

PLOT PLAN FOR  
**NEW HOME, INC., LLC**  
 162 BEACON HILL ROAD  
 LOT 115, DUNCAN'S CREEK, PHASE I  
 UPPER LITTLE CREEK TOWNSHIP, HARNETT COUNTY, NORTH CAROLINA



(111)

(137)

(136)

N 02°11'27" E 100.00'

SETBACK LINES

(115)

25,000 S.F.  
0.574 AC.

141.7'

S 87°48'33" E 250.00'

(114)

N 87°48'33" W 250.00'

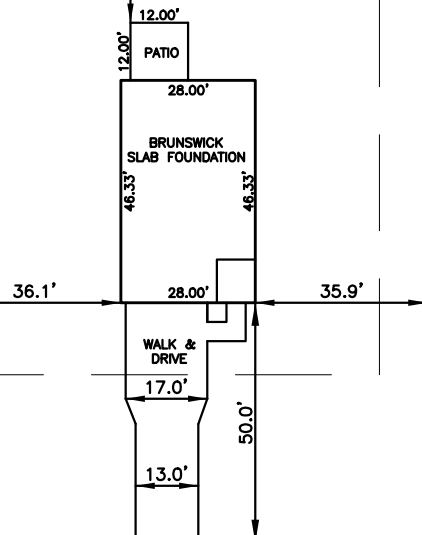
(116)

N 02°11'27" E 100.00'

**BEACON HILL ROAD**  
50' PUBLIC R/W

**LEGEND**

- ⊠ AIR CONDITIONER
- BC BACK OF CURB
- BFP BACK FLOW PREVENTER
- CLEANOUT
- ⊠ CURB INLET
- DHS DRILL HOLE SET
- ECM EXISTING CONCRETE MONUMENT
- EDH EXISTING DRILL HOLE
- EIS EXISTING IRON STAKE
- EIP EXISTING IRON PIPE
- EM ELECTRIC METER
- EPK EXISTING PK NAIL
- ES ELECTRIC STUB
- ⊠ FLARED END SECTION
- ⊠ FIRE HYDRANT
- ⊠ FIBER OPTIC PEDESTAL
- ⊠ GAS METER
- GUY GUY
- INV. INVERT
- IPS IRON PIPE SET
- IRS IRON ROD SET
- LIGHT POLE
- MNS MAGNETIC NAIL SET
- ⊠ MANHOLE SANITARY SEWER
- ⊠ MANHOLE STORM SEWER
- OHW OVERHEAD WIRES
- PKS PK NAIL SET
- PNS POINT NOT SET
- RRS RAIL ROAD SPIKE
- ⊠ TELEPHONE PEDESTAL
- ⊠ TRANSFORMER
- ⊠ CABLE TV PEDESTAL
- ⊠ UTILITY POLE
- ⊠ WATER METER
- ⊠ WATER VALVE
- ⊠ YARD INLET
- ( ) FIELD MEASUREMENT

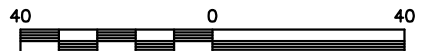


**SETBACK INFO**

- FRONT: \_\_\_\_\_ 35'
- REAR: \_\_\_\_\_ 25'
- SIDES: \_\_\_\_\_ 10'
- CORNER SIDE: \_\_\_\_\_ 20'
- AGGREGATE SIDE: \_\_\_\_\_ 20'

**REFERENCES:**

B.M. 2022, PG. 594-596



SCALE: 1" = 40'

**NOTES**

1. THIS SURVEY SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
2. THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS.

IMPERVIOUS SURFACES	
HOUSE	1,300 S.F
WALK & DRIVE	790 S.F
PATIO	150 S.F
TOTAL	2,240 S.F

PLOT PLAN  
 PRELIMINARY PLAT- NOT FOR RECORDATION,  
 CONVEYANCE OR SALES

REV CODE: 1.FLIP, 2.PLAN, 3.ROTATE, 4.MOVE, 5.SS  
 6.SEVERAL OF ABOVE, 7.LAND FEATURE, 8. OTHER

DATE: AUG. 2, 2023

F.B. \_\_\_\_\_

*RWK, PA*

**ENGINEERING ~ SURVEYING**

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