

## GENERAL NOTES

### DESIGN NOTES

1. Floor: 40 lbs. Live load, 15 lbs. Dead load
2. Roof: 30 lbs. Live load, 20 lbs. Dead load
3. Soil bearing capacity-2000 PSF
4. Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

### CONCRETE AND FOUNDATIONS

1. All slabs on grade shall be 4 inch 3000 PSI (28-day compressive strength concrete), unless noted otherwise.
2. All slabs on grade shall bear on four inch compacted granular fill with 6 by 6 10-10 welded wire mesh.
3. Interior slabs shall have 6 mil, polyethylene vapor barrier underneath.
4. Provide proper expansion joints and control joints as per local requirements.
5. Provide additional bearing points as required by floor "I" joist manufacturer, and loading transfers.
6. Foundation details may vary with local codes and conditions, verify with contractor or engineer.
7. Provide foundation access and vents as required by local codes and conditions.
8. Foundation wall and footing sizes reinforcing must conform with your local building requirements.
9. Foundation walls are not to be backfilled until house is completely framed and roof is in place.
10. Verify depth of footings with your local codes.
11. Provide termite protection as required by HUD minimum property standards.

### BASEMENT

1. Basement stairs are calculated as 10 inch treads with 1 inch nosing (11 inch total) and 7.75 inch risers.
2. Water heater and air conditioner may be located in basement when using basement option.
3. Provide sump pumps as required.
4. Some soil conditions may require a 12 inch concrete retaining wall, verify with contractor or engineer.
5. Provide exterior windows and door as grade allows.
6. Provide venting as local codes and conditions dictate.

### FRAMING

1. Contractor to confirm the size, spacing and species of all framing and structural members to meet your local code requirements.
2. Any structural or framing members not indicated on the plan are to be sized by the contractor.
3. Double floor joists under all partition walls, unless otherwise noted.
4. All angled walls are 45 degree angles unless noted otherwise.
5. Provide collar ties, cross-bridging and bracing as required.
6. Provide additional bearing points as required by loading transfers.
7. Framing lay-out and size may vary with local codes and conditions.
8. Roof framing plan is for general layout only, do no use for rafter count.

### MISC. NOTES

1. Prefabricated fireplaces and flues are to be U.L. approved and installed per manu. specifications.
2. All materials, supplies and equipment to be installed per manu. specifications and local codes.
3. Provide type "x" firecode sheetrock on garage walls and ceilings.
4. Confirm window openings for your local egress requirements and minimum light and venting.
5. The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractors for exact specifications, locations and sizes.
6. Minor alterations to this plan can be made by the builder. Please contact our drafting department for information price quotes if major changes are required.

This plan was designed and drafted by W.L. Martin Home Designs to meet average conditions and codes in the state of Oklahoma at the time it was designed. Because codes and regulations can change and may vary from jurisdiction to jurisdiction, W.L. Martin Home Designs cannot warrant compliance with any special code or regulation. Consult your local building official to determine the suitability of these plans for your specific site and applicaion.

This plan can be adapted to your local building codes and requirements, but also, it is the responsibility of the purchaser and/or builder of this plan to see that the structure is built in strict compliance with all governing municipal codes [city, county, state, and federal].

The purchaser and/or builder of this plan releases W.L. Martin Home Designs, its owner and employees from any claims or lawsuits that may arise during the construction of this structure or any time thereafter.



SEE NOTES



## FRONT ELEVATION

REVISIONS	BY

#24333 - reversed

Bluespring

W.L. Martin Home Designs

for Contact Information

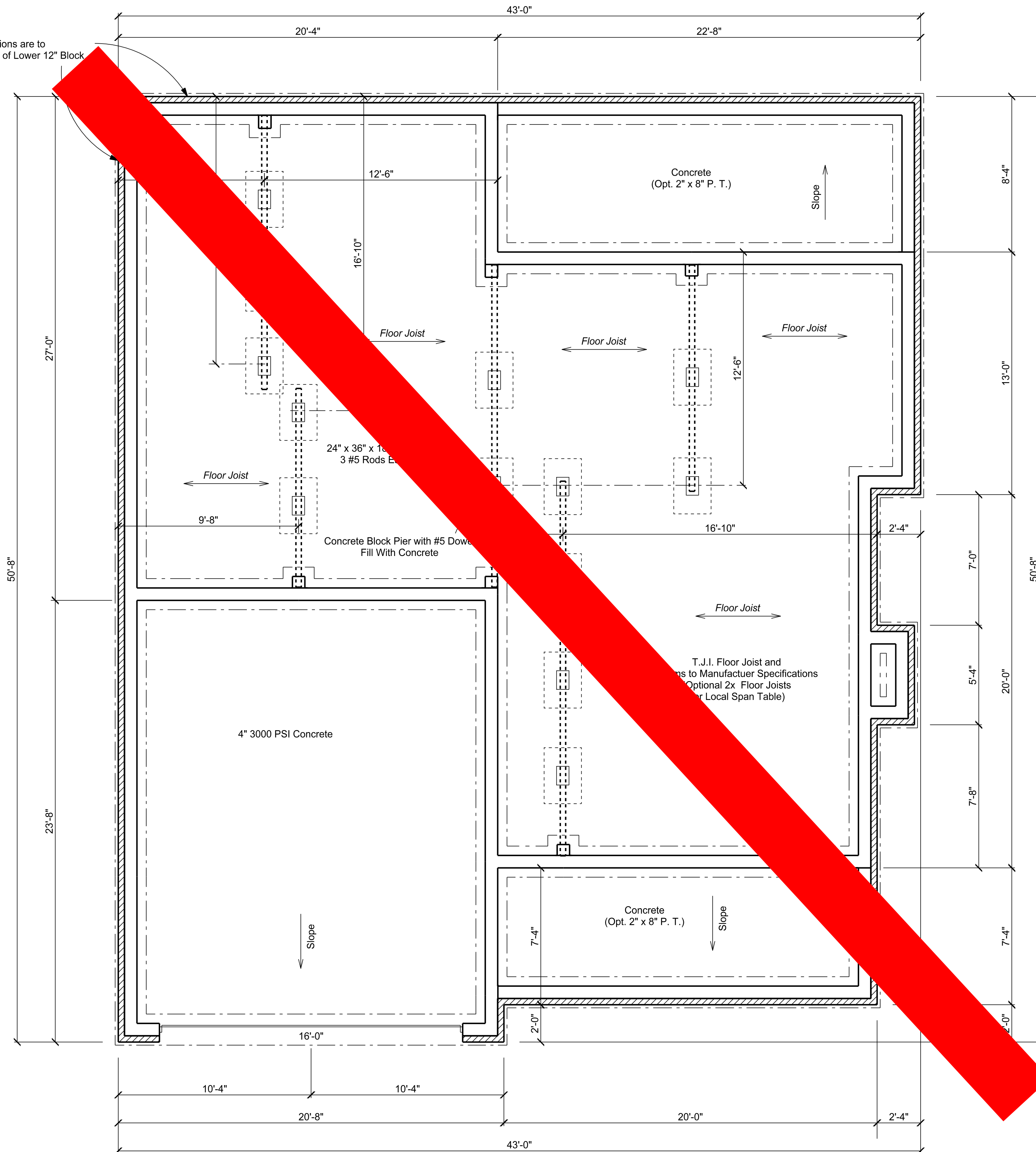
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Job	
Sheet	1
Of	8 Sheets



Note:  
Dimensions are to  
Outside of Lower 12" Block

See truss supplier layout for pier locations.  
Footing sizes shall be code compliant



