REVISION LOG

REVISION:001

DATE: 02/16/23

DATE: 03/29/23

1. OPTIONS DETERMINED AND REVISED

REVISION:002

- 1. CORRECT LABEL FOR OWNER'S CLOSET OPTION TO SAY OPTIONAL LARGER OWNER'S CLOSET.
- 2. ADD OPTIONAL TO THE SECOND FLOOR PLAN WITH 3 BEDROOMS.

Lot 118 Duncan's Creek 74 Beacon Hill Road Lillington, NC 27546

SHOME NC.



The Brunswick French Country - LH

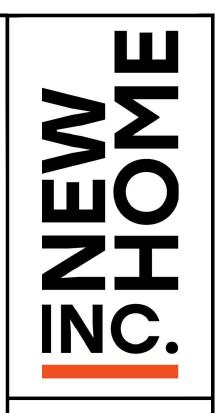
Sheet No.	Sheet Description
0.0	Cover Sheet
1.0	Foundation (Slab)
1.0.1	Foundation (Crawl)
2.0	First Floor Plan
2.1	First Floor Plan Options
2.2	Second Floor Plan
3.0	Front Elevations (Slab)
3.0.1	Front Elevations (Crawl)
3.1	Rear & Side Elevations (Slab)
3.1.1	Rear & Side Elevations (Crawl)
3.2	Elevation Options (Slab)
3.2.1	Elevation Options (Crawl)
4.0	Roof Plan
5.0	First Floor Electrical
5.1	First Floor Options Electrical
5.2	Second Floor Electrical

SQUARE	F	$\overline{\bigcirc}$) TC	40	ЭE		
	'TR	ADIT	IONAI	L' ELEVATION			
	U	NHEAT	ED		_		
FIRST FLOOR		0			822		
SECOND FLOOR	00						
FRONT PORCH	72			0			
REAR PATIO/DECK	144			0			
2 CAR GARAGE	617						
SUBTOTALS					1830		
TOTAL UNDER ROOF			24	47			
OF	PTIC	NS					
	UNHI	EATE	D S.F.	HE	ATED S	.F.	
POCKET OFFICE		0			+42		
FIREPLACE BUMPOUT		0			_+11		
messy kit/ pwr pantry		0			+72		
2ND FL BAY		0			+18		

DESIGN CRITERIA:

THIS PLAN IS TO BE BUILT IN CONFORMANCE WITH THE 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE

DIMENSIONS SHALL GOVERN OVER SCALE, AND CODE SHALL GOVERN OVER DIMENSIONS.



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THE BRUNSWICK - LH
Cover - French Country

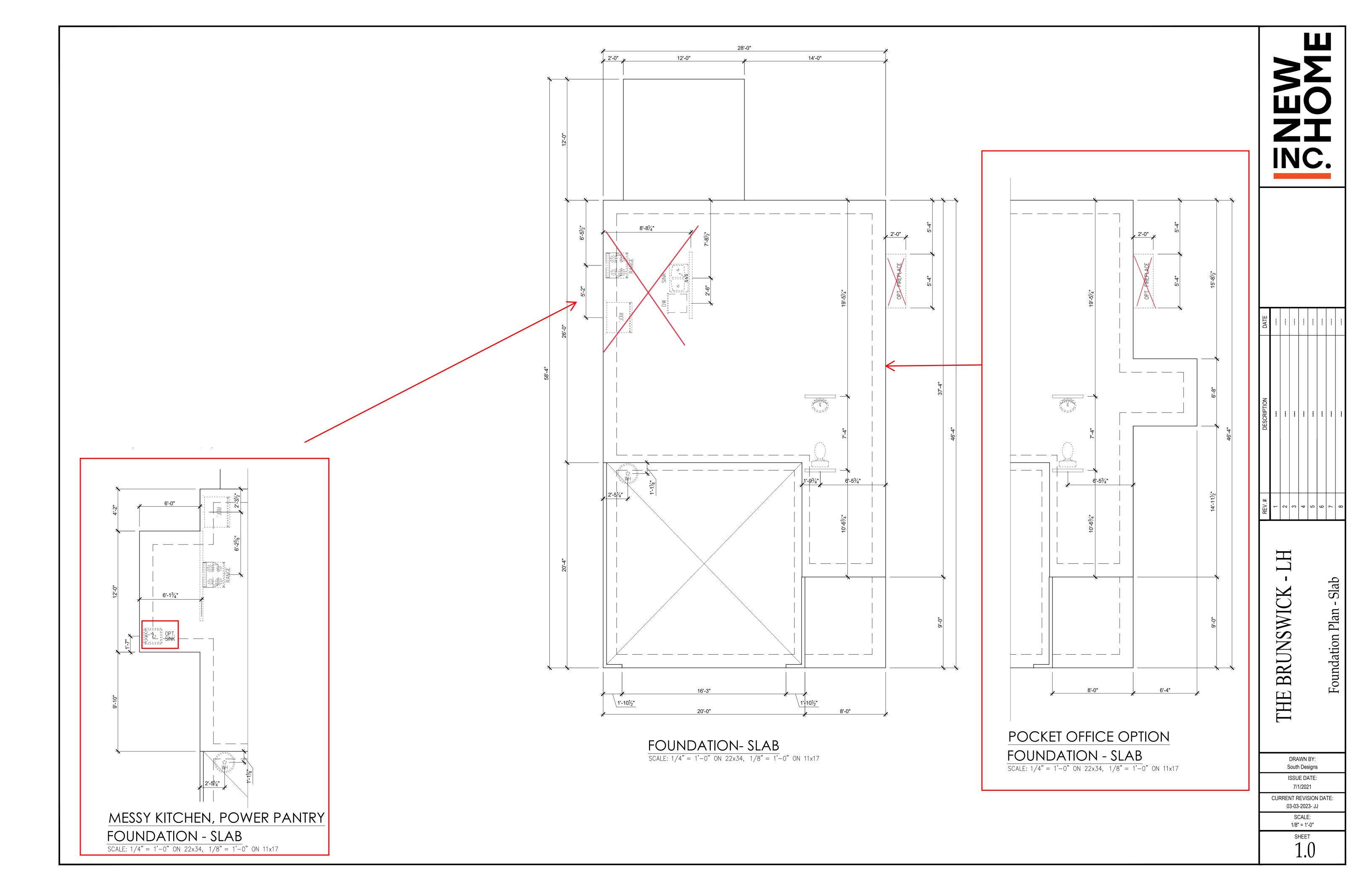
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ISSUE DATE: 7/1/2021

CURRENT REVISION DATE: 03-03-2023- JJ SCALE:

1/8" = 1'-0"

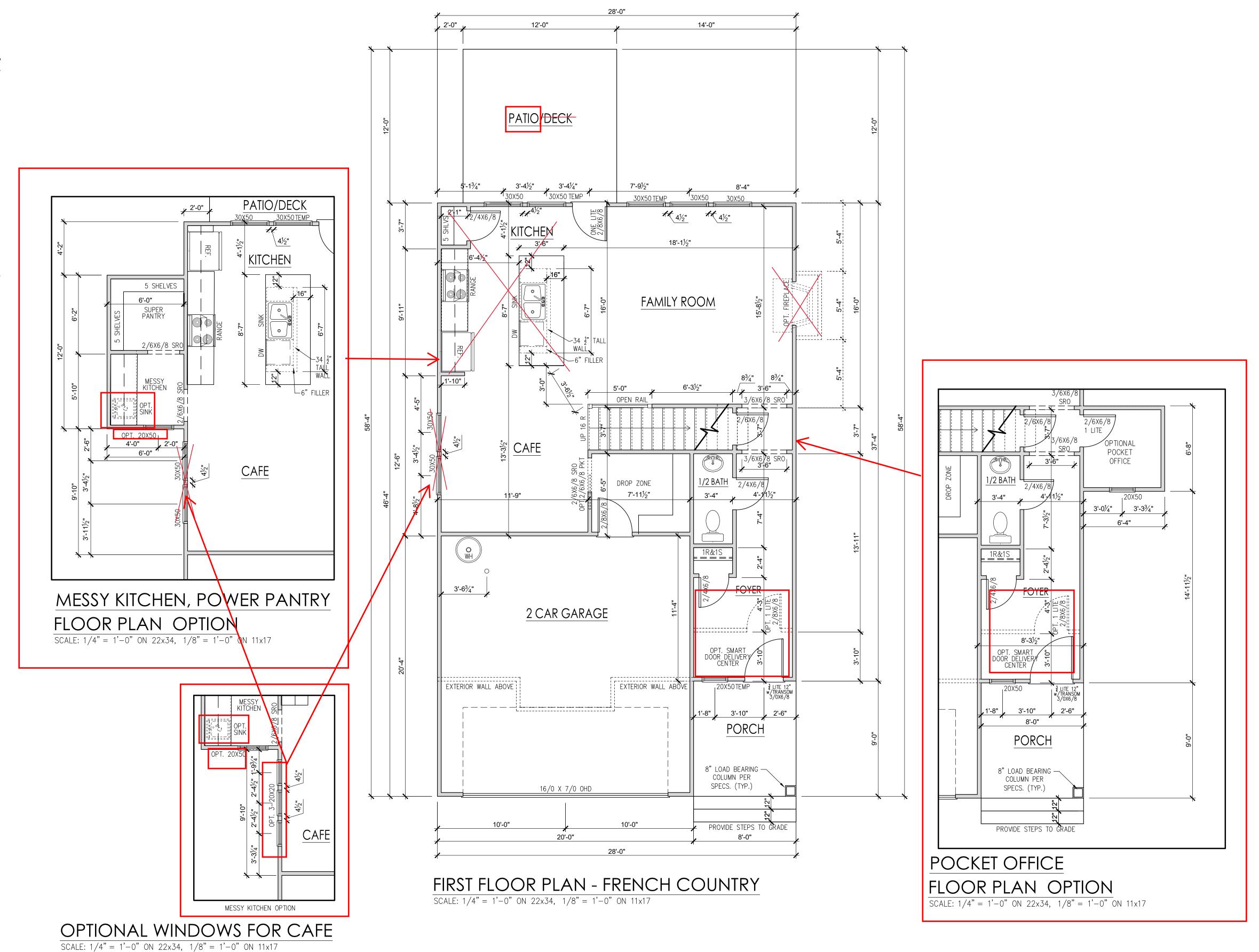
SHEET



GENERAL FLOOR PLAN NOTES

GENERAL FLOOR PLAN NOTES SHALL APPLY UNLESS NOTED OTHERWISE ON PLAN.

