

Residence for

**Triple A Homes
Allison Ann**

Lot 119 Serenity - Fuquay Varina, NC



1027 Hwy 70 West
Suite 223
Gamer, NC 27529
919-779-6005
www.homesunique.com

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The purpose of these drawings is to show the intent of the design and construction of this home. Contractor should verify all conditions and dimensions prior to construction. Once a permit has been issued, contractor shall assume all responsibility to the accuracy of the plans and any changes made during construction.

PROJECT INFO:
TRIPLE A HOMES
Allison Ann
Lot 119 Serenity
Fuquay-Varina, North Carolina

TITLE:
Cover Sheet

PROJECT NUMBER:
6074

DRAWN BY:
J.A.D.

CHECKED BY:
J.T.S.

REVISIONS:

DATE:
7/28/2023

SHEET:

C

INDEX TO DRAWINGS:

COVER SHEET	S1	CRAWL SPACE FOUNDATION PLAN
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GENERAL NOTES:

- ALL WORK IS TO BE DONE IN STRICT ACCORDANCE WITH NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE, 2018 EDITION (HEREIN WITH SHOWN AS N.C.S.R.B.C.).
- DIMENSIONS SHOWN ON DRAWINGS GOVERN OVER SCALE.
- STUD WALL DESIGN SHALL CONFORM TO ALL N.C.S.R.B.C. REQUIREMENTS.
- CONTRACTOR SHALL USE TEMPERED SAFETY GLASS IN ALL LOCATIONS AS REQUIRED BY N.C.S.R.B.C., SECTION R308.4
- ANY HABITABLE ROOM SHALL MEET ALL LIGHT/VENTILATION AND EGRESS AS REQUIRED BY N.C.S.R.B.C., SECTIONS R-303.1 AND R-310.1
- ALL WALLS SHOWN ON FLOOR PLANS ARE 2x4 FRAME UNLESS NOTED OTHERWISE.
- ALL ANGLED WALLS SHOWN ON FLOOR PLANS ARE 45° UNLESS NOTED OTHERWISE.
- ALL WINDOWS SHALL HAVE A MINIMUM DPI RATING OF 25. BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT UNITS INSTALLED MEET THESE REQUIREMENTS AS PER N.C.S.R.B.C., TABLE 301.2(6).
- ENERGY EFFICIENCY REQUIREMENTS FOR THE SPECIFIC CLIMATE ZONE WHERE STRUCTURE IS BEING BUILT SHALL BE IN ACCORDANCE WITH CHAPTER II OF THE NORTH CAROLINA RESIDENTIAL BUILDING CODE, AS SHOWN IN TABLES N1101.2 AND N1102.1.
- TERMITE TREATMENT - BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" AFF.

RESIDENTIAL BUILDING CODE SUMMARY

- PLANS ARE DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.
- HOUSE IS DESIGNED FOR 115 MPH, 3 SECOND GUST (89 MPH FASTEST WIND), EXPOSURE B.
- ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER WITH STANDARD WASHER AND NUT AND SHALL EXTEND 7" MIN. INTO MASONRY OR CONCRETE. BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF CORNERS. ALTERNATE ANCHOR STRAPS CAN BE USED INSTEAD OF ANCHOR BOLTS SPACED AT THE EQUIVALENT SPACING AND INSTALLED PER MANUFACTURER'S SPECIFICATION'S EXCEPT AT GARAGE LUG FTG.
- MEAN ROOF HEIGHT: 24'-0"
- COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS:
MEAN ROOF HGT: UP TO 30' 30'-1" TO 35' 35'-1" TO 40' 40'-1" TO 45'

ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0
- MINIMUM VALUES FOR ENERGY COMPLIANCE: ZONE 4
- MAXIMUM GLAZING U-FACTOR: 0.35
- INSULATING VALUES: CEILING: R-30* / WALLS: R-15 / FLOOR: R-19 / SLABS: R-10. CODE REFERENCE: TABLE N1102.1 (*R-30 ONLY IF UNCOMPRESSED, R-38 REQUIRED IF COMPRESSED)
- FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R703.8 OF THE N.C.R.B.C.
- FIREBLOCKING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R602.8 OF THE N.C.R.B.C.
- DRAFTSTOPPING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R302.12 OF THE N.C.R.B.C.

MATERIALS LEGEND

	EARTH/COMPACT FILL		FINISH WOOD
	CONCRETE		ROUGH WOOD
	BRICK		BLOCKING
	CONCRETE BLOCK/STONE		PLYWOOD
	STEEL		BATT INSULATION
	ALUMINUM		RIGID INSULATION

TOILET ACCESSORIES LEGEND

PROVIDE 2x4 BLOCKING IN THE WALL FOR THE FOLLOWING:

TB	TOILET BAR
TP	TOILET PAPER HOLDER
TR	TOILET RING
MC	MEDICINE CABINET
MR	MAGAZINE RACK

THE PURPOSE OF THESE DRAWINGS IS TO SHOW THE INTENT OF THE DESIGN AND CONSTRUCTION OF THIS HOME. ANY ERRORS AND/OR OMISSIONS FOUND IN THIS SET SHOULD IMMEDIATELY BE REPORTED TO HOMES UNIQUE FOR CLARIFICATION OR CORRECTION. THE CONTRACTOR SHOULD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ONCE A PERMIT HAS BEEN ISSUED FOR CONSTRUCTION, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AS TO THE ACCURACY OF THE PLANS AND TO ANY CHANGES MADE BY THE CONTRACTOR AND/OR THE OWNER.

DUE TO VARYING LOCAL AND STATE CODES, HOMES UNIQUE CANNOT BE HELD RESPONSIBLE FOR ANY REQUIREMENTS THAT EXISTING SITE CONDITIONS MAY CREATE.

AREA CALCULATIONS

	HEATED:	UNHEATED:
1ST FLOOR:	2350	GARAGE: 968
2ND FLOOR:	661	FRONT PORCH: 231
TOTAL:	3011	SCREEN PORCH: 187
		PATIO: 146
		TOTAL: 1532
WIDTH:	84'-6"	
DEPTH:	72'-4"	

FOUNDATION VENTING CALCULATIONS

(REFERENCE: N.C.S.R.B.C., 2018 EDITION, SECTION R408)
THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN ONE (1) SQUARE FOOT FOR EACH 150 SQUARE FEET OF CRAWL SPACE GROUND AREA AND ONE FOUNDATION VENT SHALL BE WITHIN THREE (3) FEET OF EACH CORNER OF THE BUILDING.

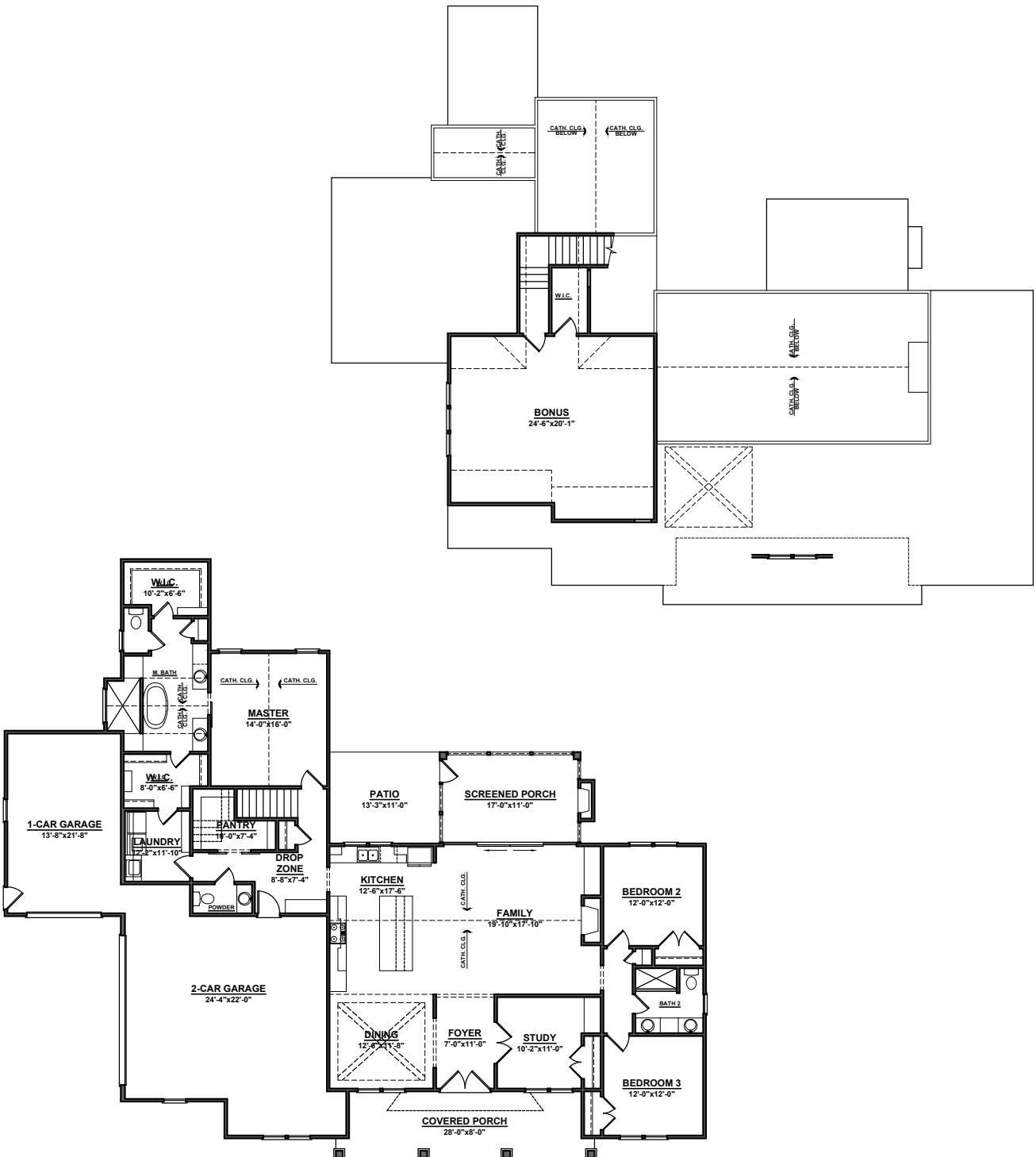
EXCEPTION: THE TOTAL AREA OF VENTILATION OPENINGS MAY BE REDUCED TO 1/500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS TREATED WITH AN APPROVED VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED SO AS TO PROVIDE CROSS-VENTILATION.

