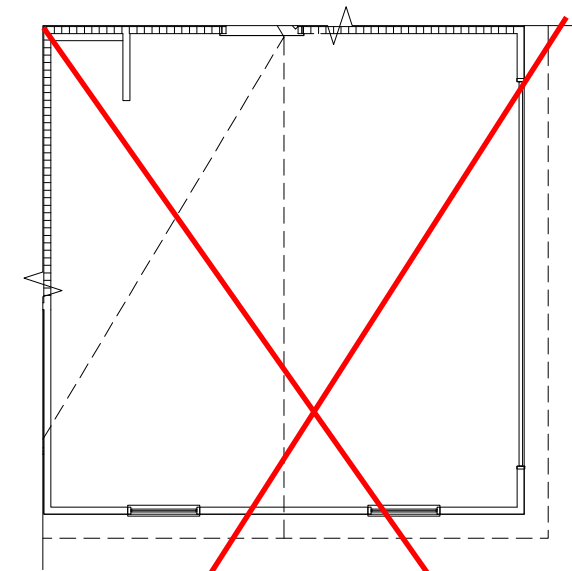
- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

--- INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING

▶ INDICATES HOLDOWN



**1** 1ST FLOOR WALL BRACING PLAN  
SCALE: 1/4"=1'-0" ON 22x34  
1/8"=1'-0" ON 11x17  
ELEV. C, F, & I



NOTE:  
NO ADDL. SHEARWALL REQUIREMENTS ARE REQUIRED BEYOND THE STANDARD EXTERIOR WALL SHEATHING SPECIFICATION FOR THIS OPTION

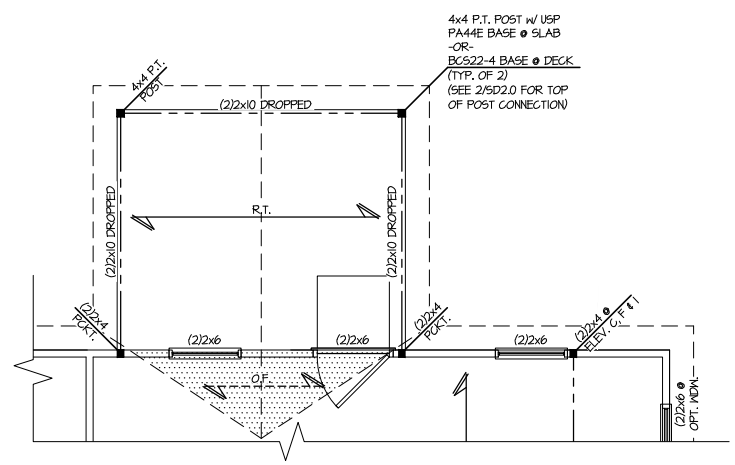
**2** PARTIAL 1ST FLOOR WALL BRACING PLAN  
SCALE: 1/4"=1'-0" ON 22x34  
1/8"=1'-0" ON 11x17  
OPT. SIDE ENTRY GARAGE

**Duncans**  
**Lot 36**

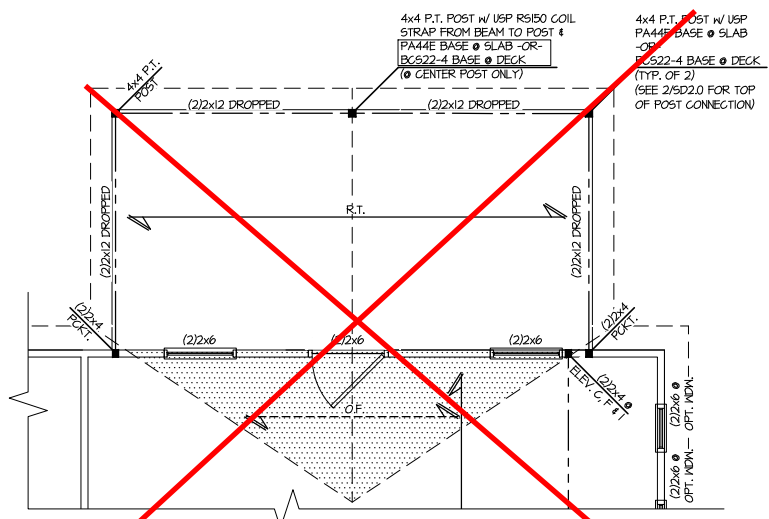
REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

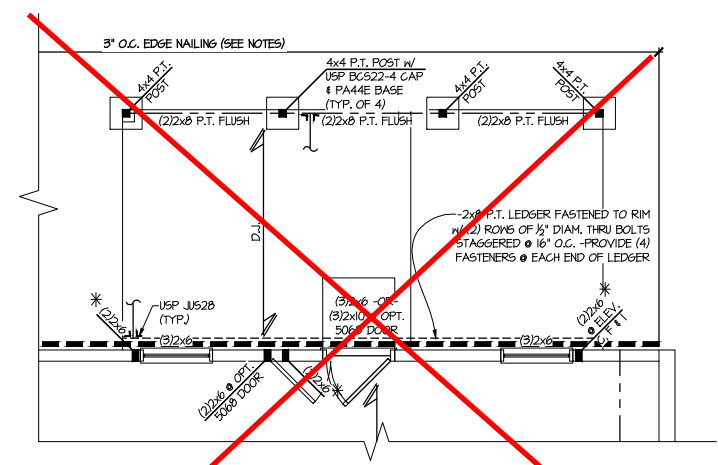
LEGEND	
• R.T. ↗	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANIF. (TYP. U.N.O.)
• O.F. ↗	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
• F.J. ↗	INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
• D.J. ↗	INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
• [Symbol]	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADDL. 10 PSF DEAD LOAD AT THESE LOCATIONS.
• [Symbol]	INTERIOR BEARING WALL
• [Symbol]	BEARING WALL ABOVE (B.W.A.)
• [Symbol]	BEAM/HEADER
• [Symbol]	METAL HANGER
• [Symbol]	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



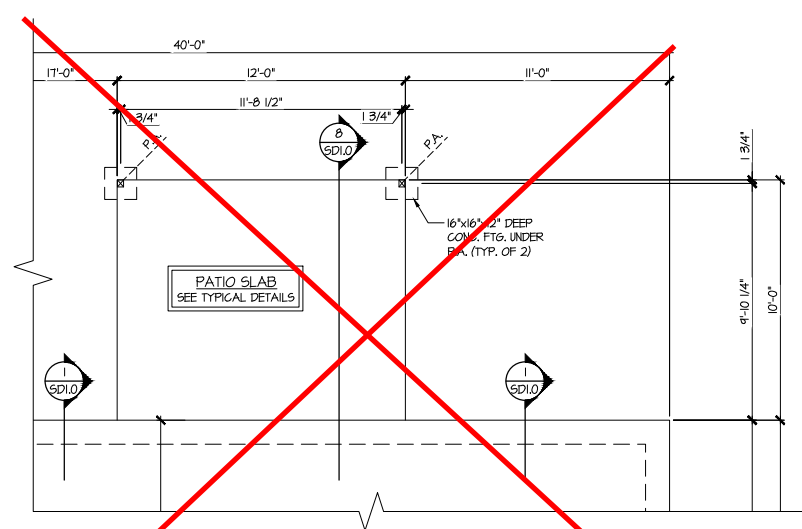
**1 PARTIAL ROOF FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. COVERED PORCH  
 ALL ELEV. SIM.



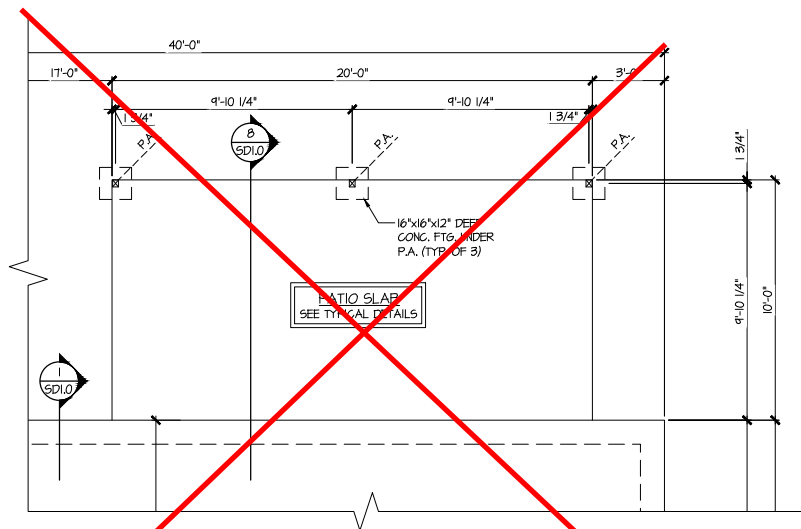
**2 PARTIAL ROOF FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. COVERED LARGE PORCH  
 ALL ELEV. SIM.