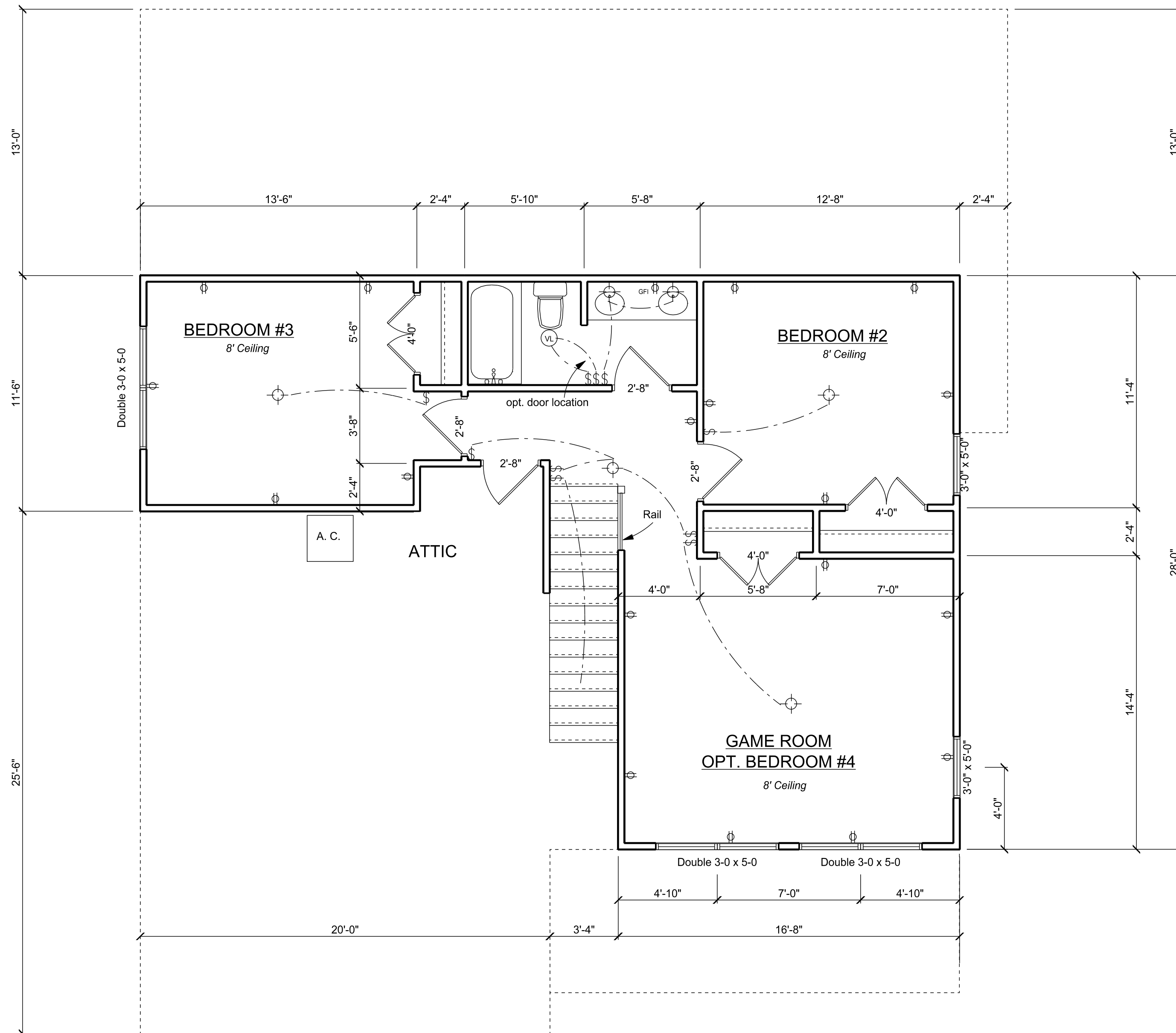
Crawl Space Foundation Plan

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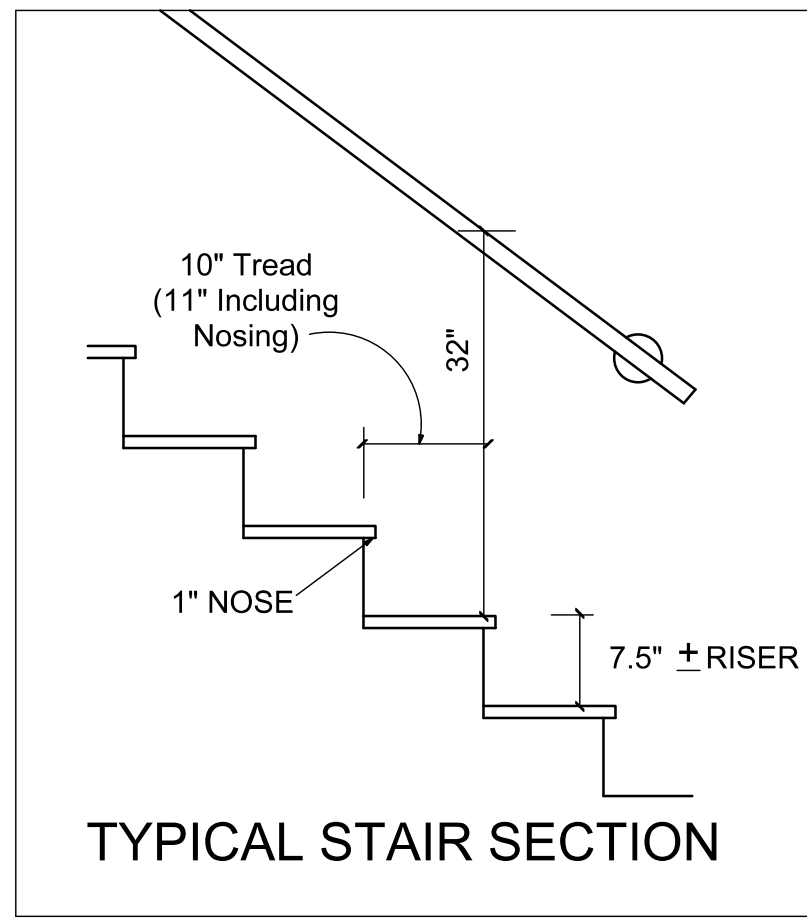
2nd Floor Plan

