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THE HAVILLAND

TLA-000-005

PROJECT#
DRB2301-0091
DATE
06/12/2023
DRAWN/DESIGNED BY
NW
CHECKED BY
DRB
SCALE
1/4" = 1'-0"

WEBSITE
www.
drbhomedesign
.com

PROJECT NAME
THE
HAVILLAND

DRB DESIGN
drbdesign@drbhomedesign.com 919.631.5979
250 Shipwash Dr Suite 105 Garner, NC 27529

CUSTOMER NAME
A&G Residential
916 Arsenal Ave. Suite B.
Fayetteville, NC 28305
jenn@agresidentialinc.com
(910) 237-7944

SHEET NAME
ELEVATIONS
SHEET #

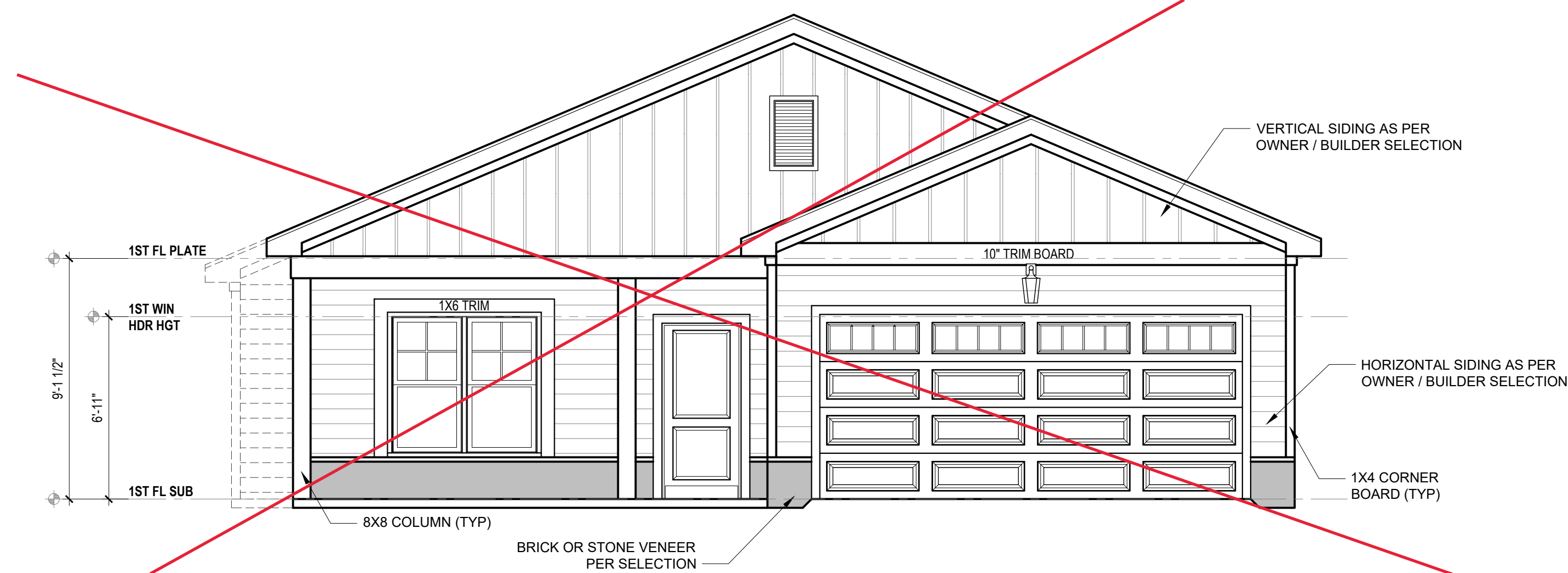
2
of 10

2X4 WALLS



FRONT ELEVATION B

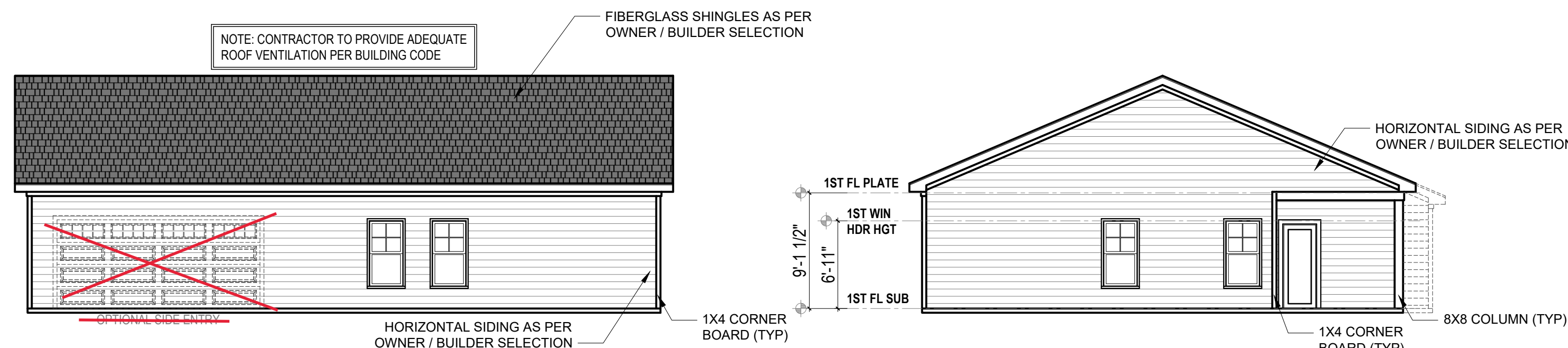
1/4" = 1'-0"



~~**FRONT ELEVATION B
W/ OPTIONAL VENEER**~~

~~1/4" = 1'-0"~~

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4. Release of these plans requires further cooperation among the owner, his/her contractor, and DRB DESIGN.
5. Design and construction are complex and, although the designer performed his services with due care and diligence, perfection is not a guarantee.
6. Communication is imperfect and every contingency cannot be anticipated.
7. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to DRB DESIGN. Failure to notify the DRB DESIGN compounds misunderstandings and increases construction costs.
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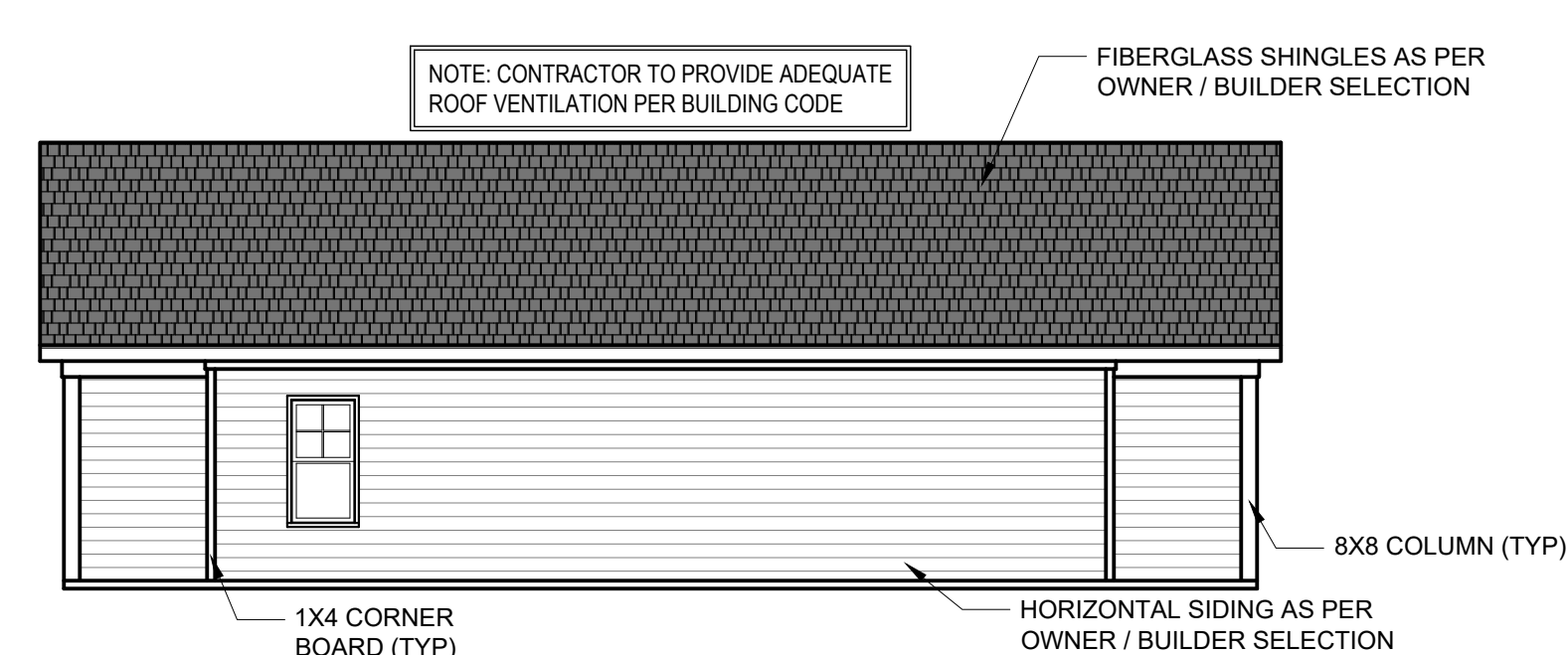
RIGHT ELEVATION B