- 1. WALL HEIGHTS: TYPICALLY 9'-1 1/2" AT FIRST FLOOR AND SECOND FLOOR, AND 9'-1 1/2" AT ATTICS U.N.O. ALL WALLS ARE CONSTRUCTED USING A DOUBLE TOP PLATE. SPLICES AT DOUBLE TOP PLATE DO NOT NEED TO OCCUR AT VERTICAL STUDS BUT MUST BE AT LEAST 24" APART FROM JOINT IN OTHER TOP PLATE LAYER. SPECIAL WALL HEIGHTS ARE NOTED ON PLANS WHERE THEY OCCUR.
- 2. WALL THICKNESS IS TYPICALLY 3 1/2". 2X6 FRAME SHALL BE USED AT WALLS THAT BACK UP TO PLUMBING FIXTURES. WALLS GREATER THAN 10' HIGH SHALL BE FRAMED WITH 2X6 FRAMING OR GREATER AND WILL BE NOTED AS A SPECIAL CONDITION WHERE IT OCCURS ON PLAN.
- 3. TYPICAL HEADER HEIGHT SHALL BE 7'-8" AFF AT FIRST FLOOR, AND 7'-4" AFF AT SECOND FLOOR U.N.O.
- 4. JACKS: OPENINGS UP TO 3'-4" WIDE SHALL HAVE (1) 2X4 JACK STUD SPF ON EACH SIDE. OPENINGS GREATER THAN 3'-4" WIDE SHALL HAVE (2) 2X4 JACK STUDS SPF ON EACH SIDE.
- 5. SOFFITS, COFFERED CEILINGS, TREY CEILINGS AND OTHER SIGNIFICANT CEILING PLAN ELEMENTS ARE SHOWN ON THE FLOOR PLANS AND ARE DENOTED AS SINGLE DASHED LINES. UNLESS SPECIFICALLY CALL OUT AS INCLUDED, KITCHENS DO NOT INCLUDE SOFFITS OVER WALL CABINETRY.
- 6. DOOR AND WINDOW FRAMES, WHERE OCCURRING NEAR CORNERS, SHALL BE A MINIMUM OF 4 1/2" FROM CORNER. EXCEPT FOR WALK-IN CLOSETS WITH DOORS NEAR A CORNER, DOORS AT CLOSETS SHALL BE CENTERED ON CLOSET.
- 7. WINDOWS: SHALL HAVE AT LEAST (1) WINDOW IN EACH SLEEPING ROOM, THAT MEETS EGRESS. SHALL BE PROVIDED WITH TEMPERED GLASS AT HAZARDOUS GLAZING AREAS. FALSE WINDOWS SHALL BE INSTALLED WITH OBSCURE CLAZING.
- 8. CLOSETS FOR CLOTHING OR COAT STORAGE SHALL BE EQUIPPED WITH 1 ROD/SHELF. CLOSETS FOR LINEN SHALL HAVE 4 OPEN EQUAL SHELVES. CLOSETS FOR PANTRIES SHALL HAVE 4 EQUAL WOOD SHELVES, PAINTED.
- 9. STAIR TREADS SHALL BE A MIN OF 9" DEEP, RISERS SHALL BE A MAXIMUM OF 8 1/4", UNLESS NOTED OTHERWISE, PER THE CURRENT NORTH CAROLINA RESIDENTIAL CODE
- 10. HANDRAILS AND GUARDS AT STAIRS SHALL BE 34" ABOVE THE FINISHED SURFACE OF THE RAMP SURFACE OF THE STAIR. HANDRAILS AT LANDINGS AND OVERLOOKS OF MULTILEVEL SPACES SHALL BE 36" ABOVE FINISHED FLOOR. GUARDS (PICKETS OR BALUSTERS) SHALL BE SPACED WITH NO MORE THAN 4" BETWEEN GUARDS.
- 11. ATTIC ACCESS SHALL BE PROVIDED AT ALL ATTIC AREA WITH A HEIGHT GREATER THAN 30". MINIMUM CLEAR ATTIC ACCESS SHALL BE 20" X 30". PULL DOWN STAIRS AND ACCESS DOORS IN KNEE WALLS MEETING MINIMUM CRITERIA ARE ALSO ACCEPTABLE.
- 12. GARAGE DOOR TO LIVING SPACE SHALL BE 2'-8" X 6'-8" MINIMUM SIZE AND SHALL BE 20 MINUTE FIRE RATED AND WEATHER SEALED.
- 13. GARAGE WALLS, AS A MINIMUM, SHALL BE SEPARATED FROM LIVING SPACE BY INSTALLING 1/2" GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL. WITH HABITABLE SPACE ABOVE, THE INSIDE OF ALL GARAGE WALLS REQUIRE 1/2" GWB SUPPORTING 5/8" TYPE "X" GWB ON CEILING.



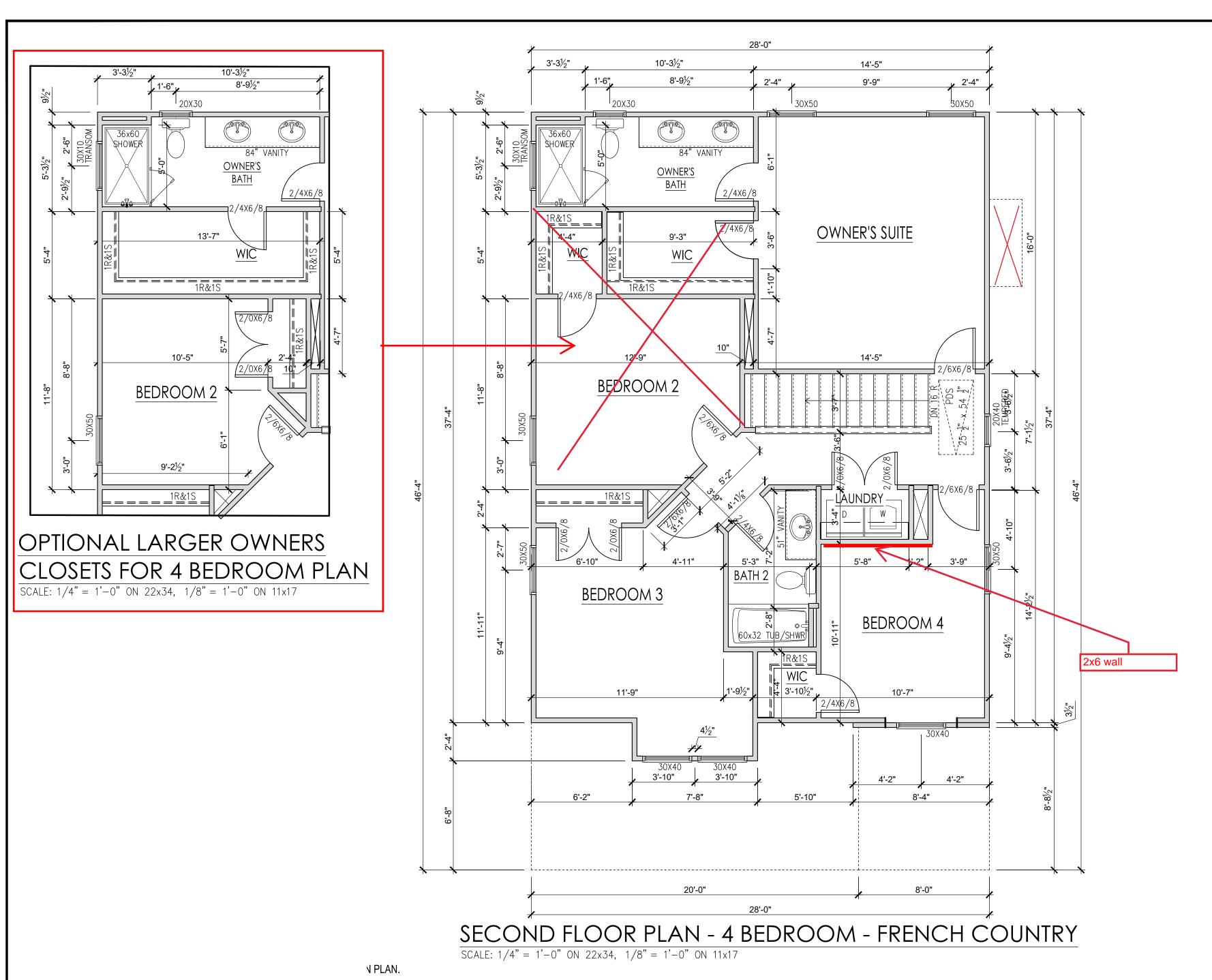
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THE BRUNSWICK

South Designs
ISSUE DATE:

7/1/2021 CURRENT REVISION DATE: 03-03-2023- JJ

1/8" = 1'-0"



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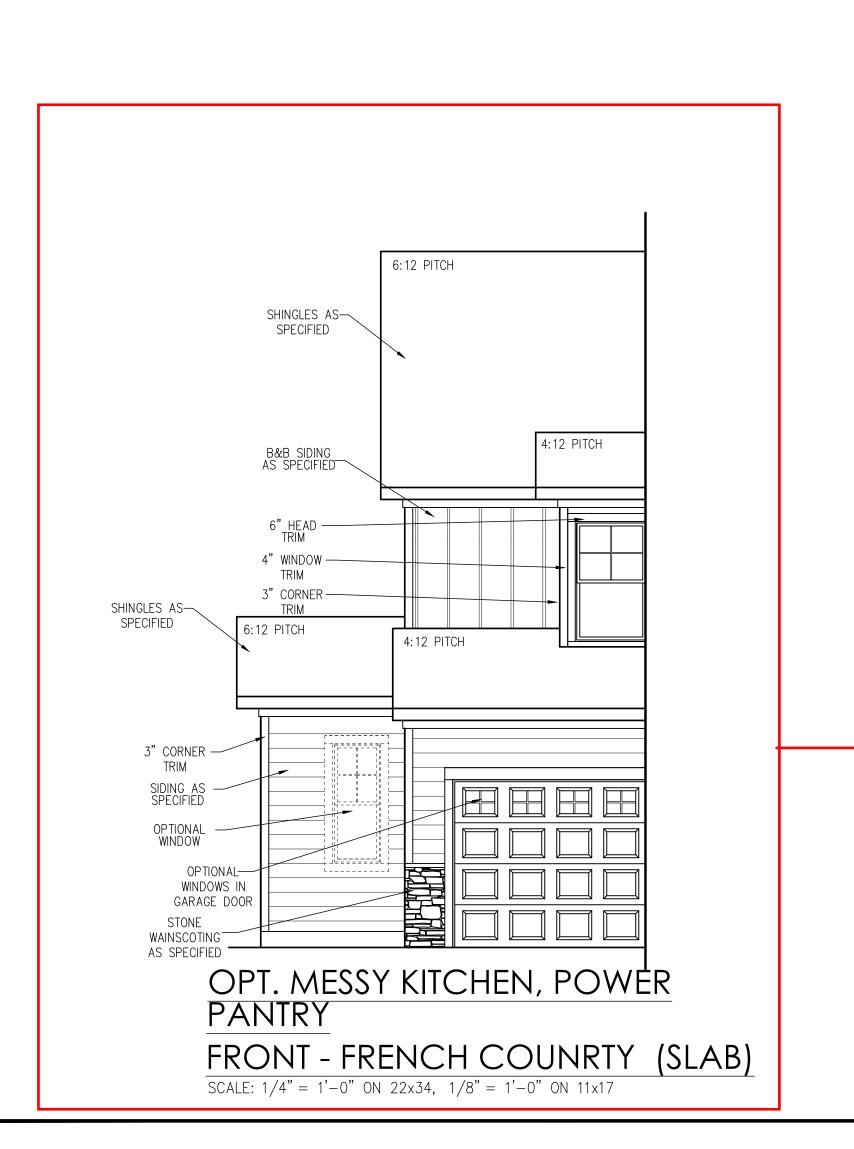
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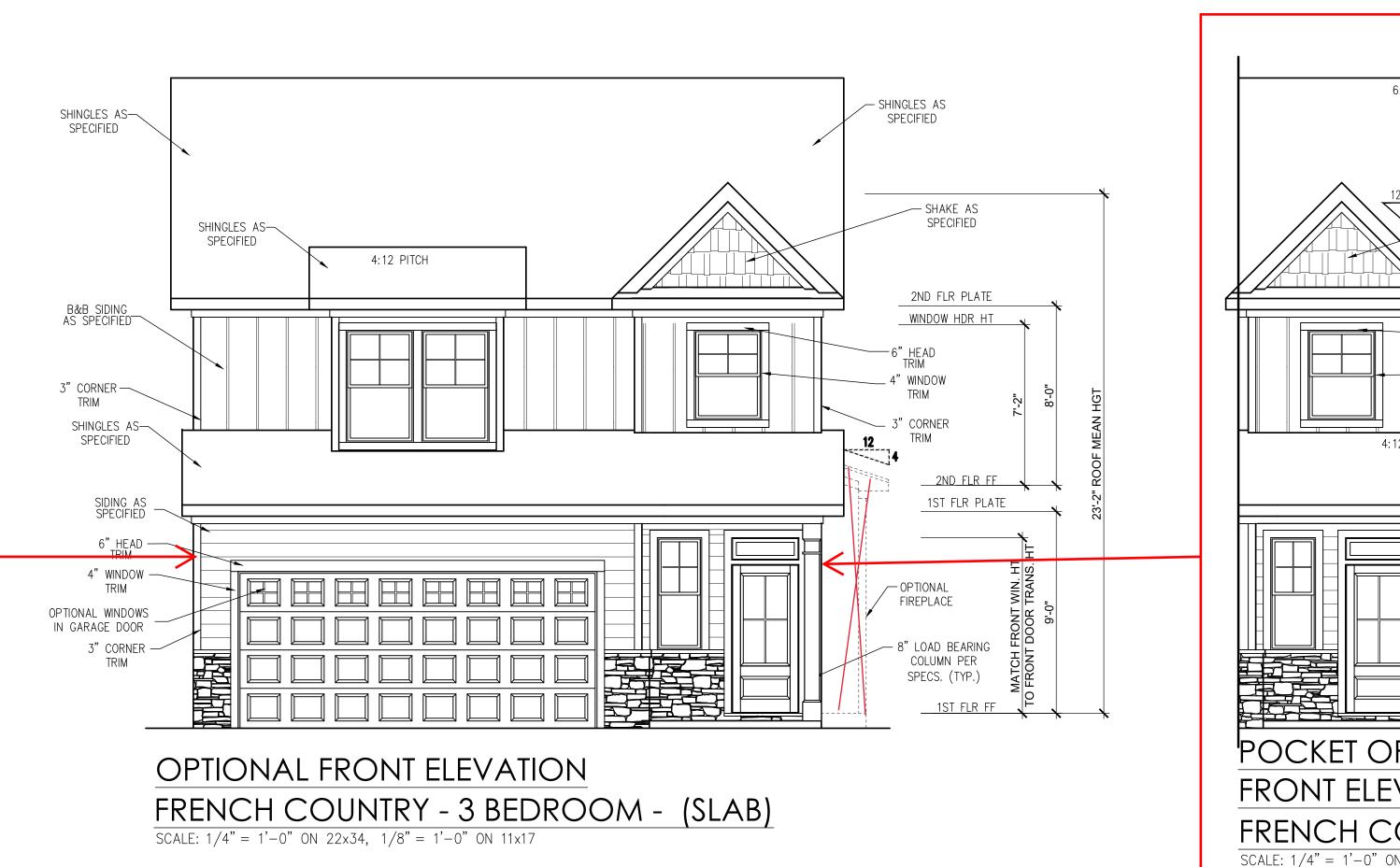
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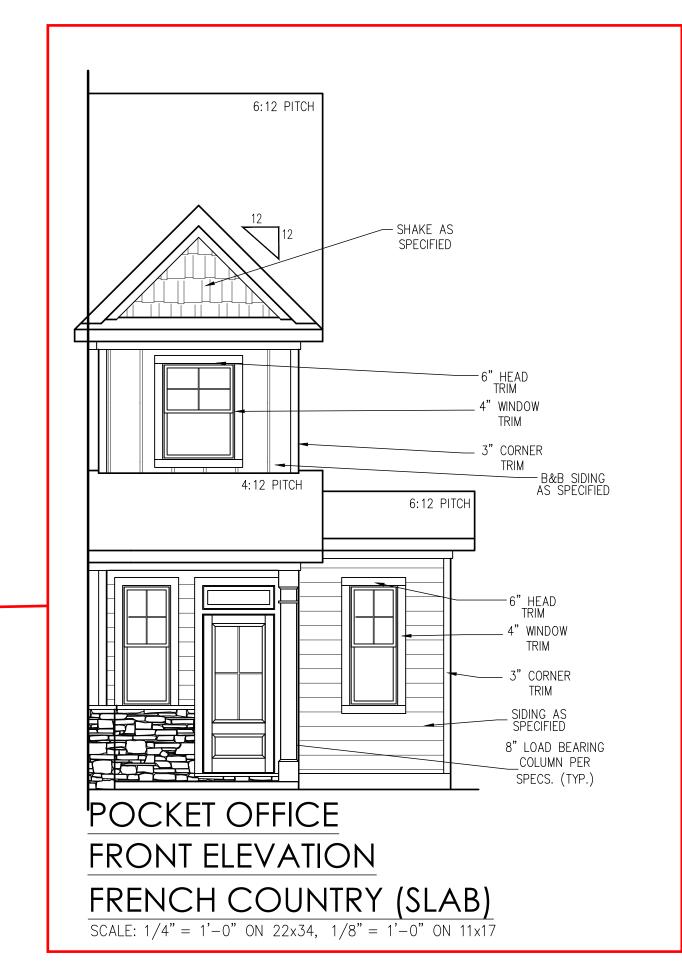
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SCALE: 1/8" = 1'-0"