REVISIONS	BY

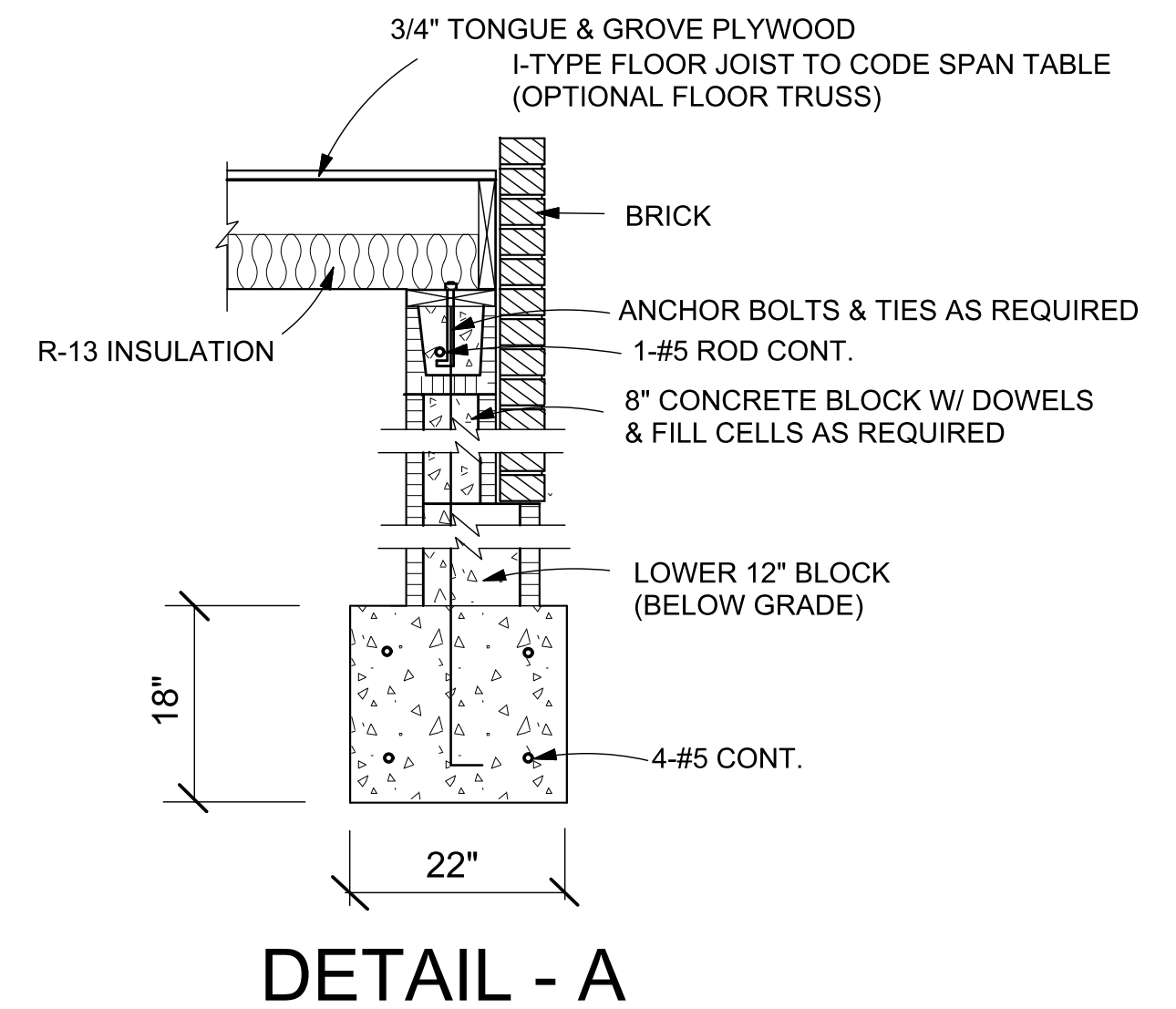
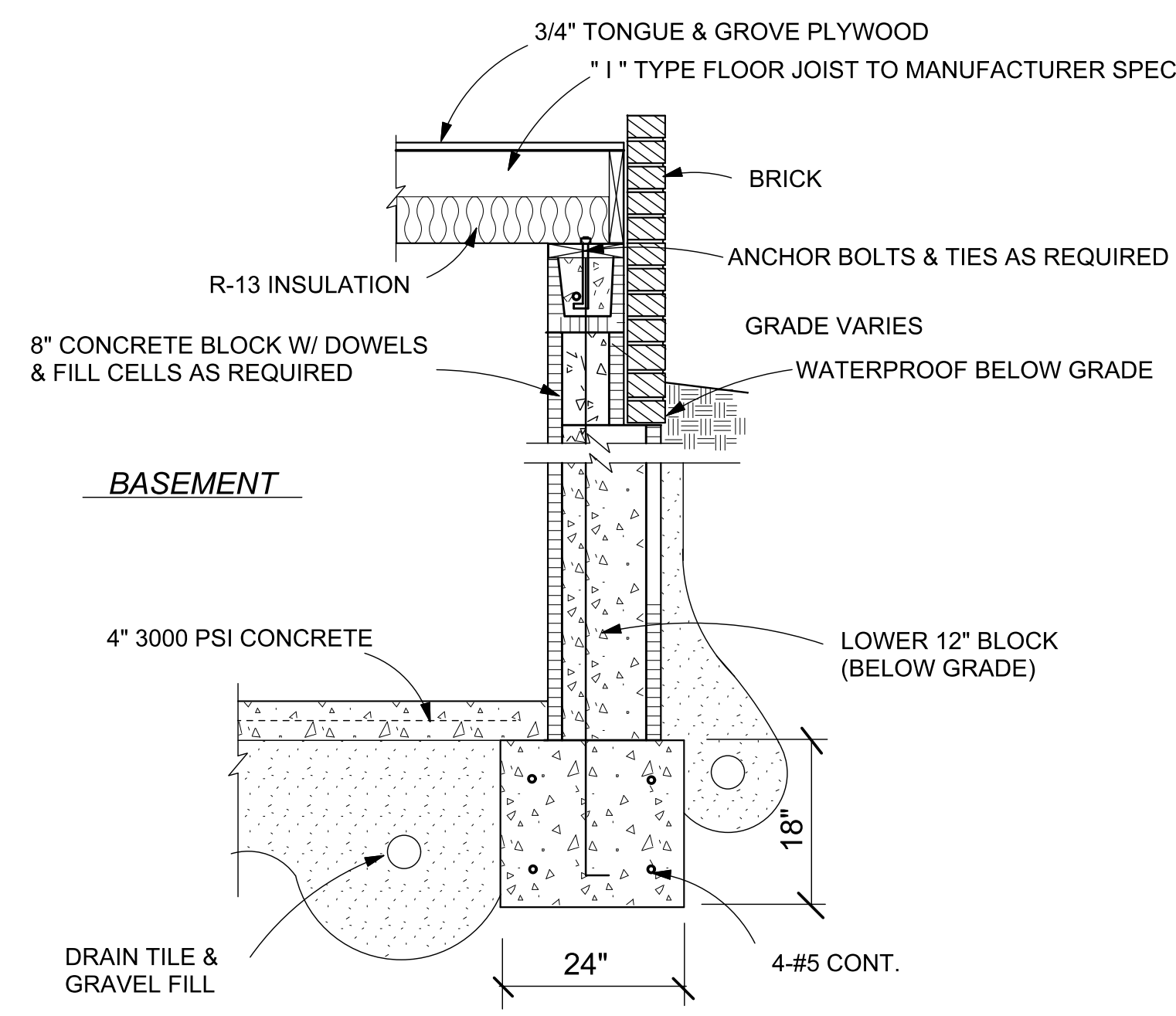
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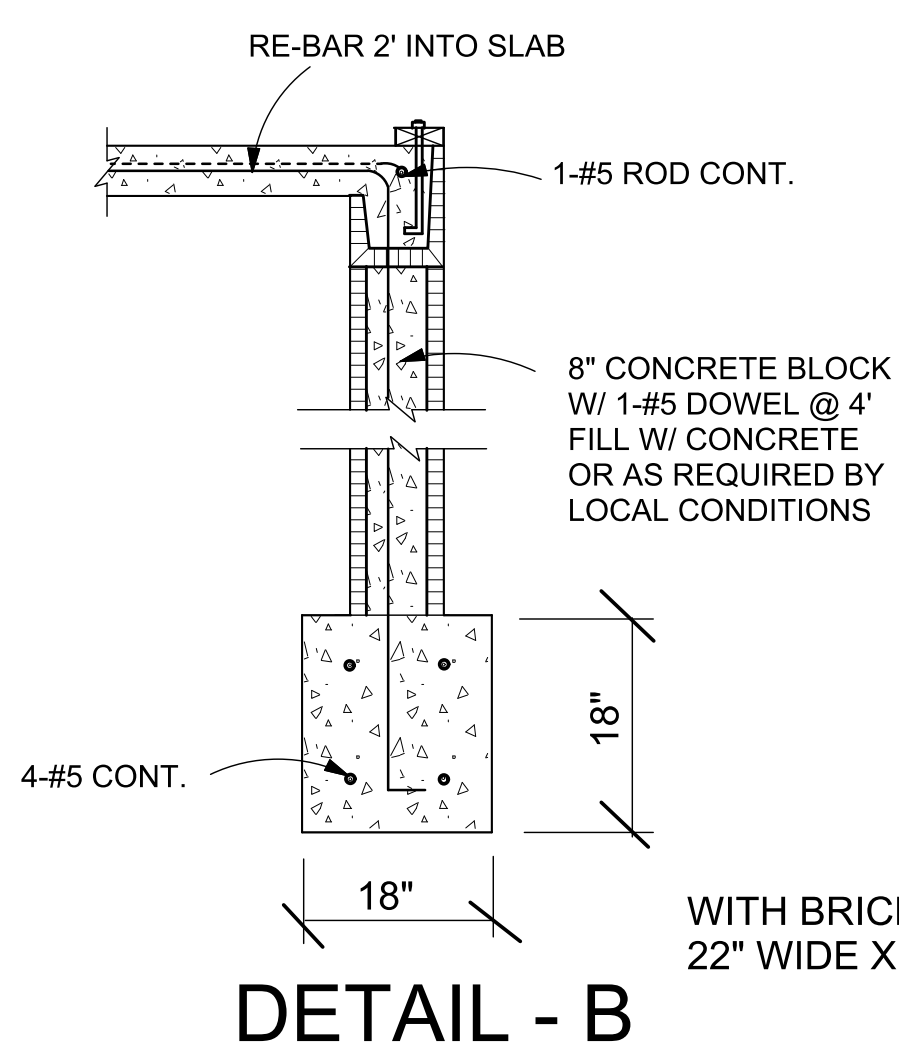
