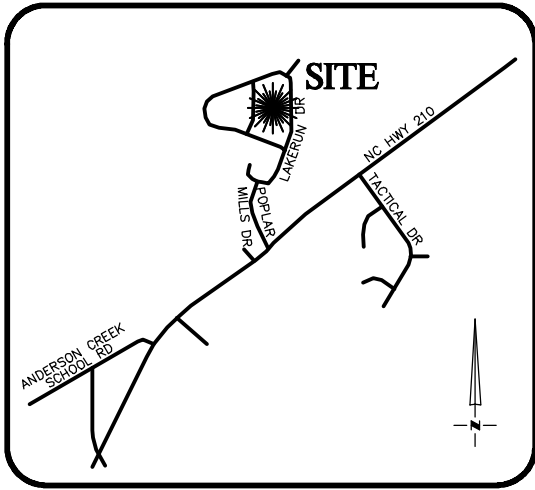


THIS IS TO CERTIFY THAT ON THE 12th DAY OF OCTOBER 2023 AN ACTUAL SURVEY WAS DONE UNDER MY SUPERVISION OF THE PROPERTY SHOWN HEREON, THIS MAP IS NOT INTENDED TO MEET GS 47-30 RECORDING REQUIREMENTS.



VICINITY MAP
Not To Scale

Dean Rhoads

SIGNED _____
DEAN M. RHOADS, PLS (L-4679)

LEGEND

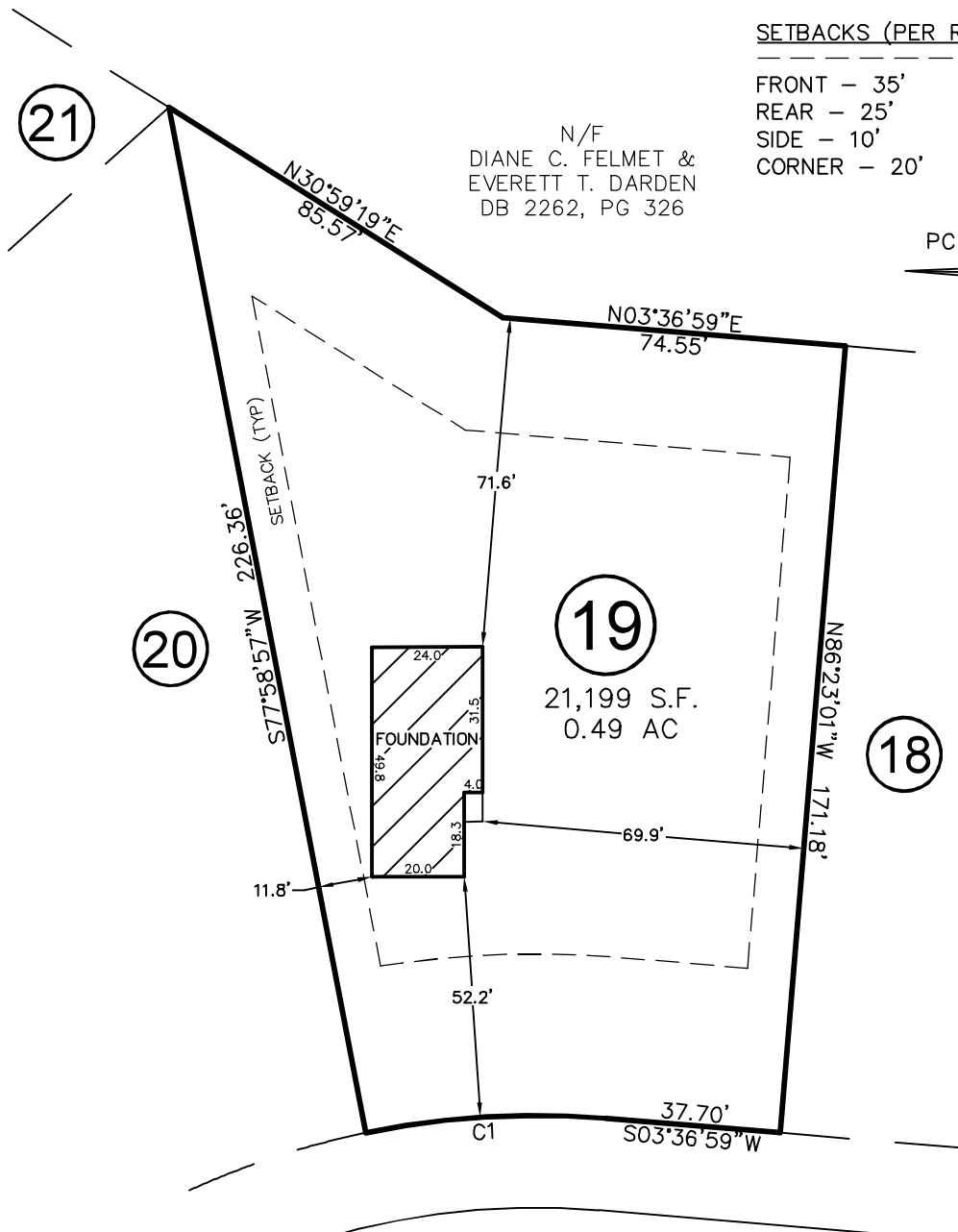
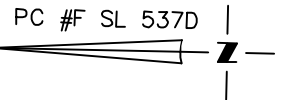
- PROPERTY LINE
- ADJACENT PROPERTY LINES
- CLOSURE EXCEEDS 1 INCH IN 10,000 FT.
- IPS ● - IRON PIN SET
- EIP ○ - EXISTING IRON PIPE
- CP ○ - COMPUTED POINT
- DB - DEED BOOK
- PB - BOOK OF MAPS/PLAT BOOK
- PG - PAGE
- #483 STREET ADDRESS



SETBACKS (PER RA-20R ZONING):

- FRONT - 35'
- REAR - 25'
- SIDE - 10'
- CORNER - 20'

N/F
DIANE C. FELMET &
EVERETT T. DARDEN
DB 2262, PG 326

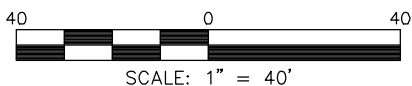


LAKERUN DRIVE

60' PUBLIC R/W

CURVE	RADIUS	ARC LENGTH	CH LENGTH	CH BEARING
C1	182.06'	52.56'	52.38'	N04°34'30"W

THIS PROPERTY MAY BE SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AND RESTRICTIVE COVENANTS WHICH MAY BE OF RECORD OR IMPLIED



RESIDENTIAL LAND SERVICES, PLLC.

1917 Evans Road
Cary, North Carolina 27513
Phone (919) 378-9316
Firm License # P-0873

FOUNDATION SURVEY

FOR
#483 LAKERUN DRIVE
LOT 19, POPLAR MILLS RUN SUBDIVISION, PHASE ONE
Anderson Creek Township, Harnett County, North Carolina

PROPERTY OF: _____ POP HOMES
PLAT CABINET F SLIDE 537D DEED REFERENCE _____

DRAWN: ADP | SURVEYED: DTS | CHECKED: JWW | DATE: OCTOBER 12, 2023