1/8" = 1'-0"



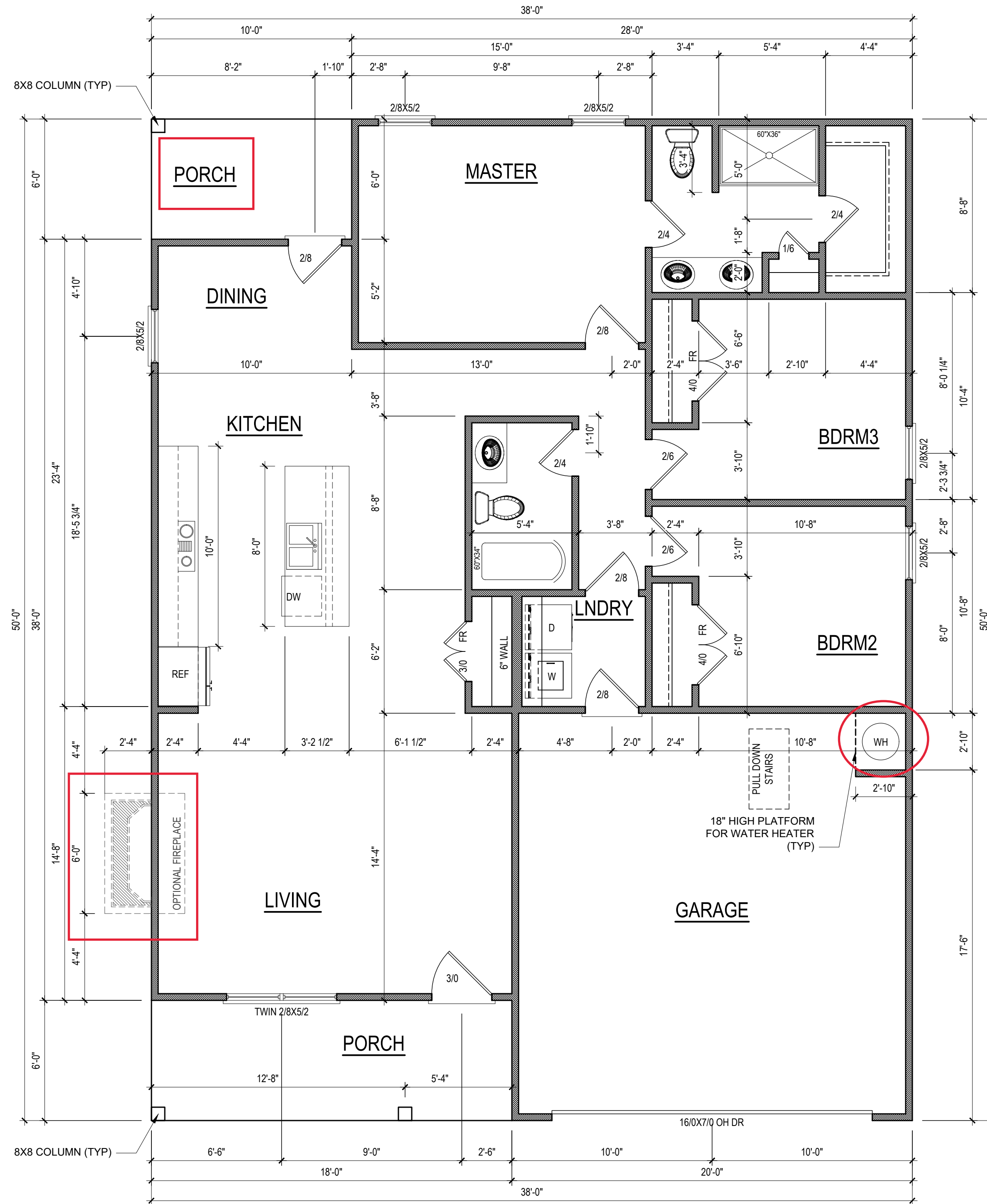
REAR ELEVATION B

1/8" = 1'-0"



LEFT ELEVATION B

1/8" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0" CEILING HGT. = 9'-0"

NOTE: VERIFY WINDOW SILL HEIGHT CLEARANCE ABOVE TUBS AND COUNTERTOPS TO ALLOW FOR TRIM AND/OR BACKSPLASH

HEATED SQUARE FOOTAGE	
First Floor	1330
TOTAL HEATED	1330
UNHTD SQUARE FOOTAGE	
Garage	402
Front Porch	108
Rear Porch	60
TOTAL UNHEATED	570
TOTAL SQ FT	1900

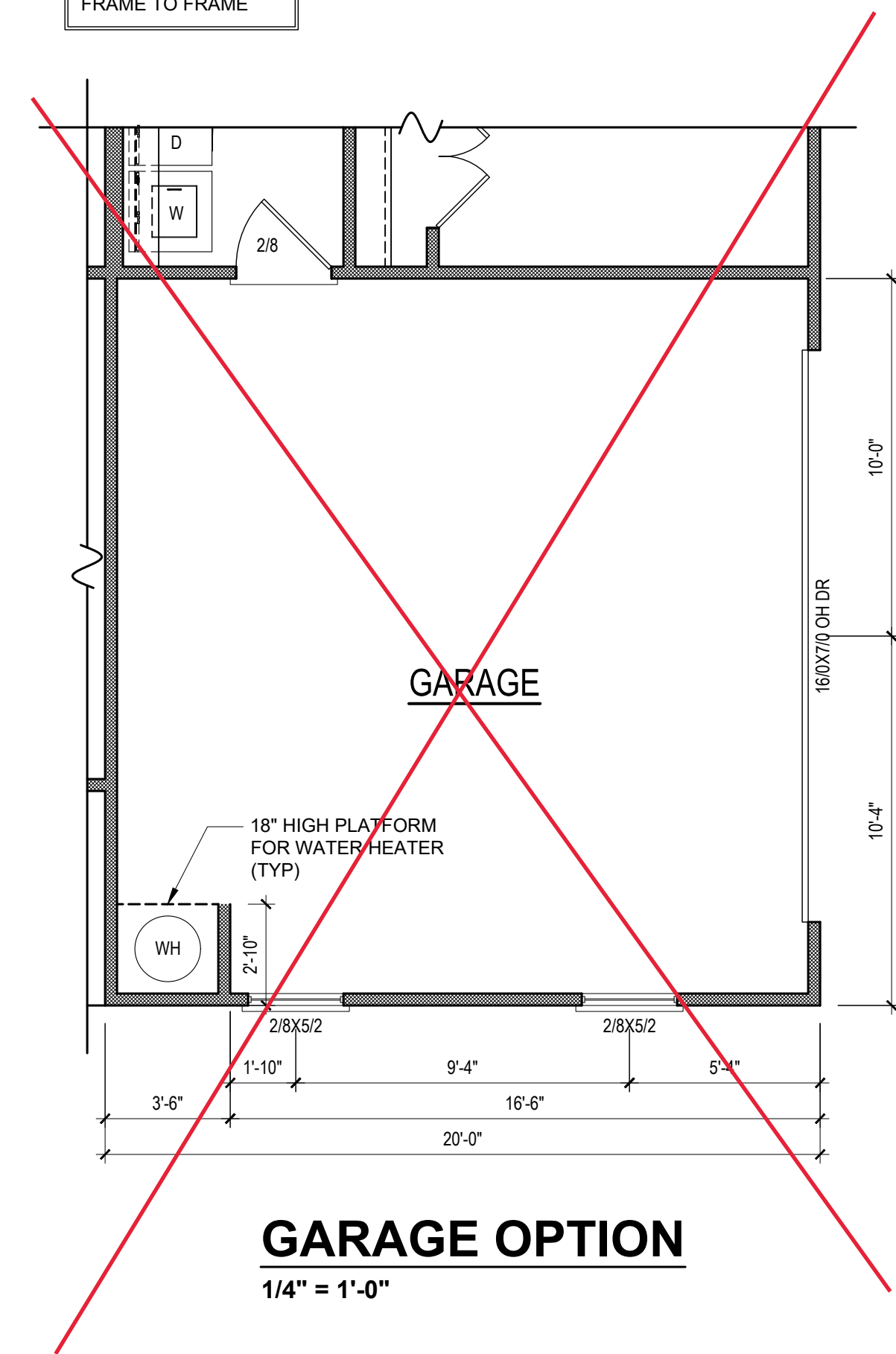
NOTE: SEE ELEVATIONS FOR WINDOW HDR HGTS