2350 SQUARE FEET OF CRAWL SPACE AREA / 150 =
15.67 SQUARE FEET OF NET FREE AREA REQUIRED

ATTIC VENTILATION REQUIREMENTS

NATURAL ROOF VENTILATION	MECHANICAL ROOF VENTILATOR
3736 SQ. FT.	3736 SQ. FT.
150 = 24.91 SQ. FT. VENT REQ'D.	300 = 12.45 SQ. FT. VENT REQ'D.

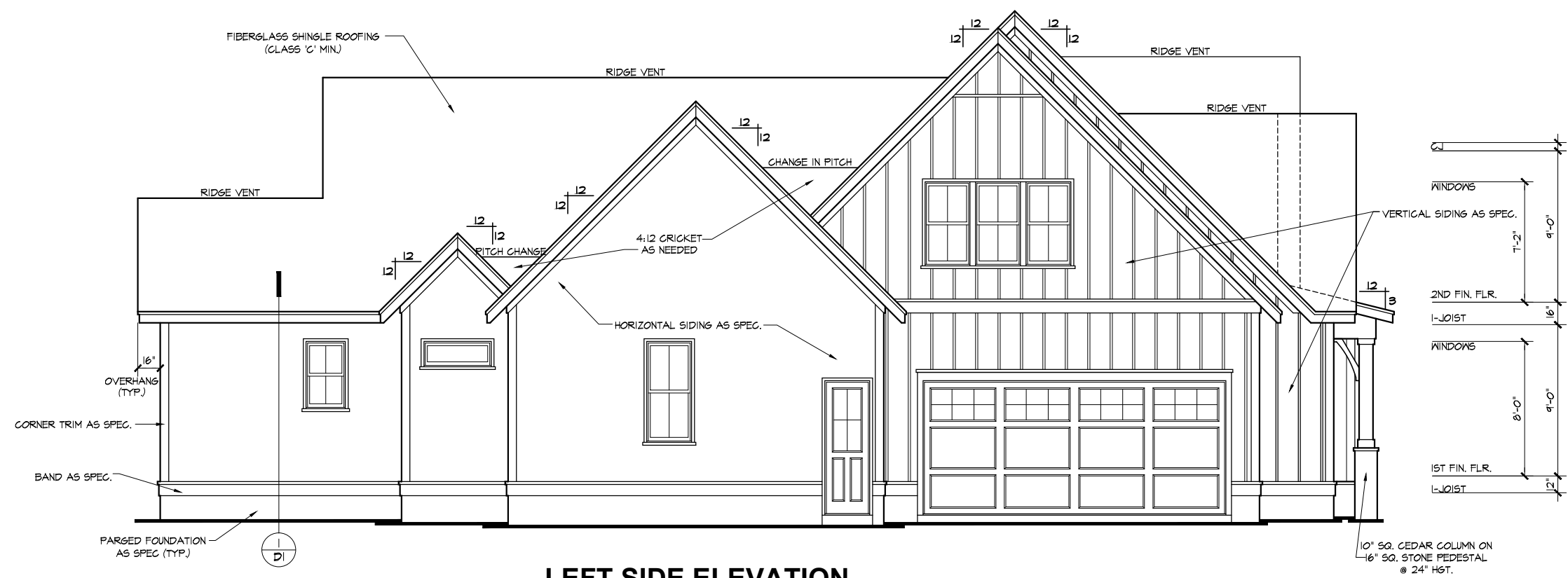
BUILDER TO PROVIDE APPROPRIATE VENTILATING AS REQUIRED PER CODE





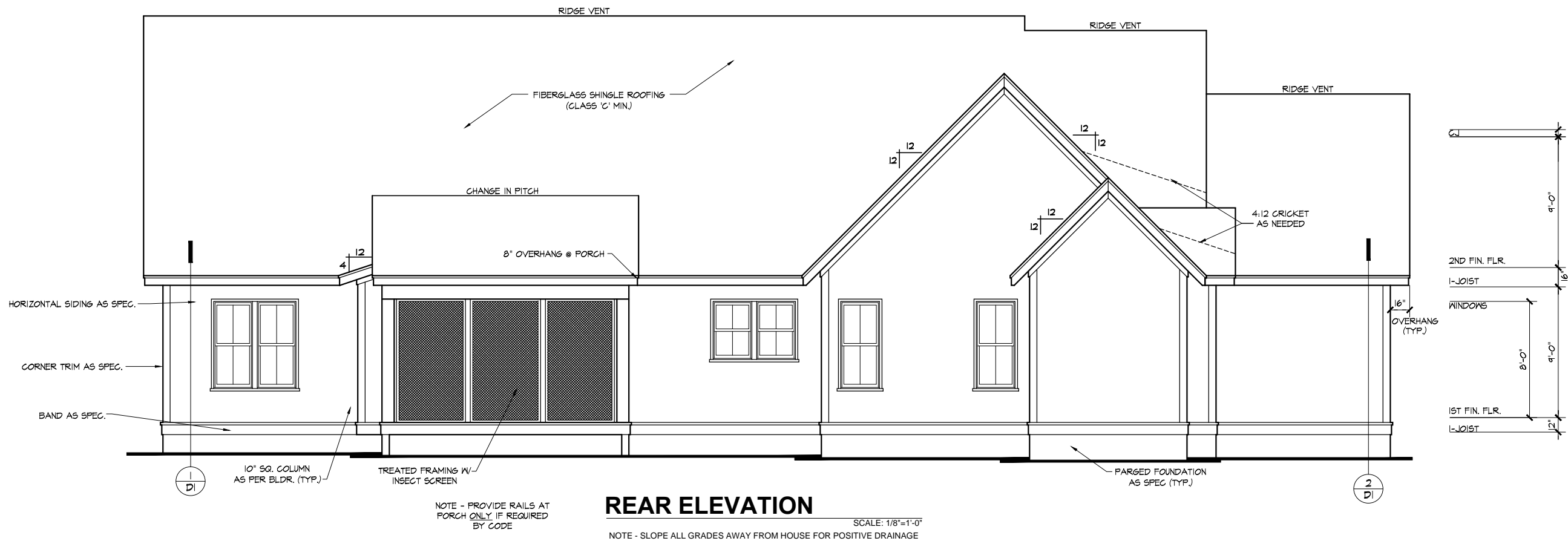
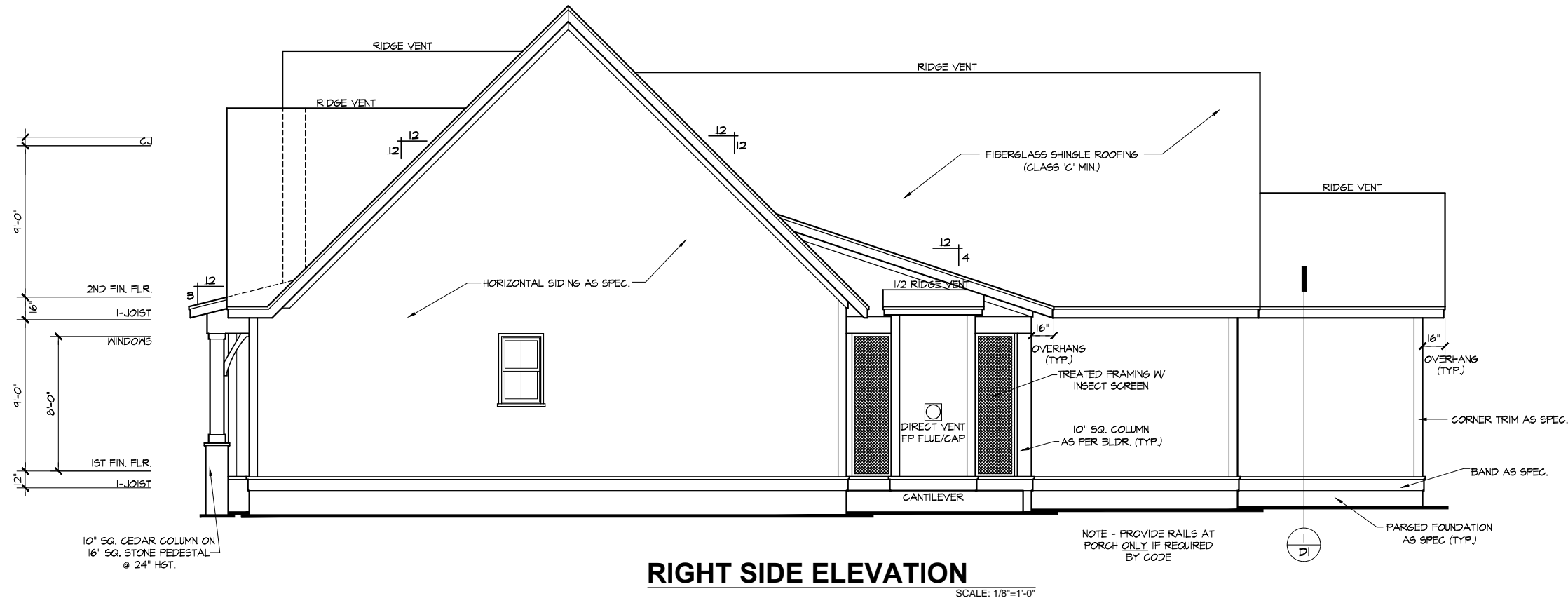
FRONT ELEVATION

