

THIS PLAN HAS BEEN DRAWN TO CONFORM TO THE 2018 NORTH CAROLINA RESIDENTIAL CODE

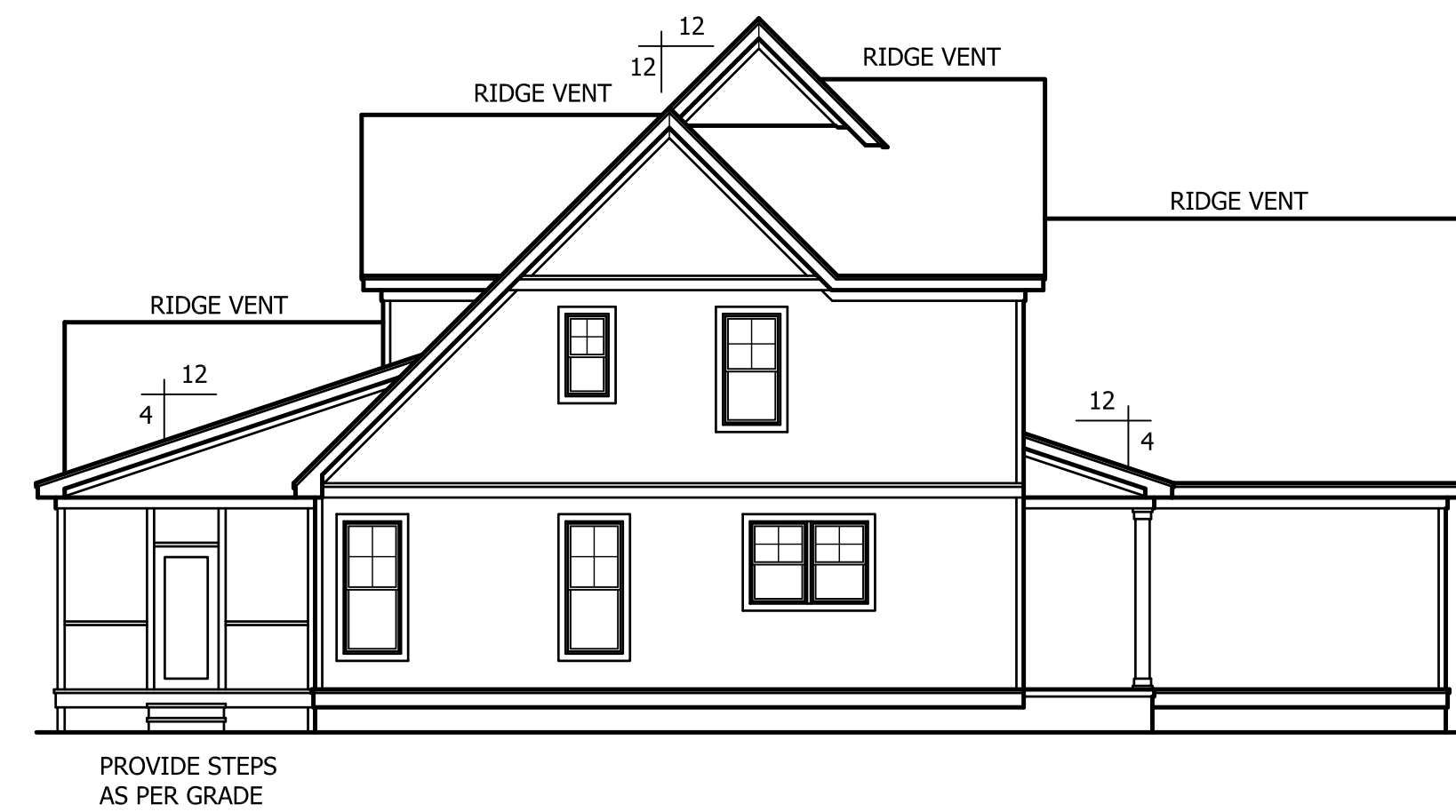
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL STATE AND LOCAL BUILDING CODES AND ORDINANCES. KADS CUSTOM HOME DESIGNS ASSUMES NO LIABILITY FOR SITE CONDITIONS, CONSTRUCTION METHODS OR ANY DEVIATION OF THESE PLANS.

NOTE:
ALL WINDOWS TO BE INSTALLED MUST MEET A MAXIMUM OF .32 U VALUE OR BETTER, UNLESS ENERGY CALCULATIONS ARE SUBMITTED WITH PLANS PROVIDED BY BUILDER AT TIME OF PLAN REVIEW.