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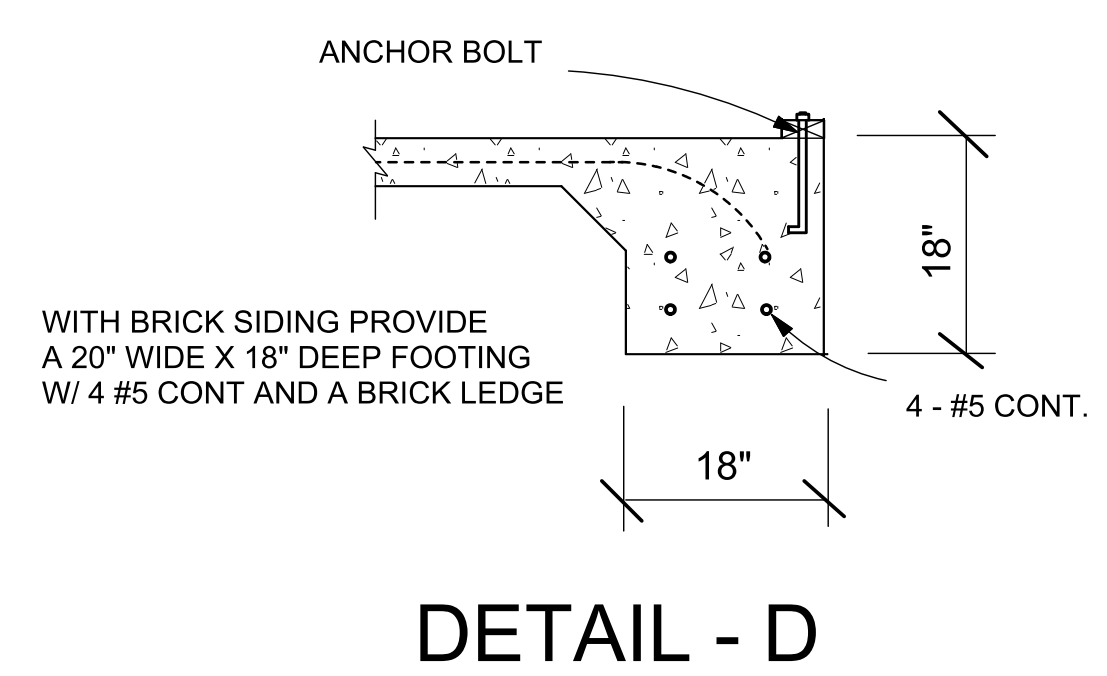
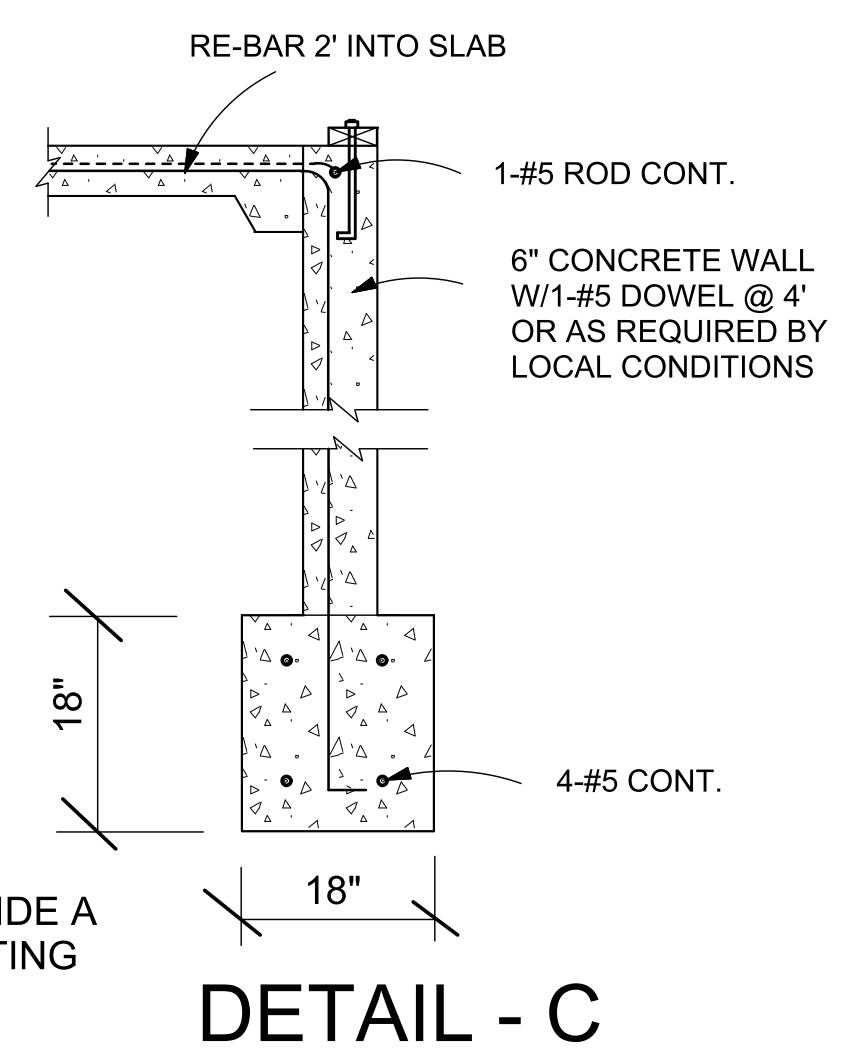
NOTE: SEE ADDITIONAL NOTES ON FRONT ELEVATION SHEET.