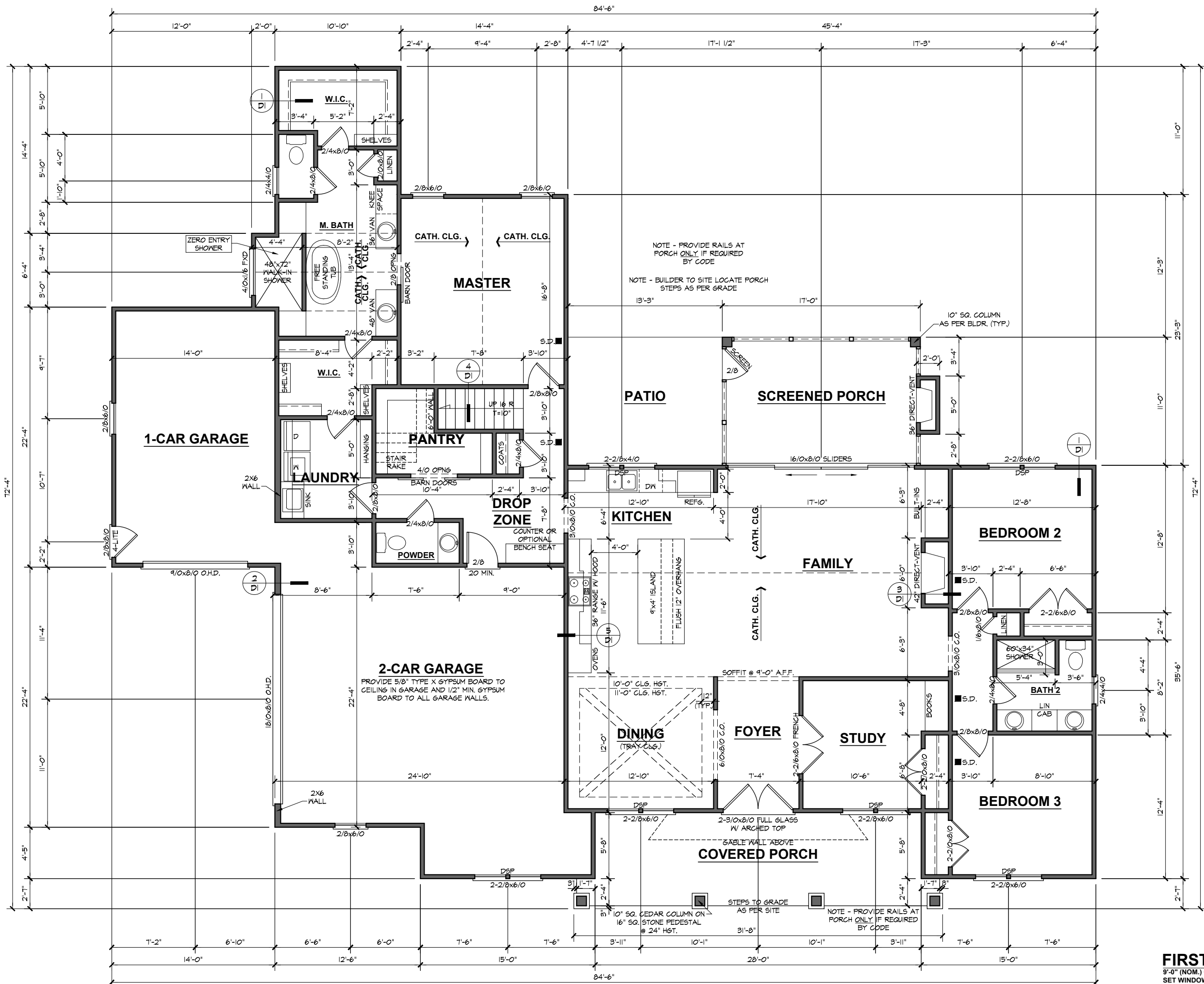
SCALE: 1/8"=1'-0"
NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE



LEFT SIDE ELEVATION

SCALE: 1/8"=1'-0"





NOTES:
 ALL DOORS AND CASED OPENINGS TO BE 8'-0" TALL UNLESS NOTED OTHERWISE.
 ROUGH FRAME ALL CASED OPENINGS 2" BIGGER THAN FINISHED OPENING CALL FOR
 PROVIDE 2x4 BLOCKING FOR: TOILET PAPER HOLDER, TOWEL BARS, MEDICINE CABINETS
 BOTTOM OF WINDOW CLEAR OPENINGS SHALL BE MORE THAN 24" ABOVE FINISH FLOOR OR A FALL PREVENTION DEVICE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R312.3 OF THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.



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PROJECT INFO:
TRIPLE A HOMES
 Allison Ann
 Lot 119 Serenity
 Fuquay-Varina, North Carolina

TITLE:
Floor Plan

PROJECT NUMBER:
 6074

DRAWN BY:
 J.A.D.

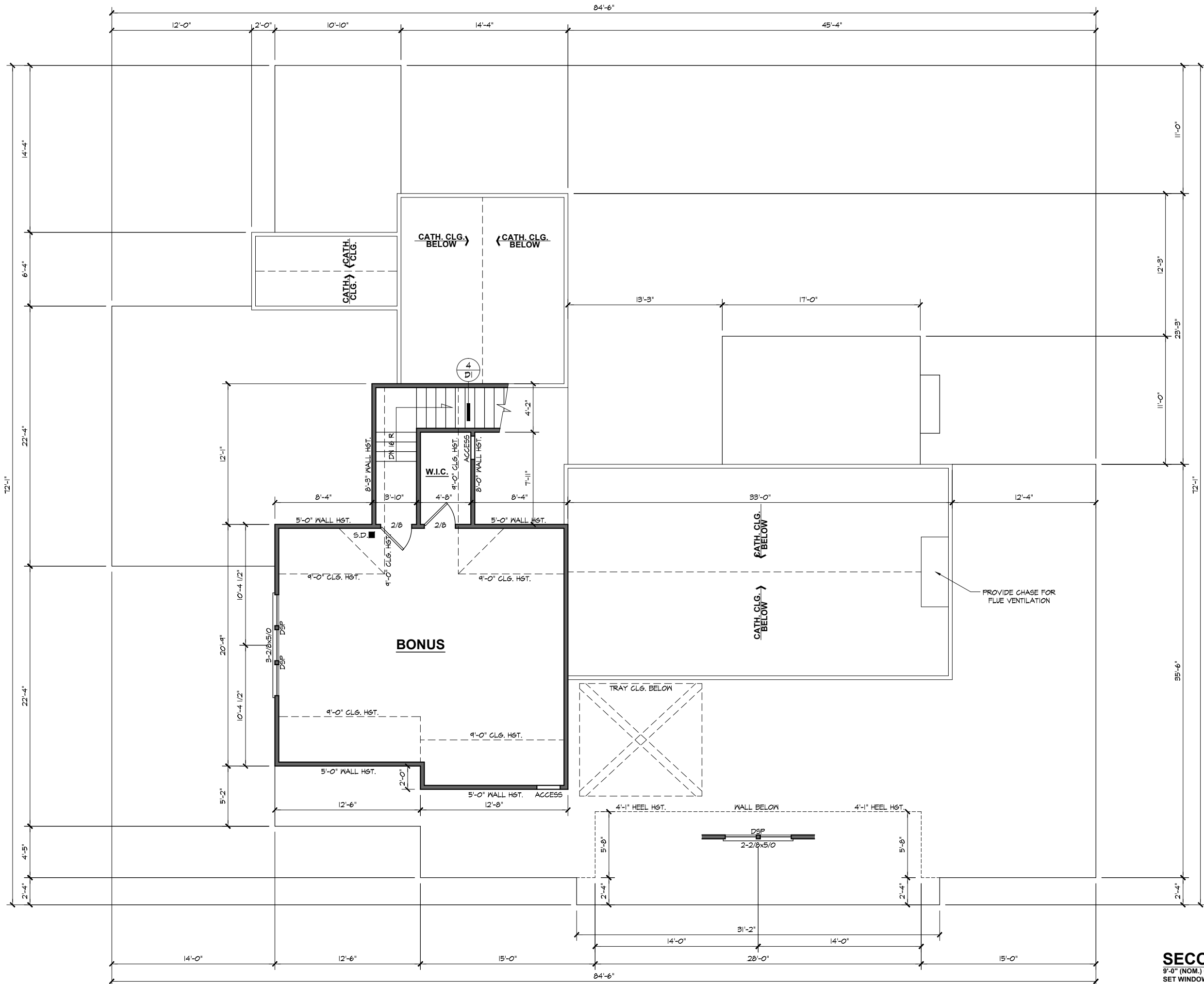
CHECKED BY:
 J.T.S.

REVISIONS:

DATE:
 7/28/2023

SHEET:

FIRST FLOOR PLAN
 9'-0" (NOM.) CLG. HGT. U.N.O.
 SET WINDOWS @ 8'-0" U.N.O.
 SCALE: 1/8"=1'-0"



NOTES:
 ALL DOORS AND CASING OPENINGS TO BE 6'-8" TALL UNLESS NOTED OTHERWISE.
 ROUGH FRAME ALL CASING OPENINGS 2" BIGGER THAN FINISHED OPENING CALL FOR
 PROVIDE 2x4 BLOCKING FOR: TOILET PAPER HOLDER, TOWEL BARS, MEDICINE CABINETS
 BOTTOM OF WINDOW CLEAR OPENINGS SHALL BE MORE THAN 24" ABOVE FINISH FLOOR OR A FALL PREVENTION DEVICE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R312.3 OF THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.



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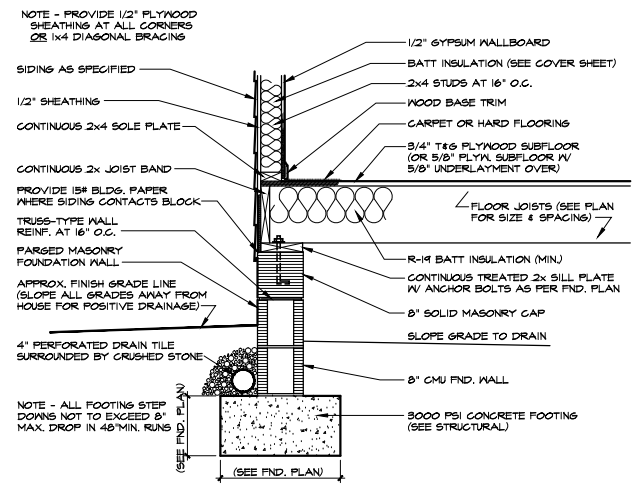
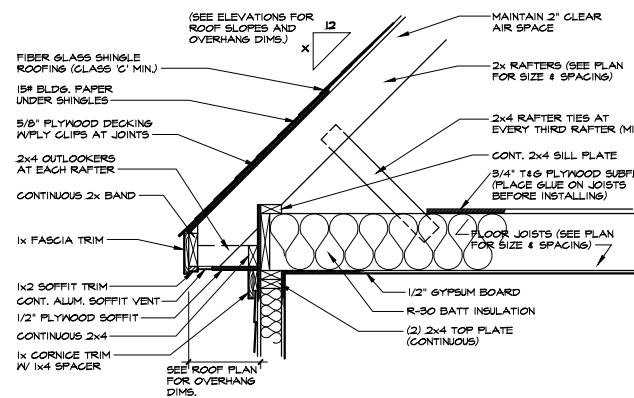
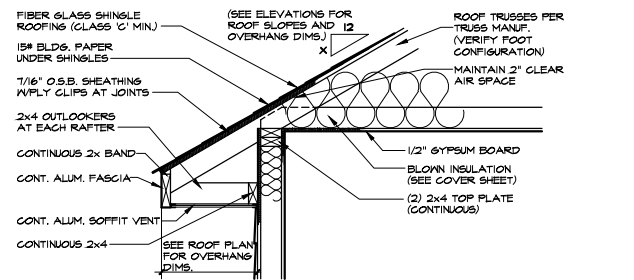
REVISIONS:

DATE:
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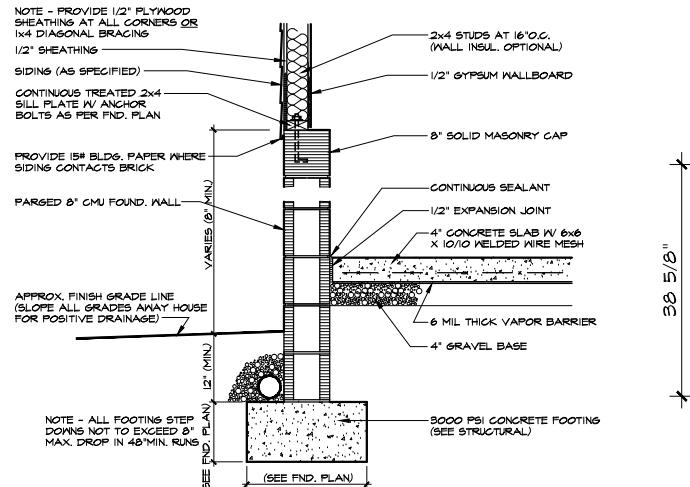
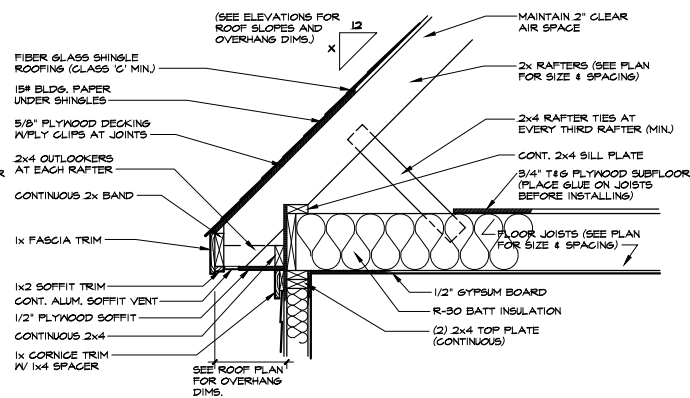
SHEET:

SECOND FLOOR PLAN
 9'-0" (NOM.) CLG. HGT. U.N.O. SCALE: 1/8"=1'-0"
 SET WINDOWS @ 7'-2" U.N.O.

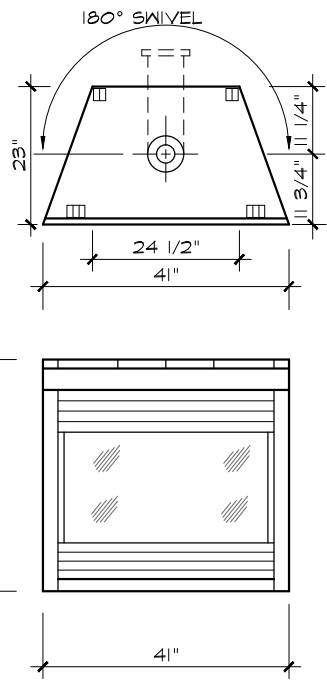
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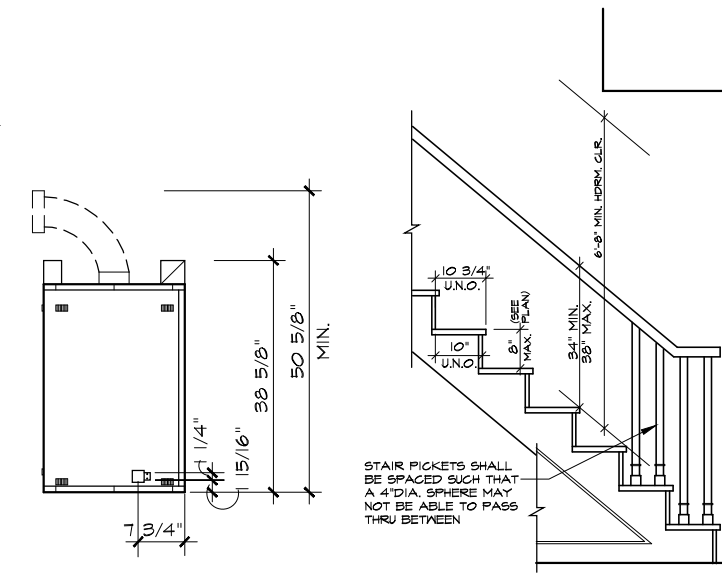
1 TWO STORY WALL SECTION
SCALE: 3/8"=1'-0"
(PARSED MASONRY FOUNDATION)



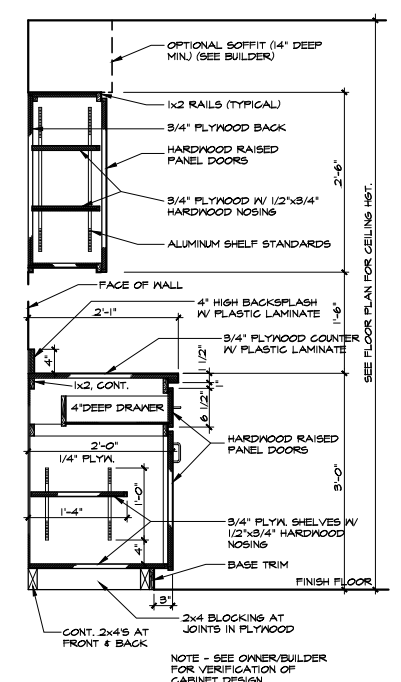
2 GARAGE WALL SECTION
SCALE: 3/8"=1'-0"
(PARSED MASONRY FOUNDATION)



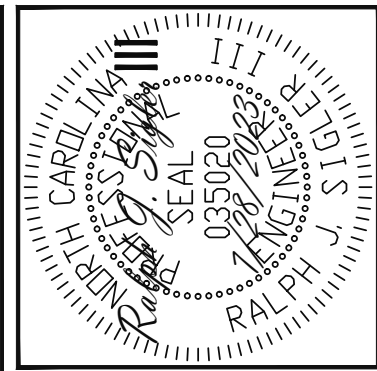
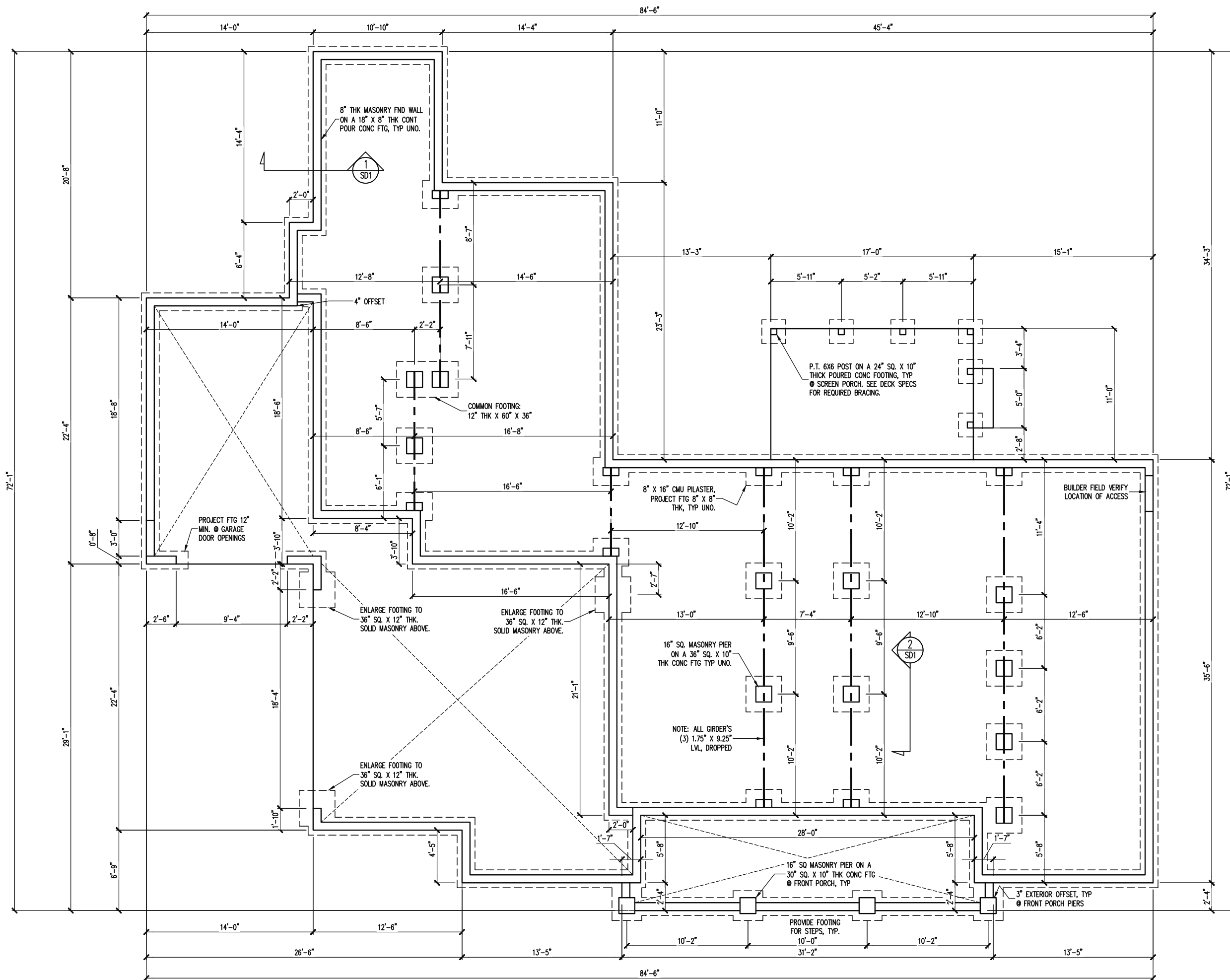
3 DIRECT VENT FIREPLACE DETAIL
SCALE: NONE



4 TYPICAL STAIR DETAIL
SCALE: 3/8"=1'-0"



5 CABINET DETAIL
SCALE: 3/8"=1'-0"



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 318 W Millbrook Rd. Unit 201
 Raleigh, North Carolina 27609
 Phone (919) 844-1661

CONSTRUCTION SPECIFICATIONS
INSTANT REFERENCES
 REFER TO THE CONSTRUCTION SPECIFICATIONS SECTIONS FOR THE FOLLOWING INFORMATION:
 PART 1.01: CURRENT GOVERNING CODE
 PART 14: STUD SUPPORT FOR BEAMS
 PART 16.02: GENERAL WALL BRACING NOTES
 PART 17: KING STUDS FOR EXTERIOR WALLS
 SEE DETAIL / CONSTRUCTION SPECIFICATIONS SHEETS FOR I-JOISTS ALLOWABLE SUBSTITUTIONS

NOTES:
 -HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION. REINFORCEMENT AND GROUTING SHALL BE DETERMINED BY FINAL SITE CONDITIONS.
 -BUILDER TO FIELD LOCATE CRAWLSPACE ACCESS OPENING WITH MINIMUM DIMENSIONS OF 18X24. DO NOT LOCATE ACCESS OPENING BELOW POINT LOADS FROM ABOVE WITHOUT ENGINEER APPROVAL.
 -PLUMBING SHOWN FOR REFERENCE ONLY. BUILDER VERIFY FINAL FIXTURE LOCATIONS, SIZES AND REQUIREMENTS PRIOR TO INSTALLATION.