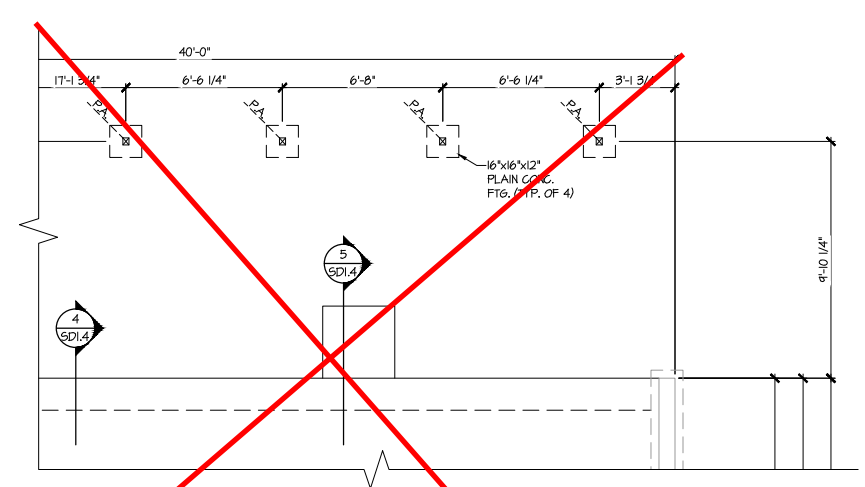
**3 PARTIAL 1ST FLOOR FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. EXT. DECK  
 W/ OPT. COVERED LARGE PORCH  
 ALL ELEV. SIM.



**4 PARTIAL MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. PATIO  
 W/ COVERED PORCH  
 ALL ELEV. SIM.



**5 PARTIAL MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. EXT. PATIO  
 W/ COVERED LARGE PORCH  
 ALL ELEV. SIM.



**6 PARTIAL BASEMENT FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 SUPERIOR WALL  
 OPT. EXT. DECK  
 W/ COVERED LARGE PORCH  
 ALL ELEV. SIM.

REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

**LEGEND**

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A)
- BEAM/HEADER
- JL METAL HANGER
- \* INDICATES POST ABOVE (P.A) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

Duncans Lot 36

**MULHERN+KULP**  
 RESIDENTIAL STRUCTURAL ENGINEERING  
 3025 S. University Parkway, Suite 105 - Alpharetta, GA 30022  
 770-777-8874 • mulhern+kulp.com  
 NC License # C-3825

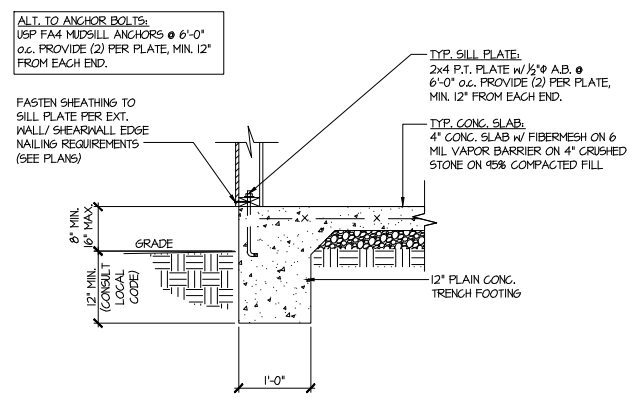
Mulhern+Kulp project number:  
 256-21019  
 project mgr: SMK  
 drawn by: MJF  
 issue date: 02-03-22

REVISIONS:  
 date: initial:

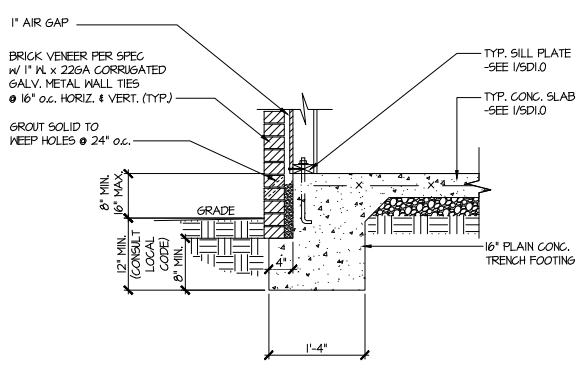
SMITH DOUGLAS  
 HOMES

STRUCTURAL OPTIONS  
 LANDEN MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA

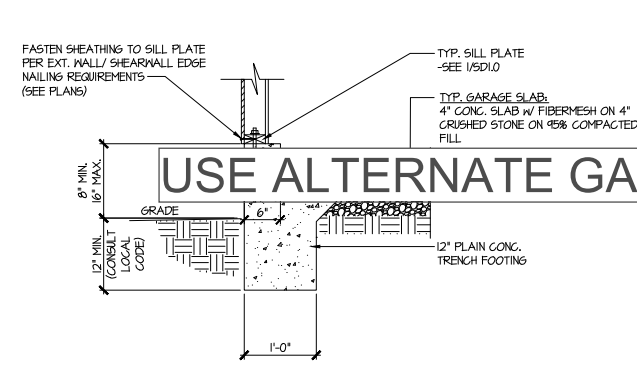
sheet:  
**S4.1**



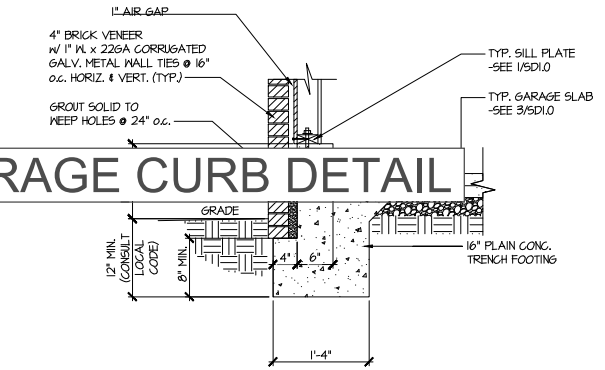
1 TYPICAL SLAB ON GRADE PERIMETER FOOTING



2 TYPICAL SLAB ON GRADE PERIMETER FOOTING w/ BRICK VENEER

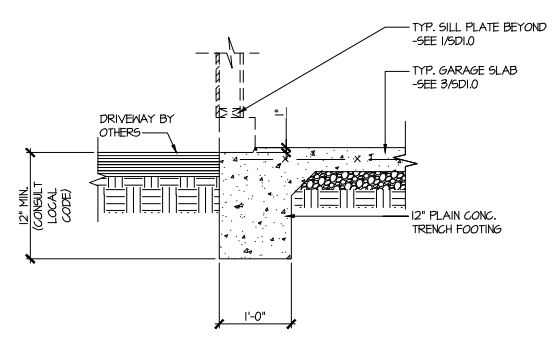


3 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

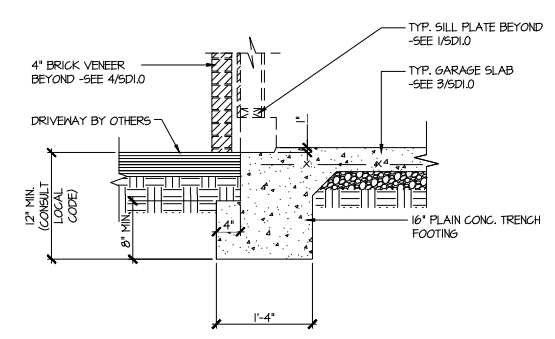


4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING w/ BRICK VENEER

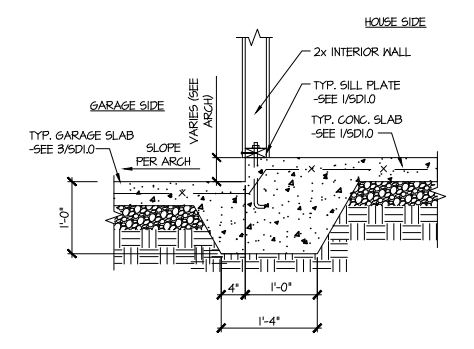
USE ALTERNATE GARAGE CURB DETAIL



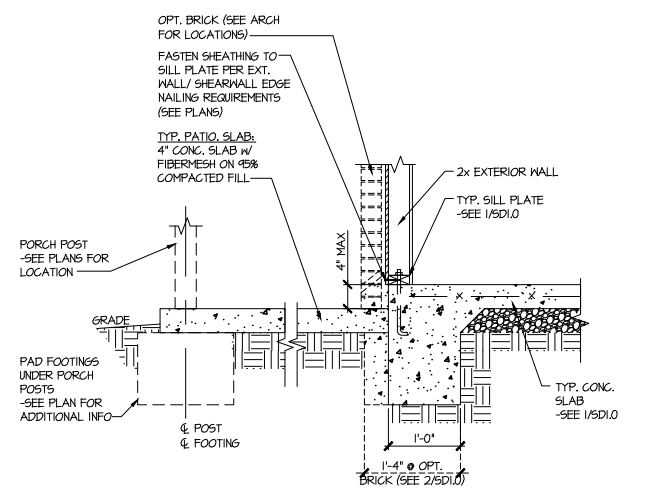
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



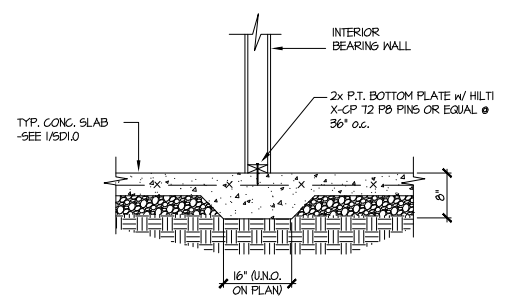
6 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING w/ BRICK VENEER