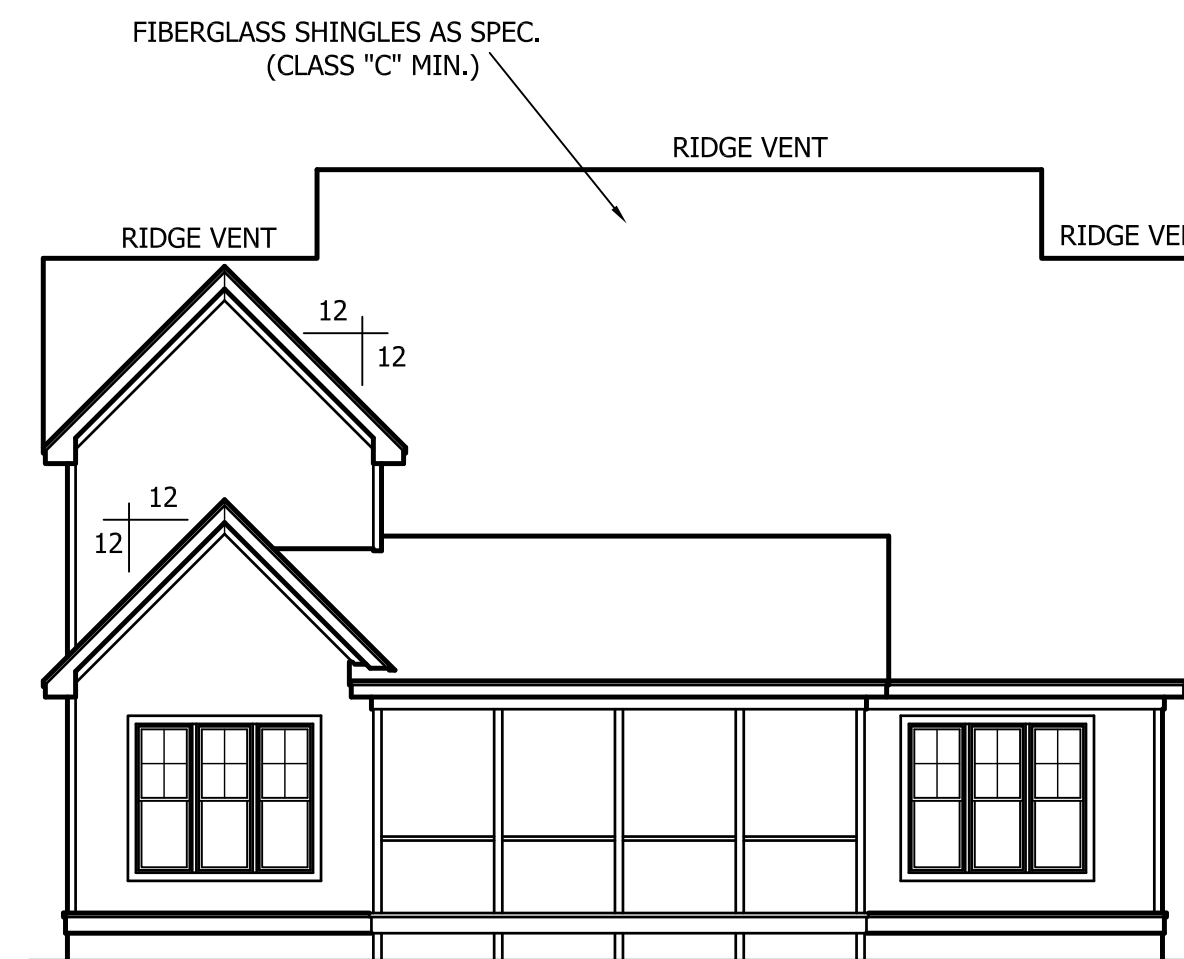
FRONT ELEVATION

SCALE: 1/4"=1'-0"