**OPTIONAL BASEMENT SECTION**



WITH BRICK SIDING PROVIDE A 22" WIDE X 18" DEEP FOOTING



WITH BRICK SIDING PROVIDE A 20" WIDE X 18" DEEP FOOTING W/ 4 #5 CONT AND A BRICK LEDGE

**2 STORY FOUNDATION DETAILS (OPTIONS)**

- NOTES:
- \* WALLS ABOVE 4'-0" FROM FINISH GRADE MAY REQUIRE ADDITIONAL STRUCTURAL SIZING, SEE ENGINEER (FOOTING SIZE & RETAINING WALL REQ.)
  - \* FOOTING DETAILS MAY VARY IN REQUIREMENTS, IN YOUR AREA, VERIFY WITH CONTRACTOR OR ENGINEER.
  - \* CONCRETE FLOOR TO BE 8" MINIMUM ABOVE FINISH GRADE.
  - \* PROVIDE COMPACTED SAND FILL AS REQUIRED UNDER FOOTINGS.

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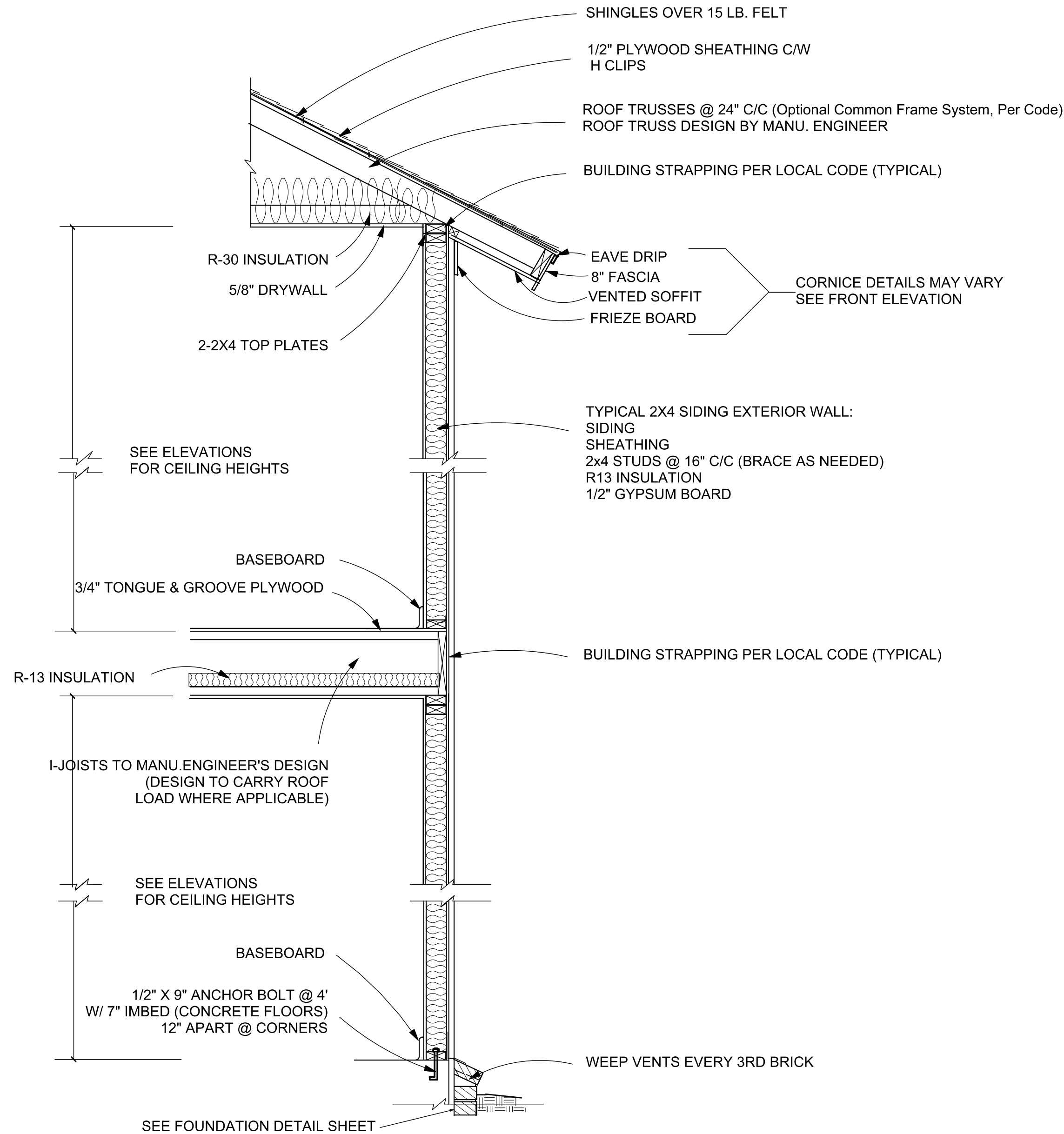
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Of	8 Sheets

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**TYPICAL BUILDING SECTION**

NOTE: ALL STRUCTURAL MEMBERS MUST COMPLY W/ LOCAL BUILDING CODES.

