

ROOF VENTILATION

SECTION R806
SQUARE FOOTAGE OF ROOF TO BE VENTED = 3268 SQ.FT.
NET FREE CROSS VENTILATION NEEDED:
WITHOUT 50% TO 80% OF VENTING 3'-0" ABOVE EAVE = 21.79 SQ.FT.
WITH 50% TO 80% OF VENTING 3'-0" ABOVE EAVE; OR WITH CLASS I OR II
VAPOR RETARDER ON WARM-IN-WINTER SIDE OF CEILING = 10.89 SQ.FT.

PLANS DESIGNED TO THE
2024 NORTH CAROLINA STATE
RESIDENTIAL BUILDING CODE

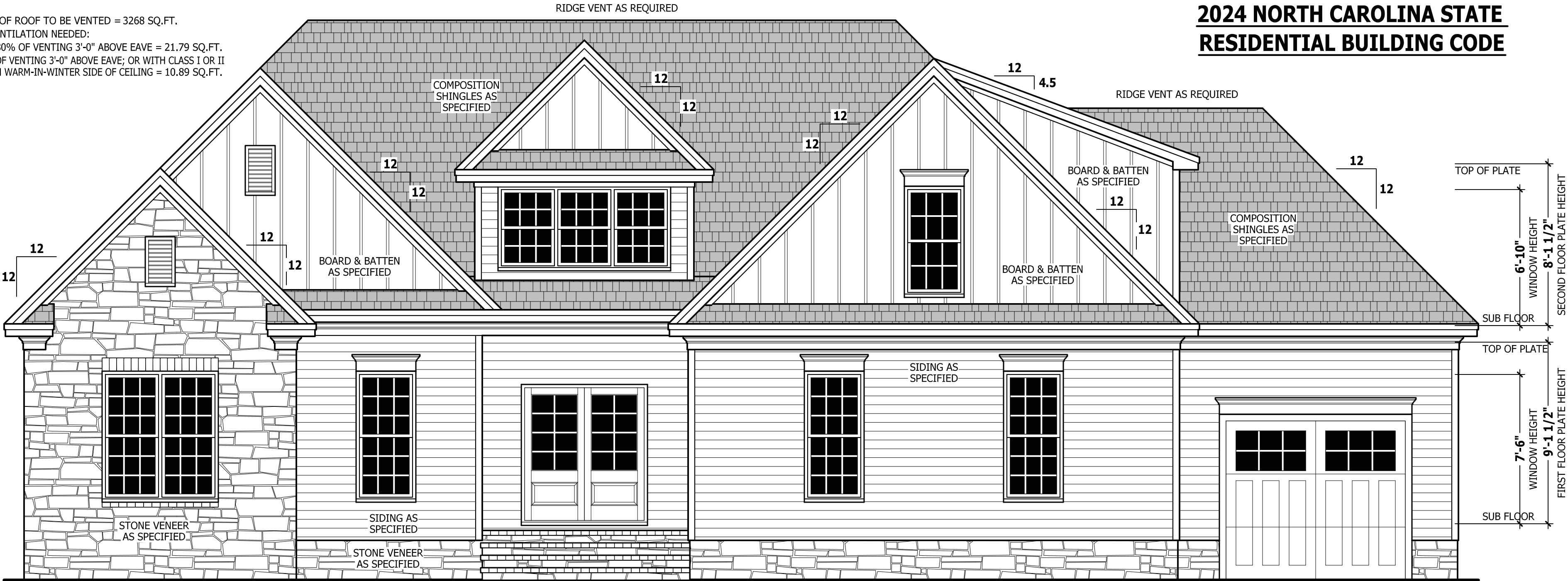
PURCHASER MUST VERIFY ALL
DIMENSIONS AND CONDITIONS
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M. HAYNES DESIGNS ASSUMES NO
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THESE DRAWING ARE
INSTRUMENTS OF SERVICE AND
AS SUCH SHALL REMAIN
PROPERTY OF THE DESIGNER.

FRONT & REAR ELEVATIONS
Fletcher

Asset Development, Inc.
3900 Dunn Road
Roseboro, NC 28382
910-62469424

M. HAYNES
DESIGNS
2821 ALDERSHOT DRIVE, WAKE FOREST, NC
919-740-0997 mhaynes1@nc.crr.com

SQUARE FOOTAGE	
HEATED	
FIRST FLOOR	2280 SQ.FT.
PLAYROOM	400 SQ.FT.
BEDROOM 4	374 SQ.FT.
TOTAL	3054 SQ.FT.
UNHEATED	
DECK	72 SQ.FT.
GARAGE	597 SQ.FT.
STORAGE	498 SQ.FT.
SCREENED PORCH	180 SQ.FT.
THIRD GARAGE	336 SQ.FT.
TOTAL	1683 SQ.FT.