7 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



8 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



9 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

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 770-777-8974 - mulhern+kulp.com  
 NC License # C-3825

Mulhern+Kulp project number:  
 256-21019

project mgr: SMK  
 drawn by: MJF  
 issue date: 02-03-22

REVISIONS:  
 date: initial:

SMITH DOUGLAS  
 HOMES

FOUNDATION DETAILS  
 LANDEN MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA

Duncans  
 Lot 36

sheet:  
**SD1.0**



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RESIDENTIAL STRUCTURAL ENGINEERING

3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

August 18, 2023

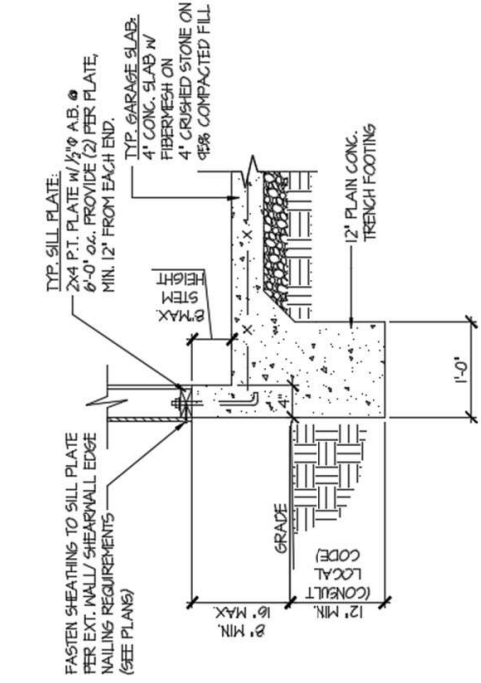
Jody Hunt  
Director of Product Development  
**SMITH DOUGLAS HOMES**  
110 Village Trail, Suite 215  
Woodstock, GA 30188

**ALTERNATE GARAGE CURB DETAIL**  
Smith Douglas Homes

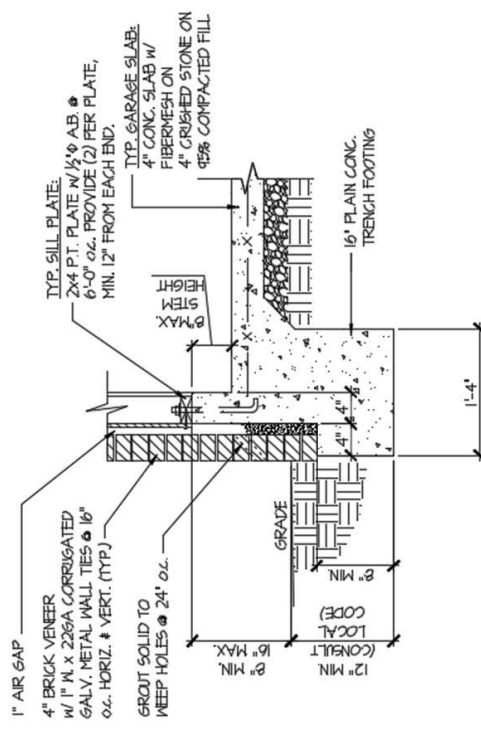
*Reference*  
*Current Structural Plans prepared by Mulhern & Kulp*

Jody:

Pursuant to your request, we have prepared this letter to address the “Alternate Garage Curb Details”, prepared by Mulhern & Kulp for Smith Douglas Homes shown below. The foundation details shown below call for a 4” wide curb with a maximum of 8” stem wall height; these are an acceptable alternative to the 6” wide curb at the garage per M&K foundation details 3 & 4 on sheet SD-1.0 at 2x4 garage wall locations.



**(A)** TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



**(B)** TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

Please feel free to call if you have any questions.

Respectfully,

**MULHERN & KULP STRUCTURAL ENGINEERING, INC.**

NC License # C-3825

Shaun M. Kreidel, P.E. Project Manager + Atlanta Office Director



Signature + Seal 08/18/2023



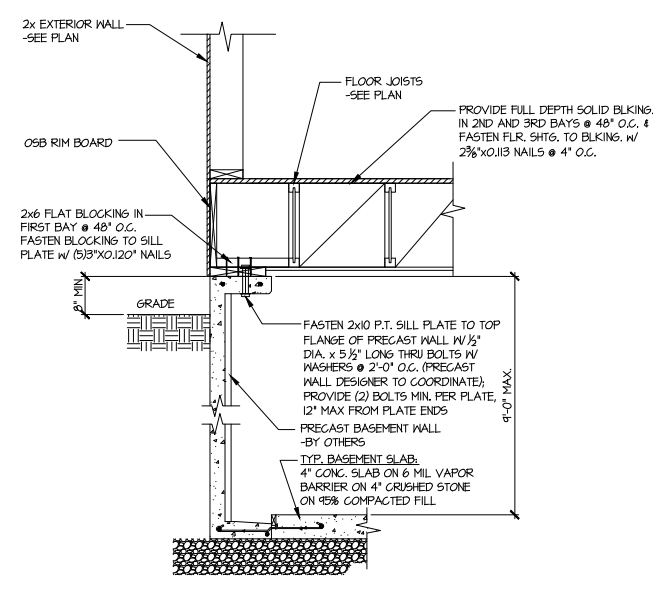
Mulhern+Kulp project number:  
**256-21019**

project mgr: **SMK**  
 drawn by: **MJF**  
 issue date: **02-03-22**

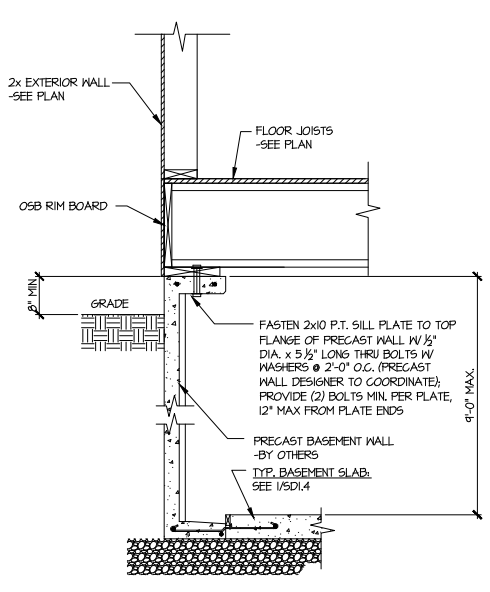
REVISIONS:  
 date: \_\_\_\_\_ initial: \_\_\_\_\_

SMITH DOUGLAS  
 HOMES

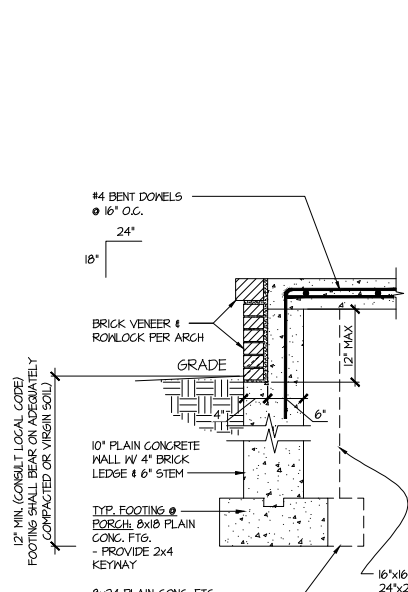
FOUNDATION DETAILS  
**LANDEN MODEL**  
 120 MPH WIND ZONE  
 NORTH CAROLINA



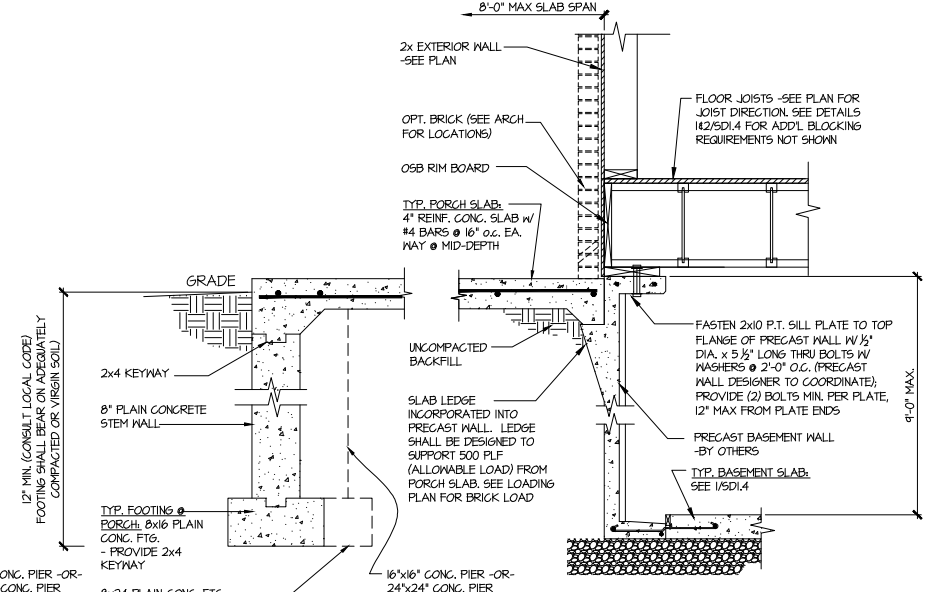
**1 SECTION**  
 SCALE: 3/4"=1'-0"