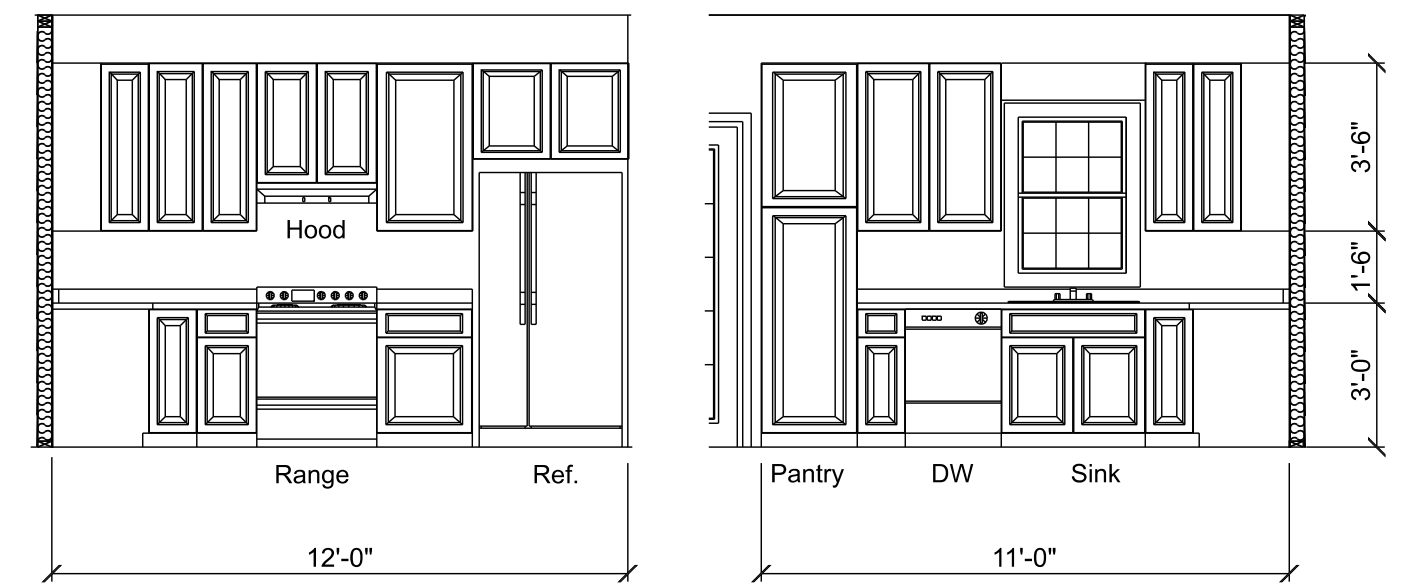
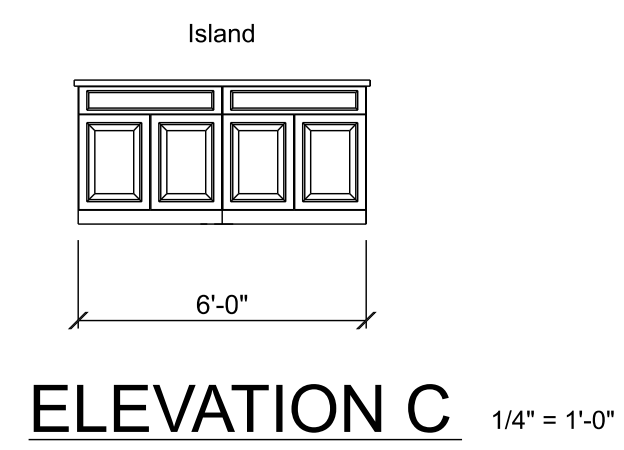
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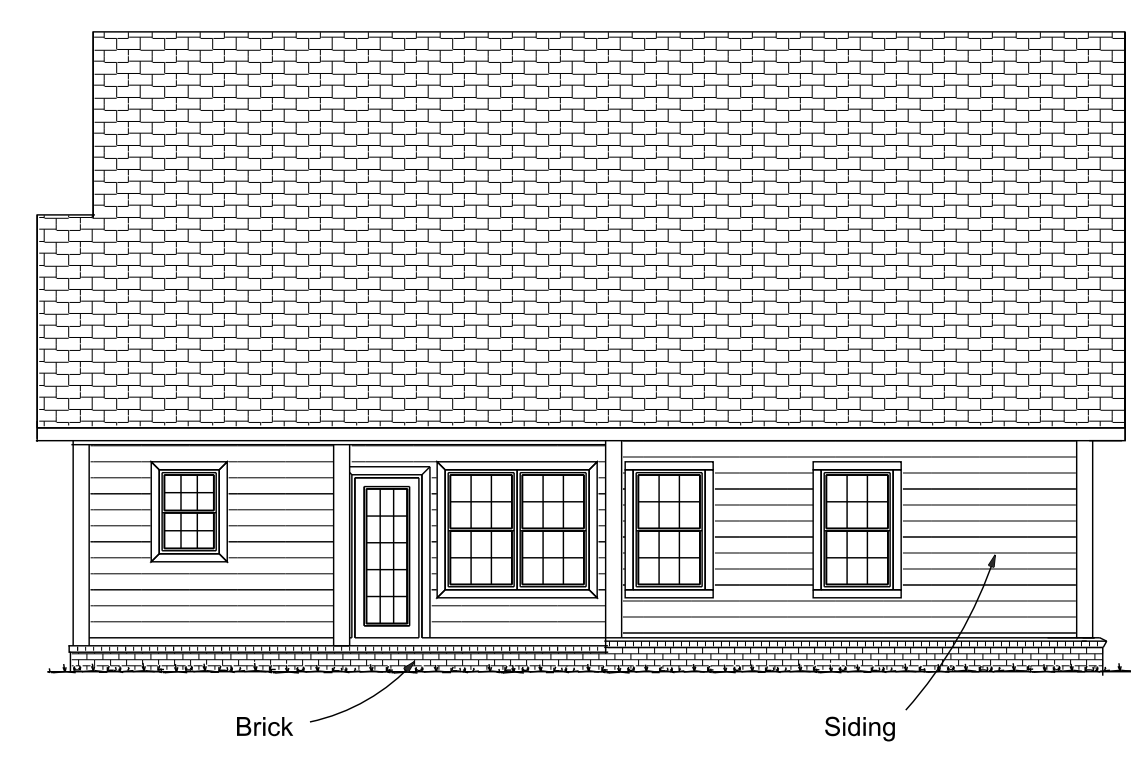
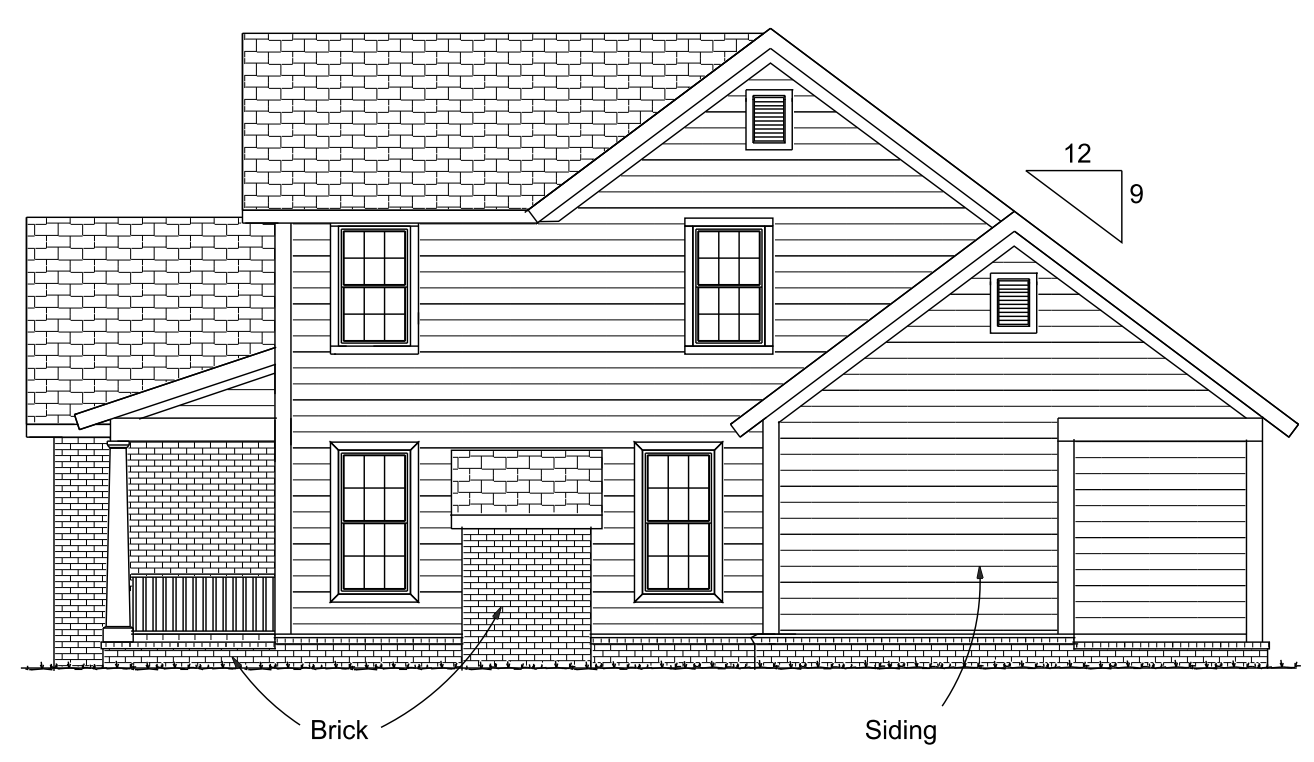
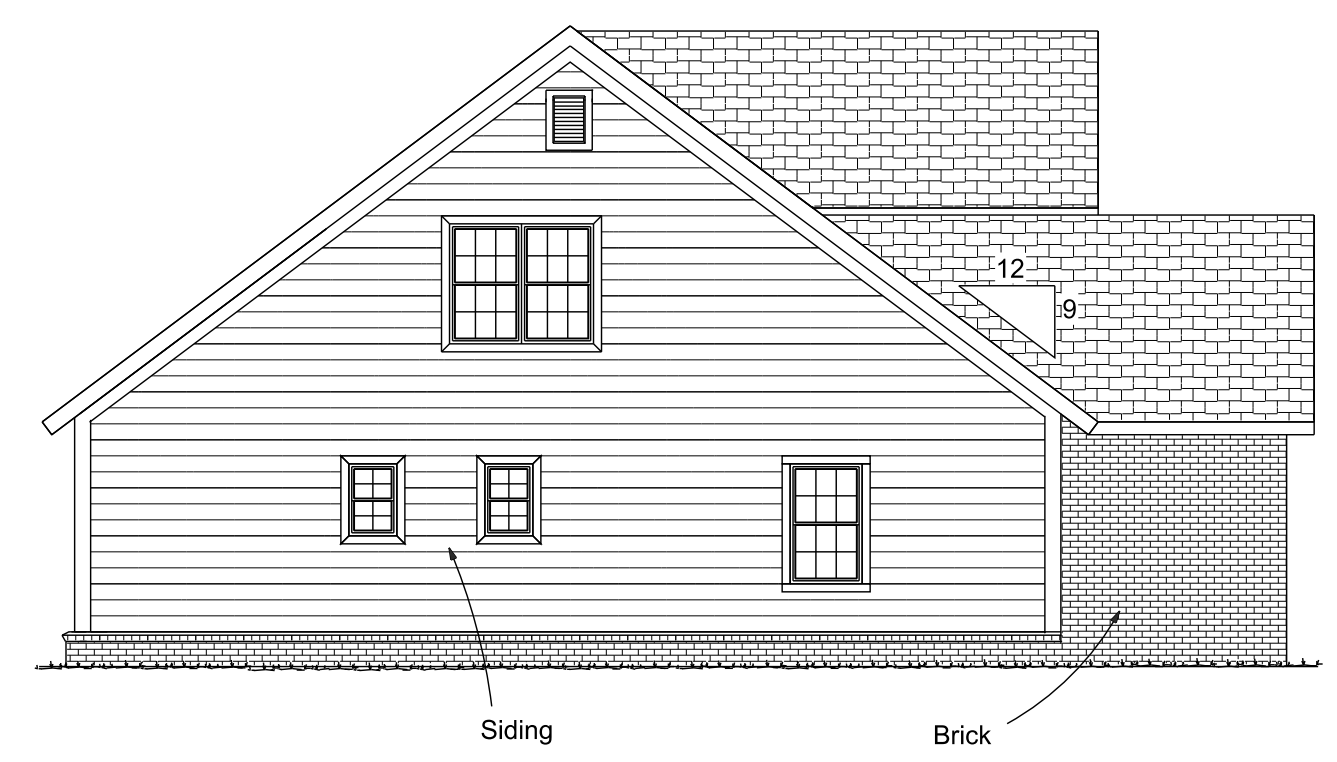
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Of	8 Sheets