CLIMATE ZONE	ZONE 3A	ZONE 4A	ZONE 5A
FENESTRATION U-FACTOR	0.35	0.35	0.35
SKYLIGHT U-FACTOR	0.55	0.55	0.55
GLAZED FENESTRATION SHGC	0.30	0.30	0.30
CEILING R-VALUE	38 or 30ci	38 or 30ci	38 or 30ci
WALL R-VALUE	15	15	19
FLOOR R-VALUE	19	19	30
* BASEMENT WALL R-VALUE	5/13	10/15	10/15
** SLAB R-VALUE	0	10	10
* CRAWL SPACE WALL R-VALUE	5/13	10/15	10/19

* 10/13" MEANS R-10 SHEATHING INSULATION OR R-13 CAVITY INSULATION
** INSULATION DEPTH WITH MONOLITHIC SLAB 24" OR FROM INSPECTION GAP TO BOTTOM OF FOOTING; INSULATION DEPTH WITH STEM WALL SLAB 24" OR TO BOTTOM OF FOUNDATION WALL

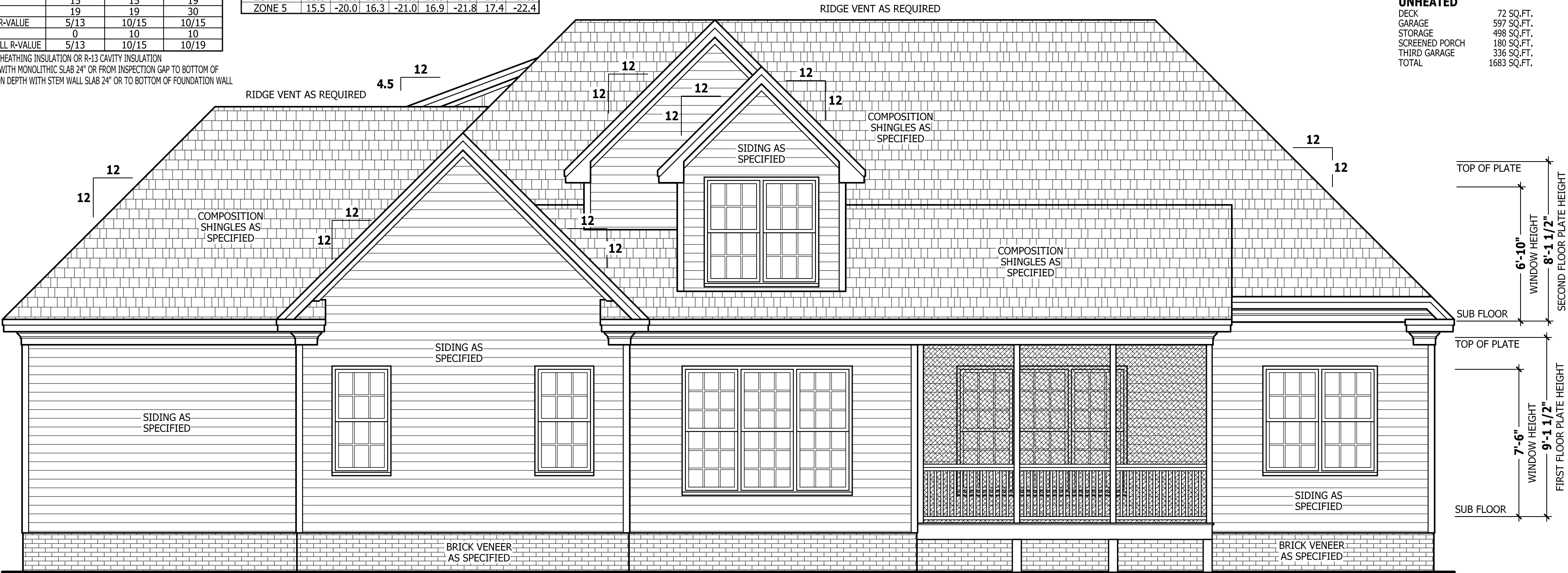
DESIGNED FOR WIND SPEED OF 120 MPH, 3 SECOND GUST (93 FASTEST MILE) EXPOSURE "B"									
COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS									
MEAN ROOF	UP TO 30'	30'-1" TO 35'	35'-1" TO 40'	40'-1" TO 45'					
ZONE 1	14.2	-15.0	14.9	-15.8	15.5	-16.4	15.9	-16.8	
ZONE 2	14.2	-18.0	14.9	-18.9	15.5	-19.6	15.9	-20.2	
ZONE 3	14.2	-18.0	14.9	-18.9	15.5	-19.6	15.9	-20.2	
ZONE 4	15.5	-16.0	16.3	-16.8	16.9	-17.4	17.4	-17.9	
ZONE 5	15.5	-20.0	16.3	-21.0	16.9	-21.8	17.4	-22.4	

RAIL AS NEEDED
PER CODE

FRONT ELEVATION

SCALE 1/4" = 1'-0"