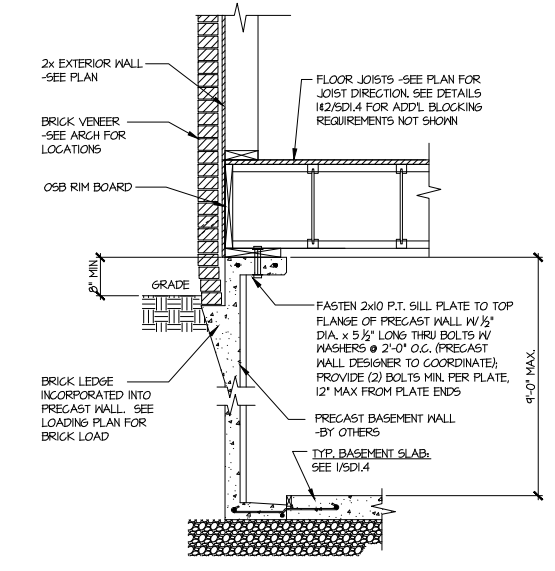
**1A SECTION**  
 SCALE: 3/4"=1'-0"



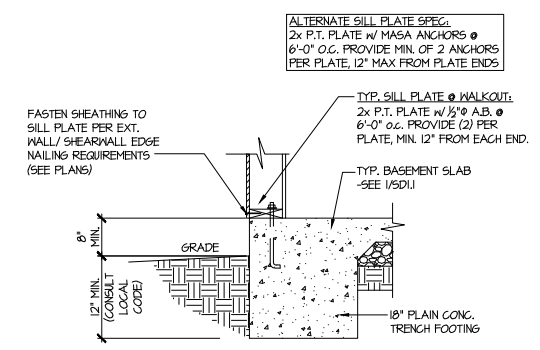
**3 SECTION**  
 SCALE: 3/4"=1'-0"



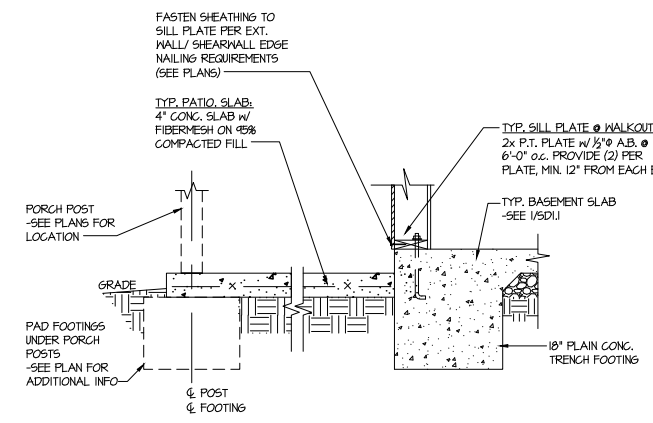
**3 SECTION**  
 SCALE: 3/4"=1'-0"



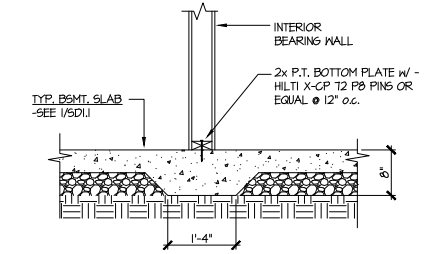
**2 SECTION**  
 SCALE: 3/4"=1'-0"



**4 TYPICAL BASEMENT FOUNDATION @ WALKOUT**

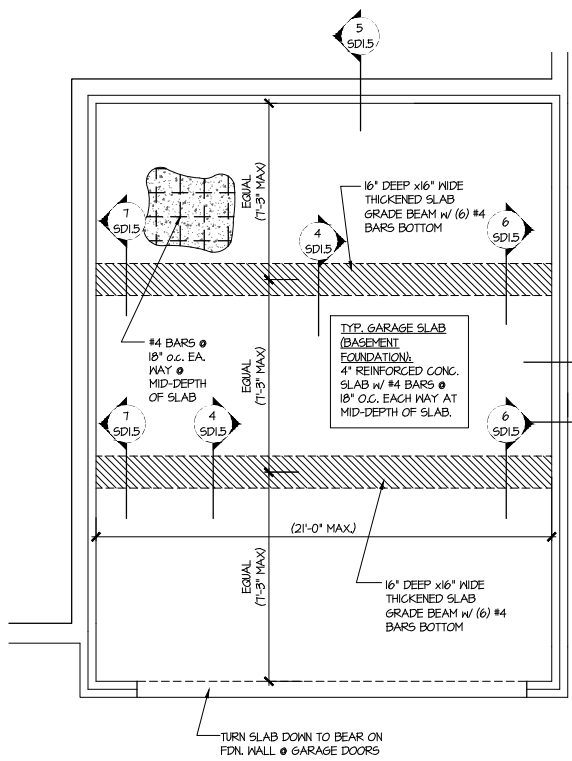


**5 TYPICAL BASEMENT FOUNDATION @ WALKOUT**



**6 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL**

Duncans  
 Lot 36



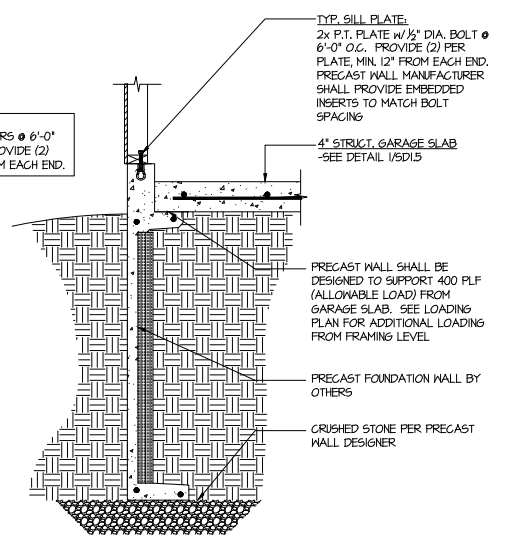
**1** GENERIC FOUNDATION PLAN KEY @ GARAGE  
 SCALE: 1/4"=1'-0"

ALT. TO BOLTS:  
 USP FA4 MIDSILL ANCHORS @ 6'-0"  
 o.c. OR EQUIVALENT. PROVIDE (2)  
 PER PLATE, MIN. 12" FROM EACH END.

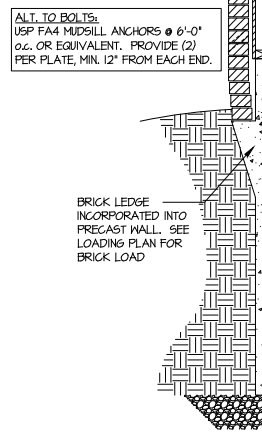
2 SD1.5 @ NON-BRICK  
 3 SD1.5 @ BRICK

SLAB THICKNESS  
 SHOWN IS MIN.  
 THICKNESS REQ'D -  
 SLOPE OF SLAB SHALL  
 NOT COMPROMISE MIN.  
 THICKNESS

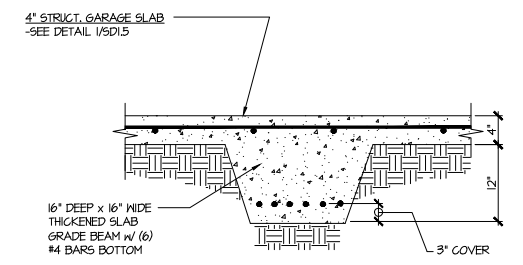
SEE ARCHITECTURAL  
 PLANS FOR ACTUAL  
 GARAGE DIMENSIONS



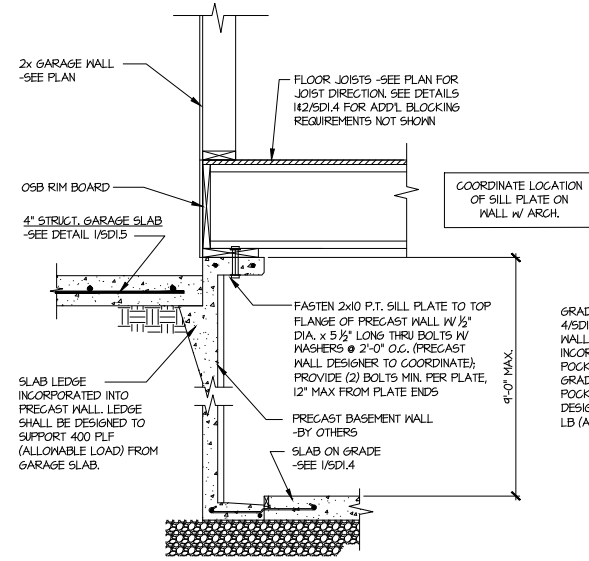
**2** TYPICAL PERIMETER FOOTING @  
 GARAGE - BASEMENT FOUNDATION



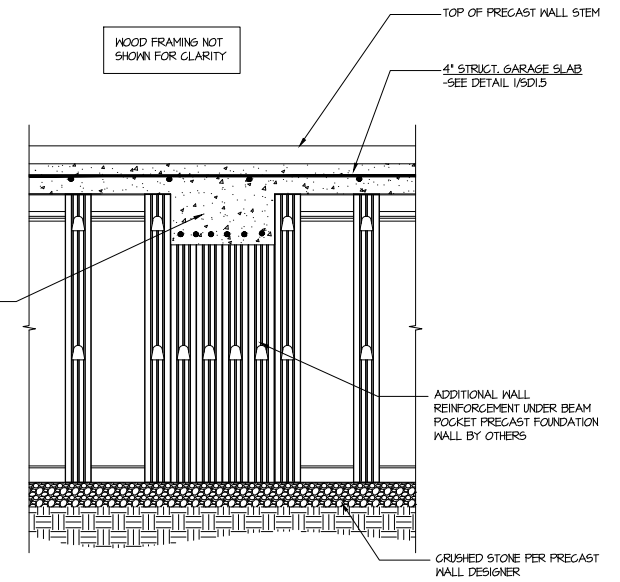
**3** TYPICAL PERIMETER FOOTING @  
 GARAGE - BASEMENT FOUNDATION (BRICK)