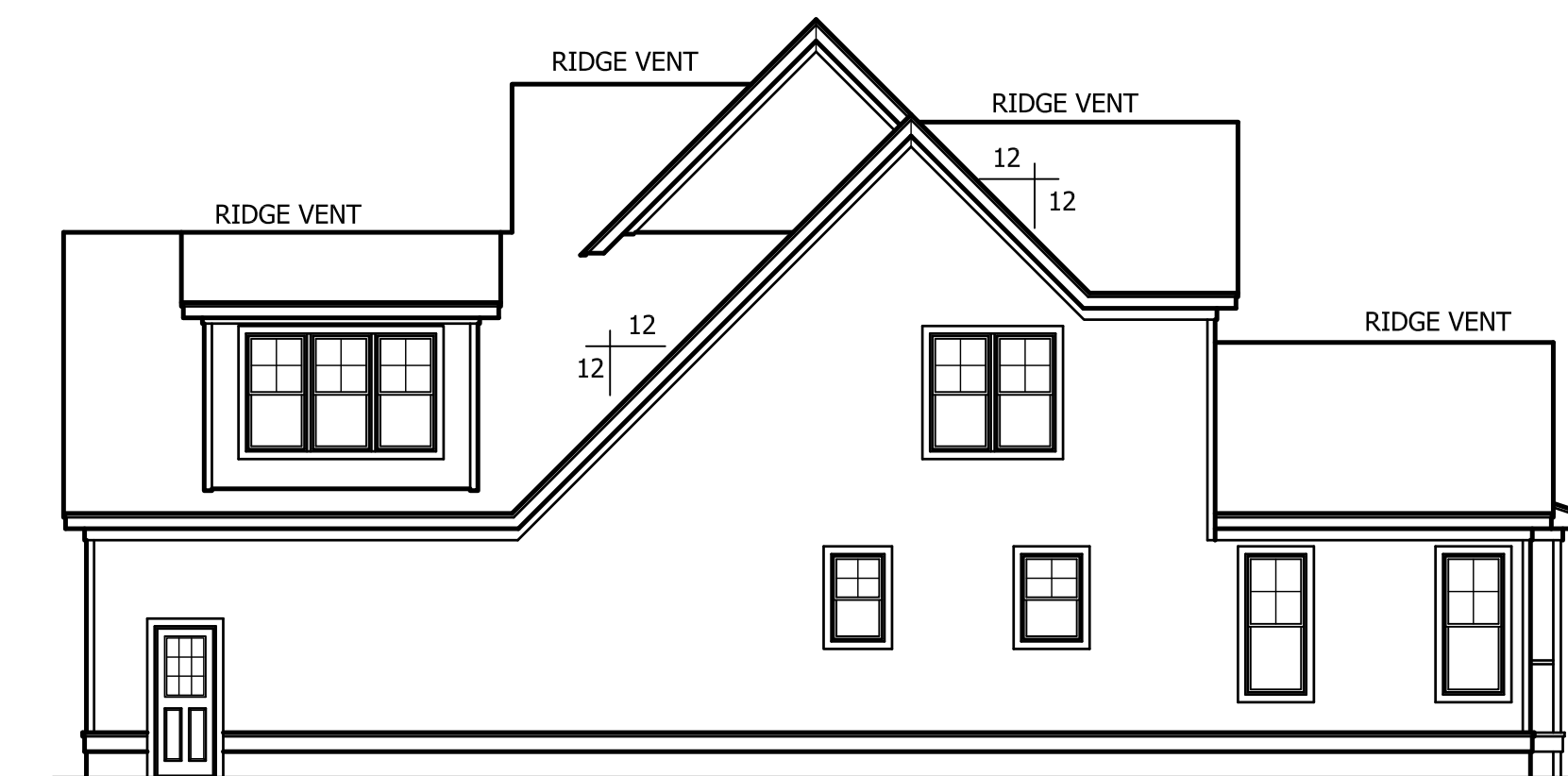
LEFT ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

SCALE: 1/8"=1'-0"

ALL HOME RENOVATION



ANGIER, NC
919-369-7181

DRAWN BY:
D.W.O.