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Front Elevations

& 4 Bedroom - French Country

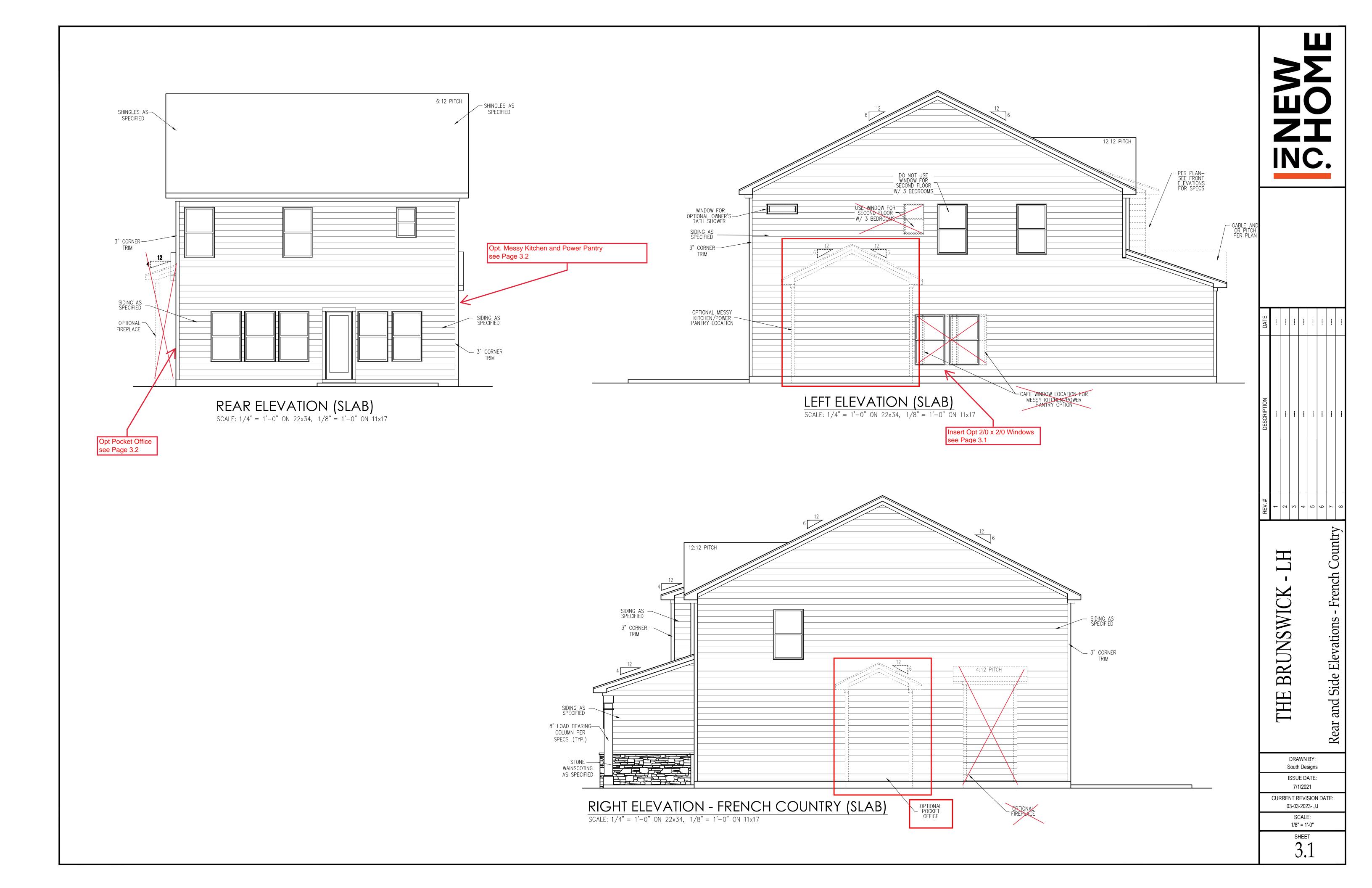
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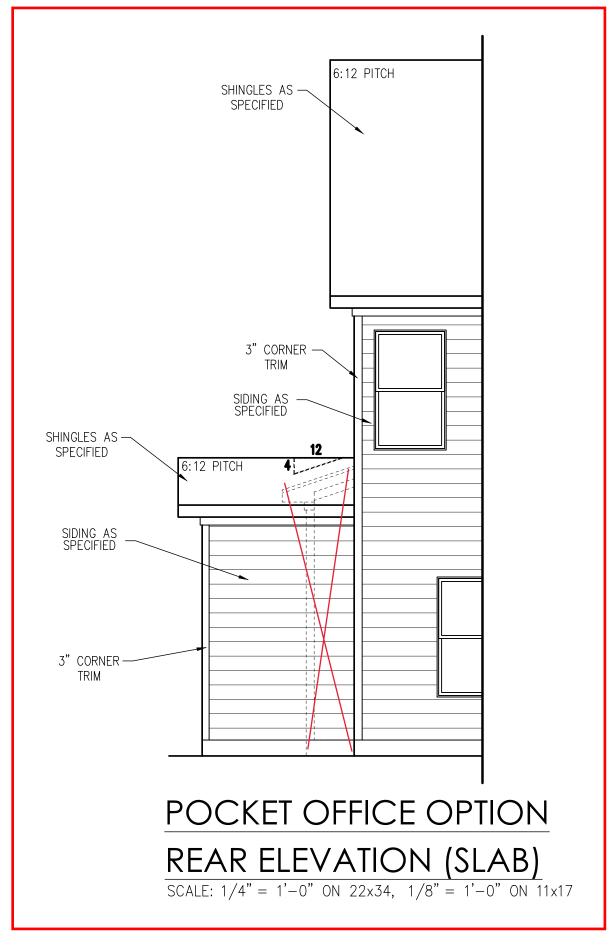
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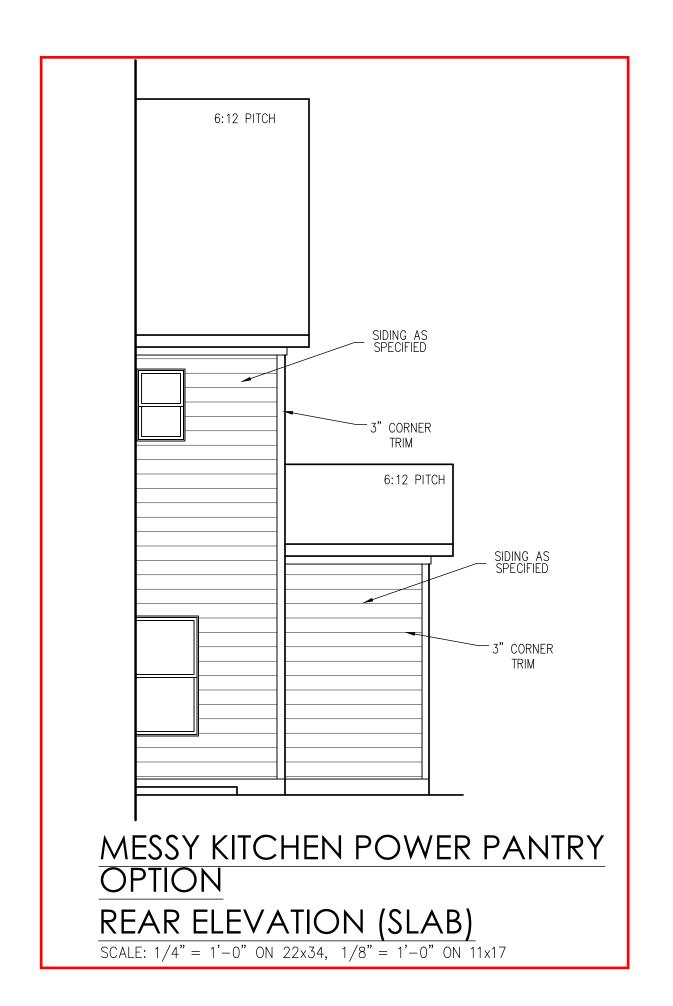
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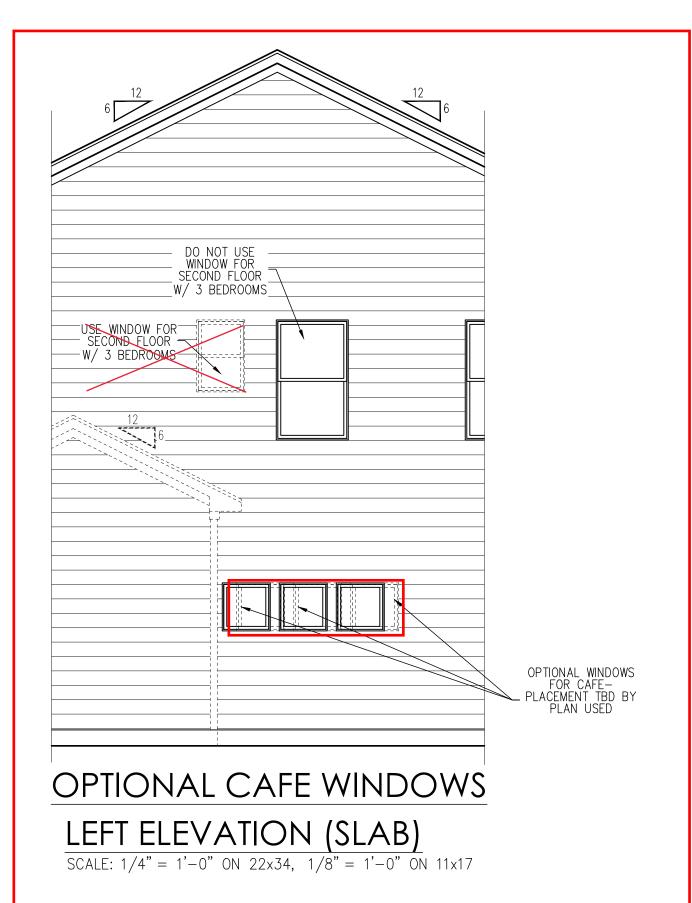
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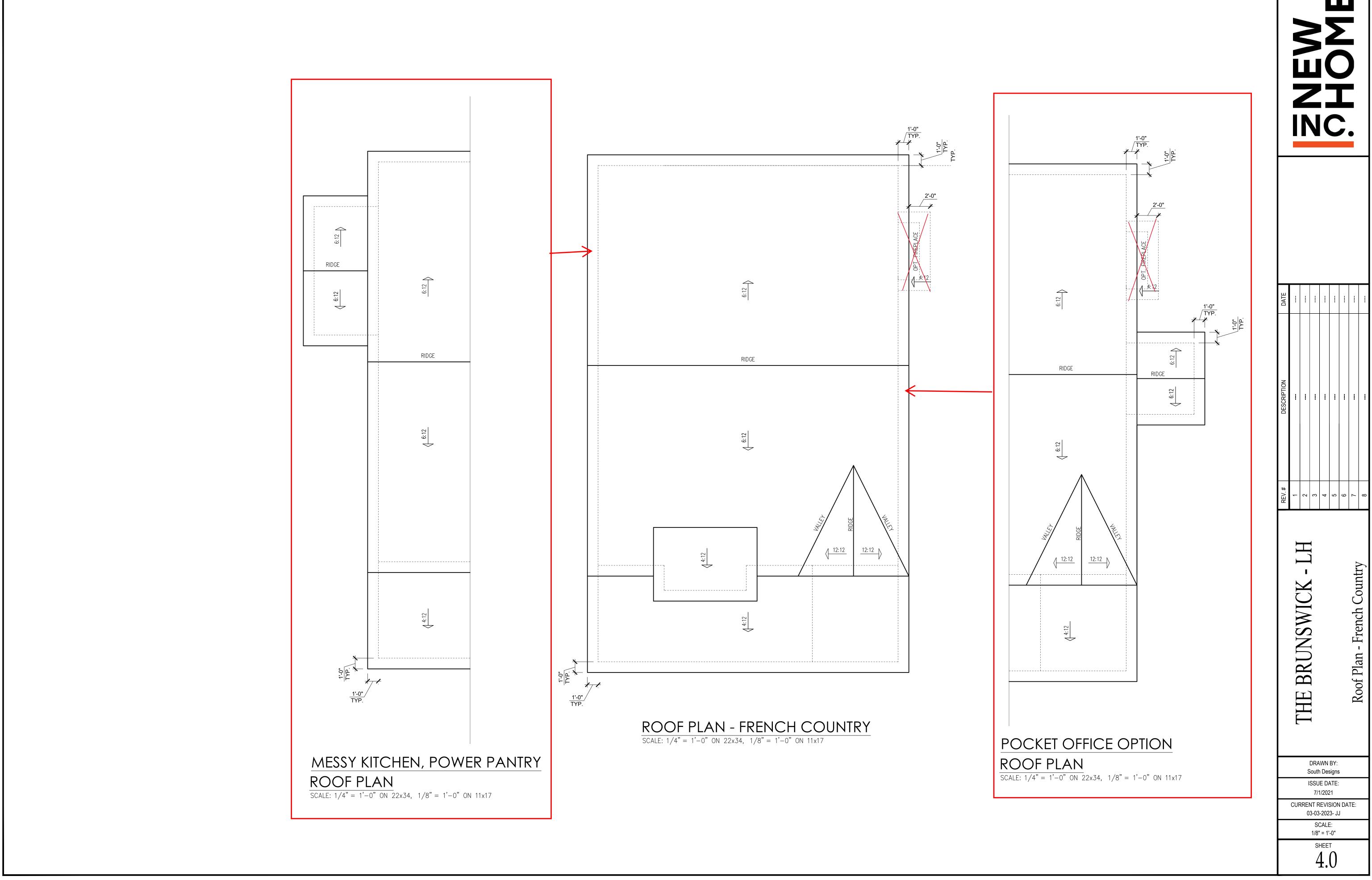
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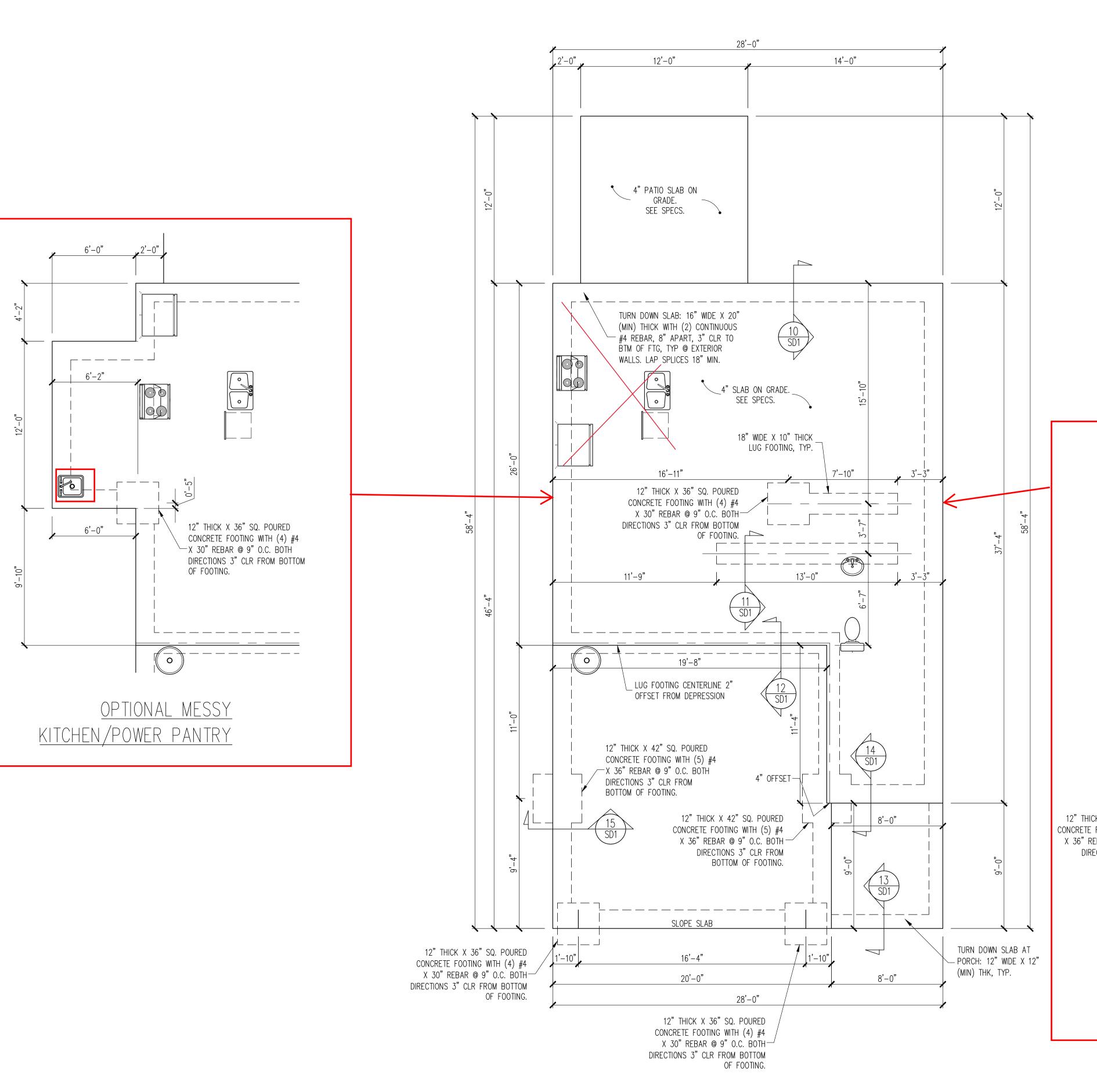
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> 1/8" = 1'-0" SHEET