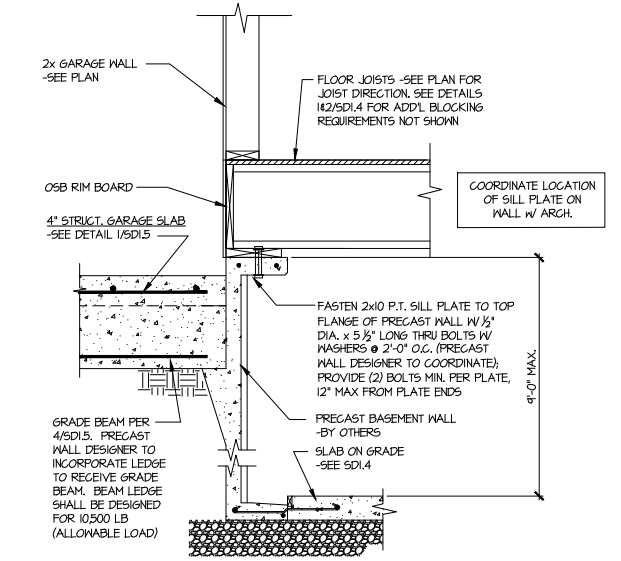
**4** TYPICAL CONCRETE GRADE BEAM @ GARAGE FDN.  
 SCALE: 3/4"=1'-0"



**5** CONCRETE BSMT. FDN. WALL @  
 GARAGE



**6** SECTION  
 SCALE: 3/4"=1'-0"



**7** SECTION  
 SCALE: 3/4"=1'-0"

sheet:

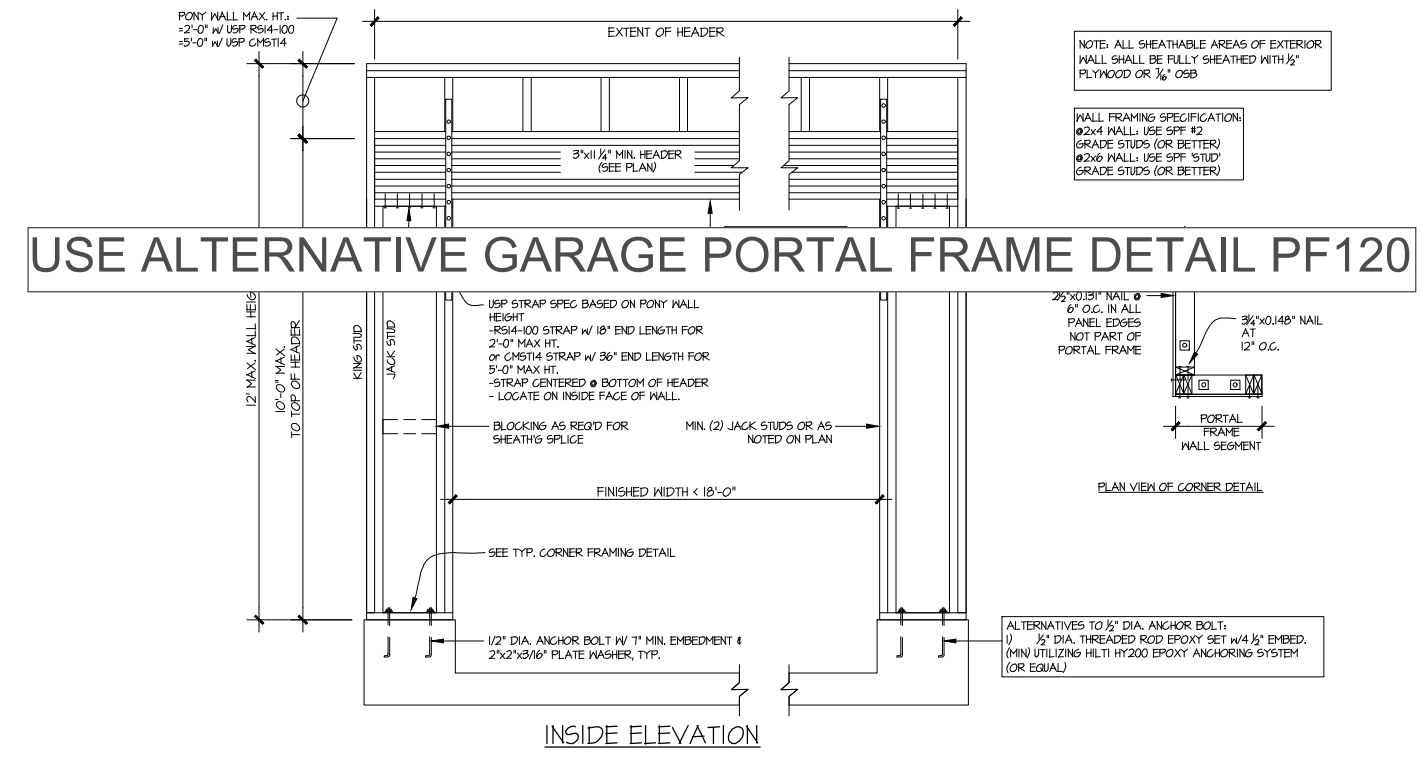
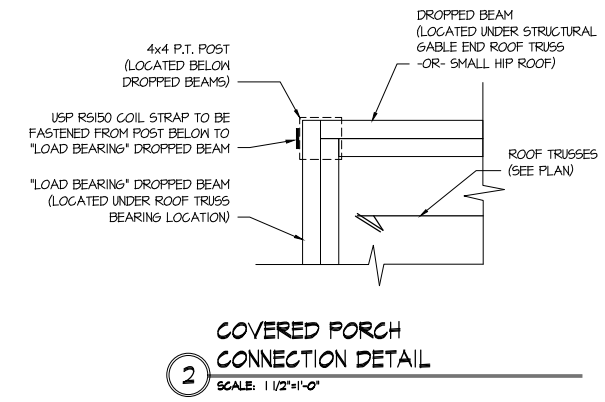
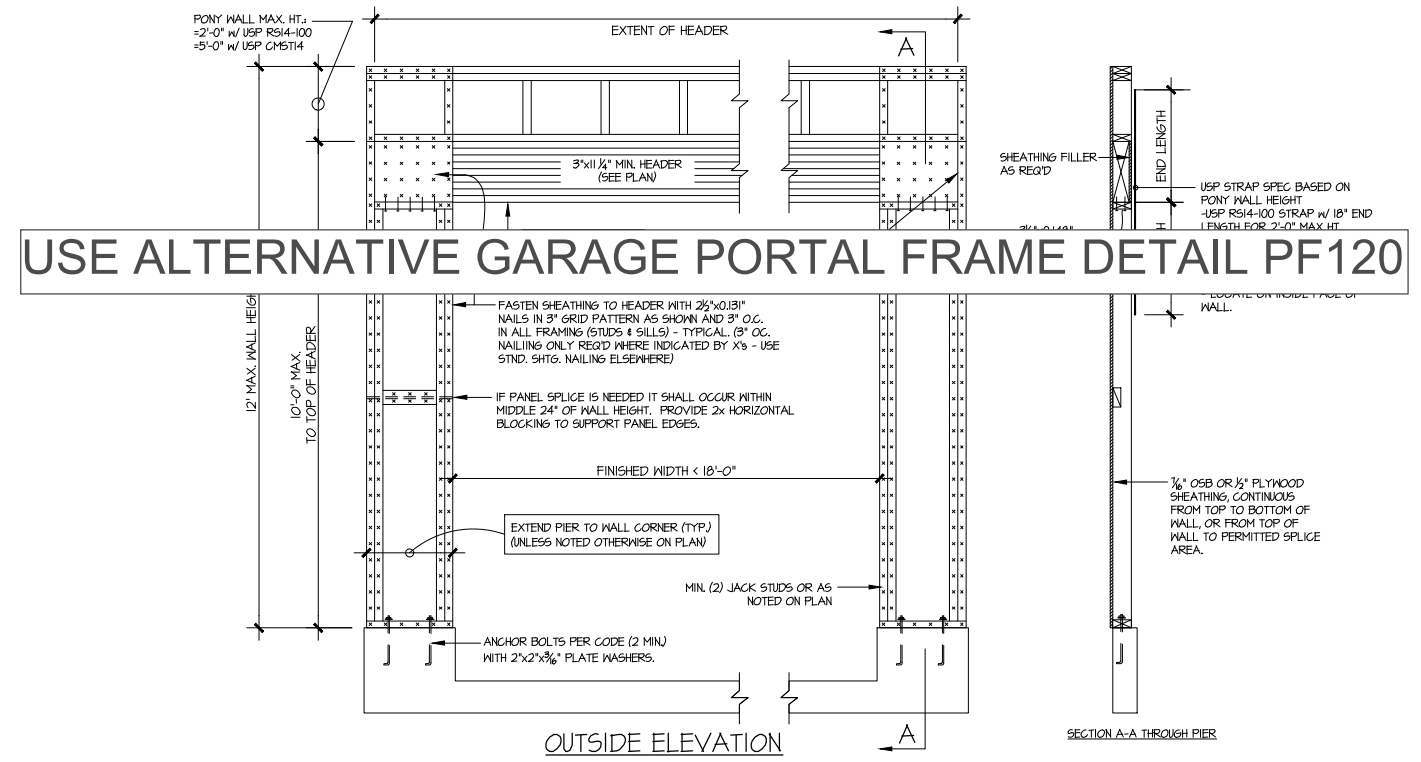
Mulhern+Kulp project number:  
**256-21019**

