



SCALE: 1/8" = 1'-0"
 DRAWN BY: DMS

JOB #:
 DU 700 023 021
 CN #: 34606
 VN #: CU 189
 DATE:
 5/22/2023

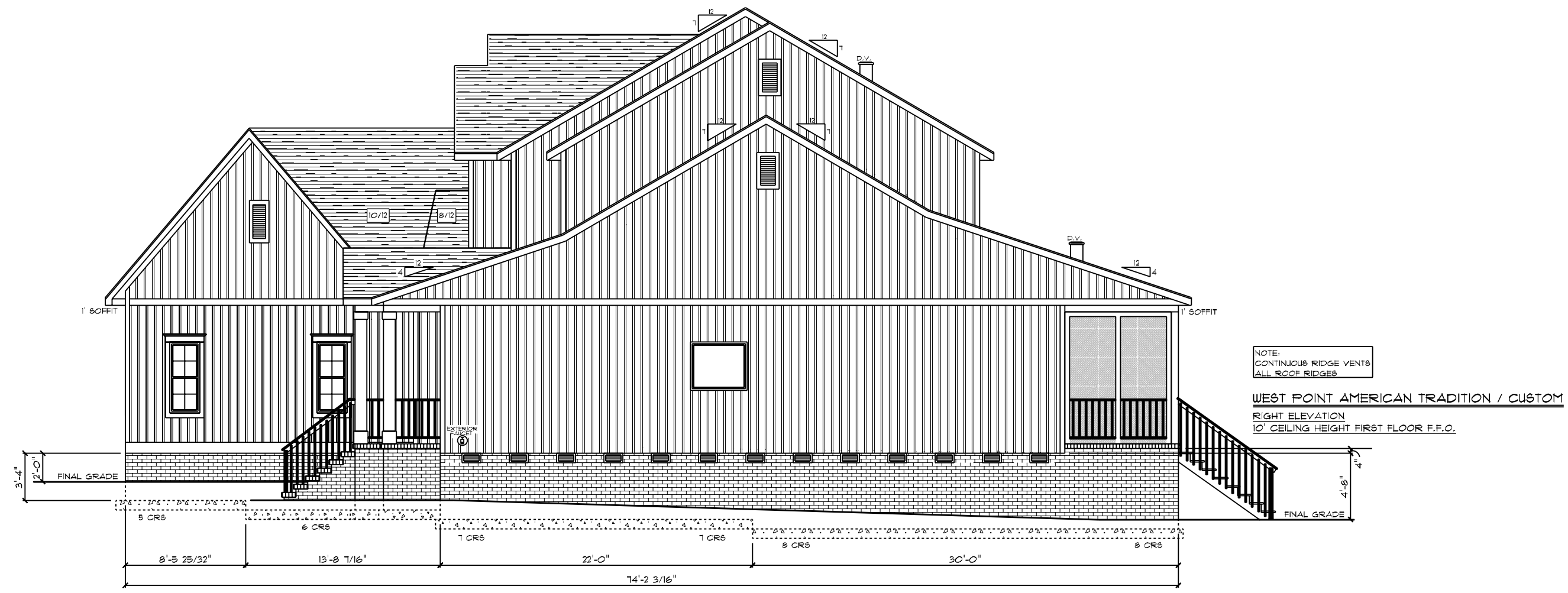
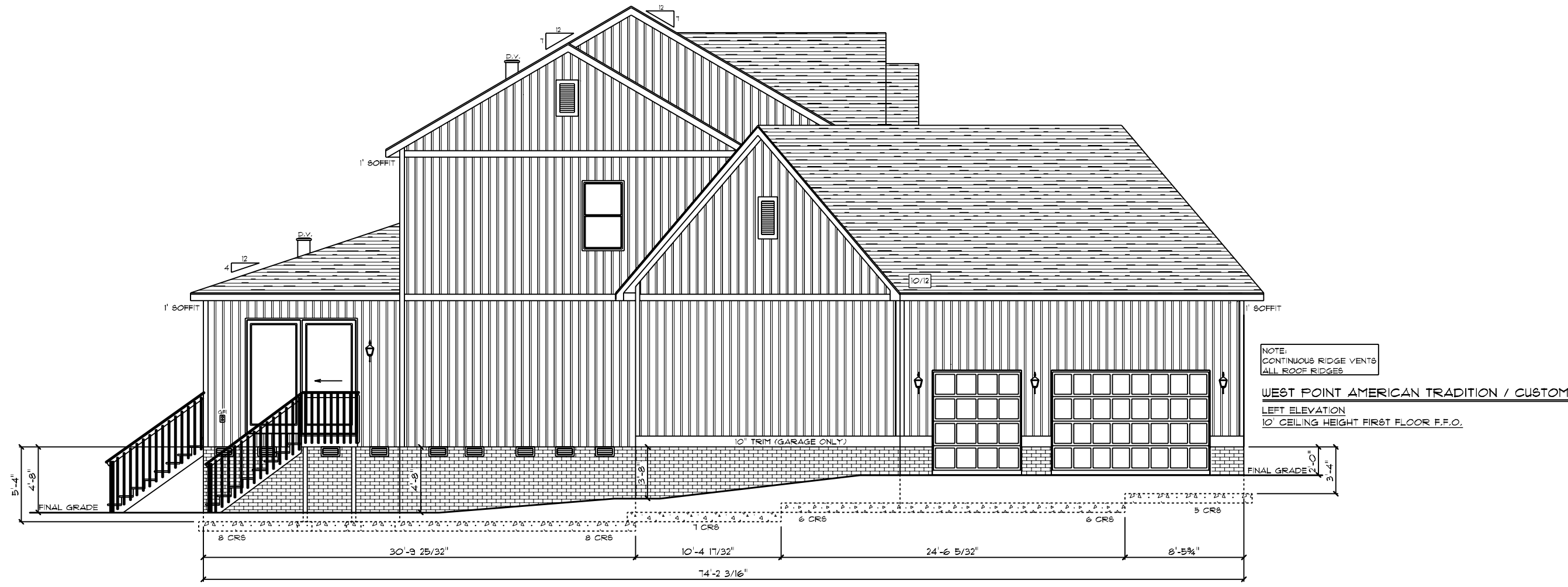
SQUARE FOOTAGES: 3956 SQFT
 1ST FLOOR: 2181 SQFT
 2ND FLOOR: 063 SQFT
 GREY AREA: 554 SQFT
 GARAGE: 314 SQFT
 FDN/CRAWL: 2181 SQFT
 PORCHES: 136 SQFT