NOTE: ALL EXTERIOR WALLS ARE NOMINAL 4" UNO

NOTE: ALL DIMENSIONS ARE FRAME TO FRAME

NOTE: ALL DOORS ARE 6'-8" TALL UNO

NOTE: ALL INTERIOR WALLS ARE NOMINAL 4" UNO



GARAGE OPTION
1/4" = 1'-0"

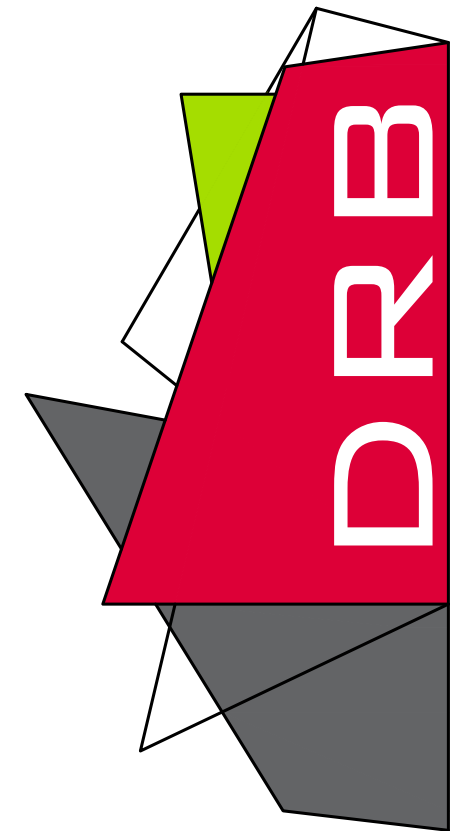
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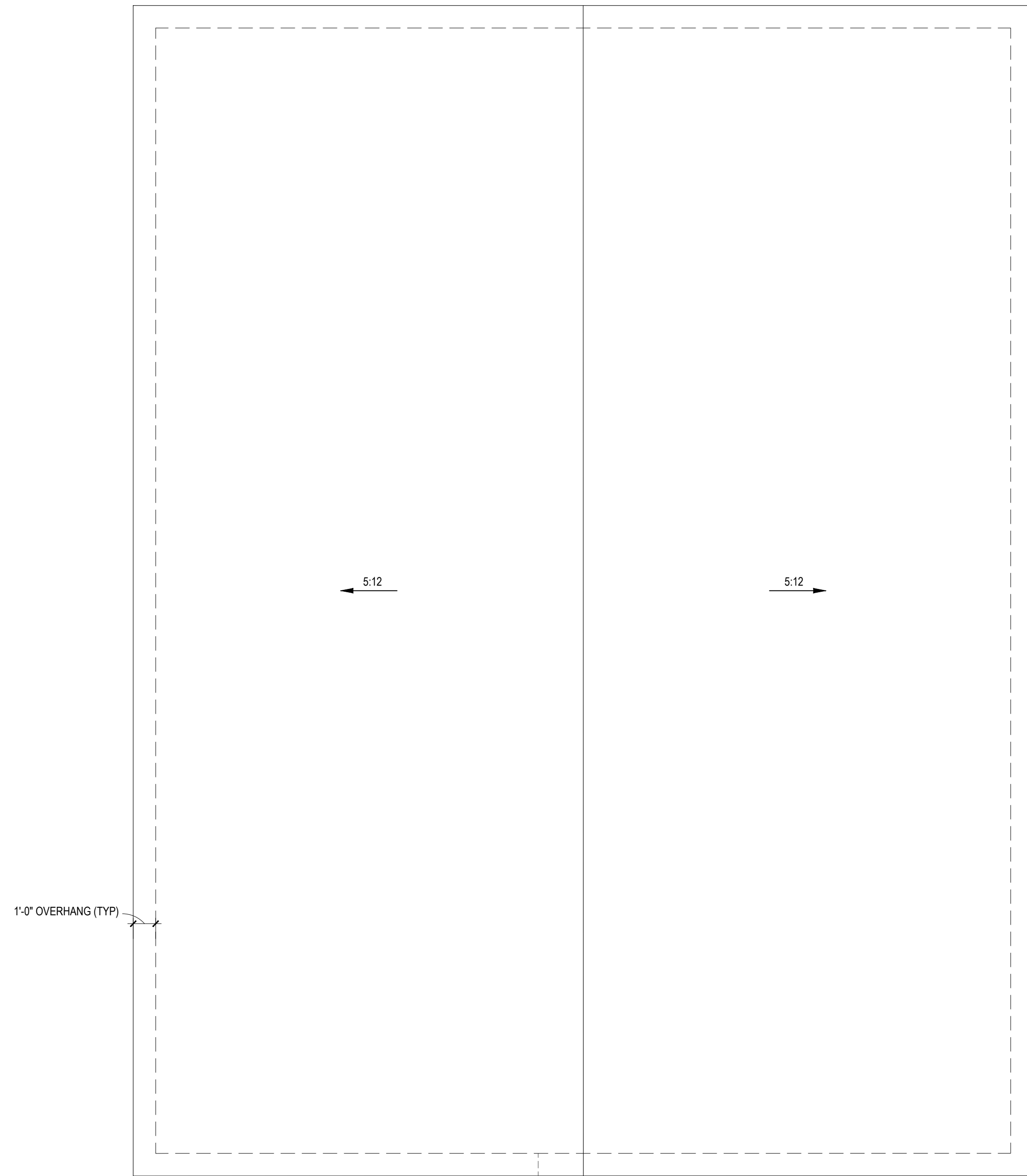
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SHEET NAME
1ST_FLOOR

