SFD2308-0026
SR, 1426

Department of Environment, Health and Natural Resources
Division of Environmental Health
On-Site Wastewater Section

Sheet:
Property ID:
Lot #:
File #:
Code:

SOIL/SITE EVALUATION
for ON-SITE WASTEWATER SYSTEM

Owner: Applicant: Kara Homes INC
Address: 336 Deer Tail LN Date Evaluated: 8-23-23
Proposed Facility: SFD 59'x65' Design Flow (.1949): 480 Property Size:
Location of Site: Property Recorded:
Water Supply: ☐ Public ☐ Individual ☐ Well ☐ Spring ☐ Other
Evaluation Method: ☐ Auger Boring ☐ Pit ☐ Cut
Type of Wastewater: ☐ Sewage ☐ Industrial Process ☐ Mixed

PROFILE #	.1940 Landscape Position/ Slope %	Horizon Depth (In.)	SOIL MORPHOLOGY .1941		OTHER PROFILE FACTORS				Profile Class & LTAR
			.1941 Structure/ Texture	.1941 Consistence Mineralogy	.1942 Soil Wetness/ Color	.1943 Soil Depth (IN.)	.1956 Sapro Class	.1944 Restr Horiz	
1	2-3%	0-4	SL	FGr, gr, NS, NP					
		4-48	Clay	FI, SBK, S, P	48"+	48"+			.3
2	2-3%	0-15	SL [redacted]	FGr, gr, NS, NP					
		15-42	Clay	FI, SBK, S, P	40"	42"+			.3
3	2-3%	0-17	SL	vFr, gr, NS, NP					
		17-48	Clay	FI, SBK, S, P	48"+	48"+			.3

Description	Initial System	Repair System
Available Space (.1945)	✓	✓
System Type(s)	25% Red	25% Red
Site LTAR	.3	.3

Other Factors (.1946):
Site Classification (.1948): S
Evaluated By: JM/RL
Others Present:

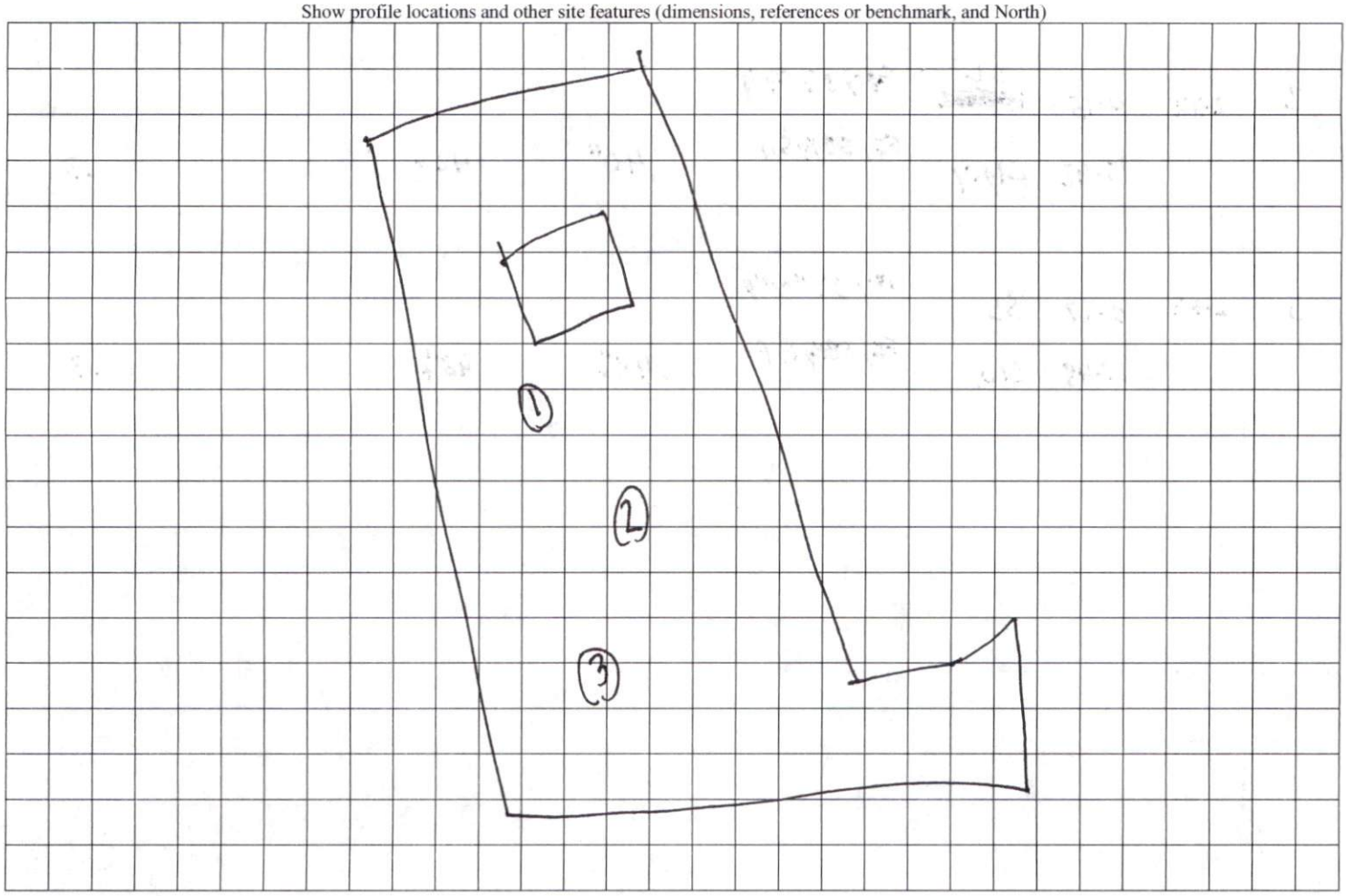
FILE #

COMMENTS: _____

LANDSCAPE POSITIONS	GROUP	TEXTURES	.1955 LTAR	CONSISTENCE MOIST	WET
R-RIDGE	I	S-SAND	1.2 - 0.8		
S-SHOULDER SLOPE		LS-LOAMY SAND		VFR-VERY FRIABLE	NS-NON-STICKY
L-LINEAR SLOPE				FR-FRIABLE	SS-SLIGHTY STICKY
FS-FOOT SLOPE	II	SL-SANDY LOAM	0.8 - 0.6	FI-FIRM	S-STICKY
N-NOSE SLOPE		L-LOAM		VFI-VERY FIRM	VS-VERY STICKY
H-HEAD SLOPE				EFI-EXTREMELY FIRM	NP-NON-PLASTIC
CC-CONCLAVE SLOPE	III	SI-SILT	0.6 - 0.3		SP-SLIGHTLY STICKY
CV-CONVEX SLOPE		SIL-SILT LOAM			P-PLASTIC
T-TERRACE		CL-CLAY LOAM			VP-VERY PLASTIC
FP-FLOOD PLAN		SCL-SANDY CLAY LOAM			
	IV	SIC-SILTY CLAY	0.4 - 0.1		
		C-CLAY			
		SC-SANDY CLAY			

STRUCTURE	MINERALOGY
SG-SINGLE GRAIN	SLIGHTLY EXPANSIVE
M- MASSIVE	
CR-CRUMB	EXPANSIVE
GR-GRANULAR	
SBK-SUBANGULAR BLOCKY	
ABK-ANGULAR BLOCKY	
PL-PLATY	
PR-PRISMATIC	

Show profile locations and other site features (dimensions, references or benchmark, and North)