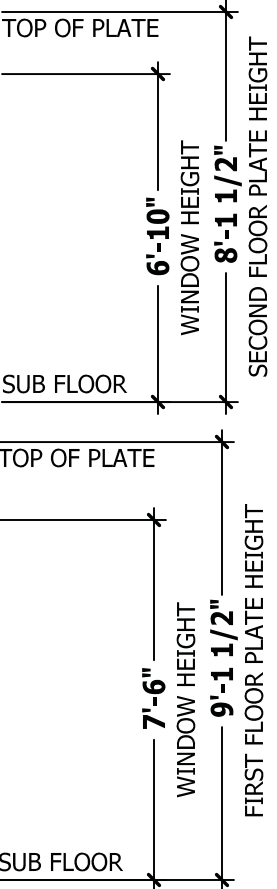
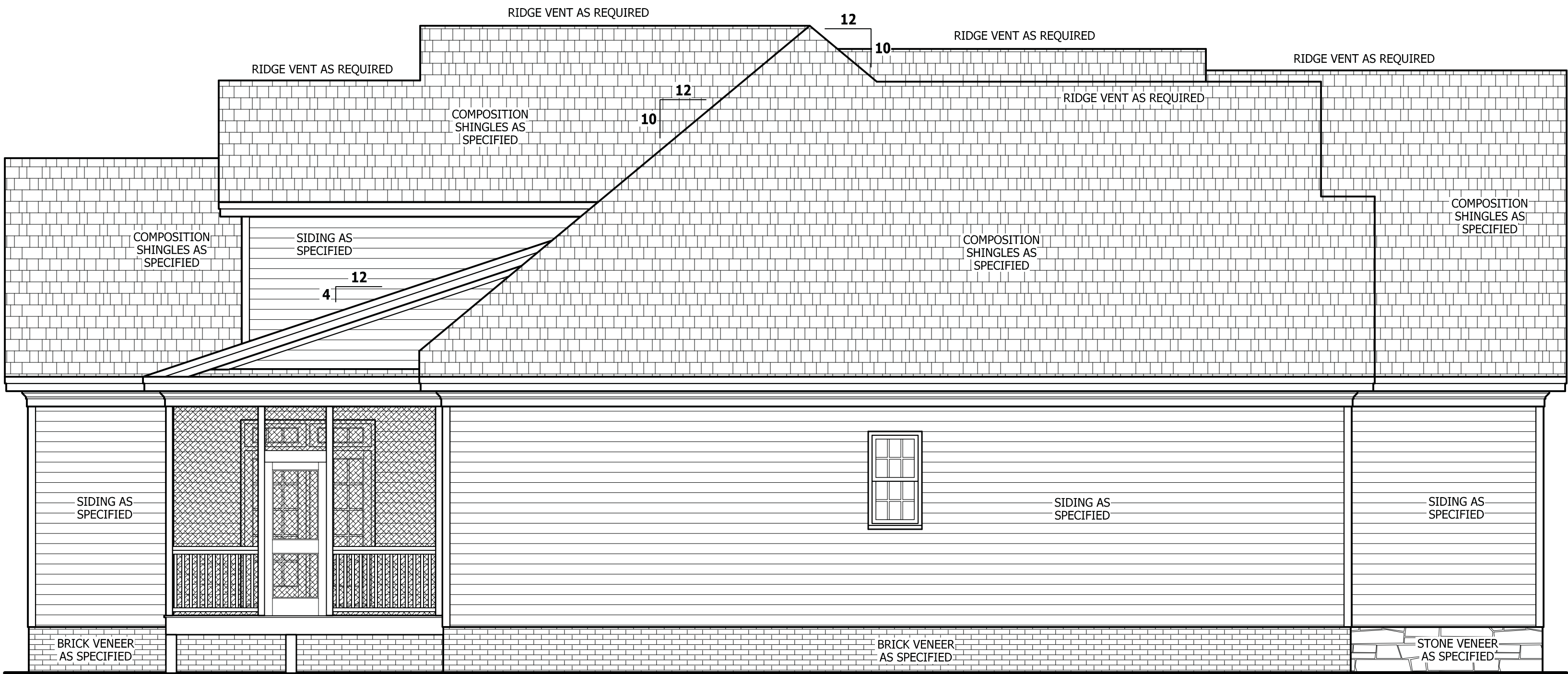
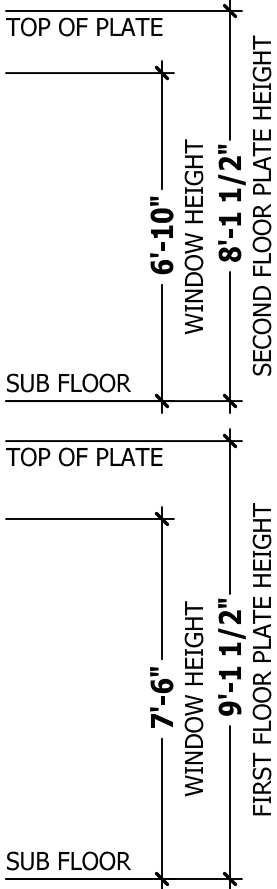
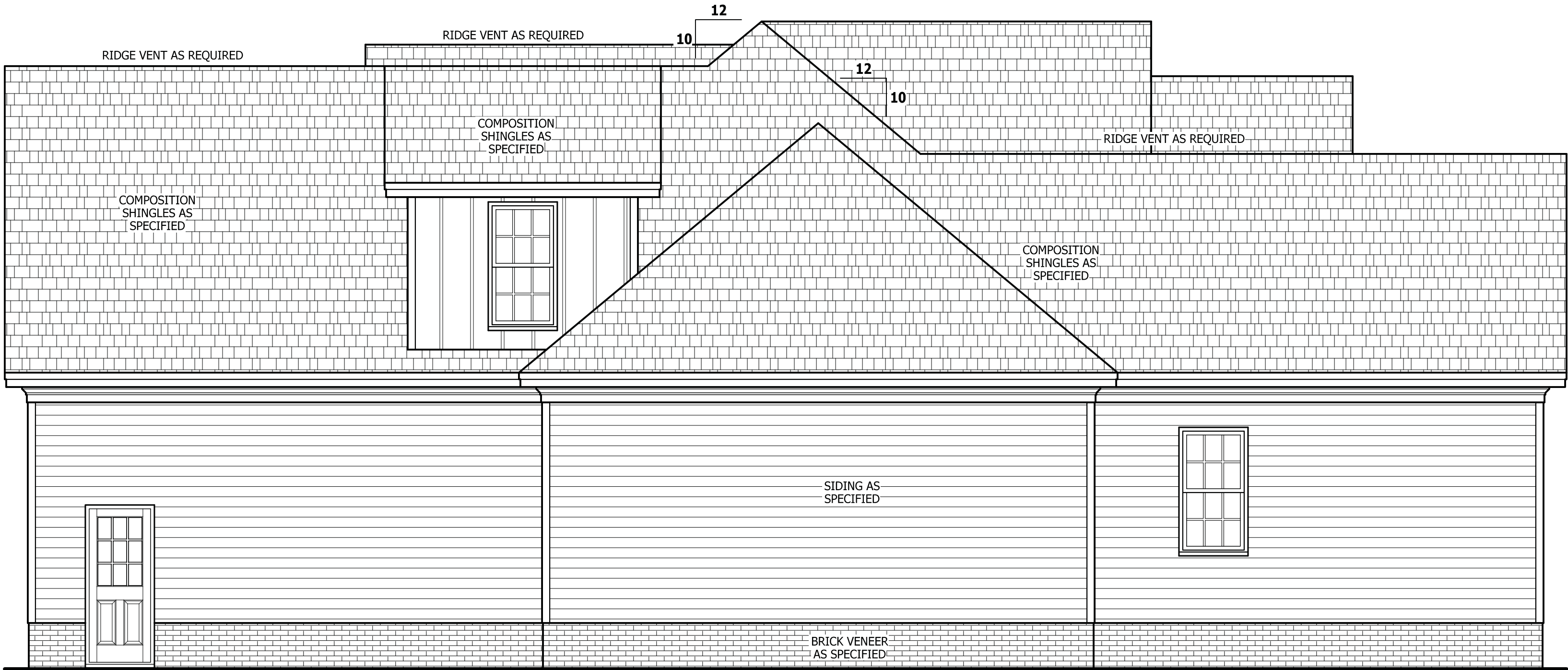
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REAR ELEVATION