DATE:
10/9/23

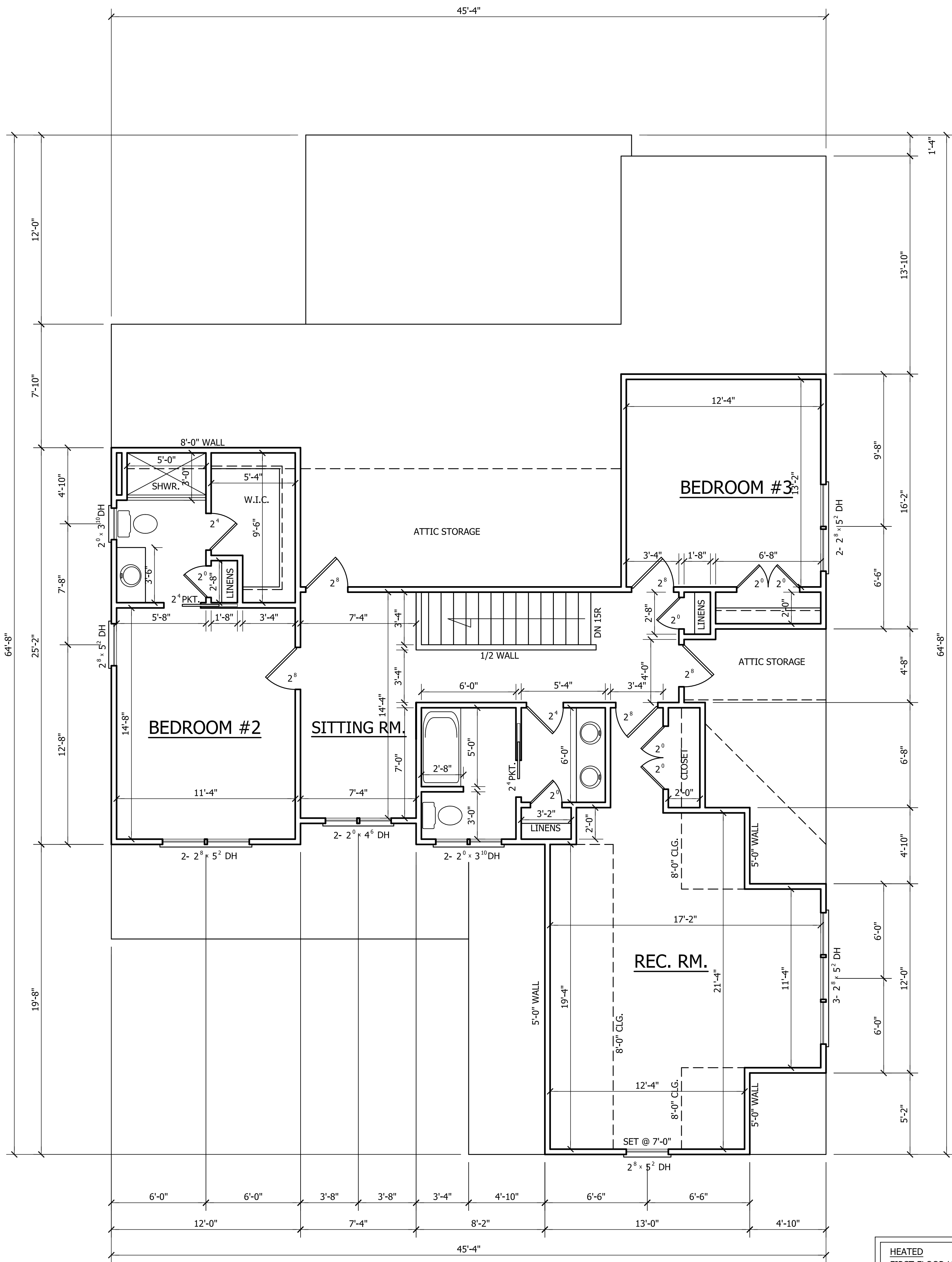
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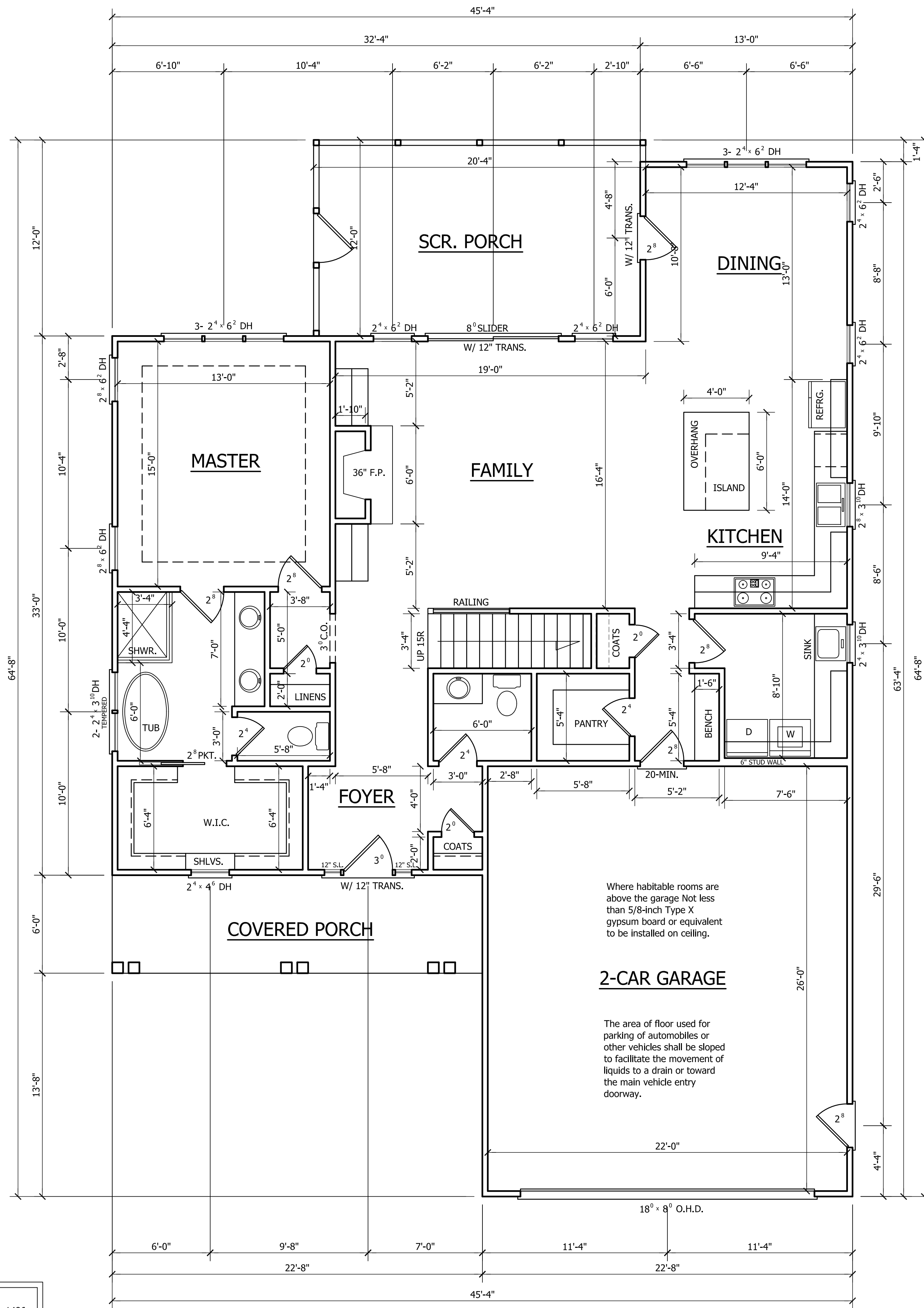
PLAN NO.
DK2675



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"
 9'-0" CLG. HGT.
 SET WINDOWS AT 7'-8" A.F.F.