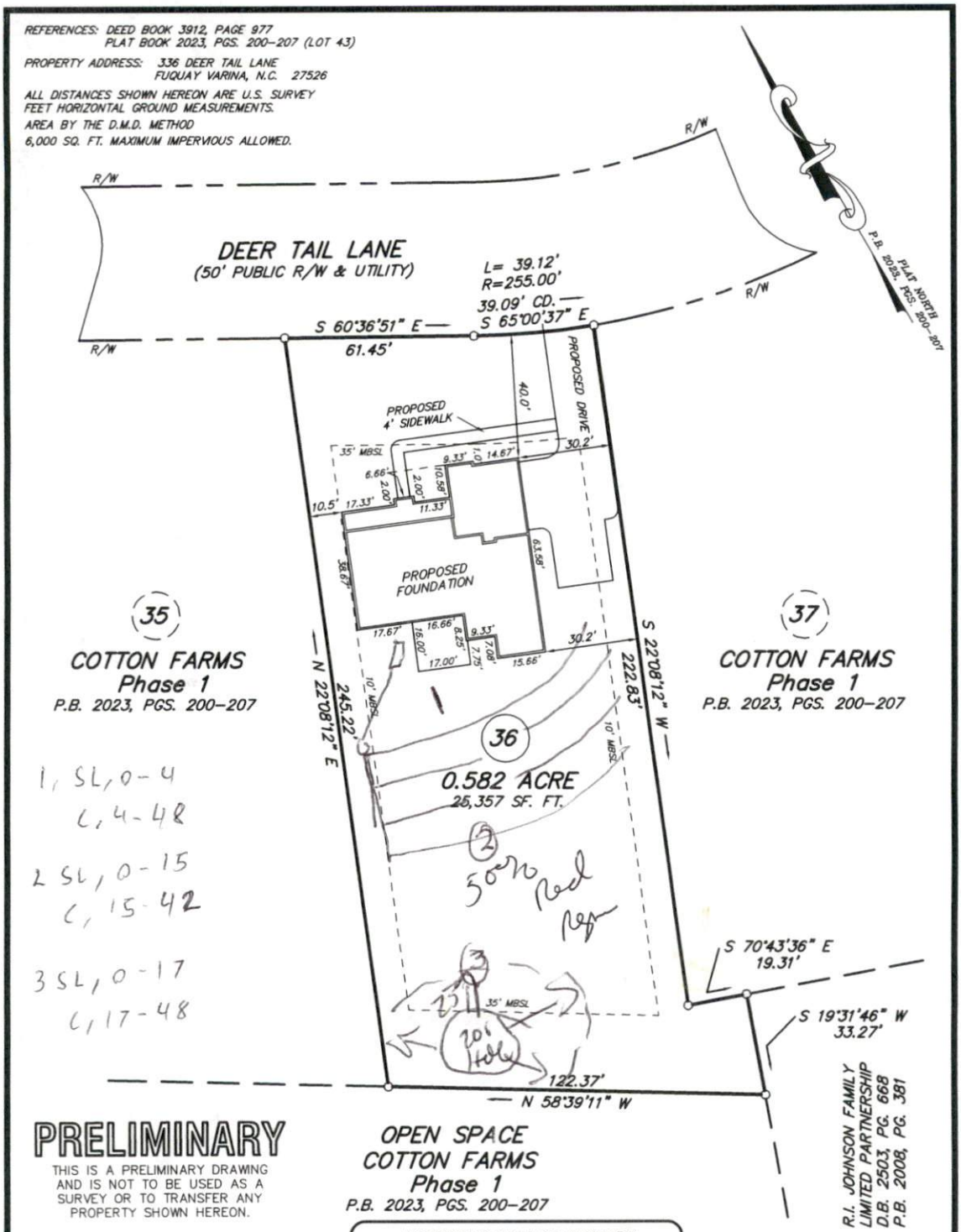
REFERENCES: DEED BOOK 3912, PAGE 977
PLAT BOOK 2023, PGS. 200–207 (LOT 43)

PROPERTY ADDRESS: 336 DEER TAIL LANE
FUQUAY VARINA, N.C. 27526

ALL DISTANCES SHOWN HEREON ARE U.S. SURVEY FEET HORIZONTAL GROUND MEASUREMENTS.

AREA BY THE D.M.D. METHOD

6,000 SQ. FT. MAXIMUM IMPERVIOUS ALLOWED.



1, SL, 0-4
C, 4-48

2 SL, 0-15
C, 15-42

3 SL, 0-17
C, 17-48

PRELIMINARY

THIS IS A PRELIMINARY DRAWING AND IS NOT TO BE USED AS A SURVEY OR TO TRANSFER ANY PROPERTY SHOWN HEREON.

OPEN SPACE
COTTON FARMS
Phase 1
P.B. 2023, PGS. 200–207

IMPERVIOUS SURFACE SUMMARY	
PROPOSED DWELLING & PORCHES	3,133 SQ. FT.
PROPOSED CONCRETE DRIVE & WALK	1,949 SQ. FT.
TOTAL PROPOSED IMPERVIOUS AREA =	5,082 SQ. FT.
5,082 SQ. FT. DIVIDED BY 6,000 SQ. FT. = 84.7% OF PROPOSED IMPERVIOUS AREA ALLOWED	

HARNETT COUNTY
ZONE: RA–30

MINIMUM BUILDING SETBACKS	
SINGLE FAMILY RESIDENTIAL	
FRONT	35'
REAR	25'
SIDE	10'
CORNER SIDE	20'

40 0 20 40

(U.S. SURVEY FEET)
1 inch = 40 ft.

LEGEND:

- SURVEYED LINE
- RIGHT–OF–WAY LINE
- UNSURVEYED LINE
- EIP = EXISTING IRON PIPE
- IRON FOUND UNLESS, OTHERWISE NOTED
- MBSL = MINIMUM BUILDING SETBACK LINE
- R/W = RIGHT OF WAY

SURVEY & MAP BY
BOBBY FUQUAY and ASSOCIATES
6525 MAL WEATHERS RD., RALEIGH N.C., 27603
(919) 880–3309

PLAN DOGWOOD II

SITE PLAN FOR

KARA HOMES

HECTOR'S CREEK TOWNSHIP, HARNETT COUNTY, NORTH CAROLINA

PIN: 0643–36–4785.000		SCALE: 1" = 40'
DATE: 06–13–2023		DRAWING: 202332