REVISIONS	BY



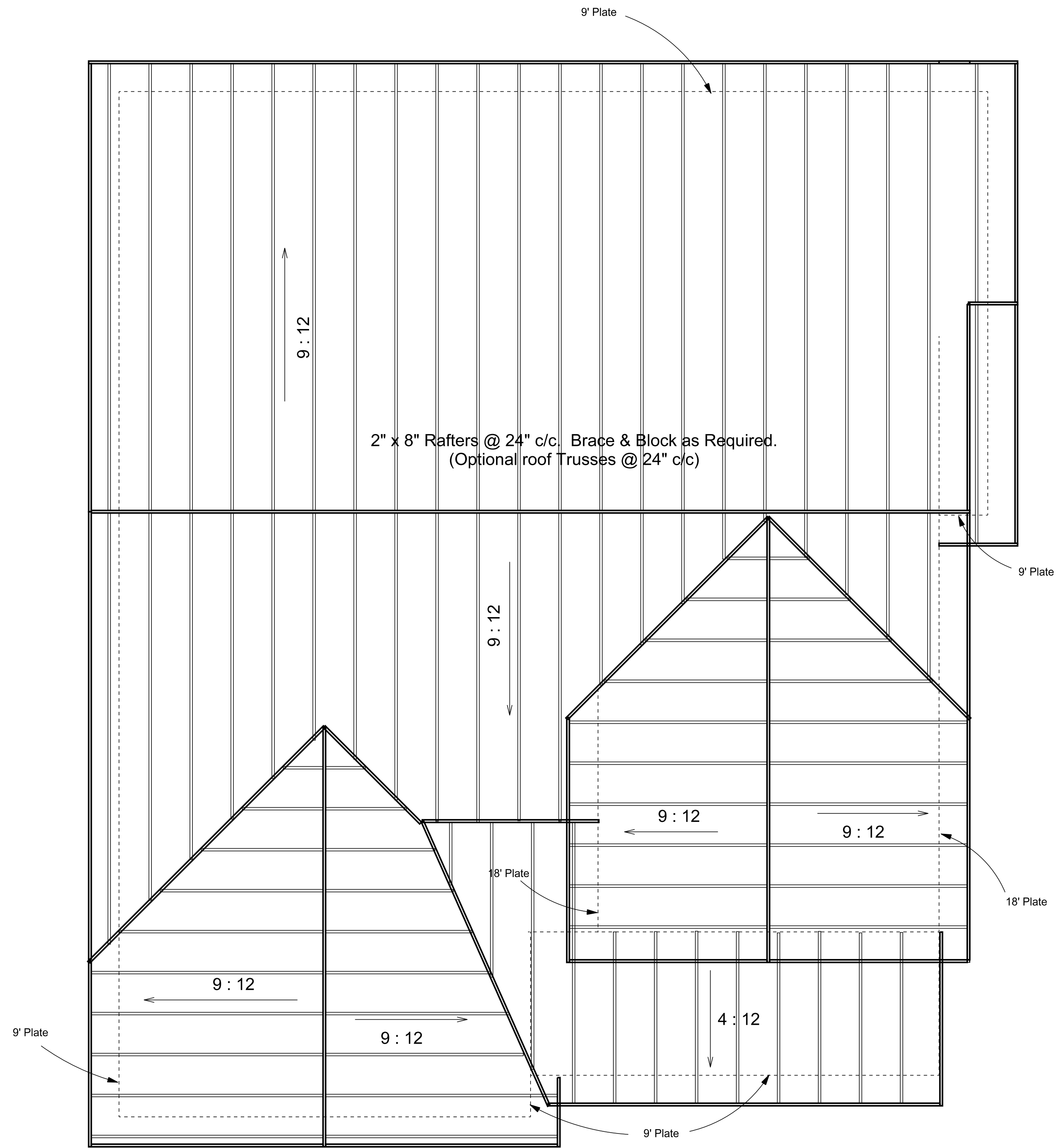
*Selections to be made for Cabinet Style, Color, and Hardware*



House Plan #24333  
Modified For Robbins

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Of	8 Sheets



Roof Plan

REVISIONS	BY

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Bluespring

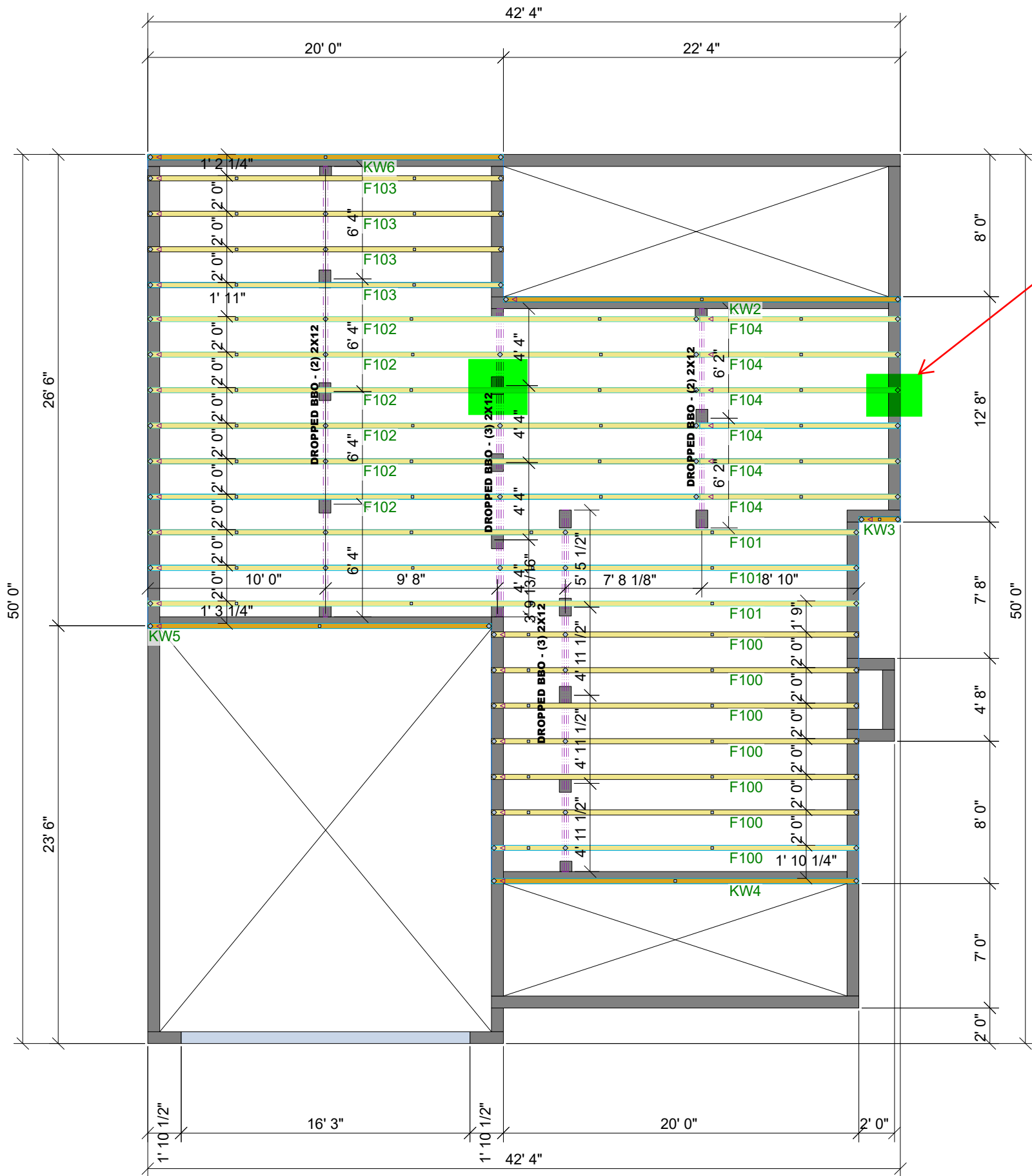
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Drawn	
Job	
Sheet	7
Of	8 Sheets