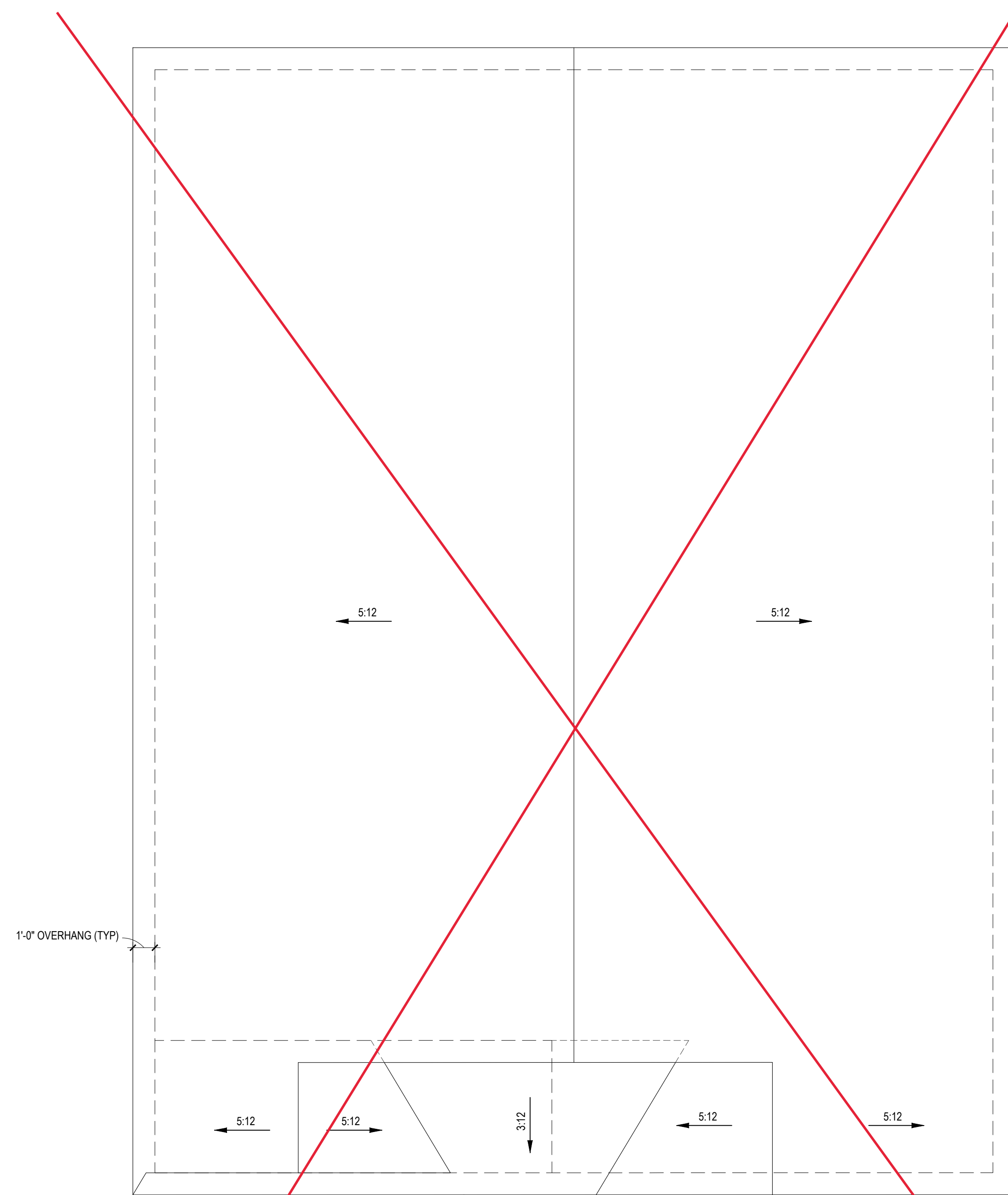
SHEET #
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of 10



NOTE: SEE STRUCTURAL PLANS FOR ATTIC VENTILATION CALCULATIONS

NOTE: ANY ROOF PITCH 4:12 OR LESS SHALL BE PROPERLY WATERPROOFED PER BLDG. CODE

ROOF PLAN - ELEVS A,B
1/4" = 1'-0"