HEATED	
FIRST FLOOR HTD. SQ. FT.	= 1486
SECOND FLOOR HTD. SQ. FT.	= 811
REC.RM. SQ. FT.	= 378
TOTAL HEATED SQ. FT.	= 2675
UNHEATED	
FRONT PORCH SQ. FT.	= 136
REAR PORCH SQ. FT.	= 240
GARAGE SQ. FT.	= 595




FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"
 9'-0" CLG. HGT.
 SET WINDOWS AT 7'-10" A.F.F.

Where habitable rooms are above the garage Not less than 5/8-inch Type X gypsum board or equivalent to be installed on ceiling.

The area of floor used for parking of automobiles or other vehicles shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway.

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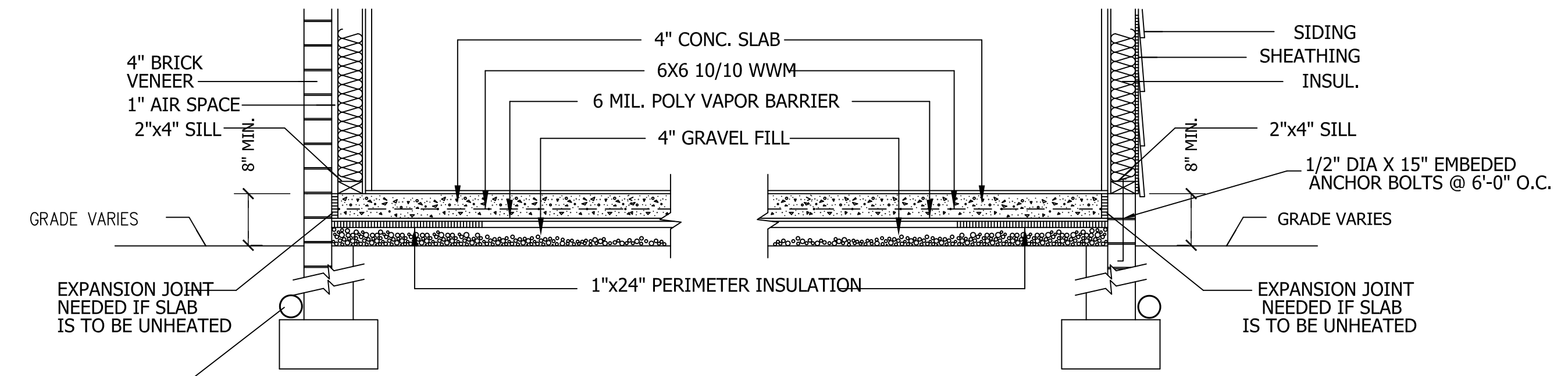
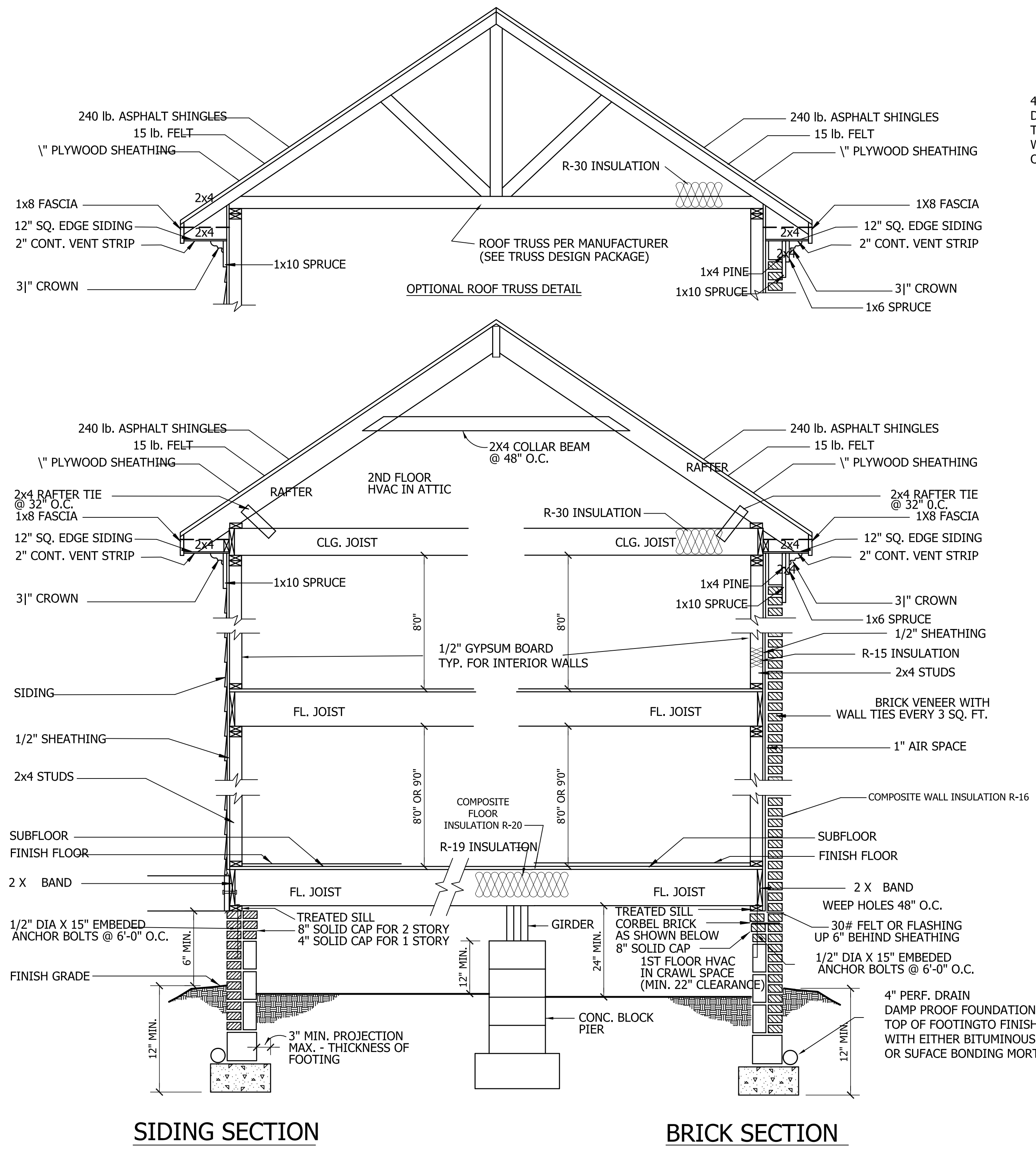
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CRAWL SPACE VENTILATION