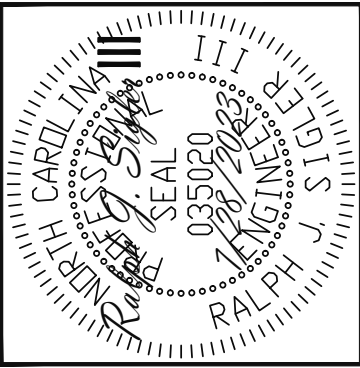
FOUNDATION PLAN
 1/8" = 1'-0"

TRIPLE A HOMES	
SCOPE	STRUCTURAL ADDENDUM
LOC	119 SERENITY
REV #	REF PROJ #
DATE	DATE

ENG: RJS/CR
 DATE: 7/28/2023

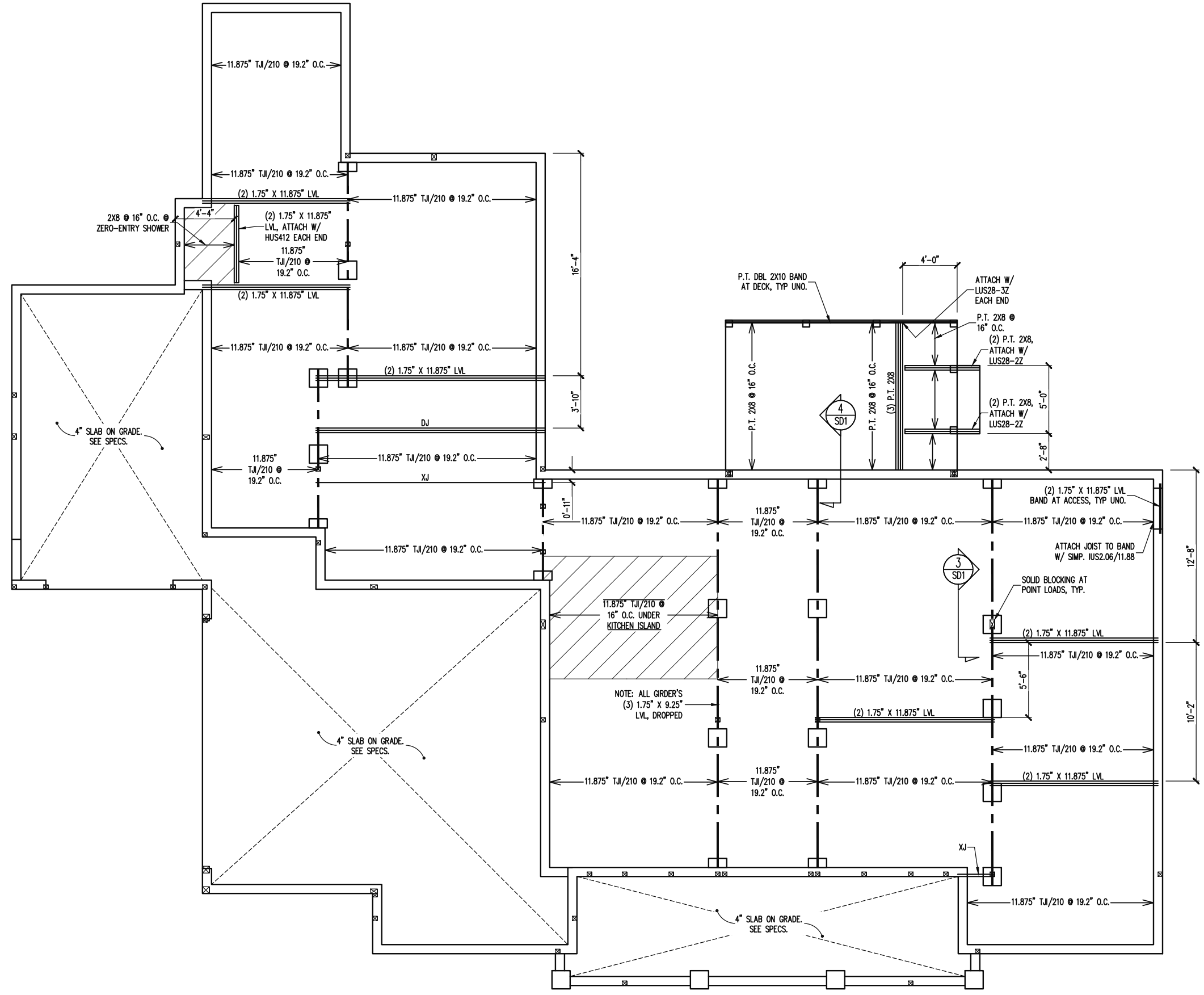
PROJECT NO.
 23-28-015

SHEET NO.
 S1
 1 of 8



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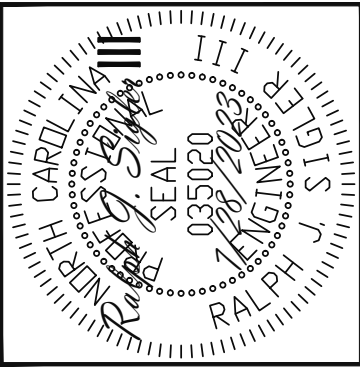
CRAWLSPACE FRAMING PLAN
 1/8" = 1'-0"

TRIPLE A HOMES	
SCOPE	STRUCTURAL ADDENDUM
LOC	119 SERENITY
REV #	REF PROJ #
DATE	DATE

ENG: RJS/CR
 DATE: 7/28/2023

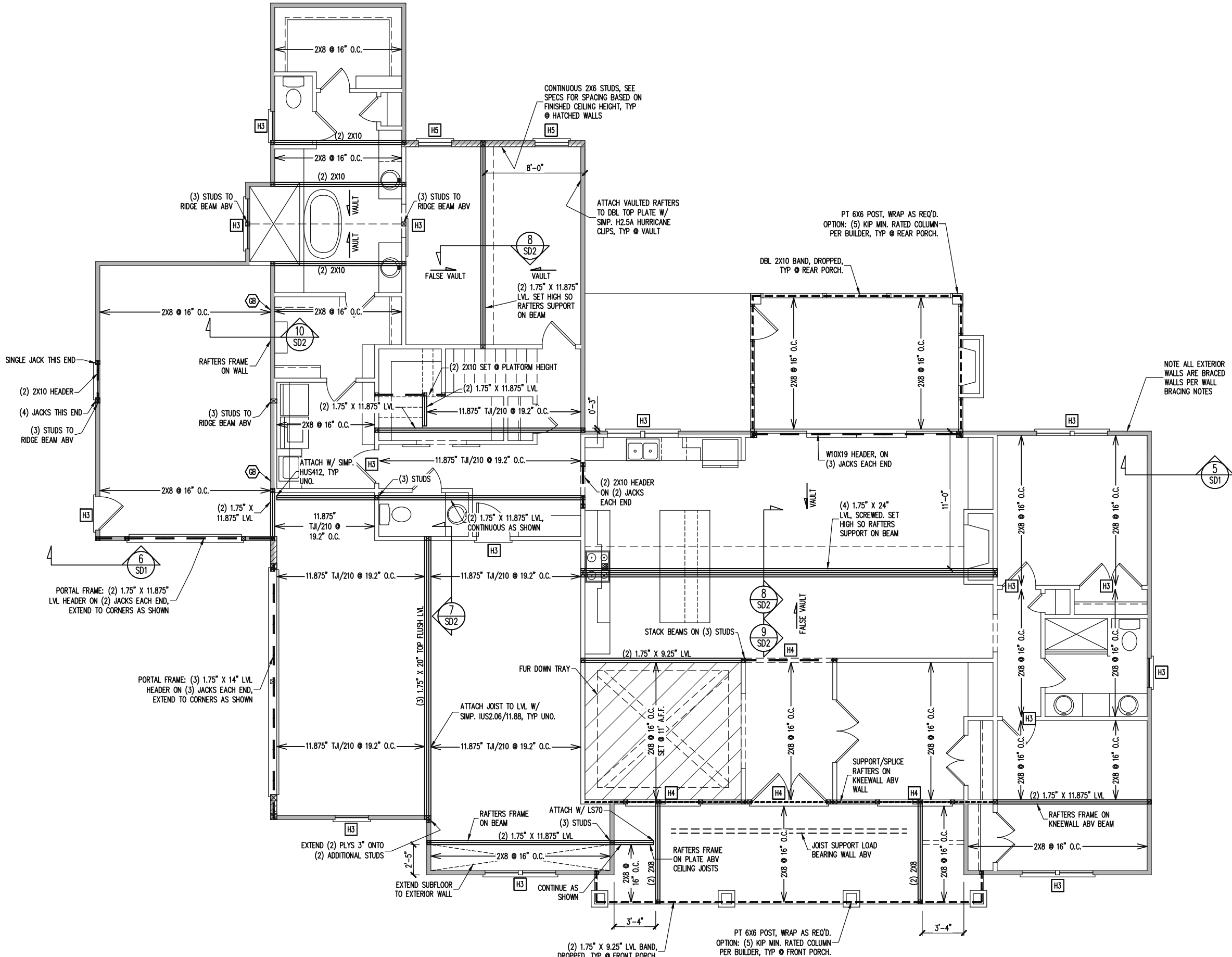
PROJECT NO.
 23-28-015

SHEET NO.
 S2
 2 of 8



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WALL BRACING

SHADED WALLS:
 ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.
 WSP - ONE SIDE OF INTERIOR WALL OR INSIDE OF EXTERIOR WALL WITH 3/8" MIN. THICKNESS WOOD STRUCTURAL PANELING. ATTACH WSP TO STUD WALL WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.
 GB - INTERIOR BRACED WALL 1/2" GB SECURED PER TABLE R602.10.2 OF THE 2018 NCRBC. (FASTENERS @ 7" O.C.) BOTH SIDES OF WALL, OR (FASTENERS @ 4" O.C.) ONE SIDE OF WALL AT STAIRS (BUILDER PERMITTED TO SUBSTITUTE "WSP" FOR ANY "GB" WALL)

NOTES:
 PROVIDED CONTINUOUS SHEATHING = 320' MIN.
 REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.