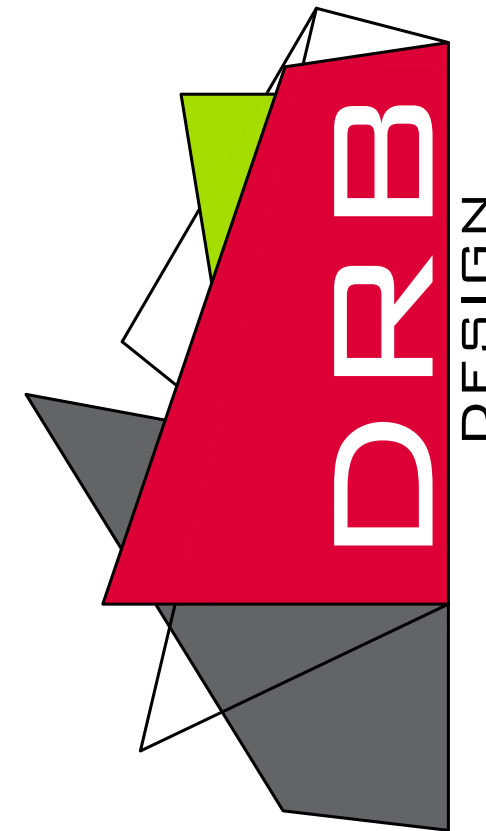


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ROOF PLAN - ELEVS C,D
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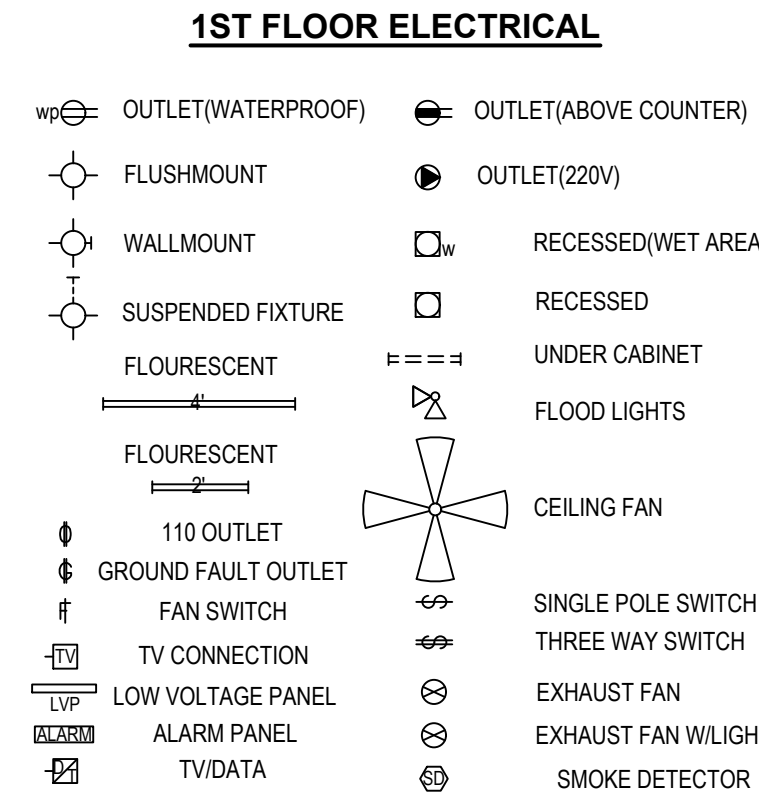
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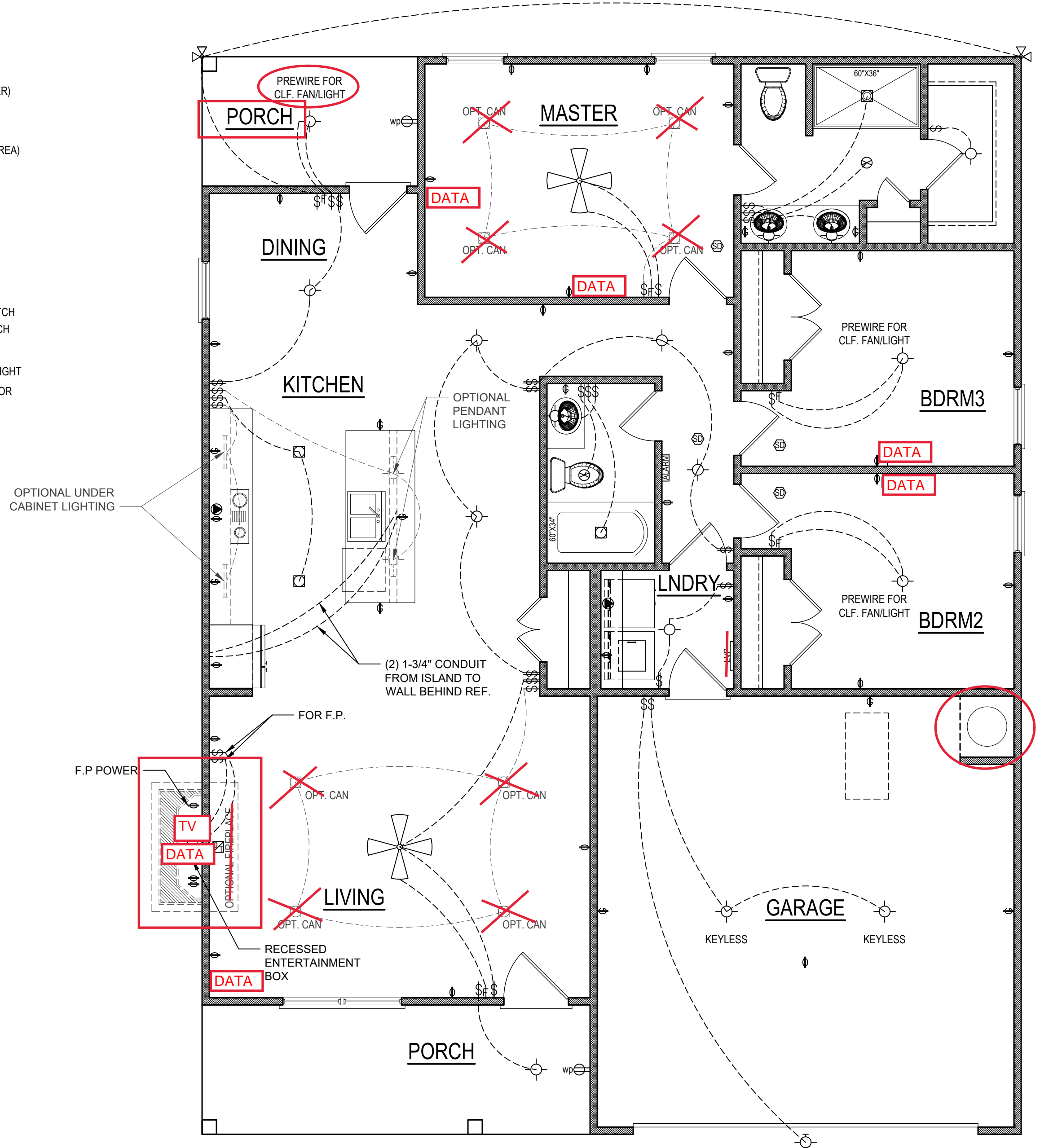
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SHEET NAME
ROOF

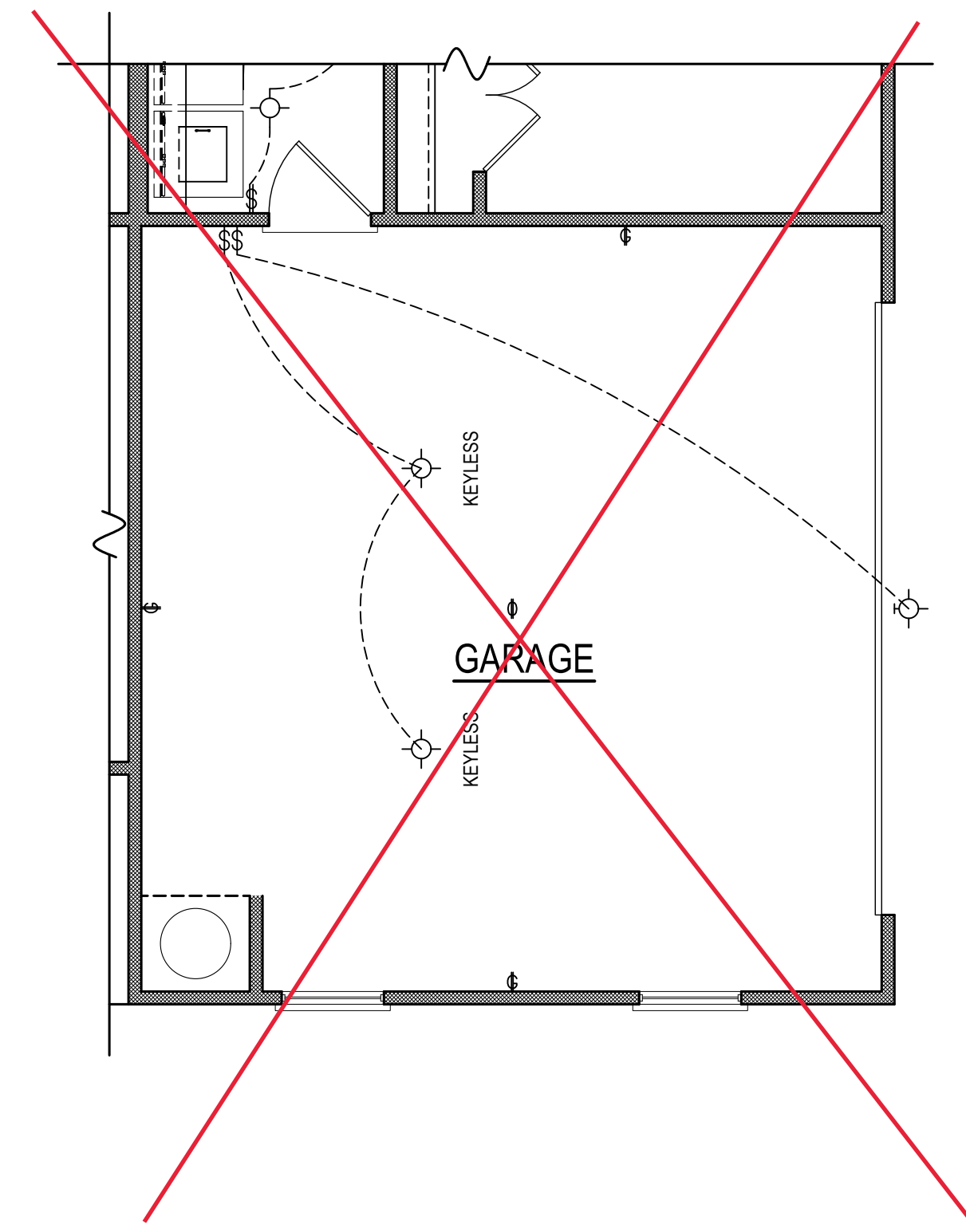
SHEET #
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of 10



- ELECTRICAL LAYOUT NOTES**
1. BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN.
 2. VANITY LIGHTS TO BE SET @ 90" A.F.F (TYP)
 3. ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN.
 4. PLACE SWITCHES 8" (MIN) FROM ROUGH OPENINGS.