SCALE 1/4" = 1'-0"

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LEFT & RIGHT ELEVATIONS

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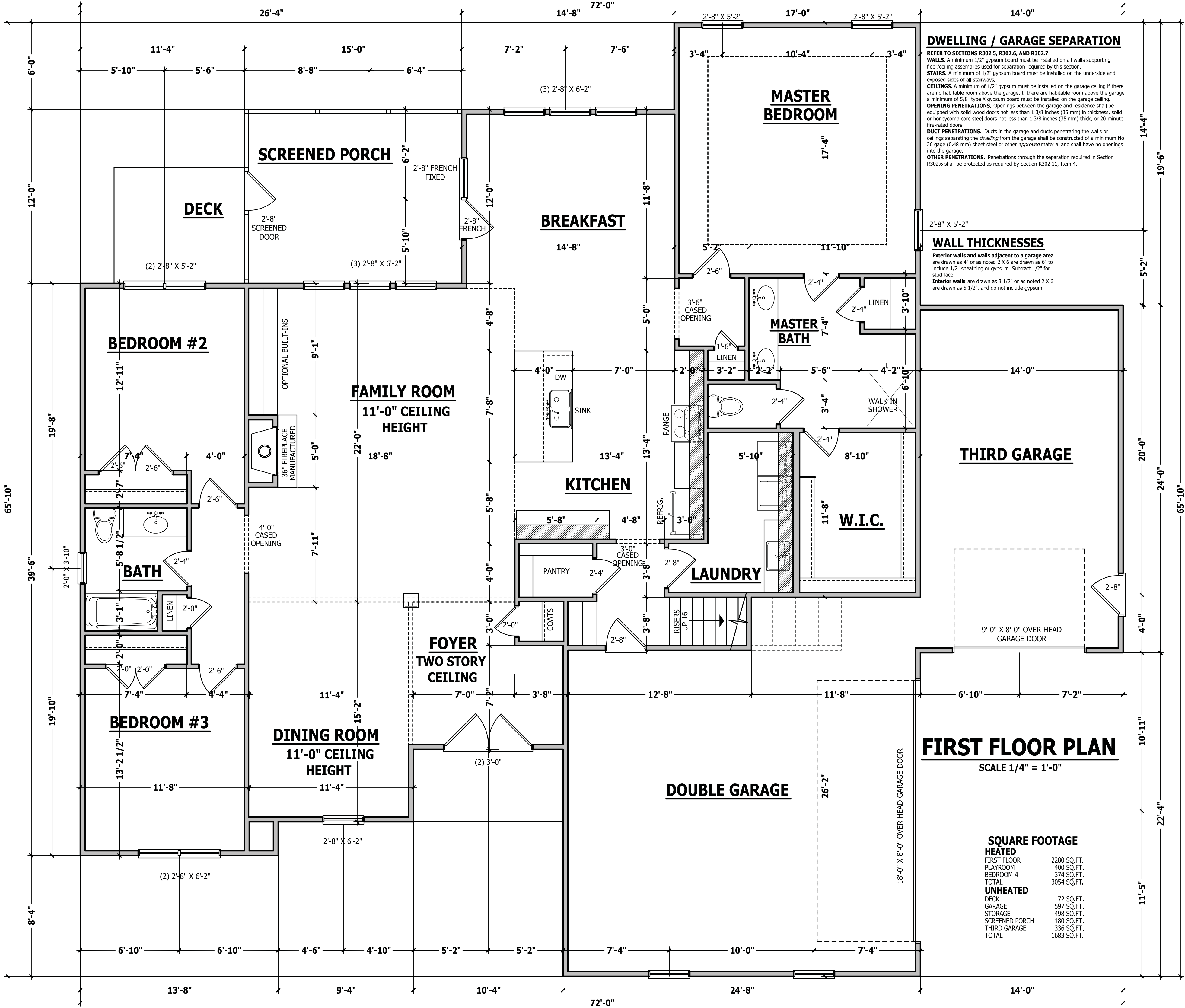
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FIRST FLOOR PLAN