HEADER SCHEDULE

- H1 SINGLE 2X4 TURNED FLAT (A)
- H2 (2) 2X4'S ON SINGLE JACKS (B)
- H3 (2) 2X10'S ON SINGLE JACKS (C)
- H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
- H5 (3) 2X10'S ON SINGLE JACKS

- (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
- (B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
- (C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:
 -HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

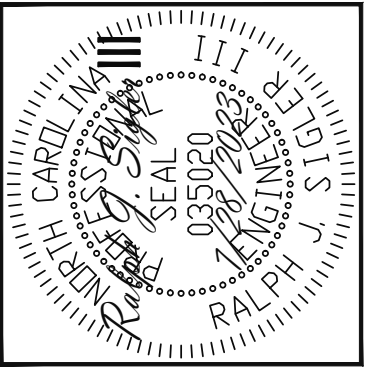
1ST FLOOR FRAMING PLAN
 WALLS AND CEILING 1/8" = 1'-0"

SCOPE	TRIPLE A HOMES	
	STRUCTURAL ADDENDUM	REV # / REF PROJ #
LOC	119 SERENITY	DATE

ENG: RJS/CR
 DATE: 7/28/2023

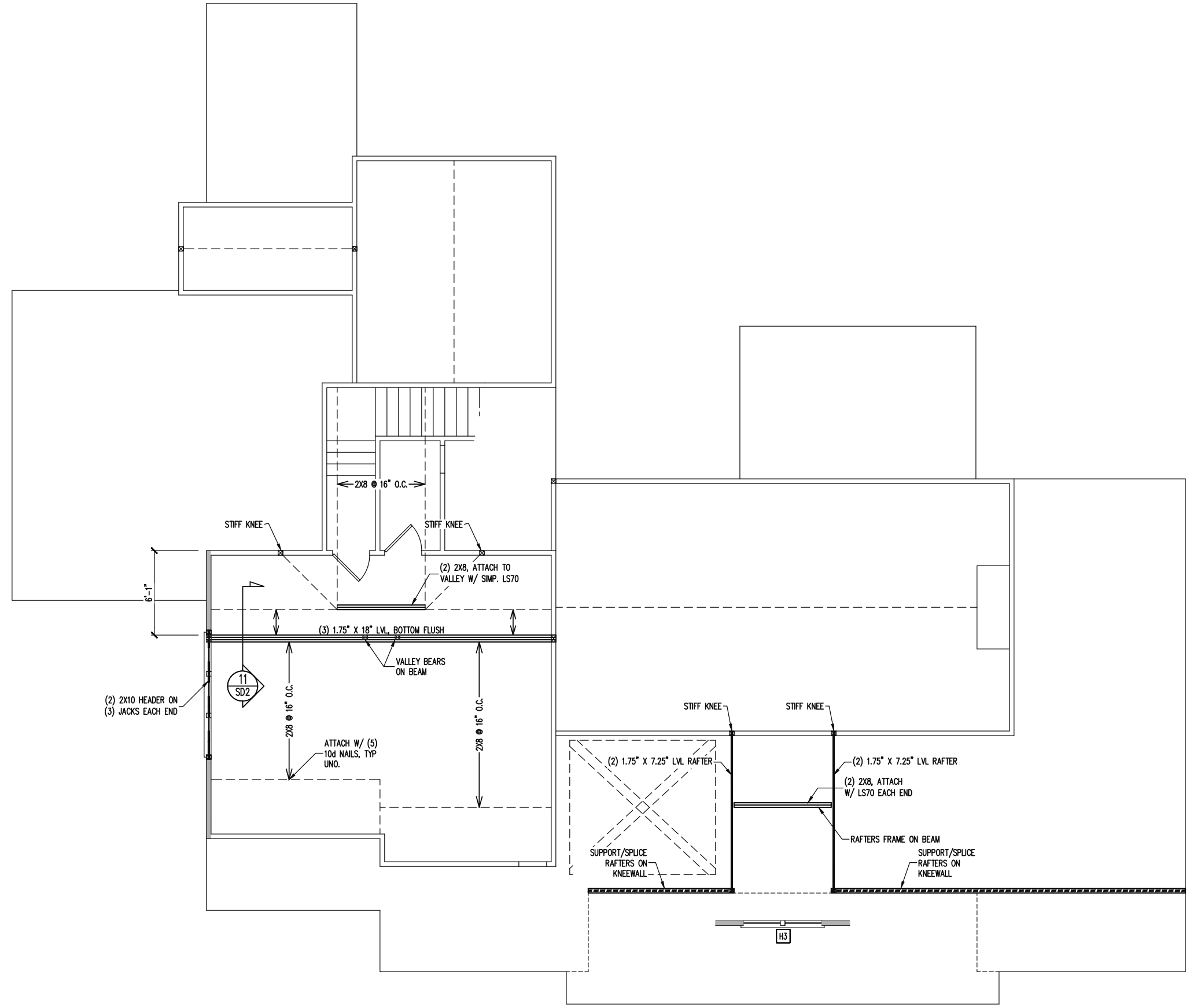
PROJECT NO.
 23-28-015

SHEET NO.
 S3



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WALL BRACING

SHADED WALLS:

ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

NOTES:
 PROVIDED CONTINUOUS SHEATHING = 12" MIN.

REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.

HEADER SCHEDULE

H1	SINGLE 2X4 TURNED FLAT (A)
H2	(2) 2X4'S ON SINGLE JACKS (B)
H3	(2) 2X10'S ON SINGLE JACKS (C)
H4	(2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5	(3) 2X10'S ON SINGLE JACKS

NOTES:
 -HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

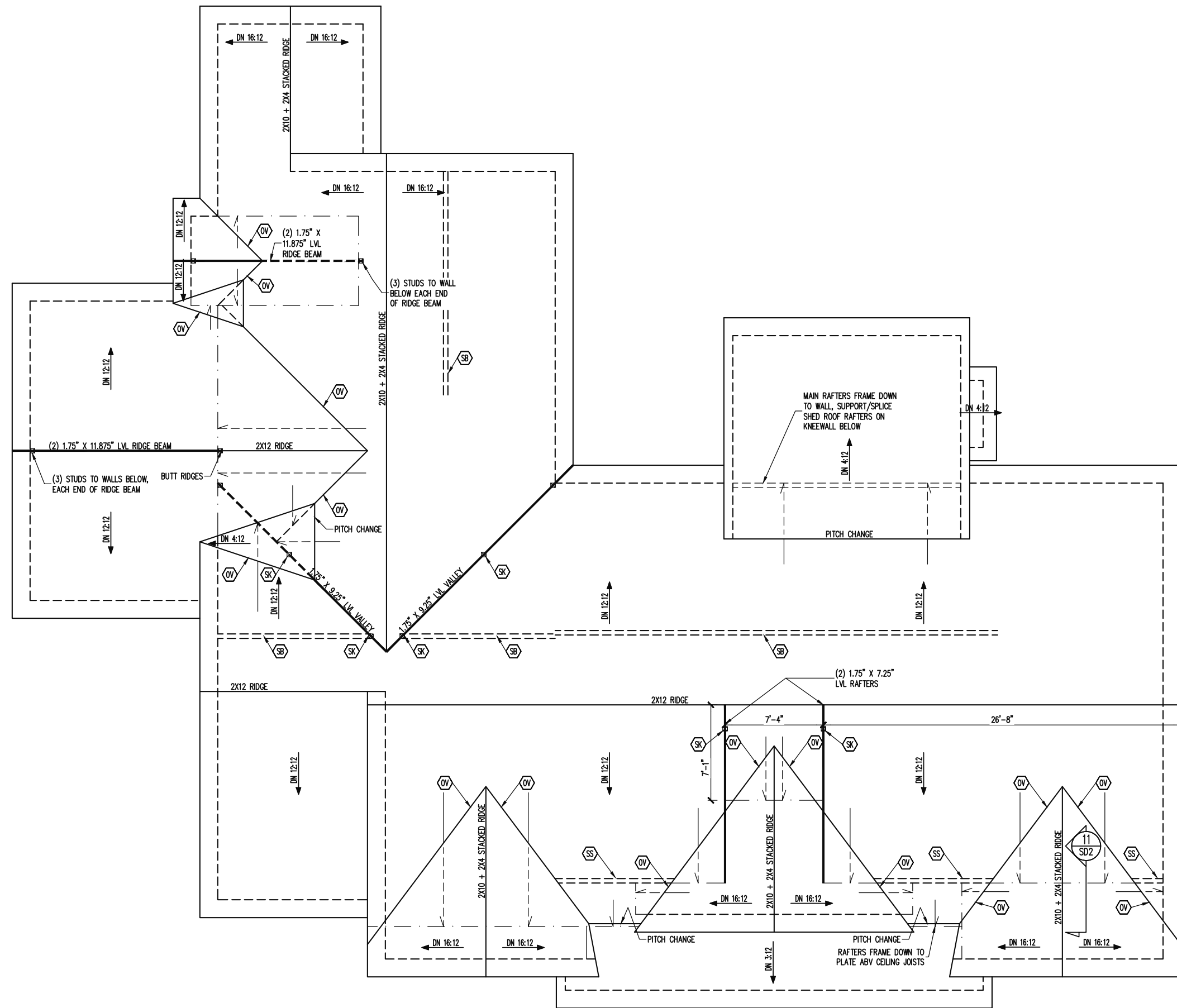
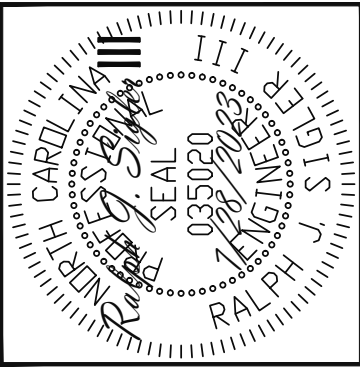
SCOPE	TRIPLE A HOMES	
	STRUCTURAL ADDENDUM	
LOC	REV #	REF PROJ #
	119	SERENITY
	DATE	

ENG: RJS/CR
 DATE: 7/28/2023

PROJECT NO.
 23-28-015

SHEET NO.
 S4
 4 of 8

2ND FLOOR FRAMING PLAN
 WALLS AND CEILING 1/8" = 1'-0"



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FRAMING NOTES
 ROOF ONLY
 -COMMON RAFTERS 2X8 @ 16" O.C. TYP U.N.O.
 -COLLAR TIES 2X4 EVERY 3RD SET OF RAFTERS TYP U.N.O.
 -VERIFY ROOF PITCHES, OVERHANG LENGTHS, AND KNEEWALL FRAMING HGTS WITH ARCHITECTURAL DRAWINGS, TYPICAL.