FIRST FLOOR PLAN
1/4" = 1'-0" CEILING HGT. = 9'-0"



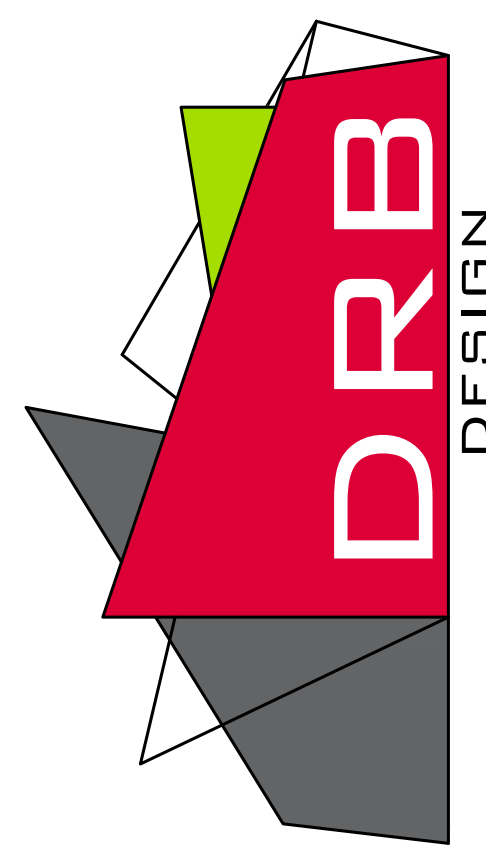
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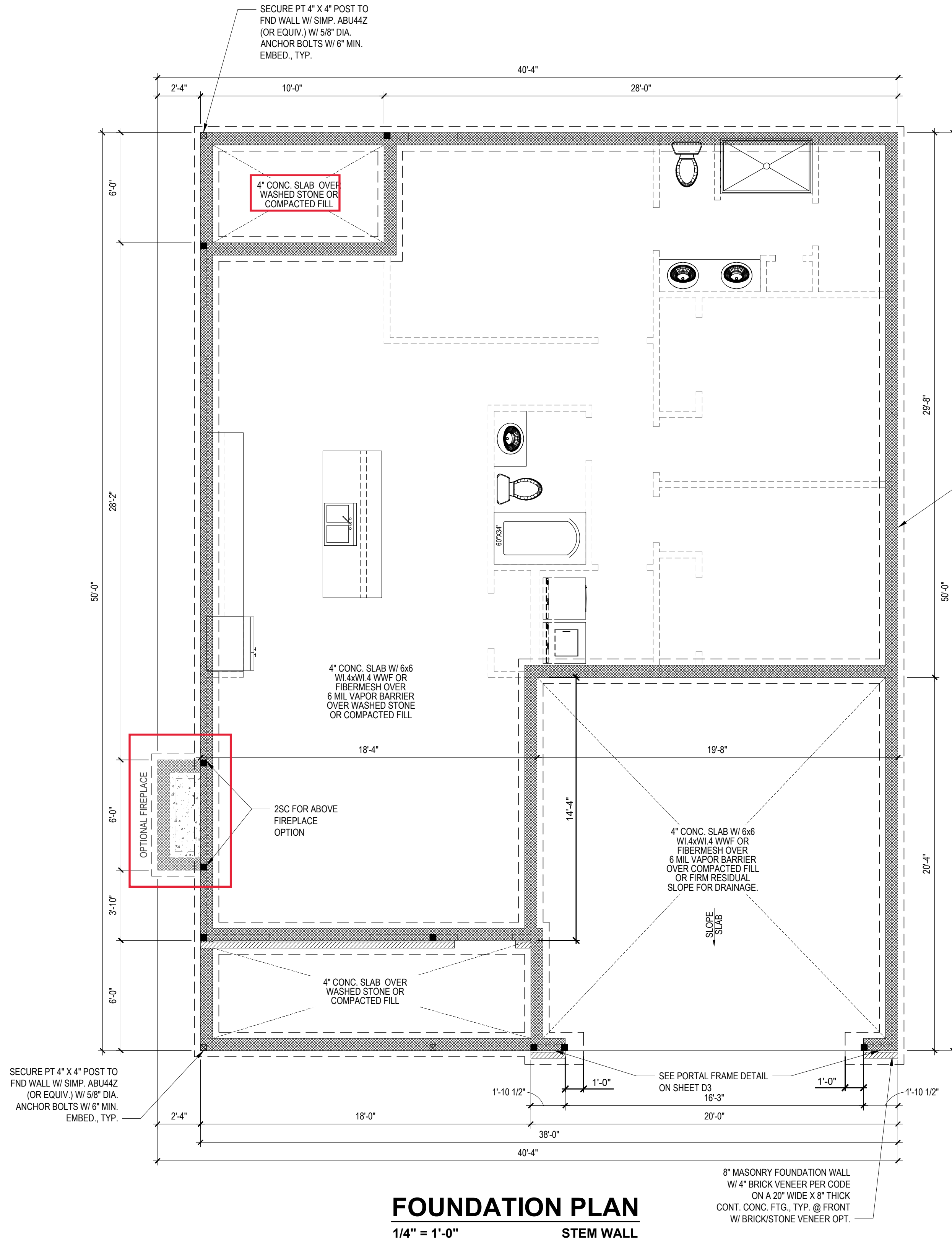
SHEET NAME
ELECTRICAL

DESIGN LOADS

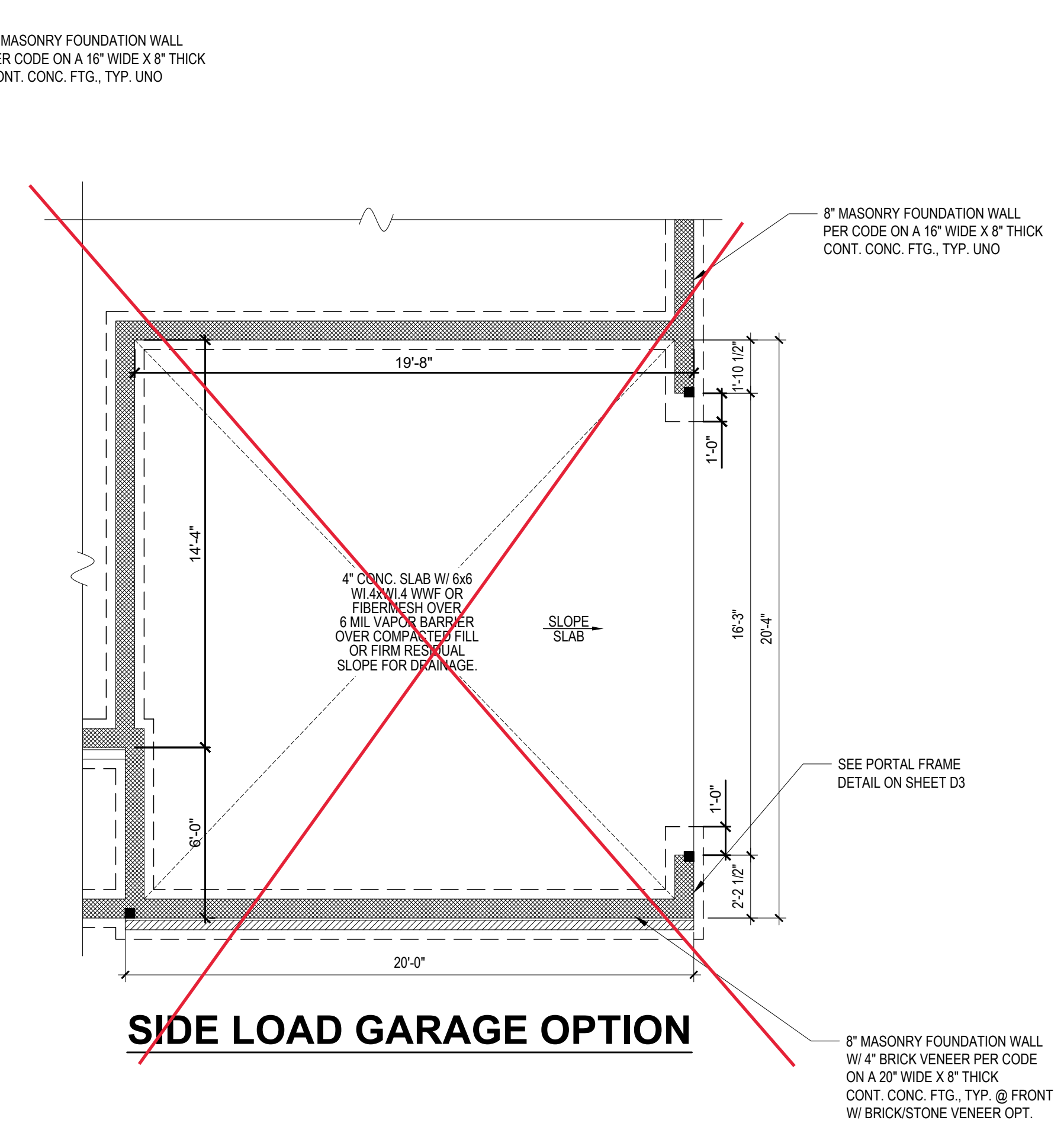
	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION	
			LL	TL
FLOOR (primary)	40	10	L/360	L/240
FLOOR (secondary)	40	10	L/360	L/240
ATTIC (w/ storage)	20	10	L/240	L/180
ATTIC (no storage)	10	5	L/240	L/180
EXTERNAL BALCONY	40	10	L/360	L/240
ROOF	20	10	L/240	L/180
ROOF TRUSS	20	20	L/240	L/180
WIND LOAD	BASED ON 120 MPH (EXPOSURE B)			
SEISMIC	BASED ON SEISMIC ZONES A, B & C			