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FIRST FLOOR SDSTRUCTURAL

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Asset Development, Inc.

3900 Dunn Road

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M. HAYNES

PERSONAL

11 ALDERSHOT DRIVE, WAKE FOREST, NC

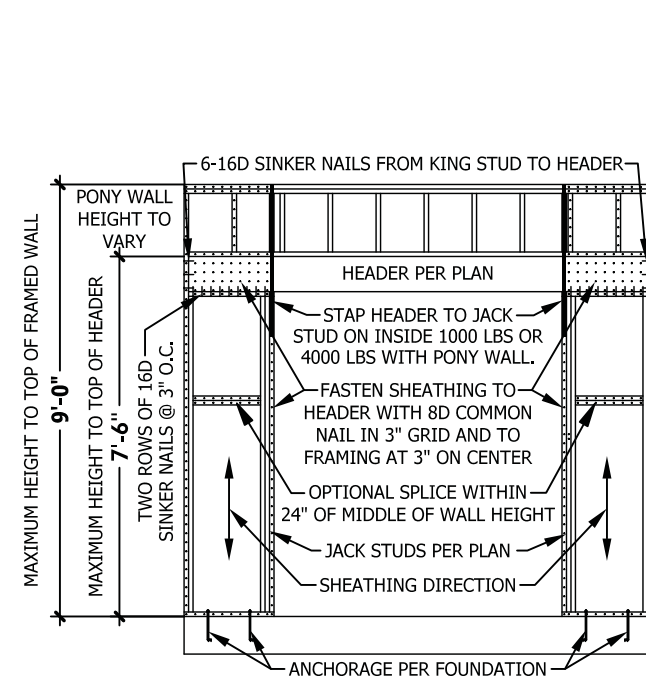
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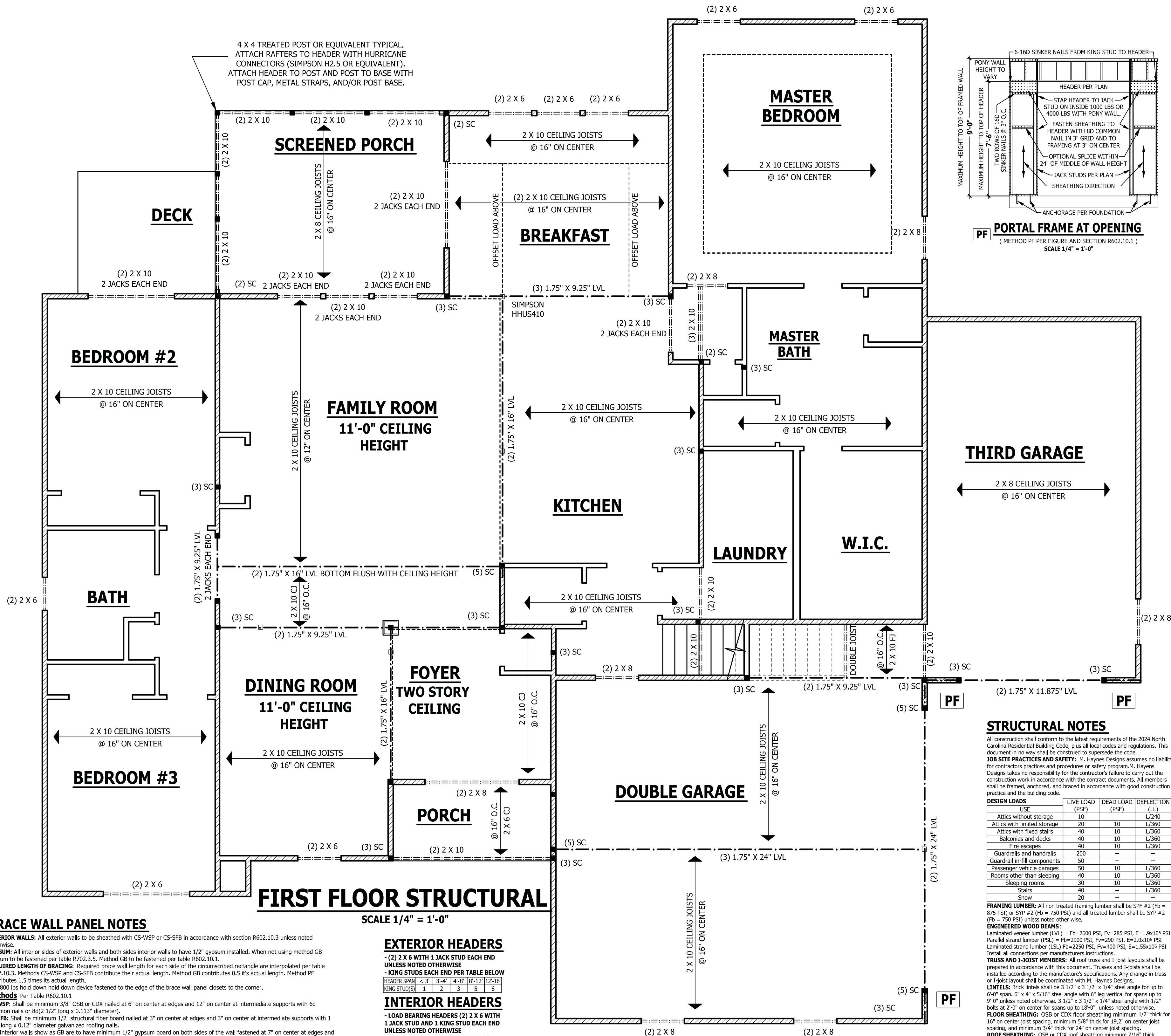
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PF **PORTAL FRAME AT OPENING**
(METHOD PF PER FIGURE AND SECTION R602.10.1)
SCALE 1/4" = 1'-0"