PROVIDE AT LEAST 1.0 SQ. FT. NET FREE VENTILATION AREA FOR EACH 150 SQ. FT. OF CRAWL SPACE.

CRAWL SPACE AREA = 1486 SQ. FT.
1486/150 = 9.9 SQ. FT. REQ'D.

REDUCE REQUIRED AREA TO 1.0 SQ. FT. NET FREE VENTILATION AREA FOR EACH 1,500 SQ. FT. OF CRAWL SPACE WITH APPROVED VAPOR BARRIER.

PROVIDE (1) VENT WITHIN 3'-0" OF EACH CORNER.

REFER TO MANUFACTURER SPECIFICATIONS FOR ACTUAL VENTS USED TO DETERMINE NUMBER OF VENTS REQUIRED.

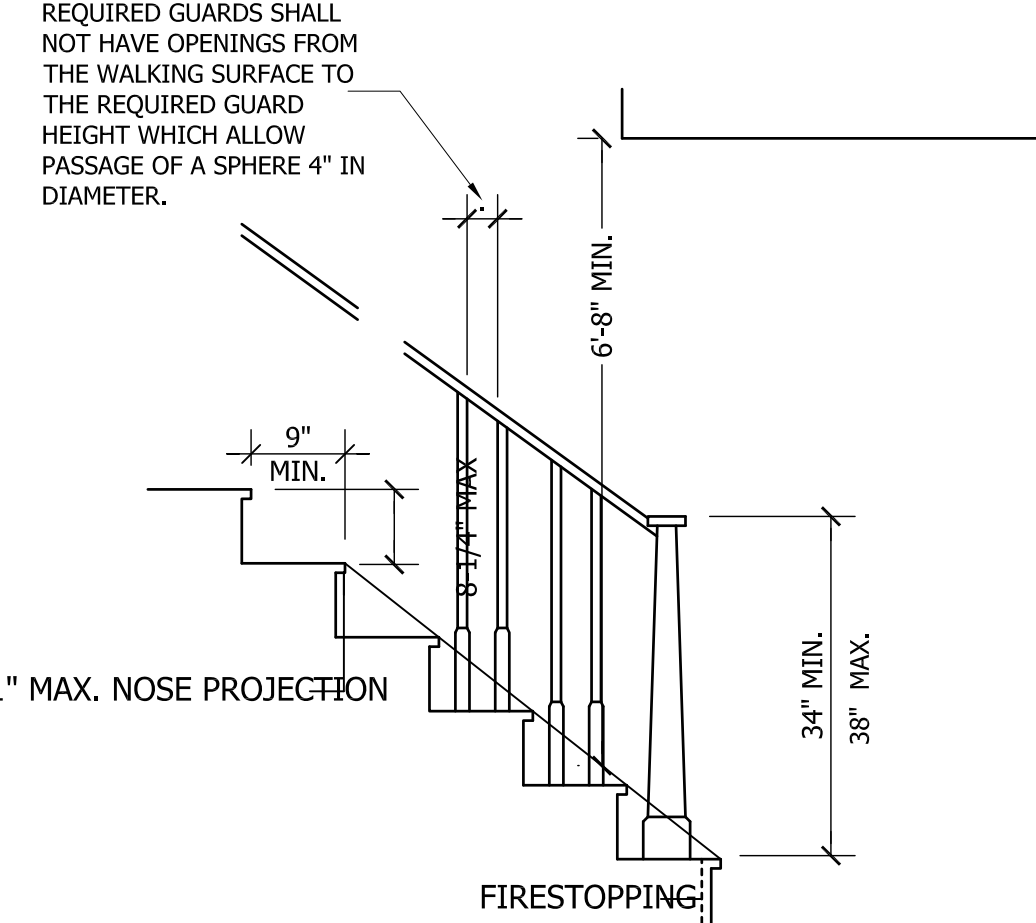
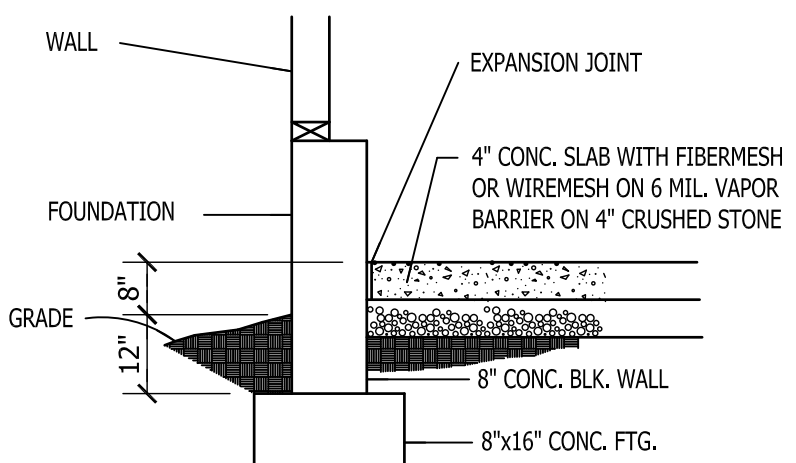
ROOF VENTILATING REQUIREMENTS