CUSTOM BUILT FOR:
 JENNIFER AND ERIC CIA

LOCATION:
 561 COBB RD
 BENSON, NC, 27504
 HARNETT COUNTY

6815 Fayetteville Rd, Suite 204
 Durham, NC 27113
 Sales: (811) 267-3482
 Construction: (811) 544-00TT
 www.schumacherhomes.com

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SCALE: 1/8" = 1'-0"
 DRAWN BY: DMS
 EXAMINER NUMBER: 2
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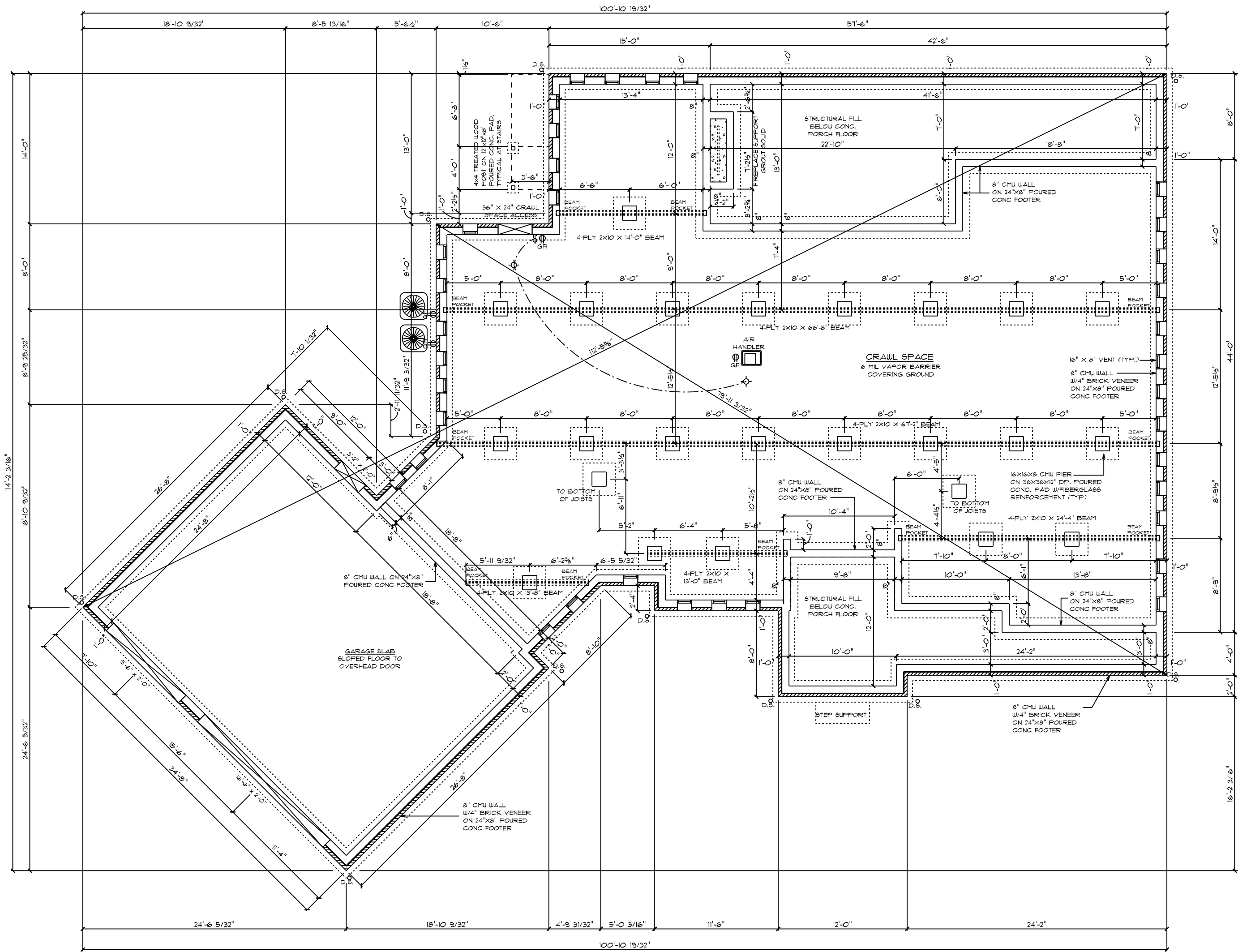
JOB #:
 DU 700 023 021
 CN # : 34606
 VN # : CU 189
 DATE:
 5/22/2023