SHEET 7

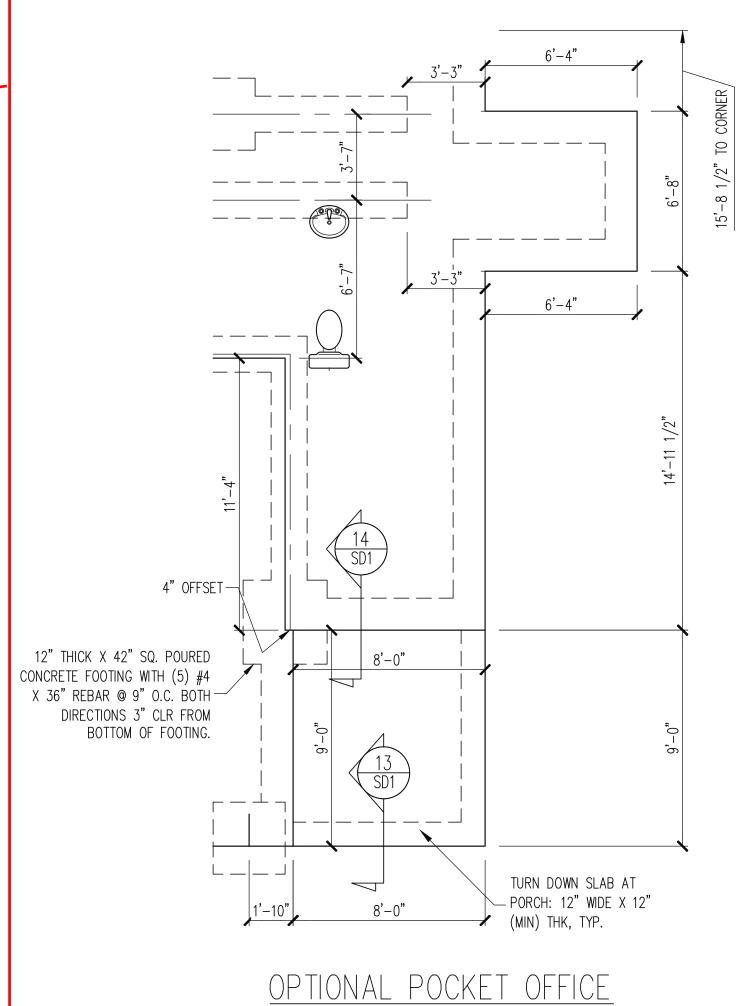


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FRENCH COUNTRY

OPTIONAL



CONSTRUCTION SPECIFICATIONS INSTANT REFERENCES

REFER TO THE CONSTRUCTION SPECIFICATIONS SECTIONS FOR THE FOLLOWING INFORMATION:

PART 1.01: CURRENT GOVERNING CODE

PART 14: <u>STUD SUPPORT FOR BEAMS</u>

PART 16.02: GENERAL WALL BRACING NOTES

PART 17: KING STUDS FOR EXTERIOR WALLS

SEE DETAIL / CONSTRUCTION SPECIFICATIONS
SHEETS FOR I—JOISTS ALLOWABLE SUBSTITUTIONS

NOTES:

-HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION. -14" SQ POURED CONC PIERS OR 16" Ø POURED CONC PIERS MAY BE USED IN LIEU OF 16" SQ MASONRY PIERS.