project mgr: **SMK**  
 drawn by: **MJF**  
 issue date: **02-03-22**

REVISIONS:  
 date:                      initial:

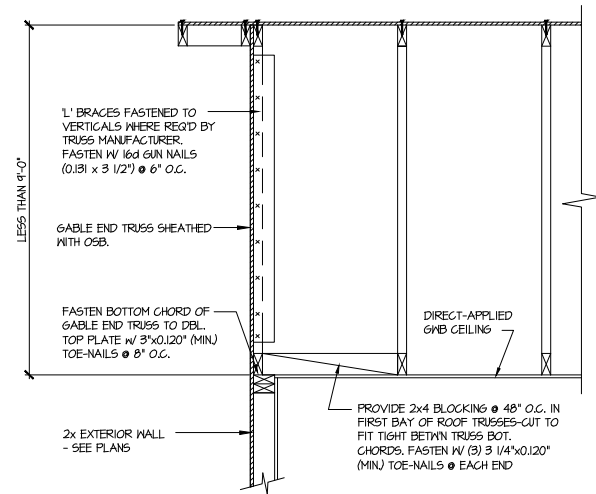
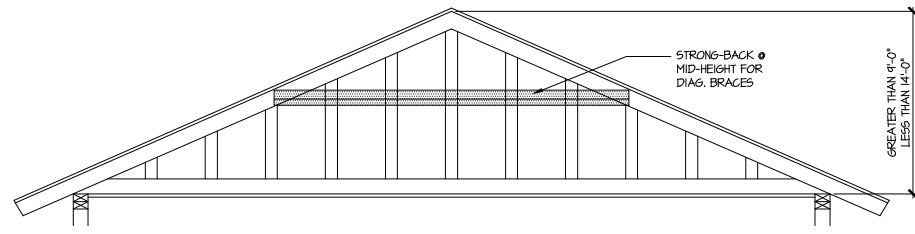
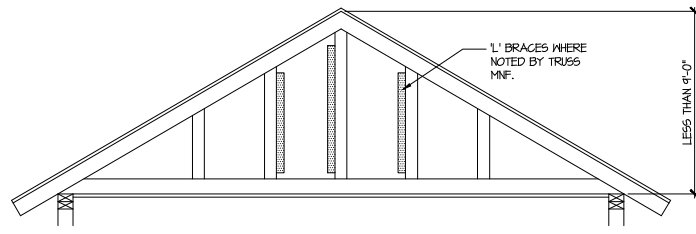
SMITH DOUGLAS  
 HOMES

FRAMING DETAILS  
**LANDEN MODEL**  
 120 MPH WIND ZONE  
 NORTH CAROLINA



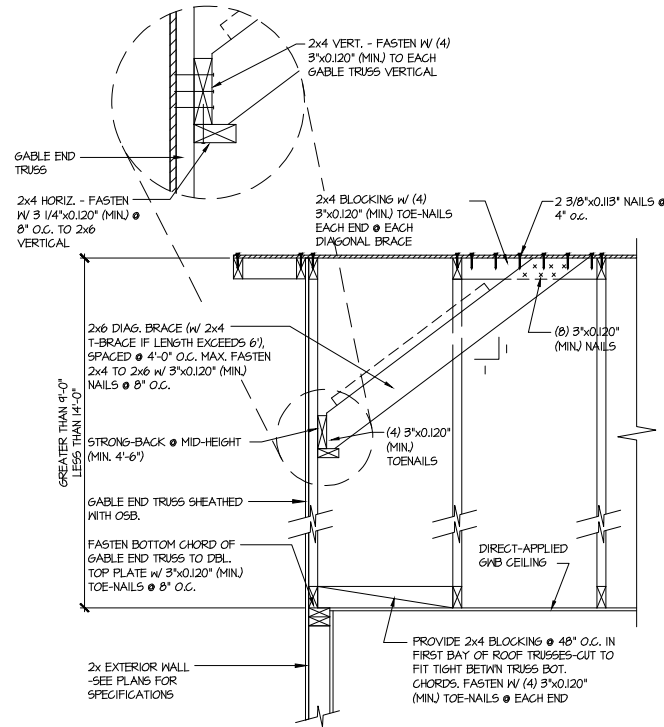
**GARAGE PORTAL FRAME BRACING ELEVATION**  
 SCALE: N.T.S. BOTH SIDES OF GARAGE DOOR  
 115 MPH WIND SPEED (ULT)

Duncans  
 Lot 36



**A** TYPICAL GABLE END BRACING DETAIL  
 SCALE: NONE  
 REQ'D • GABLE END TRUSS  
 HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



**B** TYPICAL GABLE END BRACING DETAIL  
 SCALE: NONE  
 REQ'D • GABLE END TRUSS  
 HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

**MULHERN+KULP**  
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 770-777-8074 • mulhern+kulp.com  
 NC License # C-3825

Mulhern+Kulp project number:  
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 project mgr: SMK  
 drawn by: MJF  
 issue date: 02-03-22

REVISIONS:

date:	initial:

SMITH DOUGLAS  
 HOMES

FRAMING DETAILS  
 LANDEN MODEL  
 120 MPH WIND ZONE  
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RESIDENTIAL STRUCTURAL ENGINEERING

3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

July 28, 2023

Jody Hunt  
Director of Product Development  
**SMITH DOUGLAS HOMES**  
110 Village Trail, Suite 215  
Woodstock, GA 30188

**ALTERNATE GARAGE PORTAL FRAME DETAIL**  
Smith Douglas Homes

**Reference**

*"Alternate Garage Portal Frame Detail" on sheet PF-120 & PF-130, prepared by Mulhern & Kulp dated 07/28/2023 - attached*

Jody:

Pursuant to your request, we have prepared this letter to address the "Alternate Garage Portal Frame Detail", prepared by Mulhern & Kulp for Smith Douglas Homes.

The "Alternate Garage Portal Frame Detail" on sheet "PF-120" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than or equal to 120mph ultimate wind speed per ASCE 7-16. The "Alternate Garage Portal Frame Detail" on sheet "PF-130" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than or equal to 130mph ultimate wind speed per ASCE 7-16. These details only apply to structural plans that have been designed by Mulhern & Kulp. It is the responsibility of "SDH" to provide the correct "Alternate Garage Portal Frame Detail", to the building department that matches the jurisdiction's wind speed requirements.