$\frac{2457}{150} = 16.38$ SQ. FT. REQ'D

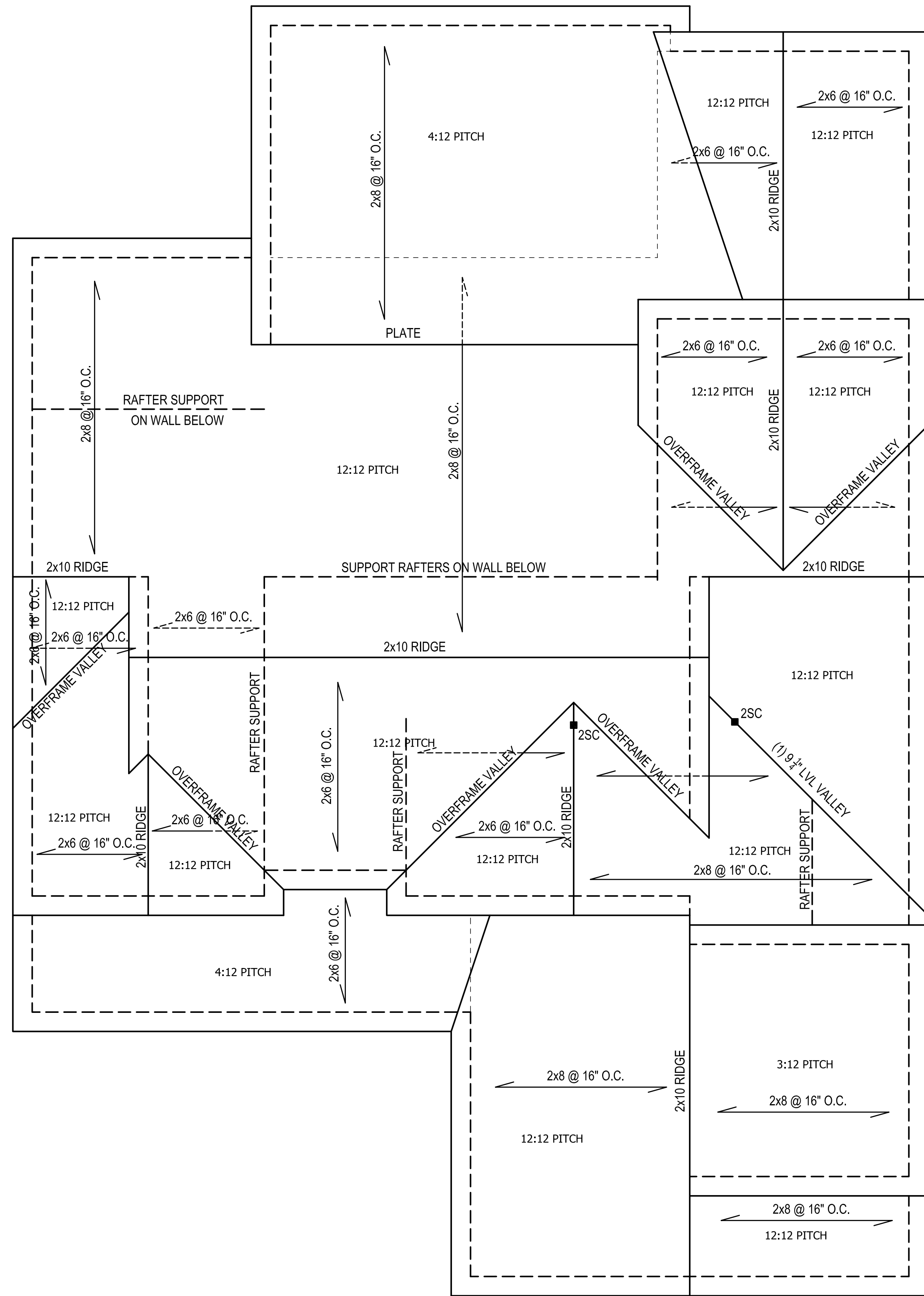
ROOF VENTILATING REQUIREMENTS
(POWER ROOF VENTILATOR REQUIRED)

$\frac{2457}{300} = 8.19$ SQ. FT. REQ'D

BUILDER TO PROVIDE APPROPRIATE VENTILATING AS REQUIRED.