STRUCTURAL NOTES

All construction shall conform to the latest requirements of the 2024 North Carolina Residential Building Code, plus all local codes and regulations. This document in no way shall be construed to supersede the code.

JOB SITE PRACTICES AND SAFETY: M. Haynes Designs assumes no liability for contractors practices and procedures or safety program. M. Haynes Designs takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practice and the building code.

DESIGN LOADS		LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (L)
USE				
Attics without storage		10	--	L/240
Attics with limited storage		20	10	L/360
Attics with fixed stairs		40	10	L/360
Balconies and decks		40	--	L/360
Fire escapes		40	10	L/360
Guardrails and handrails		200	--	--
Guardrail in-fill components		50	--	--
Passenger vehicle garages		50	10	L/360
Rooms other than sleeping		40	10	L/360
Sleeping rooms		30	10	L/360
Stairs		40	--	L/360
Snow		20	--	--

FRAMING LUMBER: All non treated framing lumber shall be SPF #2 (Fb = 875 PSI) or SYP #2 (Fb = 750 PSI) and all treated lumber shall be SYP #2 (Fb = 750 PSI) unless noted other wise.

ENGINEERED WOOD BEAMS:
Laminated veneer lumber (LVL) = $F_b=2600$ PSI, $F_v=285$ PSI, $E=1.9 \times 10^6$ PSI
Parallel strand lumber (PSL) = $F_b=2900$ PSI, $F_v=290$ PSI, $E=2.0 \times 10^6$ PSI
Laminated strand lumber (LSL) $F_b=2250$ PSI, $F_v=400$ PSI, $E=1.55 \times 10^6$ PSI

TRUSS AND I-JOIST MEMBERS: All roof truss and I-joist layouts shall be prepared in accordance with this document. Trusses and I-joists shall be installed according to the manufacture's specifications. Any change in truss or I-joist layout shall be coordinated with M. Haynes Designs.

LINTELS: Brick lintels shall be 3 1/2" x 3 1/2" x 1/4" steel angle for up to 6'-0" span. 6" x 4" x 5/16" steel angle with 6" leg vertical for spans up to 9'-0" unless noted otherwise. 3 1/2" x 3 1/2" x 1/4" steel angle with 1/2" bolts at 2'-0" on center for spans up to 18'-0" unless noted otherwise.

FLOOR SHEATHING: OSB or CDX floor sheathing minimum 1/2" thick for 16" on center joist spacing, minimum 5/8" thick for 19.2" on center joist spacing, and minimum 3/4" thick for 24" on center joist spacing.

ROOF SHEATHING: OSB or CDX roof sheathing minimum 7/16" thick.
CONCRETE AND SOILS: See foundation notes.

BRACE WALL PANEL NOTES

EXTERIOR WALLS: All exterior walls to be sheathed with CS-WSP or CS-SFB in accordance with section R602.10.3 unless noted otherwise.