**Please feel free to call if you have any questions.**

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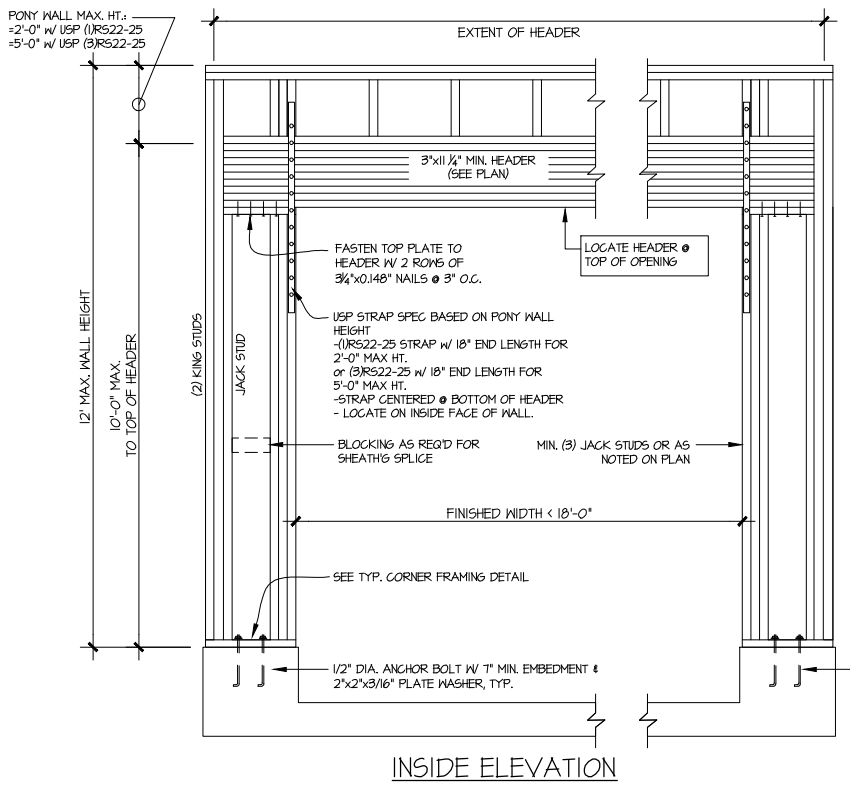
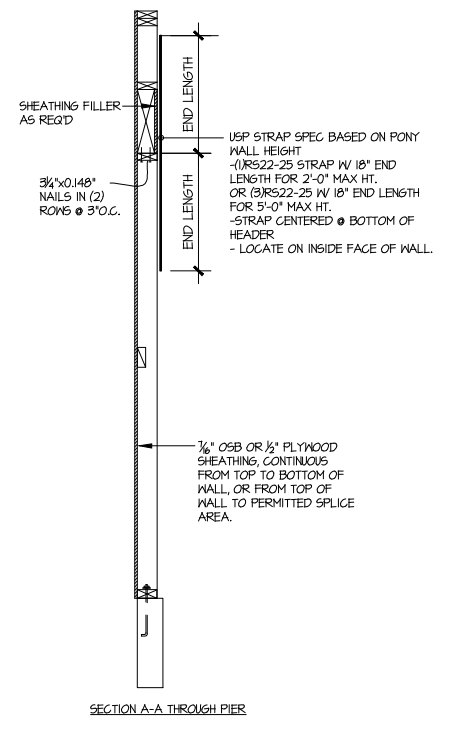
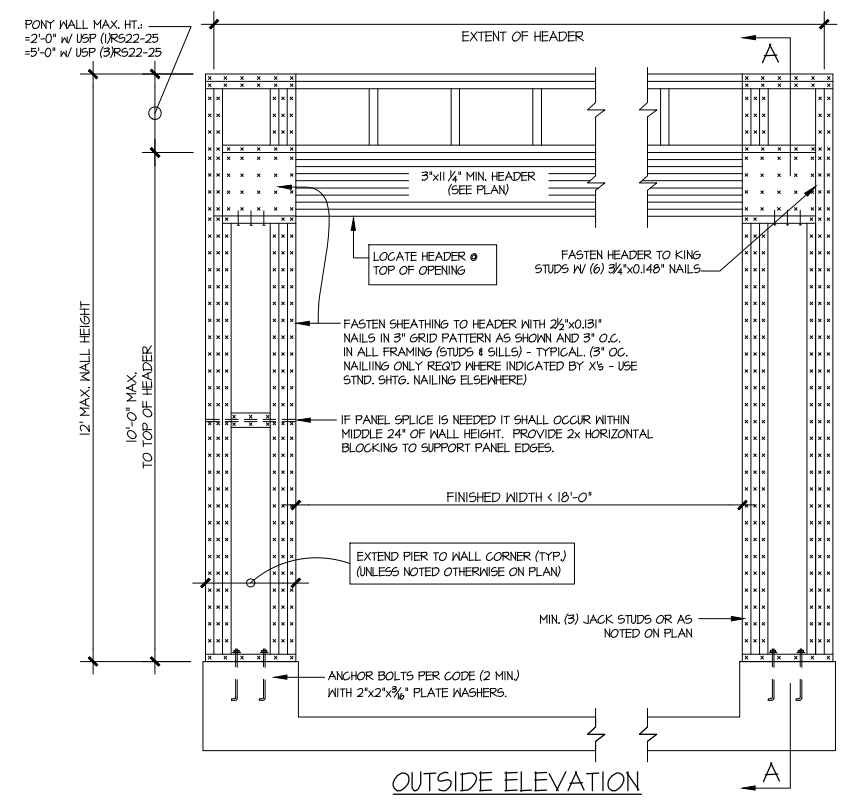
Respectfully,

**MULHERN & KULP STRUCTURAL ENGINEERING, INC.**

NC License # C-3825

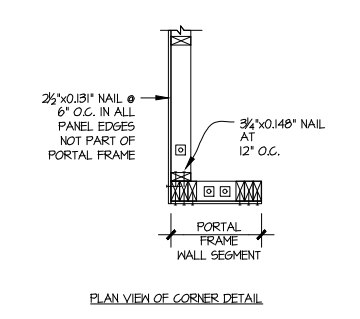
Shaun M. Kreidel, P.E. Project Manager + Atlanta Office Director

Signature + Seal 07/28/2023



NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 3/8" OSB

WALL FRAMING SPECIFICATION:  
 02x4 WALL: USE SFF #2 GRADE STUDS (OR BETTER)  
 02x6 WALL: USE SFF #1UD GRADE STUDS (OR BETTER)



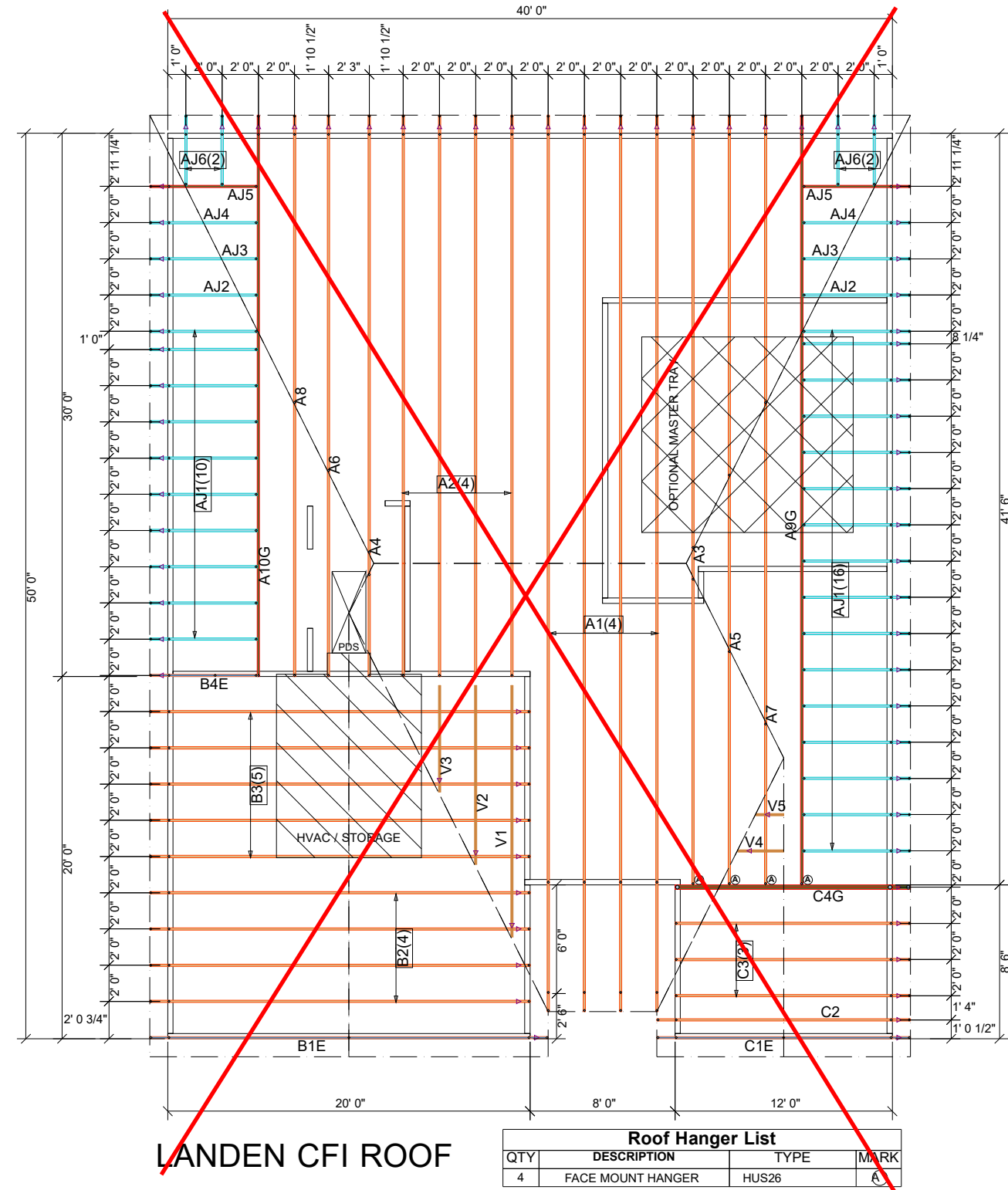
ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:  
 1) 1/2" DIA. THREADED ROD EPOXY SET w/4 1/2" EMBED. (MIN) UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)

**A** ALTERNATE GARAGE PORTAL FRAME BRACING ELEVATION  
 SCALE: N.T.S. BOTH SIDES OF GARAGE DOOR 120 MPH WIND SPEED (ULT)