FRAMING SCHEDULE
 ROOF ONLY
 OV OVERFRAME VALLEY (2X10 SLEEPER)
 SB SUPPORT/SPLICE RAFTERS ON BEAM BELOW
 SK DBL 2X4 STIFF KNEE
 SS SUPPORT/SPLICE RAFTERS ON KNEEWALL BELOW

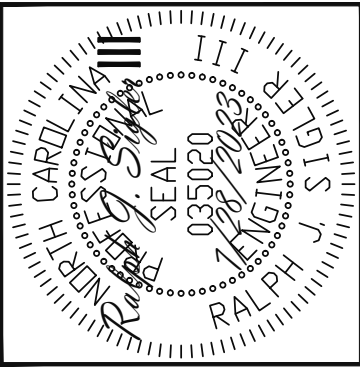
ROOF FRAMING PLAN
 1/8" = 1'-0"

TRIPLE A HOMES	
SCOPE	STRUCTURAL ADDENDUM
LOC	119 SERENITY
REV #	REF PROJ #
DATE	DATE

ENG: RJS/CR
 DATE: 7/28/2023

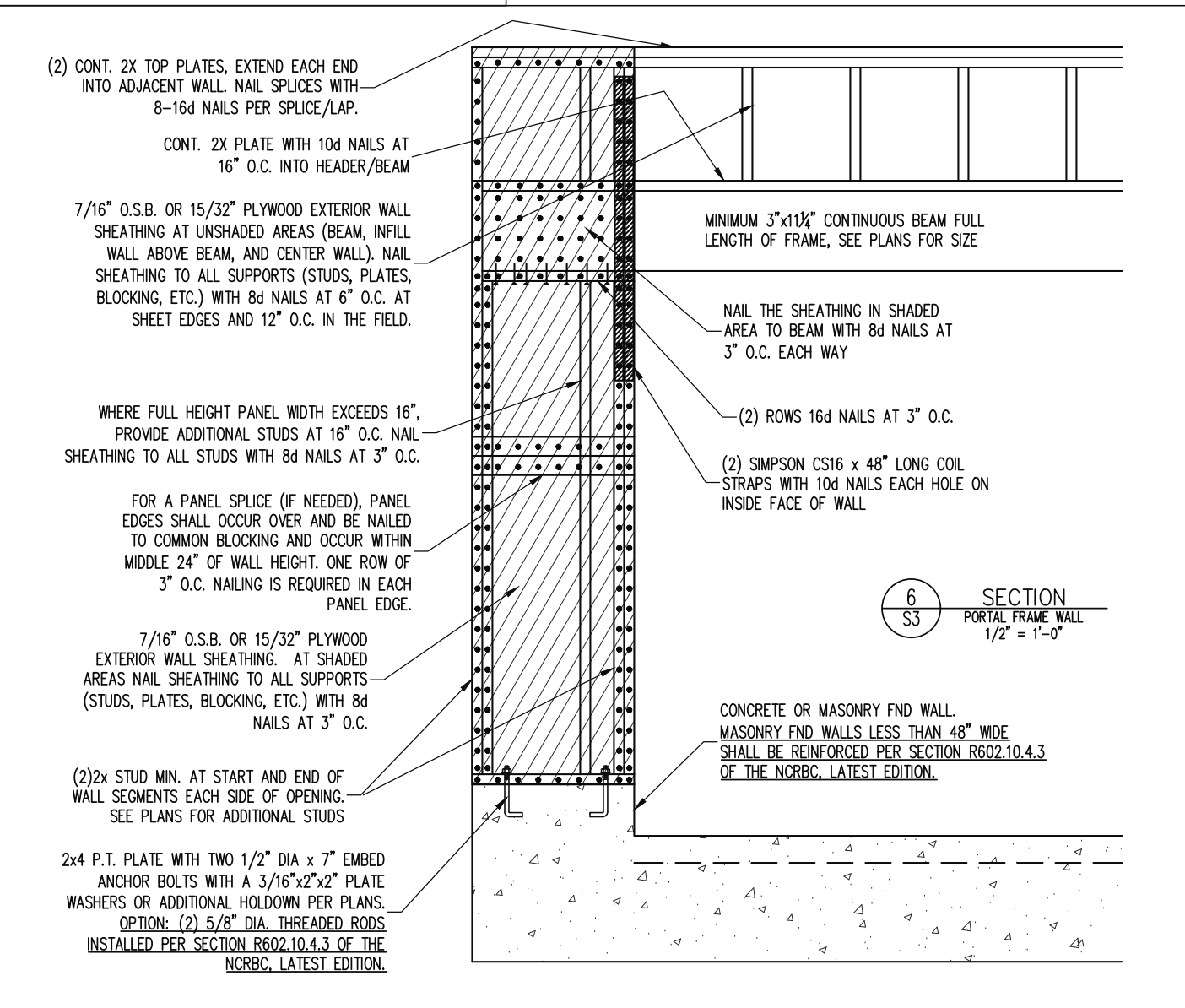
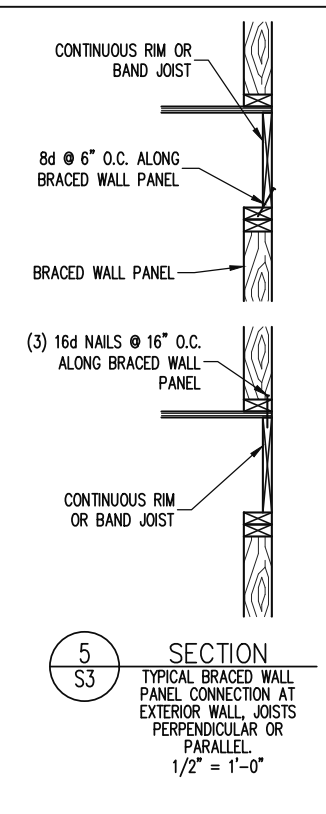
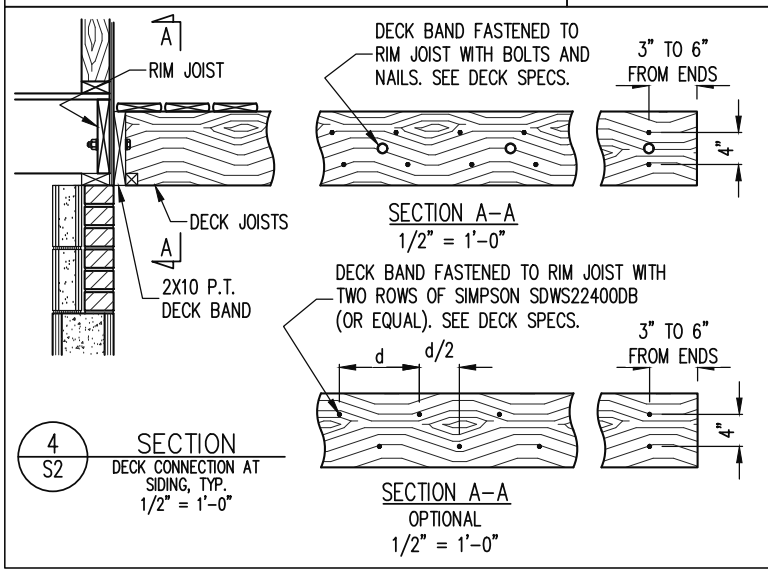
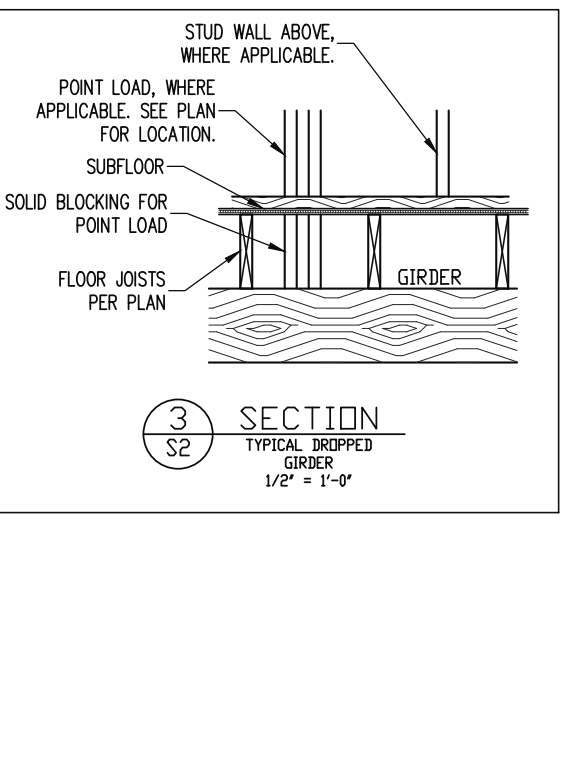
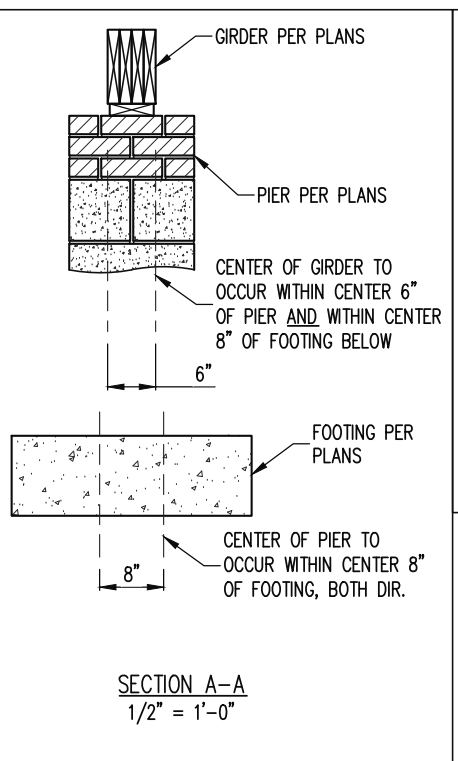
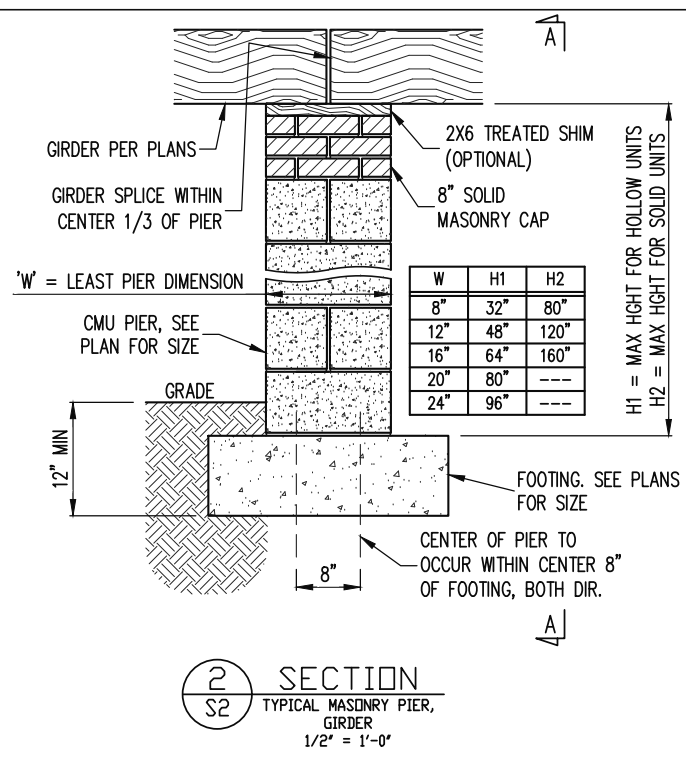
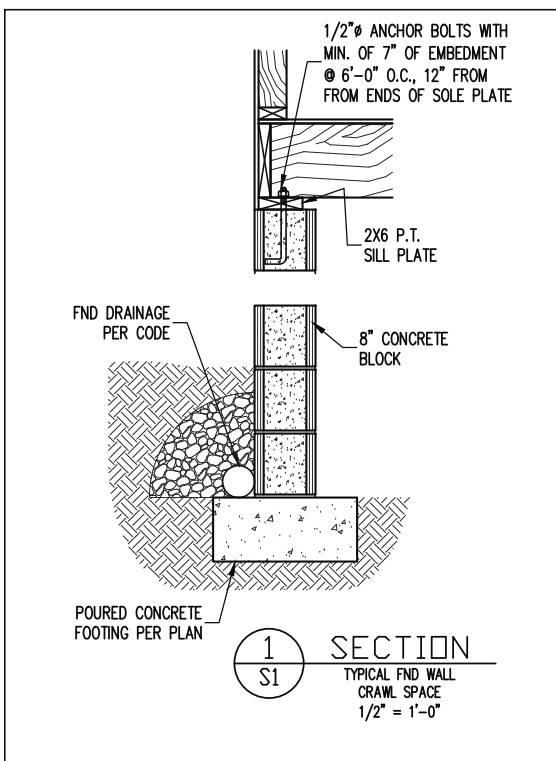
PROJECT NO.
 23-28-015