GYPSUM: All interior sides of exterior walls and both sides interior walls to have 1/2" gypsum installed. When not using method GB gypsum to be fastened per table R702.3.5. Method GB to be fastened per table R602.10.1.

REQUIRED LENGTH OF BRACING: Required brace wall length for each side of the circumscribed rectangle are interpolated per table R602.10.3. Methods CS-WSP and CS-SFB contribute their actual length. Method GB contributes 0.5 it's actual length. Method PF contributes 1.5 times its actual length.

HD: 800 lbs hold down hold down device fastened to the edge of the brace wall panel closets to the corner.

Methods Per Table R602.10.1

CS-WSP: Shall be minimum 3/8" OSB or CDX nailed at 6" on center at edges and 12" on center at intermediate supports with 6d common nails or 8d(2 1/2" long x 0.113" diameter).

CS-SFB: Shall be minimum 1/2" structural fiber board nailed at edges and 3" on center at intermediate supports with 1 1/2" long x 0.13" diameter galvanized roofing nails.

GB: Interior walls show as GB are to have minimum 1/2" gypsum board on both sides of studs. Studs are to be 16" on center at intermediate supports with minimum 5d cooler nails or #6 screws.

PF: Portal frame per figure R602.10.1

EXTERIOR HEADERS

**- (2) 2 X 6 WITH 1 JACK STUD EACH END
UNLESS NOTED OTHERWISE**