> FOUNDATION PLAN MONOSLAB OPTION

1/4" = 1'-0"

ENG: RJS/MEB

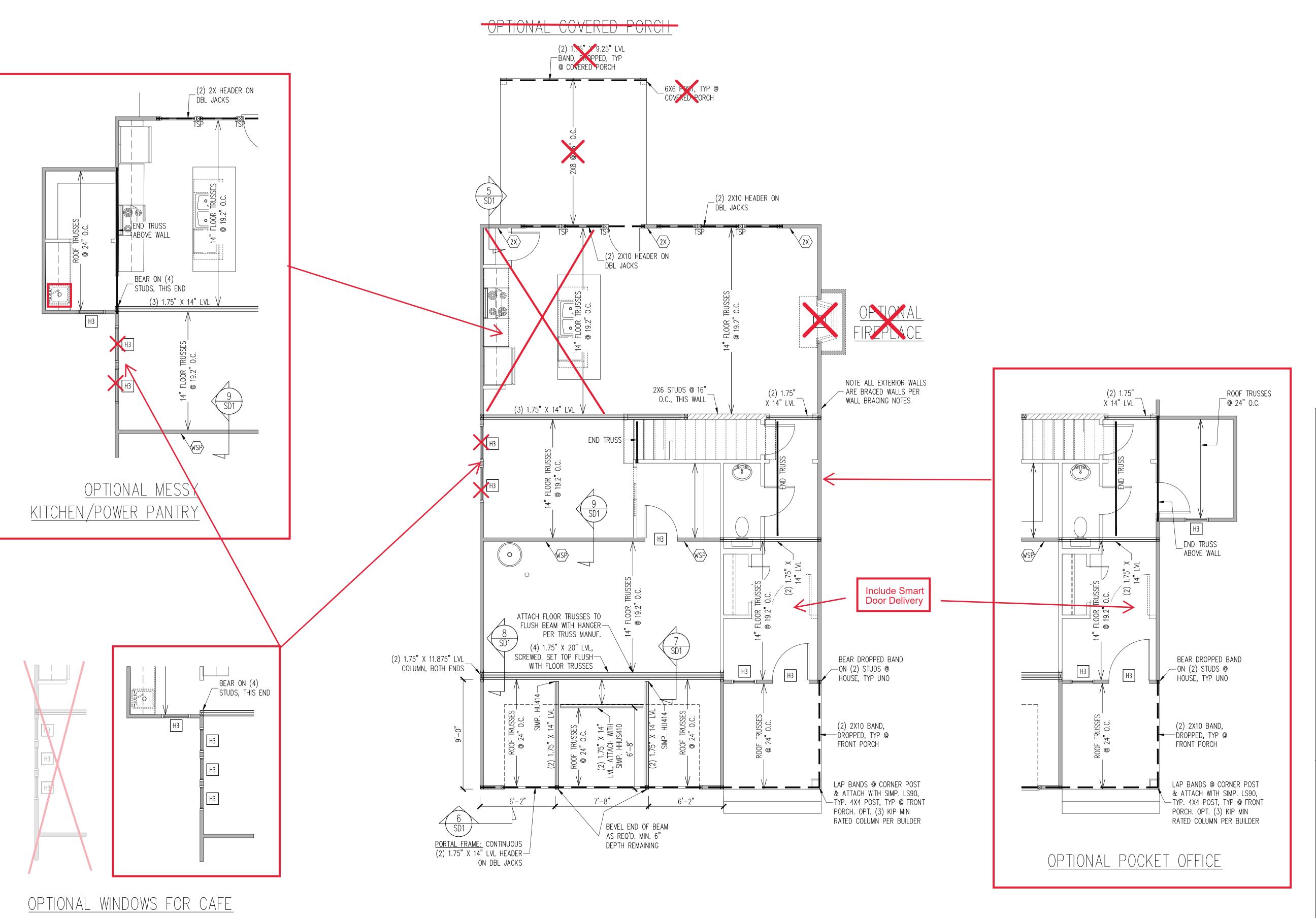
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PLAN BRUNSWICK

PROJECT NO. 23-65-081 LH

> SHEET NO. **S1**

> > of 7



FRENCH COUNTRY

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ENG: RJS/MEB

DATE: 4-6-2023

PLAN

BRUNSWICK

PROJECT NO.

23-65-081<u>2</u>99 l

SHEET NO.

S3

2X SHEATH BOTH SIDES OF STUD WALL WITH $\frac{7}{16}$ APA RATED OSB, NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

WALL BRACING FIRST FLOOR ONLY

CS - <u>ALL</u> EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH

WSP ONE SIDE OF INTERIOR WALL OR INSIDE OF

EXTERIOR WALL WITH 3/8" MIN. THICKNESS WOOD STRUCTURAL PANELING. ATTACH WSP

TO STUD WALL WITH 8d NAILS @ 6" O.C. AT

PER TABLE R602.10.2 OF THE 2012 NCRBC. (FASTENERS @ 7" O.C.) BOTH SIDES OF WALL,

OR (FASTENERS @ 4" O.C.) ONE SIDE OF

PANEL EDGES, 12" O.C. IN PANEL FIELD.

GB INTERIOR BRACED WALL. 1/2" GB SECURED

O.C. IN PANEL FIELD.

WALL AT STAIRS

SHADED WALLS:

7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12"

BUILDER PERMITTED TO SUBSTITUTE INTERIOR OSB SHEATHING WITH THERMO-PLY RED PROTECTIVE SHEATHING. REFERENCE TECHNICAL EVALUATION REPORT COL#P-108 PROVIDED BY DRJ ENGINEERING, LLC AND SEÄLED BBY RYAN DEXTER, P.E.

-PROVIDED CONTINUOUS SHEATHING = 176' MIN.

HEADER SCHEDULE

- H1 SINGLE 2X4 TURNED FLAT (A)
- H2 (2) 2X4'S ON SINGLE JACKS (B)
- H3 (2) 2X10'S ON SINGLE JACKS (C)
- H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
- H5 (3) 2X10'S ON SINGLE JACKS
- (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
- (B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.

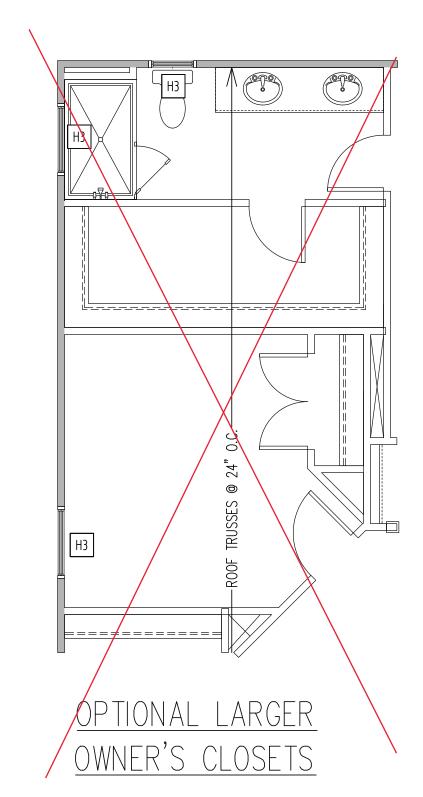
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

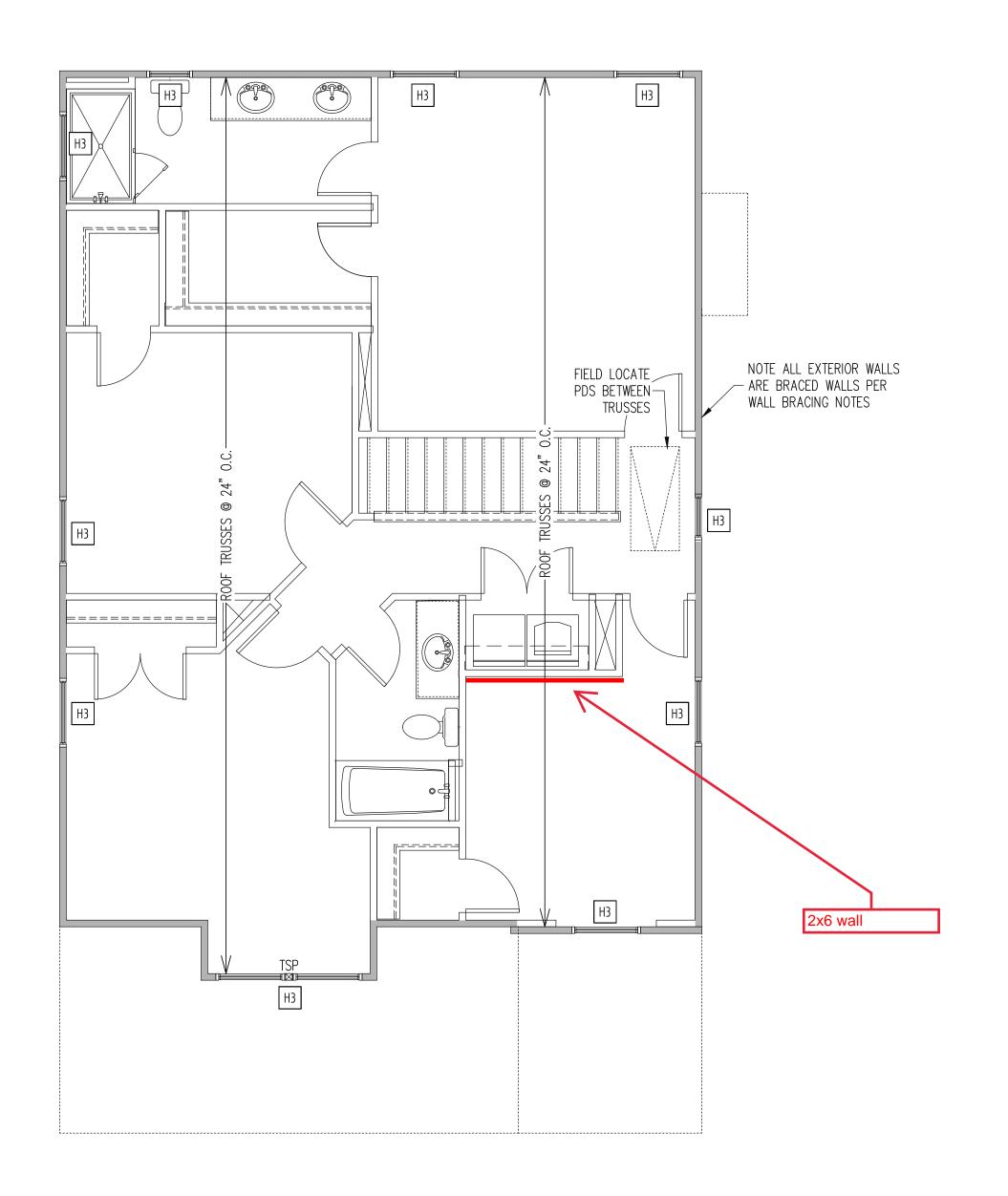
1ST FLOOR FRAMING PLAN

3 of 7

WALLS AND CEILING 1/4" = 1'-0"







FLOOR PLAN WITH
OPTIONAL KITCHEN/CAFE
CN FIRST FLOOR

WALL BRACING
SECOND FLOOR ONLY

CS - ALL EXTERIOR STUD WALLS, EXTERIOR SIDE,
ARE TO BE CONTINUOUSLY SHEATHED WITH
7/16 APA RATED OSB NAILED TO STUDS WITH
8d NAILS @ 6" O.C. AT PANEL EDGES, 12"
O.C. IN PANEL FIELD.

SHADED WALLS:

NOTES:
-PROVIDED CONTINUOUS SHEATHING = 131' MIN.

HEADER SCHEDULE

- H1 SINGLE 2X4 TURNED FLAT (A)
- H2 (2) 2X4'S ON SINGLE JACKS (B)
- H3 (2) 2X10'S ON SINGLE JACKS (C)
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- H5 (3) 2X10'S ON SINGLE JACKS
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 WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
- (C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:

-HEADERS IN NON LOAD BEARING INTERIOR
WALLS ARE NOT LABELED.