THIS IS A TRUSS/COMPONENT PLACEMENT DIAGRAM (TPD) ONLY: NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDDs) for each truss design identified on the TPD. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbcassociation.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.

**PLACEMENT PLAN**



BUILDING CODE		IRC2015
TOP CHORD LIVE LOAD	40.000 lb/ft <sup>2</sup>	
TOP CHORD DEAD LOAD	20.000 lb/ft <sup>2</sup>	
BOTTOM CHORD LIVE LOAD	0.000 lb/ft <sup>2</sup>	
BOTTOM CHORD DEAD LOAD	5.000 lb/ft <sup>2</sup>	
LIVE LOAD DEFLECTION	480	
TOTAL LOAD DEFLECTION	360	
△ INDICATES LEFT END OF TRUSS		

SCALE: N.T.S.

REVISIONS		DSN
DATE	DESCRIPTION	

DESIGNER ETG  
 LAYOUT DATE 8/24/2023  
 ARCH DATE -  
 STRUC DATE -

JOB #: 23081661F1

**PARKS BLDG SUPPLY**

32 DAUPHINE ST CRAWL

32 DAUPHINE ST  
 FUQUAY VARINA, NC

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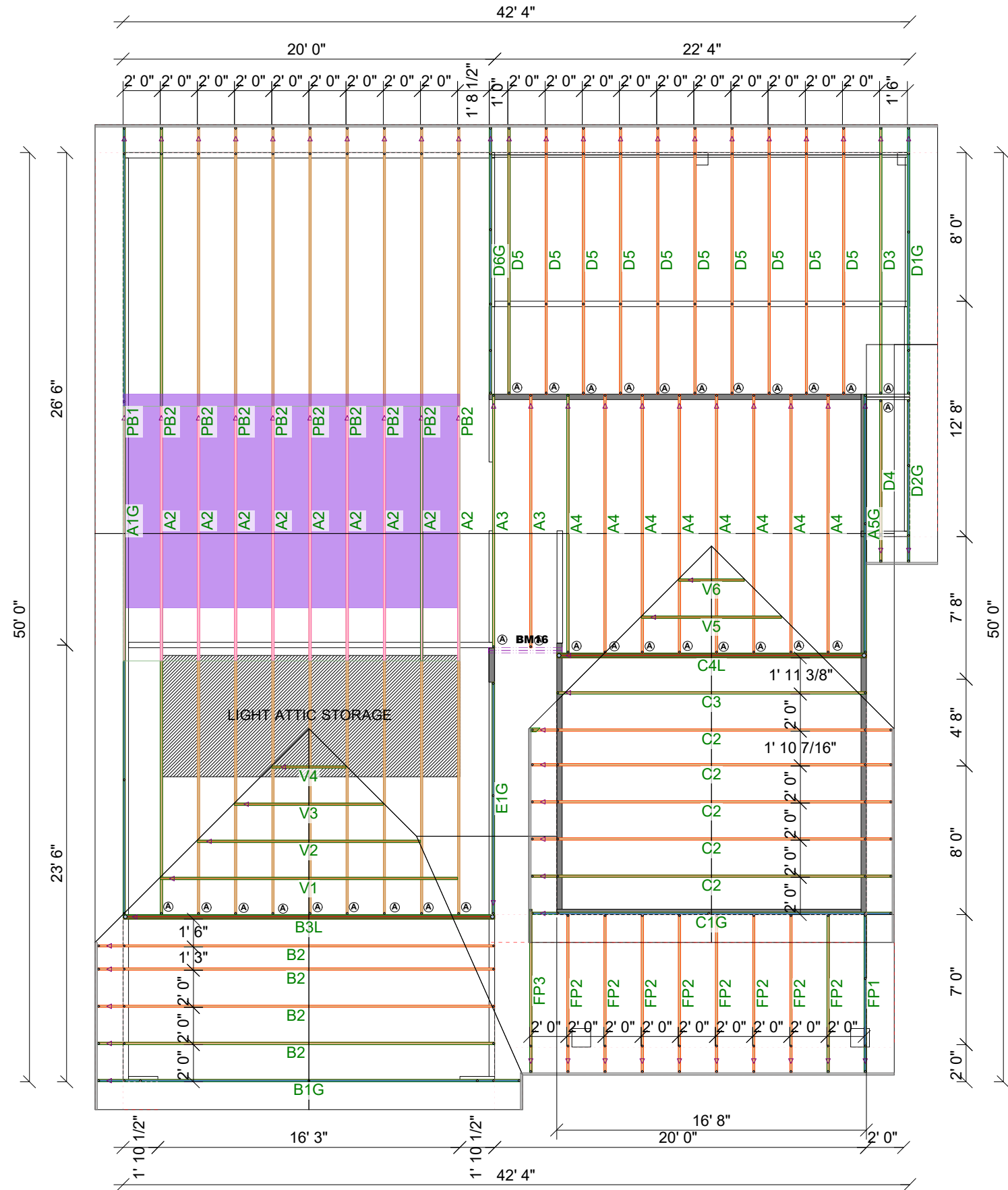
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**PLACEMENT PLAN**



**ROOF TRUSS CRITERIA**

BUILDING CODE	IRC2015
SNOW LOAD	
TOP CHORD DEAD LOAD	10.000 lb/ft <sup>2</sup>
BOTTOM CHORD LIVE LOAD	0.000 lb/ft <sup>2</sup>
BOTTOM CHORD DEAD LOAD	10.000 lb/ft <sup>2</sup>
LIVE LOAD DEFLECTION	240
TOTAL LOAD DEFLECTION	180
ROOF AREA	2907.93 ft <sup>2</sup> sq ft
RIDGE LINE	88.66 ft
VALLEY LINES	73.86 ft
HIP LINES	0 ft
△ INDICATES LEFT END OF TRUSS	

**Roof Hanger List**

MARK	TYPE	DESCRIPTION	QTY
(A)	HUS26	FACE MOUNT HANGER	31

Products					
PlotID	Length	Product	Plies	Net Qty	Fab Type
BM16	4' 0"	1 3/4" x 9 1/4" 2.0E Microllam® LVL	2	2	MFD

REVISIONS	DATE	DESCRIPTION	DSN

DESIGNER ETG  
 LAYOUT DATE 8/24/2023  
 ARCH DATE -  
 STRUC DATE -

JOB #: 23081661

SCALE: N.T.S

**PARKS BLDG SUPPLY**

32 DAUPHINE ST RF

32 DUAPHINE ST  
 FUQUAY VARINA, NC



TRUSS TRAX  
 UFP CONSTRUCTION  
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