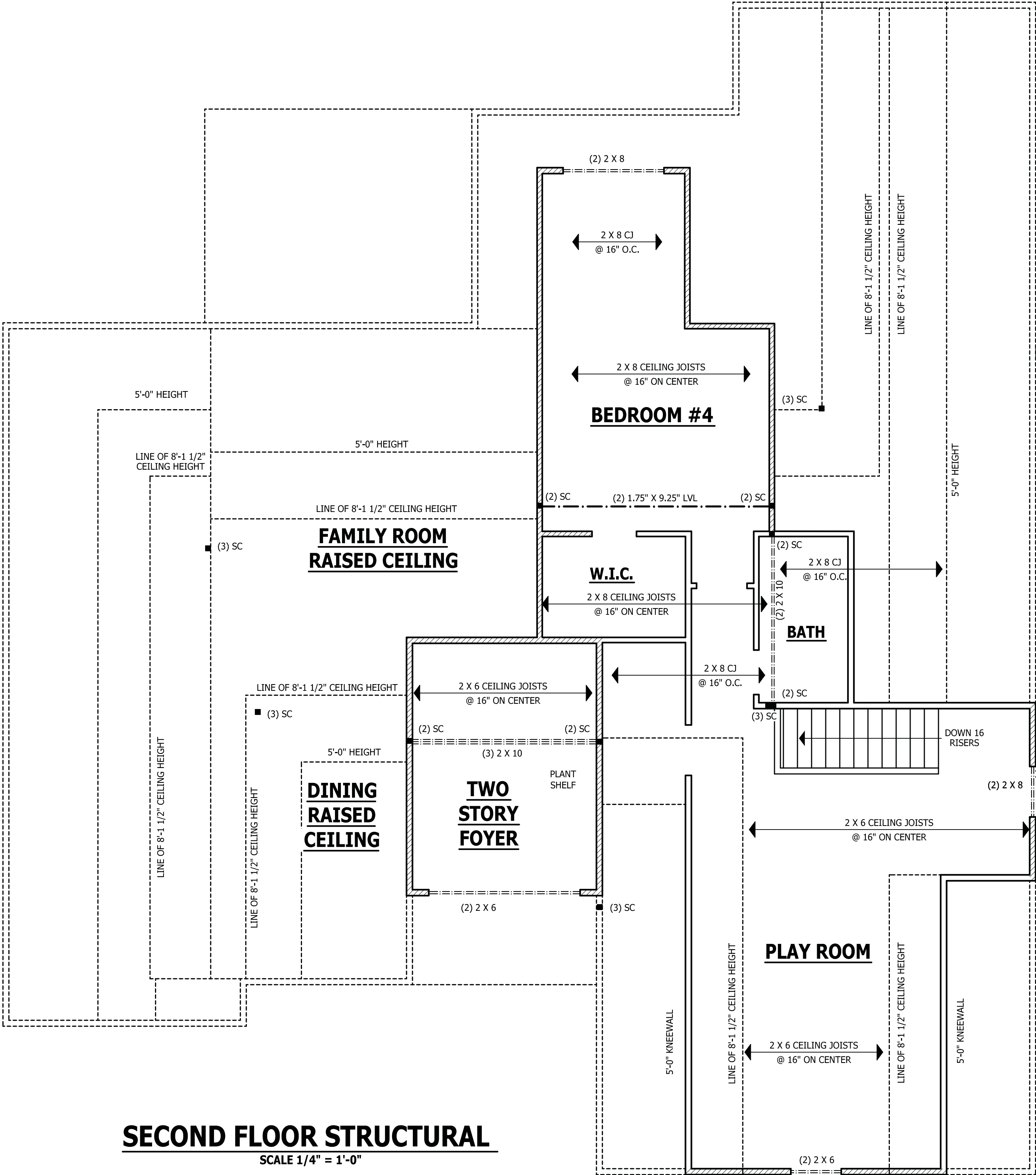
- KING STUDS EACH END PER TABLE BELOW

HEADER SPAN	< 3'	3'-4'	4'-8'	8'-12'	12'-16'
KING STUD(S)	1	2	3	5	6

INTERIOR HEADERS

**- LOAD BEARING HEADERS (2) 2 X 6 WITH
1 JACK STUD AND 1 KING STUD EACH END
UNLESS NOTED OTHERWISE**

UNLESS NOTED OTHERWISE
- NON LOAD BEARING HEADERS TO BE
LADDER FRAMED



**BRACING NOT SHOWN
ON UPPER STORY PER
R602.10.3.2 (5) & (6)**

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- (2) 2 X 6 WITH 1 JACK STUD EACH END UNLESS NOTED OTHERWISE
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- NON LOAD BEARING HEADERS TO BE LADDER FRAMED

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Install all connections per manufacturers instructions.

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ROOF SHEATHING: OSB or CDX roof sheathing minimum 3/8" thick for 16" on center rafters and 7/16" for 24" on center rafters.

CONCRETE AND SOILS: See foundation notes.

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SECOND FLOOR STRUCTURAL

Fletcher

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D E S I G N S

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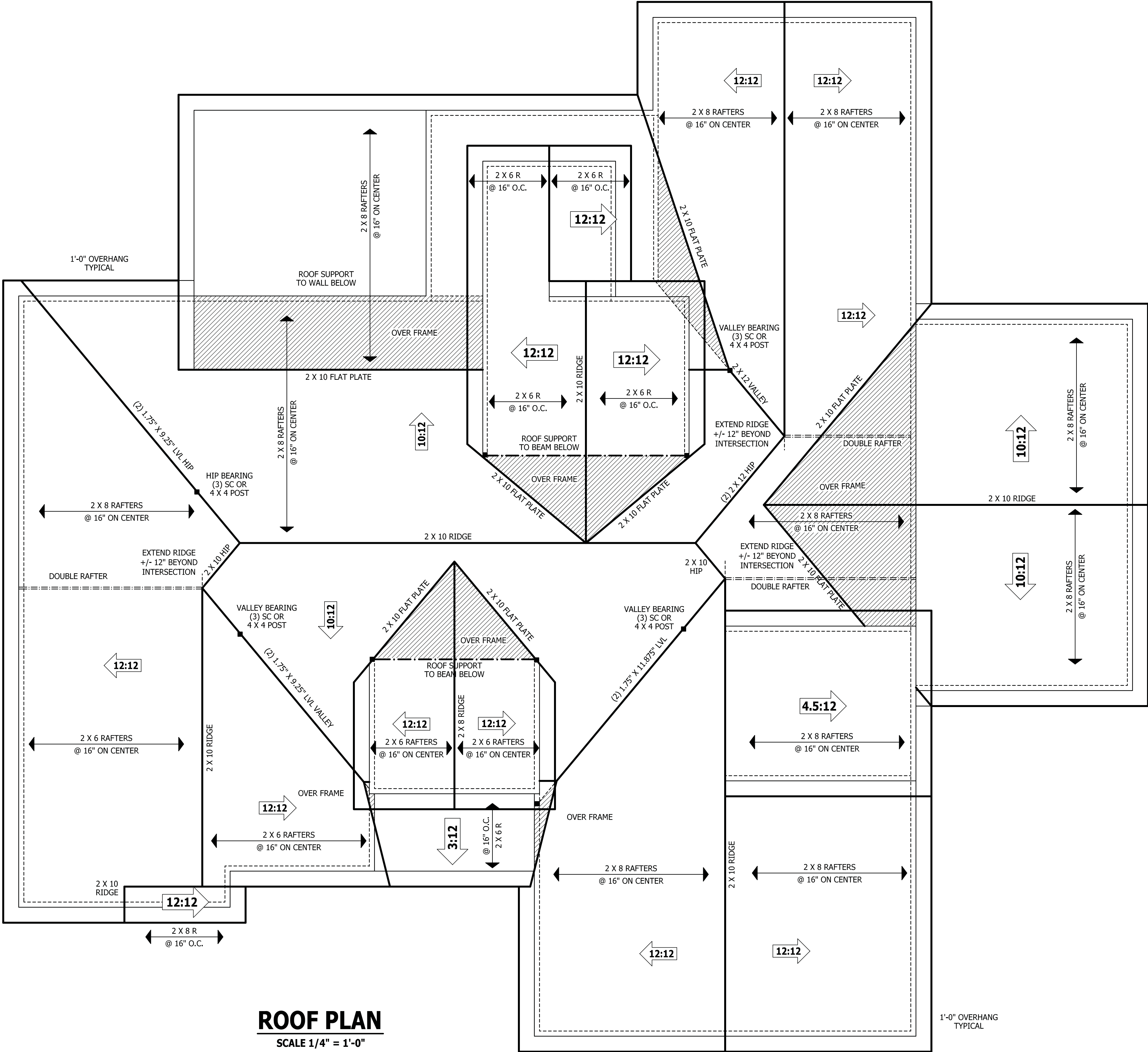
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ROOF PLAN
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