2ND FLOOR FRAMING PLAN
4 BEDROOM

FRENCH COUNTRY

NGINEERS

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ROJ # DATE ASSOCIATE

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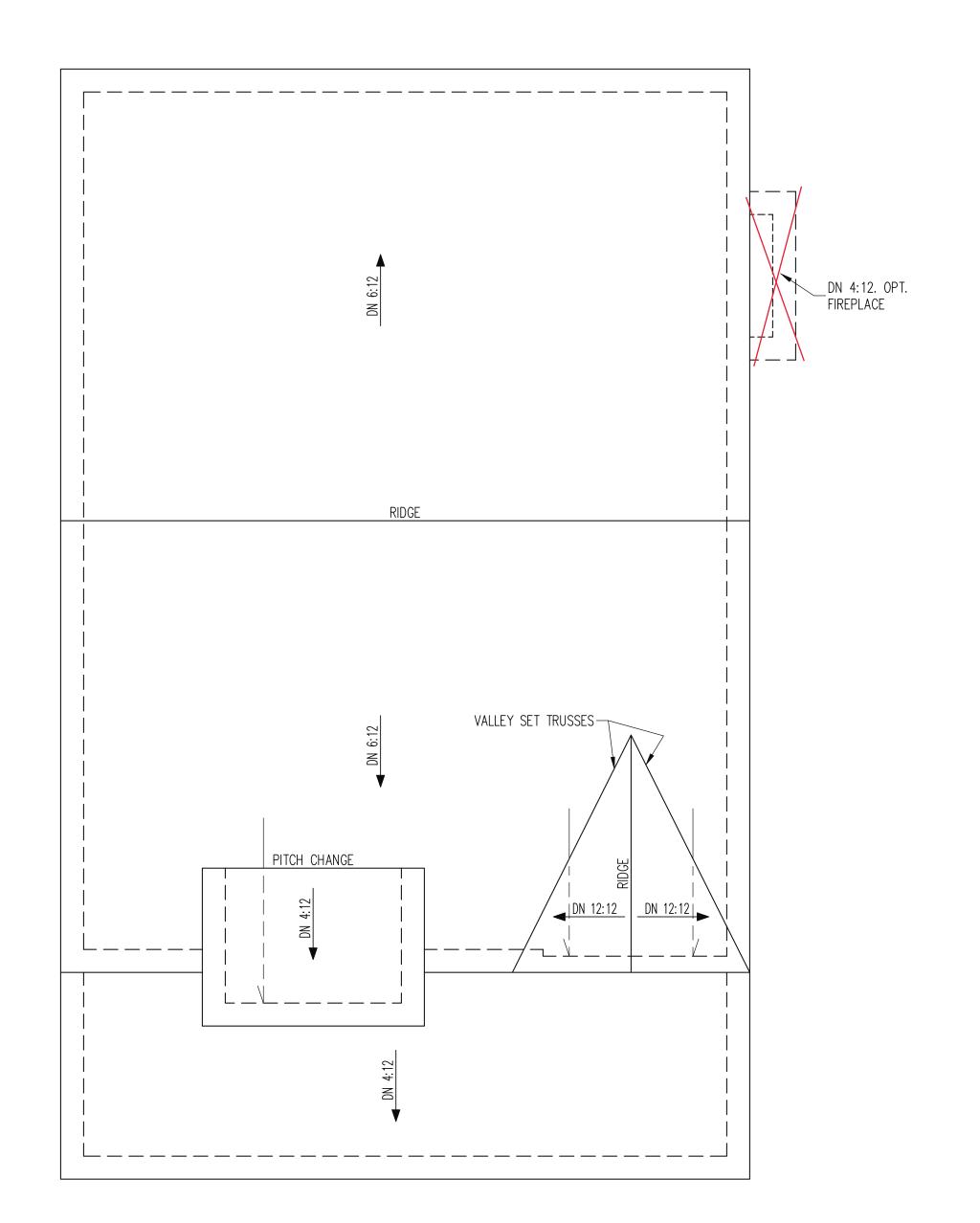
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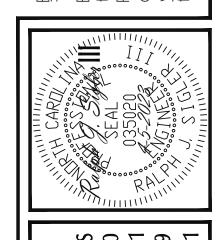
PLAN BRUNSWICK

PROJECT NO. 23-65-081 LH

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PROJECT NO.

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-ROOF TRUSSES PER MANU. TYPICAL U.N.O. -ATTACH TRUSSES WITH SIMP. H2.5A OR HGR PER

FRAMING NOTES

ROOF ONLY

TRUSS MANU. TYP. -VERIFY ALL KNEEWALL HEIGHTS, ROOF PITCHES, AND ARCHITECTURAL OVERHANGS PRIOR TO CONSTRUCTION

TRUSS UPLIFT CONNECTORS EXPOSURE B, 120 MPH, ANY PITCH

24" O.C. MAX ROOF TRUSS SPACING TRUSSES SHALL BE ATTACHED TO SUPPORT WALL FOR UPLIFT RESISTANCE. CONTINUOUS OSB WALL SHEATHING BELOW PROVIDES CONTINUOUS UPLIFT RESISTANCE TO FOUNDATION. ALL TRUSSES SUPPORTED BY INTERMEDIATE SUPPORT WALLS, KNEEWALLS OR BEAMS SHALL BE ATTACHED TO SUPPORTING MEMBER PER SCHEDULE BELOW.

ROOF SPAN IS MEASURED HORIZONTALLY BETWEEN FURTHEST SUPPORT POINTS.

CONNECTOR NAILING PER TABLE 602.3(1) NCRBC 2018 EDITION

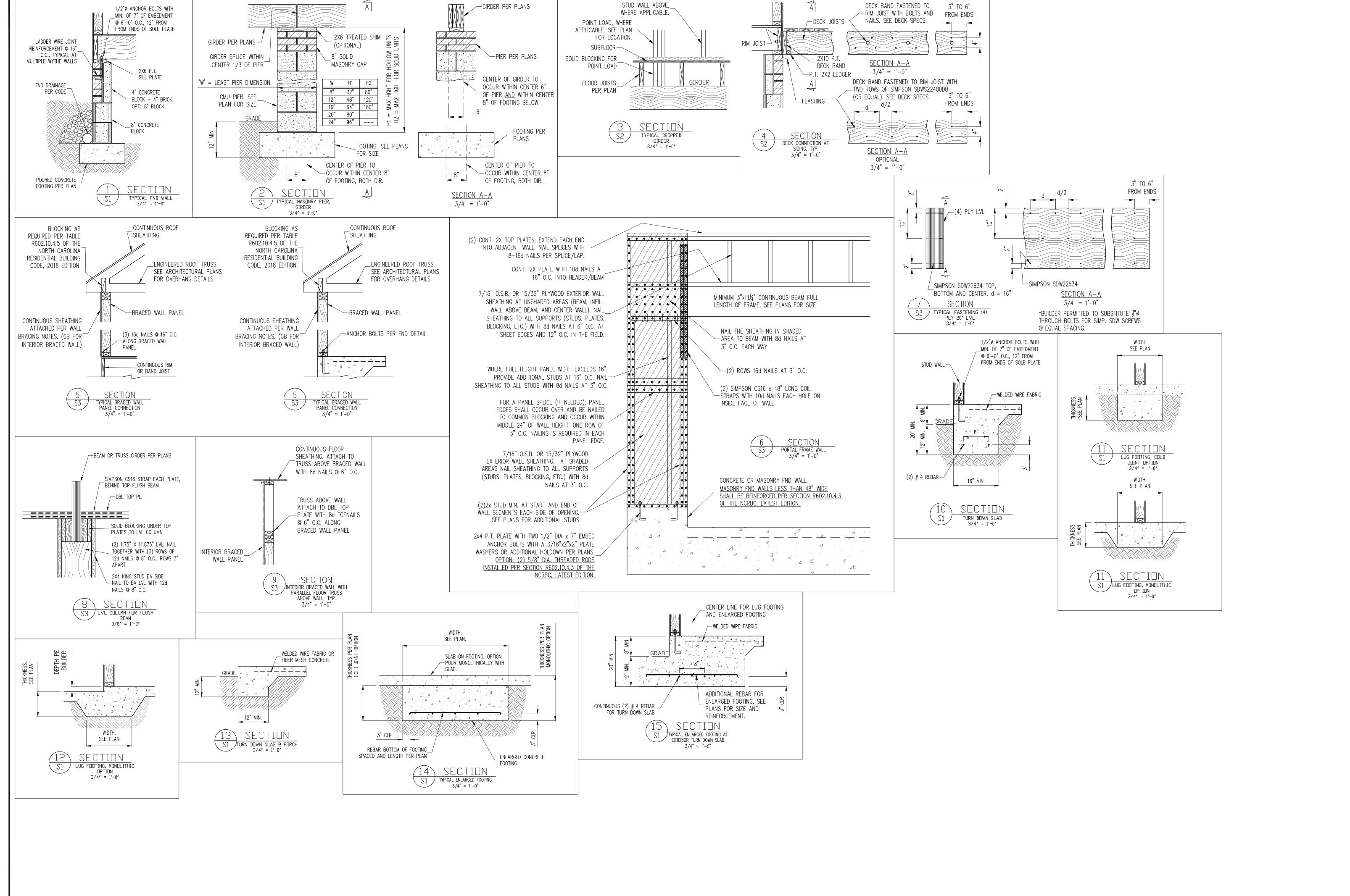
OVER 18'

(1) SIMPSON H2.5A HURRICANE CLIP TO DBL TOP PLATE OR BEAM

1/4" = 1'-0"

ROOF FRAMING PLAN

5 of 7



ENGINEERING SEAL VALID FOR 1 YEAR ONLY.

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STRUCTURAL ENGINEERS
License No. C-3870
318 W Millbrook Rd. Unit 201
Raleigh, North Carolina 27609

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PLAN BRUNSWICK

PROJECT NO. 23-65-081 LH

SHEET NO.