STRUCTURAL NOTES:

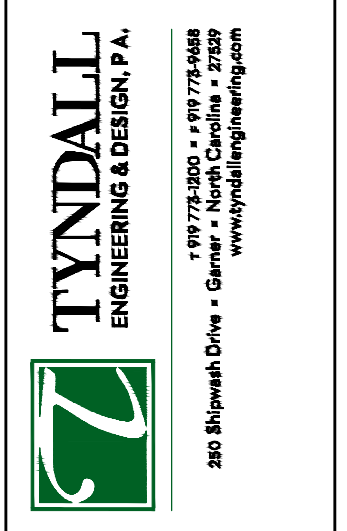
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF NORTH CAROLINA STATE 2018 RESIDENTIAL BUILDING CODE*, IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND SQUARE FOOTAGE PRIOR TO CONSTRUCTION. TYNDALL ENGINEERING & DESIGN, PA IS NOT RESPONSIBLE FOR DIMENSIONS AND SQUARE FOOTAGE ERRORS ONCE CONSTRUCTION BEGINS.
- ALL LUMBER SHALL BE SYP #2 (UNO)
ALL LVL LUMBER TO BE 1.75" WIDE NOMINAL EACH SINGLE MEMBER AND Fb = 2600 PSI, E = 1.9M PSI
(I.E. iLEVEL MICROLAM)
ALL LSL LUMBER IS TO BE 1.55E (Fb = 2325 PSI)
- ALL LOAD BEARING EXTERIOR WINDOW HEADERS ARE TO BE (2) 2x10 w/ (1) 2x4 JACK STUD (U.N.O.) AND KING STUDS PER TABLE R602.7.5, AND TOGETHER w/ (2) 10d NAILS @ 8" O.C., PROVIDED THAT THE TOP OF THE WINDOW HEIGHT IS 6'-8", MINIMUM BOTTOM OF THE WINDOW HEIGHT IS 1'-6". OTHERWISE REFER TO TABLES R602.7(1) AND R602.7(2).
- ALL INTERIOR LOAD BEARING HEADERS TO BE (2) 2x10 (U.N.O.) REFER TO TABLES R602.7(1) AND R602.7(2) FOR JACK STUD REQUIREMENTS FOR HEADER SPANS FOR INTERIOR AND EXTERIOR LOAD CONDITIONS (UNO)
- REFER TO 2018 NC BUILDING CODE SECTION R602 FOR CONSTRUCTION OF ALL WALLS OVER 10'-0" IN HEIGHT.
- ALL STRUCTURAL STEEL SHALL BE ASTM A992 GRADE 50
Fy = 50 KSI MIN. (UNO)
- ALL EXTERIOR LUMBER TO BE #2 SYP PT
- ALL CONCRETE f'c = 3000 PSI MIN.
- PRESUMPTIVE BEARING CAPACITY = 2000 PSF
- 12"x12" ANCHOR BOLTS SPACED AT MAXIMUM OF 6'-0" O.C. AND NOT MORE THAN 12" FROM THE CORNER, THERE SHALL BE A MINIMUM OF (2) BOLTS PER PLATE SECTION. ANCHOR BOLTS SHALL BE SPACED AT 3'-0" O.C. FOR BASEMENTS. ANCHOR BOLT SHALL EXTEND 7" INTO CONCRETE OR MASONRY.
- PSL COLUMNS DESIGNED WITH MAX. HEIGHT OF 9'-0" (UNO)
- PROVIDE A MINIMUM OF 500# UPLIFT & LATERAL CONNECTION AT TOP AND BOTTOM OF PORCH COLUMNS. (U.N.O.)
- PROVIDE CONTINUOUS SHEATHING PER SECTION 602.10.3 OF THE 2018 NCRC.
- MAXIMUM MASONRY PIER HEIGHT SHALL NOT EXCEED FOUR TIMES ITS LEAST HORIZONTAL DIMENSION
- UPLIFT LOADS GREATER THAN 500# SHALL BE CONTINUOUSLY ANCHORED TO THE FOUNDATION.
- METAL HANGERS SHALL BE SIMPSON OR APPROVED EQUAL.



FOUNDATION PLAN
STEM WALL



*Engineers seal does not include construction means, methods, techniques, sequences, procedures or safety precautions.
Any deviation or discrepancy on plans are to be brought to the immediate attention of Tyndall Engineering & Design, P.A. Failure to do so will void Tyndall Engineering & Design, P.A. liability.
*Please review these documents carefully. Tyndall Engineering & Design, P.A. will interpret that all dimensions, recommendations, etc. presented in these documents were deemed acceptable once construction begins.



Client: **A&G RESIDENTIAL**
Project: **THE HAVILLAND GARAGE RIGHT**

FOUNDATION PLAN
STEM WALL OPT.

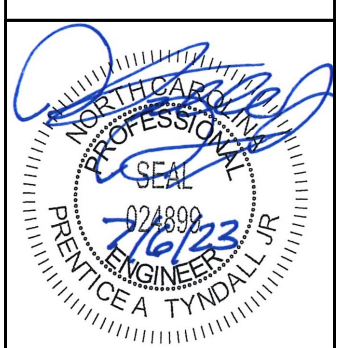
Project #: **DRB2301-0091B**
Date: **7/6/2023**
Engineered By: **HJS**
Checked By: **PTII**
Scale: **SEE PLAN**

No.	Date	Remarks

Sheet Number
S1B
1 of 5

FILENAME: H:\VALDES\OFFICE\DRB\2023\DRB2301-0091\A.G. RESIDENTIAL_HAVILLAND\CAL_FILES\DRB2301-0091_LFING_SAVED_BY: SHAKESH LAST PLOT DATE: 7/6/2023 3:22 PM

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TYNDALL
 ENGINEERING & DESIGN P.A.
 280 Blywood Drive • Garner • North Carolina • 27838
 919 778-2300 • 919 778-4444
 www.tyndallengineering.com