SHEET NO.
 S5
 5 of 8



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Engineering Tech Associates, P.A.
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 License No. C-3870
 318 W Millbrook Rd. Unit 201
 Raleigh, North Carolina 27609
 Phone (919) 844-1661

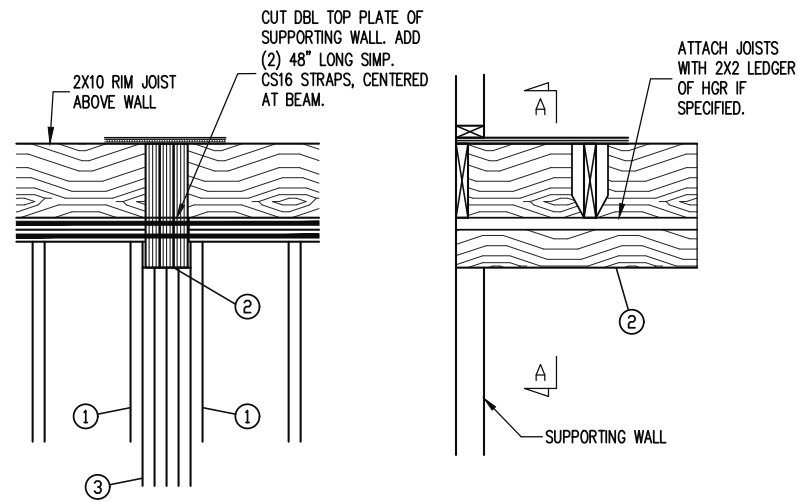


TRIPLE A HOMES	
SCOPE	STRUCTURAL ADDENDUM
LOC	119 SERENITY
REV #	REF PROJ #
DATE	DATE

ENG: RJS/CR
 DATE: 7/28/2023

PROJECT NO.
 23-28-015

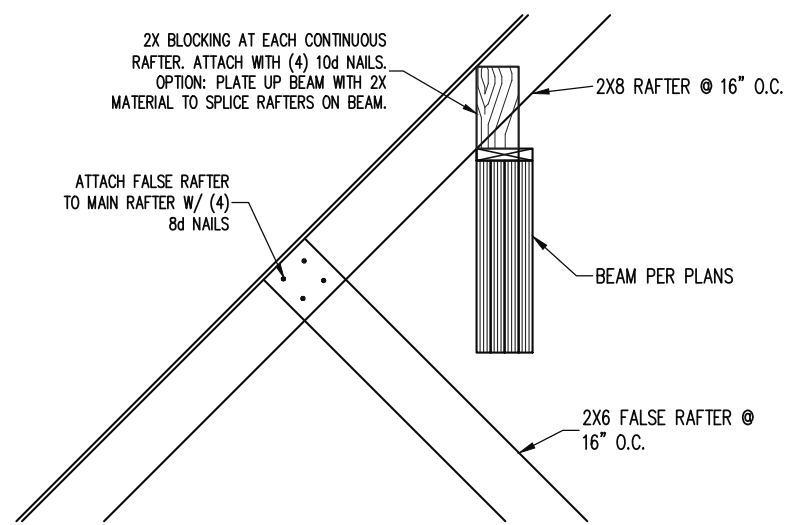
SHEET NO.
 SD1
 6 of 8



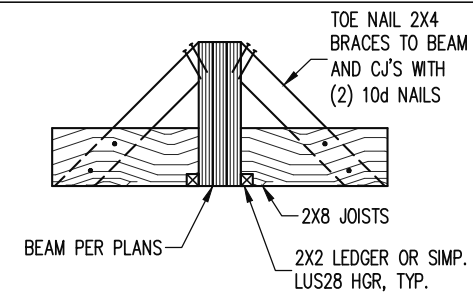
SECTION A-A

ITEM DESCRIPTION	
1	KING STUD
2	TOP FLUSH BEAM (SEE PLAN)
3	STUDS SUPPORTING BEAM (SEE PLAN FOR NUMBER OF STUDS REQUIRED)

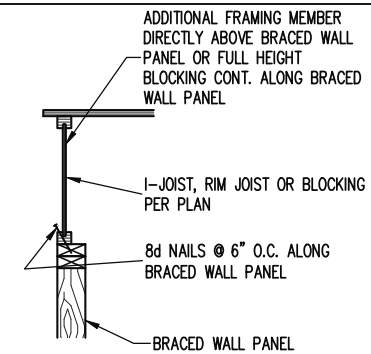
7 SECTION
S3 TOP FLUSH GARAGE BEAM
1/2" = 1'-0"



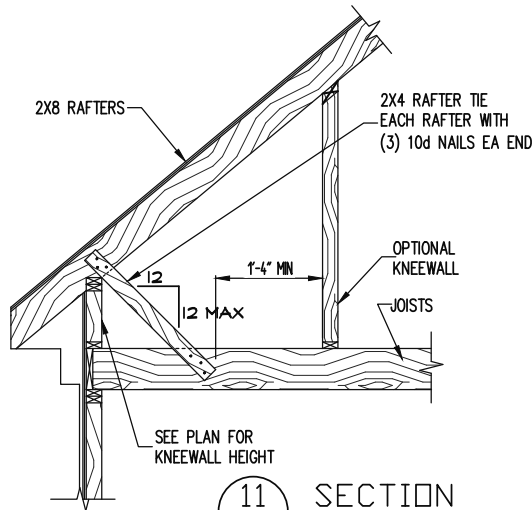
8 SECTION
S3 VAULTED ROOF SUPPORT BEAM, TYPICAL.
1/2" = 1'-0"



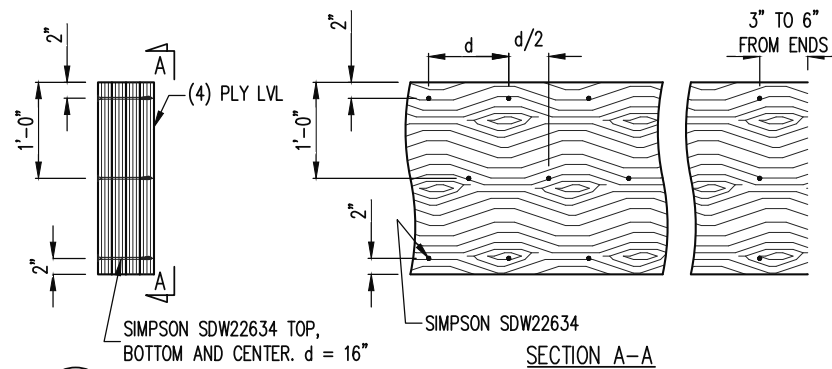
11 SECTION
S3 FLUSH BEAM BRACING EVERY 3RD JOIST
1/2" = 1'-0"



10 SECTION
S3 TYPICAL BRACED WALL PANEL CONNECTION AT INTERIOR WALL, JOISTS PERPENDICULAR OR PARALLEL.
1/2" = 1'-0"



11 SECTION
S5 KNEEWALL PARALLEL TO JOIST
3/4" = 1'-0"

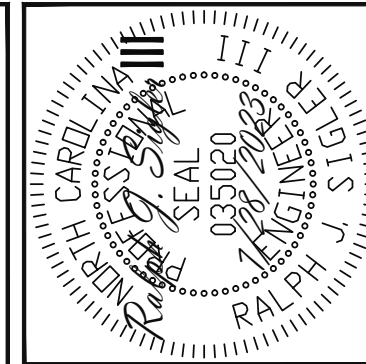


9 SECTION
S3 TYPICAL FASTENING (4) PLY 24" LVL
1/2" = 1'-0"

SECTION A-A
1/2" = 1'-0"

*BUILDER PERMITTED TO SUBSTITUTE 1/2" THROUGH BOLTS FOR SIMP. SDW SCREWS @ EQUAL SPACING.

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TRIPLE A HOMES	
SCOPE	STRUCTURAL ADDENDUM
LOC	119 SERENITY
REV #	REF PROJ #
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SHEET NO.
SD2

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