6 of 7

	CONSTRUCTION	SP	ECIFICATIONS
	PART 1: GENERAL		f'M = 1,500 PSI MIN
1.01	CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.	7.02	CLAY MASONRY UNITS SHALL CONFORM TO ASTM C62-17 GRADE SW
1.02	DIMENSIONS SHOWN SHALL GOVERN OVER SCALE ON THESE DRAWINGS.	7.03	MORTAR SHALL BE TYPE S. MORTAR AND GROUT SHALL CONFORM TO ASTM C476, MIN COMPRESSIVE STRENGTH OF 2000 PSI.
1.05	METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND	7.04	MASONRY CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS OF ACI 530
	INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.	7.05	LADDER WIRE REINFORCEMENT SHALL CONFORM TO ASTM A951. 6" MIN LAPS FOR CONTINUOUS WALL APPLICATIONS
2.01	PART 2: DESIGN LOADS DESIGN LOADS SHALL CONFORM WITH THE TABLE BELOW:		PART 8: BOLTS AND LAG SCREWS
2.01	USE LIVE LOAD (PSF) DEAD LOAD (PSF)	8.01	BOLTS SHALL CONFORM TO ASTM A307 MINIMUM GRADE TYP UNO. INSTALL STANDARD STEEL WASHERS (ASTM F844-07a) FOR THE NUT / BOLT HEAD WHEN BOLTING WOOD MEMBERS. HOLES FOR BOLTS SHALL BE AISC STANDARD HOLES UNO
	BALCONIES, DECKS, ATTICS WITH FIXED STAIR ACCESS, DWELLING UNITS INCLUDING ATTICS WITH FIXED STAIR ACCESS, STAIRS, FIRE ESCAPES 40 10	8.02	LAG SCREWS SHALL CONFORM TO ANSI/ASME STANDARD B18.2.1—1981. PILOT HOLES SHALL BE USED FOR LAG SCREW INSTALLATION AND SHALL BE BORED ACCORDING TO NDS SPECIFICATIONS. INSTALL STANDARD STEEL WASHERS (ASTM F844—07a) FOR
	GARAGES (PASSENGER CARS ONLY) 50 ATTICS (NO STORAGE, LESS THAN 5' HEADROOM) 10 10		SCREW HEAD
	ATTICS (WITH STORAGE) 20 10 ROOF 20 10 (15 FOR VAULTS)	8.03	ANCHOR RODS AND BOLTS SHALL CONFORM TO ASTM F1554-15 GRADE 36 UNO. BENT ANCHOR BOLTS SHALL HAVE A 2" MIN HOOK UNO
INTES	: — INDIVIDUAL STAIR TREADS ARE TO BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED	9.01	PART 9: DRIVEN FASTENERS NAILS, SPIKES AND STAPLES SHALL CONFORM TO ASTM F 1667— 05. NAILS ARE TO BE
NOTES	LIVE LOAD OF 40 PSF OR A 300 LB. CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQ. WHICHEVER PRODUCES THE GREATER STRESS.	9.01	COMMÔN WIRE OR BOX
	 BUILDER TO VERIFY DEAD LOAD DOES NOT EXCEED 10 PSF WHEN HEAVY FLOOR OR ROOF FINISHES SUCH AS TILE OR SLATE ARE UTILIZED. NOTIFY ENGINEERING UNDER THESE CONDITIONS 	10.01	PART 10: DIMENSIONAL LUMBER SOLID SAWN WOOD FRAMING DESIGN IS BASED ON NO. 2 SPRUCE PINE FIR OR SYP #2
2.02	INTERIOR WALLS: 5 PSF LATERAL.		FOR JOISTS, RAFTERS, GIRDERS, BEAMS, STUDS, ETC. MINIMUM ALLOWABLE $\overline{\text{DE}}$ SIGN "PROPERTIES ARE AS FOLLOWS: E= 1,400,000 PSI, F _C perp = 425 PSI, F _V = 285 PSI, SPECIFIC GRAVITY = 0.42 MIN
2.03	BASIC WIND DESIGN VELOCITY OF 120 MPH.		$F_b = 875 \text{ PSI FOR } 2X4, 2X6, 2X8. F_b = 800 \text{ PSI FOR } 2X10\text{'S}, 750 \text{ PSI FOR } 2X12\text{'S}$
2.04	SOIL BEARING CAPACITY 2000 PSF (PRESUMPTIVE).		T 11: ENGINEERED LUMBER
3.01	PART 3: STRUCTURAL STEEL WIDE FLANGE BEAMS AND TEE SECTIONS SHALL CONFORM TO ASTM A992 MINIMUM	11.01	LVL OR PSL MINIMUM ALLOWABLE DESIGN PROPERTIES ARE AS FOLLOWS: E= 1,900,000 PSI, F_b = 2600 PSI, F_v = 285 PSI, F_c perp = 750 PSI LSL MINIMUM ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS:
3.02	GRADE SQUARE AND RECTANGULAR TUBING SHALL CONFORM TO ASTM A500 GRADE B MINIMUM GRADE.	11.02	E= 1.3 X 10E6 PSI, F_b = 1700 PSI, F_v = 400 PSI, F_c perp = 680 PSI LVL OR PSL MEMBERS MAY BE RIPPED FROM DEEPER MEMBERS TO MATCH THE MEMBER DEPTH SPECIFIED IN THE PLANS
3.03	STEEL PIPE SHALL CONFORM TO ASTM A53 GRADE B, TYPE S, MINIMUM GRADE		PART 12: PRESSURE TREATED LUMBER
3.04	ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 MINIMUM GRADE	12.01	LUMBER IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY SHALL BE PRESSURE
3.05	STRUCTURAL STEEL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.		TREATED IN ACCORDANCE WITH AWPA STANDARD C-15. ALL OTHER EXPOSED LUMBER SHALL BE TREATED IN ACCORDANCE WITH AWPA STANDARD C-2 OR BY ANY METHOD GIVING EQUAL PROTECTION. THE BUILDING CODE OFFICE MAY ALSO APPROVE A NATURAL DECAY RESISTANT WOOD PER SECTION 19-6(A)
	PART 4: WELDING		PART 13: STEEL FLITCH PLATE BEAMS
4.01	WELDING ELECTRODES SHALL BE E70XX AND ALL WELDING SHALL BE PERFORMED BY AN AWS CERTIFIED WELDER PART 5: CONCRETE AND SLABS ON GRADE	13.01	FLITCH PLATE BEAMS SHALL CONSIST OF A CONTINUOUS STEEL PLATE BOLTED BETWEEN TWO PIECES OF CONTINUOUS LUMBER AS SIZED ON THE PLANS. BOLT PIECES TOGETHER USING 1/2" Ø BOLTS SPACED AT 16" O.C. STAGGERED TOP TO BOTTOM OF THE BEAM.
5.01	CAST IN PLACE CONCRETE SHALL BE OF NORMAL WEIGHT, 4-6% AIR ENTRAINMENT, FOR		MAINTAIN A 2" EDGE DISTANCE. PLACE TWO BOLTS, ONE ABOVE THE OTHER, 16" MAX FROM EACH END OF THE BEAM. TYP UNO
	EXTERIOR CONCRETE AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS TYP UNO. <u>ALL</u> ITEMS NOTED AS 'CONCRETE' ARE TO BE CAST IN PLACE, TYP UNO.	14.01	PART 14: STUD SUPPORTS FOR BEAMS STEEL, ENGINEERED LUMBER, AND FLITCH PLATE BEAMS BEARING ON A STUD WALL
5.02	REINFORCED CAST IN PLACE CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF ACI 318, LATEST EDITION.	1-7	SHALL BEAR AS FOLLOWS: (HEN THE BEAM IS PERPENDICULAR TO, OR SKEWED RELATIVE TO THE WALL, THE BEAM
5.03	SLABS ON GRADE, IF ANY, SHALL BE CAST IN PLACE, CONTAIN SYNTHETIC POLYPROPYLENE FIBRILLATED MICRO FIBERS, FIBER LENGTH 1 1/2", DOSAGE RATE 1 1/2	В	HALL BEAR <u>FULL WIDTH</u> ON THE SUPPÖRTING WALL INDICATED AND SHALL BE SUPPORTED Y A MINIMUM OF THREE GANGED STUDS, OR A GANGED STUD COLUMN WITH A NUMBER F STUDS SUCH THAT THE STUD COLUMN IS AT LEAST AS WIDE AS THE TRUE WIDTH OF
	LBS/CU YD. SLAB TO BE PLACED ON A 6 MIL VAPOR BARRIER ON 4" MIN GRANULAR FILL ON SOIL WITH 90% MIN STANDARD PROCTOR DENSITY. VAPOR BARRIER MAY BE	C	HE BEAM BEING SUPPORTED, WHICHEVER IS GREATER, TYP UNO. FOR THE SKEWED ONDITION PARTICULAR CARE SHALL BE TAKEN TO ENSURE STUD COLUMN IS CENTERED ON
	OMITTED FOR SLABS NOT IN ENCLOSED AREAS	2-E	HE BEAM BEAMS BEARING ONTO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR WANNING OF A 1/2" ONTO THE WALL AND DE SUPPORTED BY A TRPU STUD CANCER.
6.01	PART 6: REBAR AND WIRE REINFORCEMENT REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60 TYP UNO		MINIMUM OF 4 1/2" ONTO THE WALL AND BE SUPPORTED BY A TRPL STUD GANGED OLUMN TYP UNO.
6.02	LAP SPLICES SHALL BE CLASS B AS DEFINED BY ACI 318, TYP UNO		DIMENSIONAL LUMBER BEAMS BEARING ON A STUD WALL SHALL BEAR AS FOLLOWS:
6.03	WIRE REINFORCEMENT SHALL BE 9 GA AND SHALL CONFORM TO ASTM A1064.	S	THEN THE BEAM IS PERPENDICULAR TO, OR SKEWED RELATIVE TO THE WALL, THE BEAM HALL BEAR <u>FULL WIDTH</u> ON THE SUPPORTING WALL INDICATED (LESS 1 1/2" TO ALLOW
	PART 7: MASONRY	G	OR A CONTINUOUS RIM JOIST WHERE APPLICABLE) AND SHALL BE SUPPÓRTED BY A ANGED STUD COLUMN THE SAME WIDTH AS THE BEAM TYP UNO. (E.G. A TRIPLE 2X10 IS DE SUPPORTED BY (3) STUDS). FOR THE SKEWED CONDITION PARTICULAR CARE SHALL
7.01	CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90 AND C55, NORMAL WEIGHT,	В	E TAKEN TO ENSURE STUD COLUMN IS CENTERED ON THE BEAM
	NOTES		ABBREVIATIONS
THE B	UILDER IS RESPONSIBLE FOR REVIEWING PLANS PRIOR TO CONSTRUCTION. THE BUILDER	ABV	ABOVE FND FOUNDATION TJ TRIPLE JOIST
SHALL	IMMEDIATELY CONTACT THE ENGINEER OF RECORD (EOR) BEFORE PROCEEDING IF THE WING CONDITIONS ARE NOTED BEFORE OR DURING CONSTRUCTION:	B. B.E.	BOTH FTG FOOTING TYP TYPICAL
1)	THE WORKING PLANS DO NOT BEAR THE SEAL OF THE EOR THE PLANS CONTAIN DISCREPANT OR INCOMPLETE INFORMATION	BTWN CIP	BETWEEN GALVANIZED TSP TRIPLE STUD POCKET CAST IN PLACE HGR HANGER UNO UNLESS NOTED
,	RRORS DUE TO A FAILURE TO FOLLOW THE ABOVE PROCEDURES SHALL NOT BE THE	CONC	CONCRETE LVL LAMINATED VENEER OTHERWISE CONTINUOUS SHEATHING LUMBER XJ EXTRA JOIST
RESPO	INSIBILITY OF THE EOR. FURTHERMORE, IT IS THE RESPONSIBILITY OF THE BUILDER TO THE THAN ANY REVISIONS ISSUED BY THE EOR ARE PROMPLY DISTRIBUTED TO THE	DIA DBL	DIAMETER NTS NOT TO SCALE DOUBLE O.C. ON CENTER
SUBCO	INTRACTORS	DJ DSP	DBL STUD POCKET LUMBER
	OR DOES NOT PERFORM FENESTRATION OR VENTING CALCULATIONS OR ANY OTHER LATIONS THAT ARE NOT DIRECTLY RELATED TO STRUCTURAL ENGINEERING.	EQ EA	·

<u>NOTES</u>			AB	BREVIATION	VS	
THE BUILDER IS RESPONSIBLE FOR REVIEWING PLANS PRIOR TO CONSTRUCTION. THE BUILDER SHALL IMMEDIATELY CONTACT THE ENGINEER OF RECORD (EOR) BEFORE PROCEEDING IF THE FOLLOWING CONDITIONS ARE NOTED BEFORE OR DURING CONSTRUCTION: 1) THE WORKING PLANS DO NOT BEAR THE SEAL OF THE EOR 2) THE PLANS CONTAIN DISCREPANT OR INCOMPLETE INFORMATION ANY ERRORS DUE TO A FAILURE TO FOLLOW THE ABOVE PROCEDURES SHALL NOT BE THE RESPONSIBILITY OF THE EOR. FURTHERMORE, IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THAN ANY REVISIONS ISSUED BY THE EOR ARE PROMPLY DISTRIBUTED TO THE SUBCONTRACTORS THE EOR DOES NOT PERFORM FENESTRATION OR VENTING CALCULATIONS OR ANY OTHER CALCULATIONS THAT ARE NOT DIRECTLY RELATED TO STRUCTURAL ENGINEERING. ROOF AND FLOOR TRUSSES TO BE DESIGNED BY AN ENGINEER REGISTERED BY THE STATE. FINAL TRUSS DRAWING SHOULD BE SUBMITTED TO THE EOR FOR REVIEW	ABV B. B.E. BTWN CIP CONC CS DIA DBL DJ DSP EQ EA FLG FL PL FLR	CONTINUOUS SHEATHING DIAMETER DOUBLE DOUBLE JOIST DBL STUD POCKET EQUAL EACH FLANGE	FTG HDG HGR LVL NTS O.C.	HOT DIPPED GALVANIZED HANGER LAMINATED VENEER LUMBER NOT TO SCALE ON CENTER PARALLEL STRAND LUMBER PRESSURE TREATED QUAD JOIST SPACE (OR SPACING) SINGLE STUD POCKET	TJ TYP TRPL TSP UNO XJ	TRIPLE JOIST TYPICAL TRIPLE TRIPLE STUD PO UNLESS NOTED OTHERWISE EXTRA JOIST

GAI TO	NGED STUD COLUMN THE S BE SUPPORTED BY (3) S' TAKEN TO ENSURE STUD	SAME WI TUDS). F	DTH AS THE BEAM TYP FOR THE SKEWED CONDI	UNO. (E.G TION PARTI	. A TRIPLE 2X10 IS					
		ABI	BREVIATION	1S		-			ST SUBSTIT	
ABV B. B.E. BTWN CIP CONC CS DIA DBL DJ DSP EQ EA FLG FL PL FLR	ABOVE BOTH BOTH ENDS BETWEEN CAST IN PLACE CONCRETE CONTINUOUS SHEATHING DIAMETER DOUBLE DOUBLE JOIST DBL STUD POCKET EQUAL EACH FLANGE FLITCH PLATE FLOOR	FND FTG HDG HGR LVL NTS O.C. PSL PT QJ SP SSP SQ	FOUNDATION FOOTING HOT DIPPED GALVANIZED HANGER LAMINATED VENEER LUMBER NOT TO SCALE ON CENTER PARALLEL STRAND LUMBER PRESSURE TREATED QUAD JOIST SPACE (OR SPACING) SINGLE STUD POCKET SQUARE	TJ TYP TRPL TSP UNO XJ	TRIPLE JOIST TYPICAL TRIPLE TRIPLE STUD POCKET UNLESS NOTED OTHERWISE EXTRA JOIST	PLANS. MANUFACTURER BLUELINX BOISE CASCADE INTERNATIONAL BEAMS LP CORP NORDIC ROSEBURG WEYERHAEUSER WEYERHAEUSER	DEPTH 11.875" 11.875" 11.875" 11.875" 11.875" 11.875" 11.875" 11.875"	SERIES BLI 40 BCI 5000s BCI 6000s IB 400 LPI 20+ NI 40X RFPI 40s TJI 210 EEI-20	SIMPSON FACE MOUNT HGR IUS2.56/11.88 IUS2.06/11.88 IUS2.37/11.88 IUS2.56/11.88 IUS2.56/11.88 IUS2.56/11.88 IUS2.56/11.88 IUS2.56/11.88 IUS2.56/11.88	SIMPSON TOP FLANGE HGR
							THE PROP	ERTIES OF T	E MAY BE USED PR HOSE LISTED. SUBS JES AS DESIRED.	