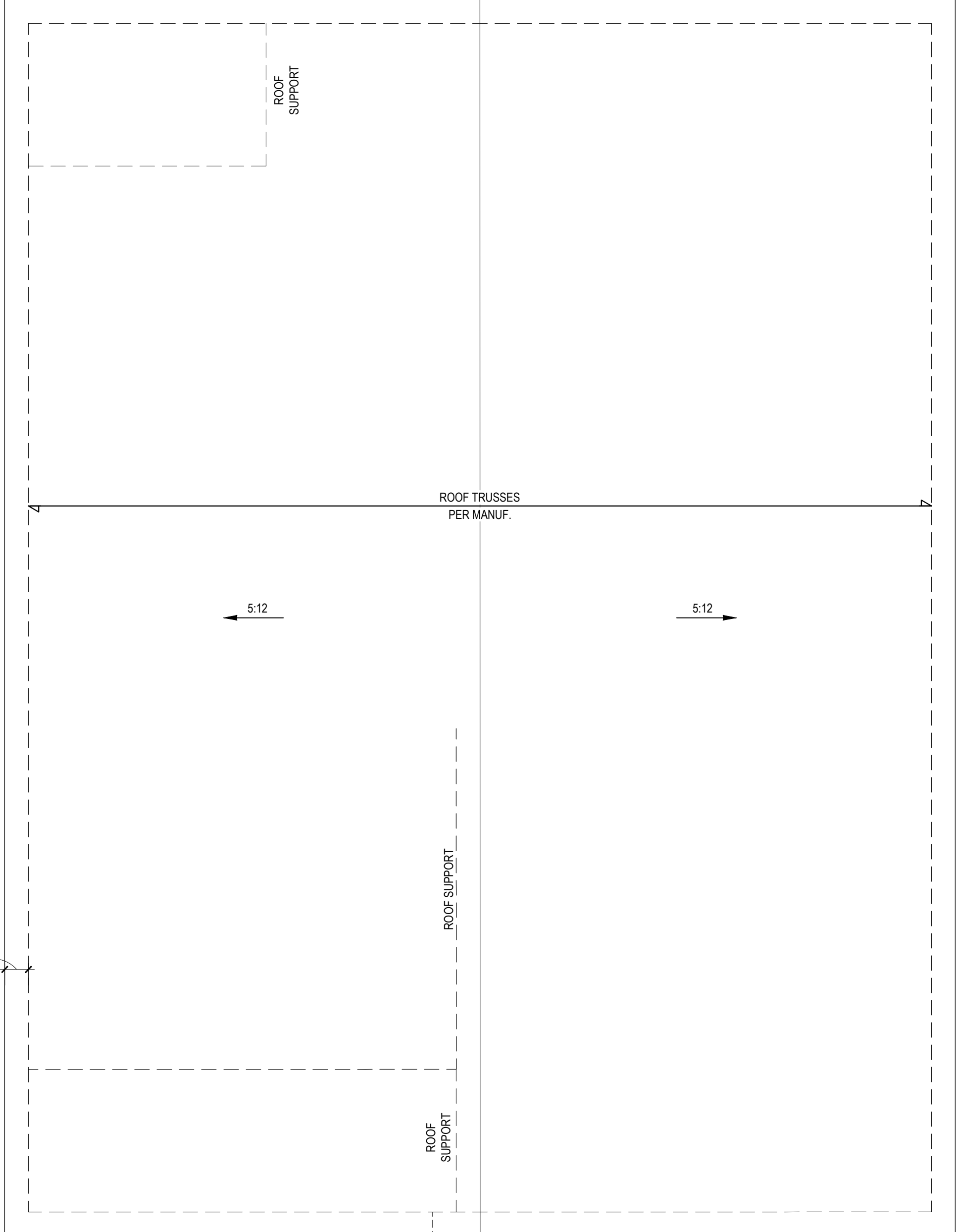
Client: **A&G RESIDENTIAL**
 Project: **THE HAVILLAND GARAGE RIGHT**

ROOF PLAN

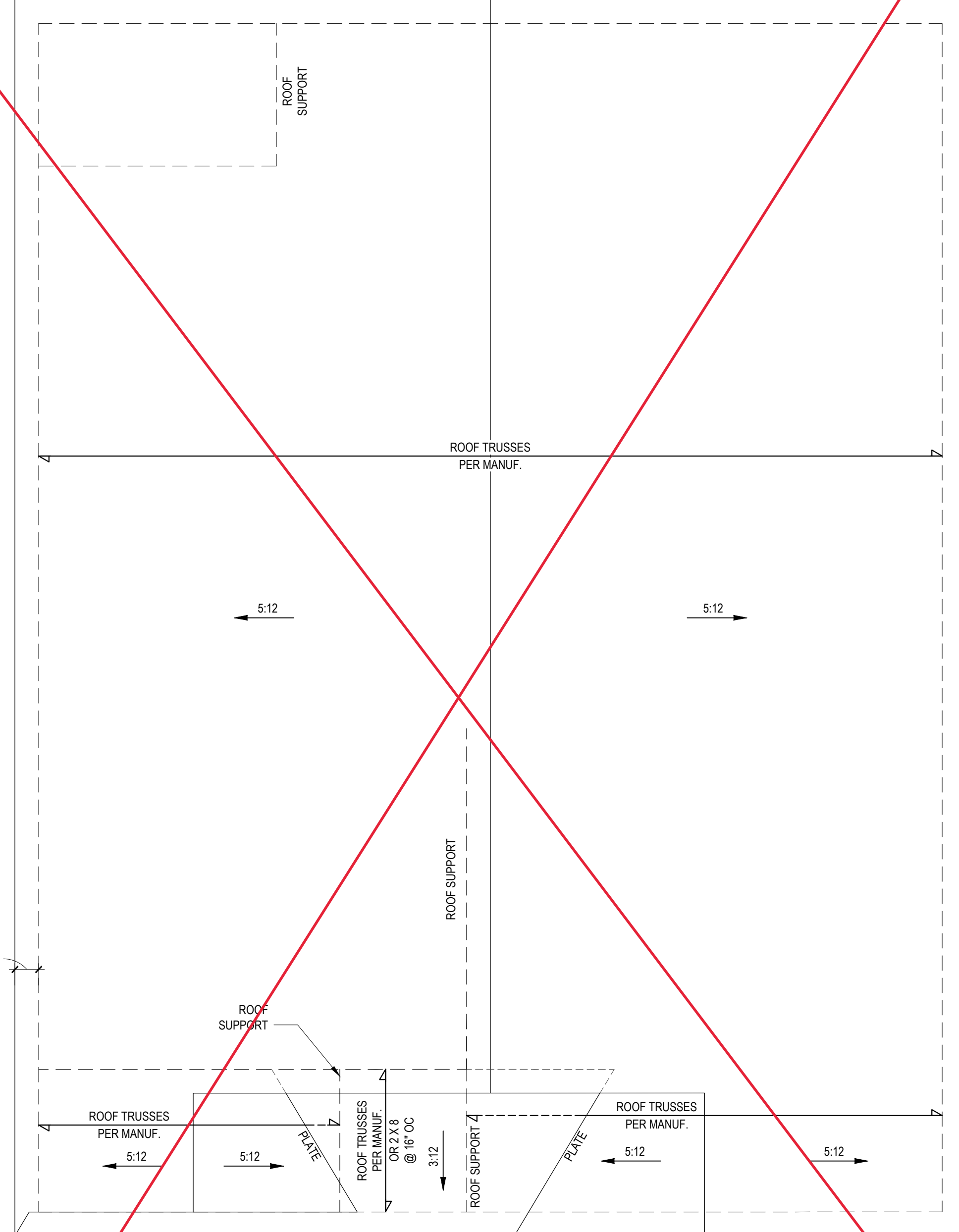
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 DWG. Checked By: **PTII**
 Scale: **SEE PLAN**

REVISIONS		
No.	Date	Remarks
△		
△		
△		
△		

Sheet Number
S3
 3 of 5



ROOF PLAN - ELEVATIONS A, B
 1/4" = 1'-0"



ROOF PLAN - ELEVATIONS C, D
 1/4" = 1'-0"

1900 SQ. FT. OF ATTIC / 300 = 7 SQ. FT. INLETS/OUTLETS REQUIRED

- CALCULATION BASED ON VENTILATORS USED AT LEAST 3'-0" ABOVE THE COMBES VENTS WITH THE BALANCE OF VENTILATION PROVIDED BY EAVE VENTS.
- CATHEDRAL CEILINGS SHALL HAVE A 1" MINIMUM CLEARANCE BETWEEN THE BOTTOM OF THE ROOF DECK AND THE INSULATION.

*** ATTIC VENTILATION CALCULATION**

NO SCALE

FILENAME: H:\VALDES\OFFICE\DRB_2023\DRB2301-0091_A.G. RESIDENTIAL_HAVILLAND\DRB2301-0091_A.G. RESIDENTIAL_HAVILLAND\CAL_FILES\DRB2301-0091_LEWG_SAVED_BY_SHAKESH_LAST_PLOT_DATE/7/2023_3:22_PM