NOTE:
Stairways shall not be less than 36 inches in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 4.5 inches on either side of the stairway and the minimum clear width of the stairway at and below the handrail height, including treads and landings, shall not be less than 31-1/2 inches where a handrail is installed on one side and 27 inches where handrails are provided on both sides



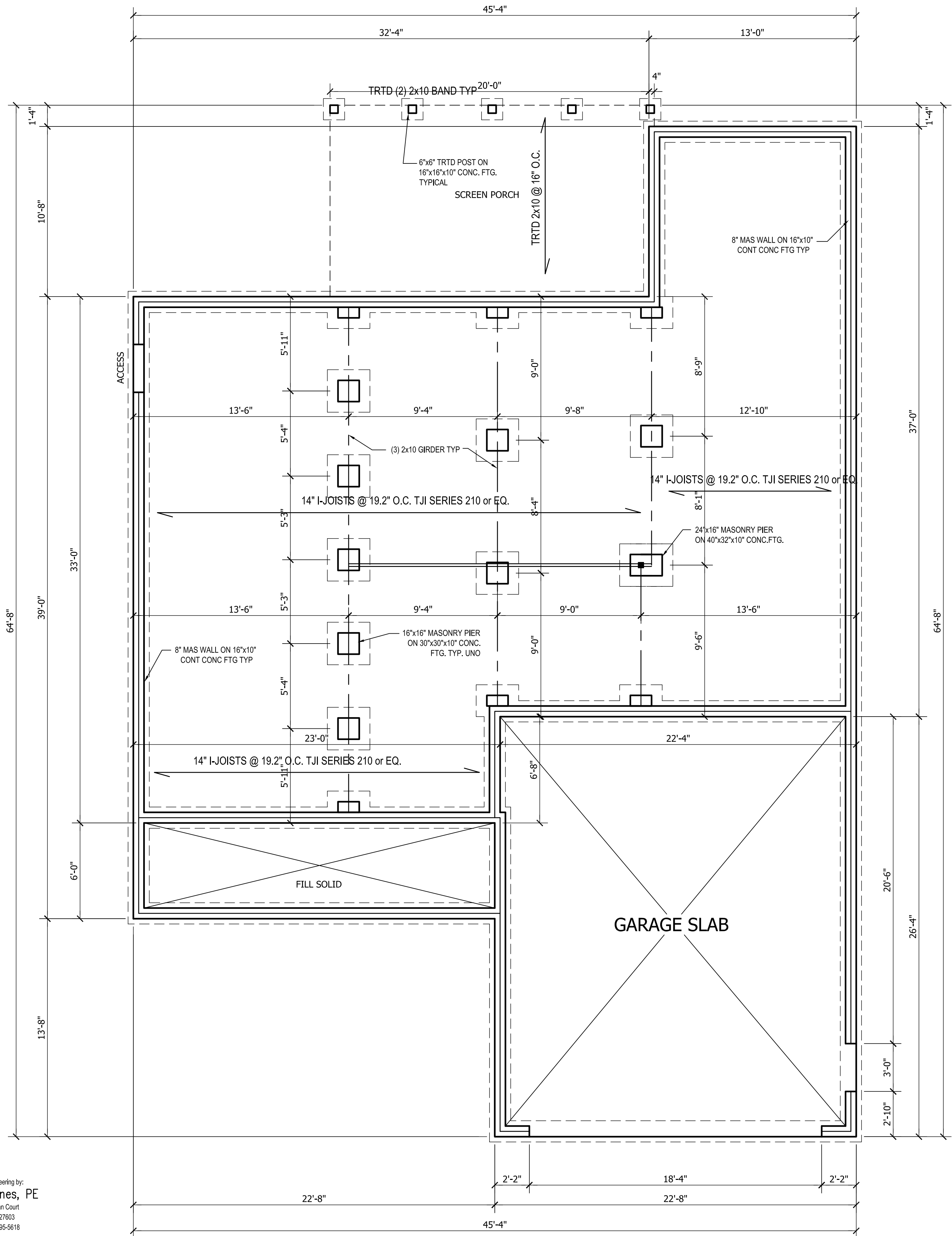
ROOF PLAN
SCALE: 1/4"=1'-0"

Professional Engineer Seal for Mark E. Jones, PE, No. 032702, State of North Carolina.

Structural Engineering by:
Mark E. Jones, PE
6425 Glen Dean Court
Raleigh, NC 27603
Phone: (919) 395-5618

*Engineers seal applies only to structural components on this document. Seal does not include construction means, methods, techniques, sequences, procedures or safety precautions.
*Any deviations or discrepancies on plans are to be brought to the immediate attention of Mark E. Jones, PE. Failure to do so will void Mark E. Jones, PE liability.
Structural analysis based on NCResidential Building Code 2018.

Project No. 23-216



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

ALL HOME RENOVATION



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