	<u>DECK_SPEC</u>	<u>IFICATIONS</u>
2—BEAMS BEARING ONTO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR A MINIMUM OF 3" ONTO THE WALL AND BE SUPPORTED BY A DBL STUD GANGED COLUMN	A DECK IS AN EXPOSED EXTERIOR WOOD FLOOR STRUCTURE WHICH MAY BE ATTACHED TO A STRUCTURE OR BE FREE STANDING. ROOFED PORCHES, OPEN OR SCREENED IN, MAY BE	JOIS
TYP UNO.	CONSTRUCTED USING THESE PROVISIONS.	12

14.03 EXTRA JOISTS BEARING ON A STUD WALL PERPENDICULAR TO OR SKEWED RELATIVE TO | 2 7.03 MORTAR SHALL BE TYPE S. MORTAR AND GROUT SHALL CONFORM TO ASTM C476, MIN THE BEAM SHALL BE SUPPORTED BY ONE ADDITIONAL STUD.

14.04 STUDS THAT ARE GANGED TO FORM A COLUMN SHALL HAVE ADJACENT STUDS WITHIN THE COLUMN NAILED TOGETHER WITH ONE ROW OF 10d NAILS AT 8" O.C. (TWO ROWS OF 10d NAILS @ 8" O.C., 3" APART, FOR 2X8 OR 2X10 STUDS) ALL COLUMNS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR OTHER PROPERLY DESIGNED TRUCTURAL ELEMENT SUCH AS A BEAM. COLUMNS TRANSFERRING LOADS THROUGH FLOOR LEVELS SHALL BE SOLIDLY BLOCKED <u>FOR THE FULL WIDTH</u> OF THE STUD COLUMN WITHIN THE CAVITY FORMED BY THE

PART 15: NAILING OF MULTI PLY WOOD BEAMS

SOLID SAWN LUMBER JOISTS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM NAILED TOGETHER WITH THREE ROWS OF 10d NAILS @ 16" O.C. FOR 2X10 OR LARGER, TWO ROWS OF 10d NAILS @ 16" O.C. FOR 2X8, ONE ROW OF 10d NAILS @ 16" O.C. FOR 2X6 OR SMALLER. STAGGER ROWS 5" MIN.

15.02 LVL MEMBERS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM FASTENED TOGETHER PER MANUFACTURERS RECOMMENDATIONS, TYP

PART 16: WALL FRAMING AND BRACING

16.01 STUD WALLS SHALL CONSIST OF 2X4 STUDS SPACED AT 16" O.C. UNO. STUDS SHALL BE CONTINUOUS FROM SOLE PLATE AT FLOOR TO DOUBLE TOP PLATE AT THE CEILING OR ROOF. NO INTERMEDIATE BANDS OR PLATES SHALL CAUSE DISCONTINUITIES IN A STUD WALL EXCEPT AS REQUIRED FOR DOOR OR WINDOW OPENINGS. THE KING STUDS FOR SUCH OPENINGS SHALL BE CONTINUOUS, TYP UNI MAX ALLOWABLE WALL HEIGHTS FOR EXTERIOR STUD WALLS, INCLUSIVE OF SOLE PLATE AND DBL TOP PLATE AND 7/16" OSB EXTERIOR BRACING AND ROW OF 2X4 2X6 PURLINS AT 8' HEIGHT (AND AT 16' HEIGHT FOR TALL WALLS), TYP UNO: 2X4 @ 16" O.C.: 11'-1 1/2" 2X6 @ 16" O.C.: 17'-0" 2X4 @ 12" O.C.: 12'-1 1/2" 2X6 @ 12" O.C.: 18'-8"

16.02 FOR WALL BRACING THE FOLLOWING SHALL APPLY: -BLOCKING AT UNSUPPORTED PANEL EDGES IS REQUIRED TYP UNO -WALL BRACING IS BY ENGINEERED DESIGN AND NOT PRESCRIPTIVE PER SECTION 602.10 OF THE 2018 NCRC. CONTINUOUS SHEATHING HAS BEEN PROVIDED, ALONG WITH ALTERNATIVE METHODS TO INSURE THE MINIMUM INTENT OF SECTION 602.10 OF THE 2018 NCRC HAS BEEN MET AND EXCEEDED. -BRACED WALL PANELS SHALL BE FASTENED IN ACCORDANCE WITH TABLE 602.3(1) TO PROVIDE CONTINUOUS PANEL UPLIFT RESISTANCE AND COMPLIANCE WITH NCRBC R602.3.5 AND R802.11 UNLESS NOTED OTHERWISE ON STRUCTURAL PLANS.

DBL 2X4 @ 16" O.C.: 13'-4" DBL 2X6 @ 16" O.C.: 21'-0"

-MAY SUBSTITUTE WSP FOR GB -SINGLE JOIST, CONTINUOUS RIM JOIST, OR BLOCKING OF EQUAL DEPTH IS REQUIRED ABOVE AND BELOW ALL BRACED WALLS. NAIL BLOCKING ABOVE WALL TO TOP PLATE WITH 16d TOE NAILS @ 6" O.C. NAIL SOLE PLATE OF BRACED WALL TO BLOCKING BELOW WITH (3) 16d NAILS @ 16" O.C. BLOCKING AT HORIZONTAL JOINTS IN BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO.

PART 17: KING STUDS

7.01 KING STUDS FOR OPENINGS IN EXTERIOR WALLS SHALL BE AS FOLLOWS:

MAX OPENING WIDTH 5'-0" 9'-0" 13'-0" 17'-0" 21'-0" STUD SIZE

PART 18: SUBSTITUTIONS

MATERIAL OR MEMBER SIZE SUBSTITUTIONS OR PLAN DEVIATIONS REQUIRE THE WRITTEN AUTHORIZATION OF THE DESIGNERS. UNAUTHORIZED DEVIATIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

PART 19: OWNERSHIP OF STRUCTURAL DESIGN

19.01 THE STRUCTURAL DESIGN OF THIS PLAN IS THE PROPERTY OF ENGINEERING TECH ASSOCIATES (ETA). THESE PLANS ARE FOR THE ONE TIME USE AT THE LOCATION INDICATED AND FOR THE CLIENT LISTED. ETA ASSUMES NO LIABILITY FOR THESE PLANS IF THEY ARE REPRODUCED, IN WHOLE OR IN PART, FOR CONSTRUCTION AT ANY OTHER LOCATION WITHOUT WRITTEN PERMISSION FROM ETA

SUPPORT POSTS SHALL BE SUPPORTED BY A FOOTING.

WHEN ATTACHED TO A STRUCTURE, THE STRUCTURE TO WHICH ATTACHED SHALL HAVE A TREATED WOOD BAND FOR THE LENGTH OF THE DECK, OR CORROSION RESISTANT FLASHING 9. SHALL BE USED TO PREVENT MOISTURE FROM COMING IN CONTACT WITH THE UNTREATED FRAMING OF THE STRUCTURE. THE DECK BAND AND THE STRUCTURE BAND SHALL BE CONSTRUCTED IN CONTACT WITH EACH OTHER EXCEPT AT BRICK VENEER AND WHERE PLYWOOD SHEATHING IS REQUIRED AND PROPERLY FLASHED. SIDING SHALL NOT BE INSTALLED BETWEEN THE STRUCTURE AND THE DECK BAND. IF ATTACHED TO A BRICK STRUCTURE, NEITHER FLASHING NOR A TREATED BAND FOR THE BRICK STRUCTURE IS REQUIRED. IN ADDITION, THE TREATED DECK BAND SHALL BE CONSTRUCTED IN CONTACT WITH THE BRICK

WHEN THE DECK IS SUPPORTED AT THE STRUCTURE BY ATTACHING THE DECK TO THE STRUCTURE, THE FOLLOWING ATTACHMENT SCHEDULES SHALL APPLY FOR ATTACHING THE DECK BAND TO THE STRUCTURE:

A. ALL STRUCTURES EXCEPT BRICK STRUCTURES

JOISTS TO A TREATED STRUCTURE BAND

	JOIST I	_ENGTH
	UP TO 8' MAX.	UP TO 16' MAX.
REQUIRED FASTENERS	(2) ROWS OF 12d NAILS @ 8" O.C. OR	ONE- 5/8" Ø BOLT @ 20" O.C. AND (3) ROWS OF 12d NAILS @ 6" O.C. OR TWO ROWS OF SIMPSON SDWS22400DB @ d = 16" O.C. STAGGERED
BRICK VE	NEER STRUCTURES	

. BRICK VENEER STRUCTURES JOIST LENGTH UP TO 8' MAX. UP TO 16' MAX. ONE- 5/8" Ø BOLT @ 16" O.C. ONE- 5/8" Ø BOLT @ 28" O.C. FASTENERS

IF THE DECK BAND IS SUPPORTED BY A 1/2" MINIMUM MASONRY LEDGE ALONG THE FOUNDATION WALL, 5/8" Ø BOLTS SPACED @ 48" O.C. MAY BE USED FOR SUPPORT. OTHER MEANS OF SUPPORT, SUCH AS JOIST HANGERS, MAY BE USED TO CONNECT DECK

GIRDERS SHALL BEAR DIRECTLY ON POSTS OR BE BE CONNECTED TO THE SIDES OF POSTS WITH 2- 5/8" Ø BOLTS

FLOOR DECKING SHALL BE NO. 2 GRADE TREATED SOUTHERN PINE OR EQUIVALENT. THE MINIMUM FLOOR DECKING THICKNESS SHALL BE AS FOLLOWS:

JOIST SPAN DECKING 1" S4S 12" O.C 16" O.C. 1" T&G 24" O.C. 11/4" S4S 32" O.C. 2" S4S

MAX	XIMUM HEIGHT OF DECK SUPPORT POSTS	S IS AS FOLLOWS:
	POST SIZE	MAX POST HEIGHT
	4×4	8′
	6X6	20'
	ENGINEERED	20' +

NOTES: 1) THIS TABLE IS BASED ON NO. 2 TREATED SOUTHERN PINE POSTS. 2) THIS TABLE IS BASED ON A MAXIMUM TRIBUTARY AREA OF 128 SQ. FT. 3) POST HEIGHT IS FROM TOP OF FOOTING TO BOTTOM OF GIRDER.

DECKS SHALL BE BRACED TO PROVIDE LATERAL STABILITY BY ONE OF THE FOLLOWING

A. WHEN THE DECK FLOOR HEIGHT IS LESS THAN 4'-0" AND THE DECK IS ATTACHED TO THE STRUCTURE IN ACCORDANCE WITH SECTION 4, LATERAL BRACING IS NOT REQUIRED.

B. 4X4 WOOD KNEE BRACES MAY BE PROVIDED ON EACH COLUMN IN BOTH DIRECTIONS. THE KNEE BRACES SHALL ATTACH TO EACH POST AT A POINT NOT LESS THAN 1/3 OF THE POST LENGTH FROM THE TOP OF THE POST, AND THE BRACES SHALL BE ANGLED BETWEEN 45° AND 60° FROM THE HORIZONTAL. KNEE BRACES SHALL BE ATTACHED AT THE ENDS TO THE GIRDER AND THE POST WITH ONE - 5/8" BOLT

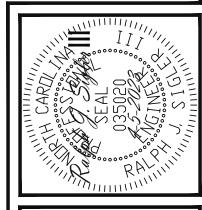
C. FOR FREE STANDING DECKS WITHOUT KNEE BRACES OR DIAGONAL BRACING, LATERAL STABILITY MAY BE PROVIDED BY EMBEDDING THE POSTS IN CONCRETE IN ACCORDANCE WITH THE FOLLOWING:

POST SIZE	TRIBUT. AREA	POST HEIGHT	EMB. DEPTH	CONC. DIAM.
4X4 6X6	48 SQ. FT. 120 SQ. FT.	4'-0" 6'-0"	2'-6" 3'-6"	1'-0" 1'-8"

D. 2X6 DIAGONAL VERTICAL CROSS BRACING SHALL BE PROVIDED IN TWO PERPENDICULAR DIRECTIONS FOR FREE STANDING DECKS OR PARALLEL TO THE STRUCTURE AT THE EXTERIOR COLUMN LINE FOR ATTACHED DECKS. THE BRACES SHALL BE ATTACHED TO THE POSTS WITH ONE -5/8" ϕ BOLT AT EACH END OF THE BRACE.

NOTES: 1) ALL NAILS AND BOLTS ARE TO BE HOT DIPPED GALVANIZED. 2) MINIMUM EDGE DISTANCE FOR BOLTS IS 2 1/2".

3) NAILS MUST PENETRATE THE SUPPORTING STRUCTURE BAND A MINIMUM OF 1 1/2".



JCTURAL ADDENDUM	NDON	V		
	REV#	REV # REF PROJ #	DATE	
				

ENG: RJS/MEB DATE: 4-5-2023

PLAN **BRUNSWICK**

PROJECT NO. 23-65-081 LH

SHEET NO.