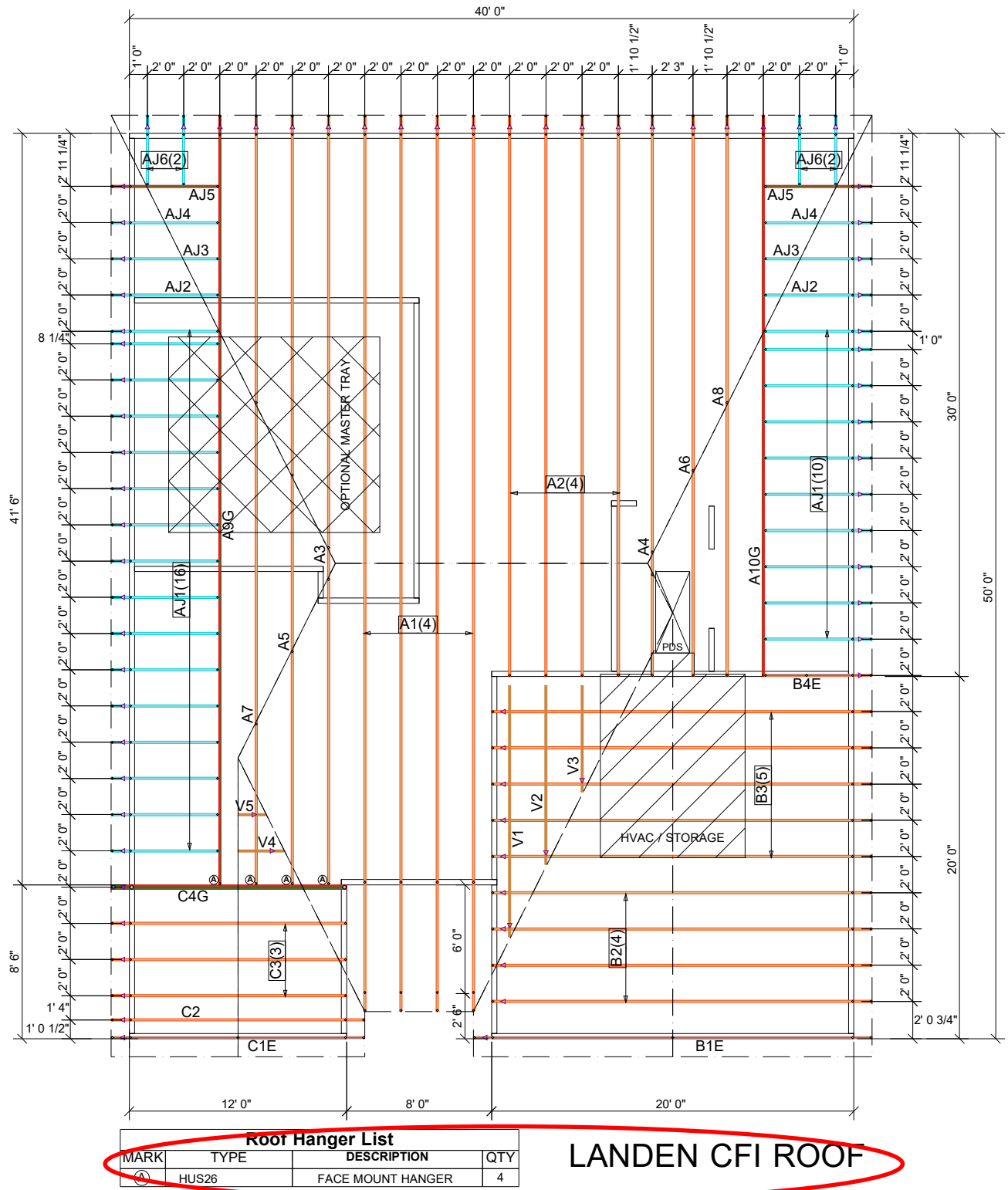
Duncans Lot 36

# 72332428 36 DUNCANS CROSSING

THIS IS A TRUSS PLACEMENT DIAGRAM (TPD) ONLY. NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDDs) for each truss design identified on the TPD. The Contractor is responsible for the temporary bracing of the roof and floor system, and the building designer is responsible for the permanent bracing of the roof and floor system and the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbccomponents.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.



LANDEN CFI ROOF



LANDEN CFI ROOF

## ROOF TRUSS PLACEMENT PLAN

△ INDICATES LEFT END OF TRUSS SCALE: N.T.S.

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**SMITH DOUGLAS**

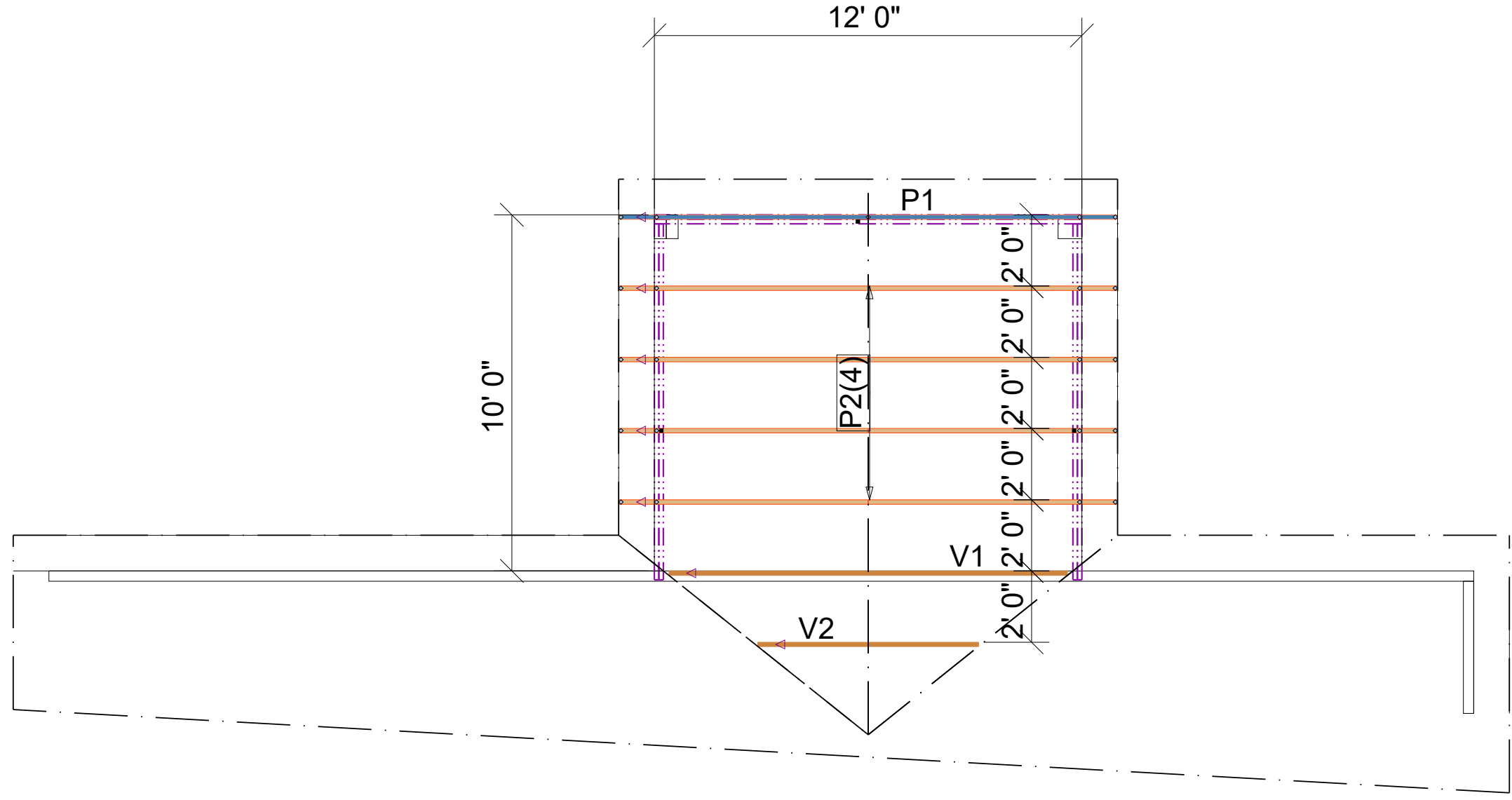
**LANDEN CFI ROOF**

REVISIONS	DATE	DESCRIPTION	DSN	JK
	05/02/2023	MAIN PITCH CHANGE		

DESIGNER JK  
LAYOUT DATE 05/02/2023  
ARCH DATE 04/07/2023  
STRUC DATE N/A  
JOB #: MASTER

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**ROOF TRUSS PLACEMENT PLAN**



**LANDEN 10 x 12 PORCH**

△ INDICATES LEFT END OF TRUSS SCALE: N.T.S

REVISIONS		DSN
DATE	DESCRIPTION	

DESIGNER JNN  
 LAYOUT DATE 8/25/23  
 ARCH DATE 06/12/2023  
 STRUC DATE 05/31/2023  
 JOB #: MASTER

**SMITH DOUGLAS**

**LANDEN 10 x 12 PORCH**

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