SQUARE FOOTAGES: 3956 SQFT
 1ST FLOOR : 2181 SQFT
 2ND FLOOR : 063 SQFT
 OPEN AREA : 554 SQFT
 GARAGE : 314 SQFT
 PD/CRAIL : 2181 SQFT
 PORCHES : 136 SQFT

CUSTOM BUILT FOR:
 JENNIFER AND ERIC CUA
 LOCATION:
 561 COBB RD
 BENSON, NC, 27504
 HARNETT COUNTY

Raleigh/Durham, NC
 6815 Fayetteville Rd, Suite 204
 Durham, NC 27113
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Paul Schumacher
SCHUMACHER HOMES



FOUNDATION NOTES:

- BRICK VENEER ALL EXPOSED FOUNDATION
 - BOTTOM OF PIER PADS ELEVATION SHALL BE 2' BELOW BOTTOM OF GIRT, ROOFER ELEVATION.
 - CONCRETE 4 MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE FINISHED GRADE ADJACENT TO THE FOUNDATION A MIN. OF 4" WHERE MASONRY VENEER IS USED AND 6" MIN. ELSEWHERE.
 - ALL SILL, FLATS, OR BAND JOISTS THAT REST ON OR IN CONTACT WITH CONCRETE OR MASONRY EXTERIOR WALLS SHALL REQUIRE THE USE OF PRESSURE PRESERVATIVE TREATMENT.
- PIERS:**
- THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED 10 TIMES THEIR LEAST DIMENSION. WHEN HOLLOW CONCRETE MASONRY UNITS ARE USED FOR ISOLATED PIERS TO SUPPORT BEAMS AND GIRDERS, THE CELLULAR SPACES SHALL BE FILLED SOLIDLY WITH CONCRETE.

CRAWL SPACE VENT CALCULATIONS:

TOTAL CRAWL SPACE AREA: 2781
 8"x8" VENT = 28 SQ. IN. = 0.83 SQ. FT.
 ASSUMED NET FREE AREA = 0.83 SQ. FT. PER VENT
 TOTAL SQ. FT. VENTILATION NEEDED:
 2781 / 0.83 = 3339
 18.98 / 0.83 = 36 TOTAL VENTS.

GENERAL ELECTRICAL NOTES:

- GFI'S REQUIRED IN CRAWL SPACE * ACCESS PANEL AND * AIR HANDLER/FURNACE
- LIGHTS TO BE WITHIN 6' OF ACCESS PANEL AND * AIR HANDLER/FURNACE
- WIRE AIR HANDLER/FURNACE
- ELECTRICAL PANEL TO BE GROUNDED TO THE OUTSIDE

WIRE DEDICATED CIRCUIT FOR SEPTIC

WEST POINT AMERICAN TRADITION / CUSTOM FOUNDATION PLAN

SCALE: 1/8" = 1'-0"
 DRAWN BY: DMS
 EXAMINER NUMBER: 3
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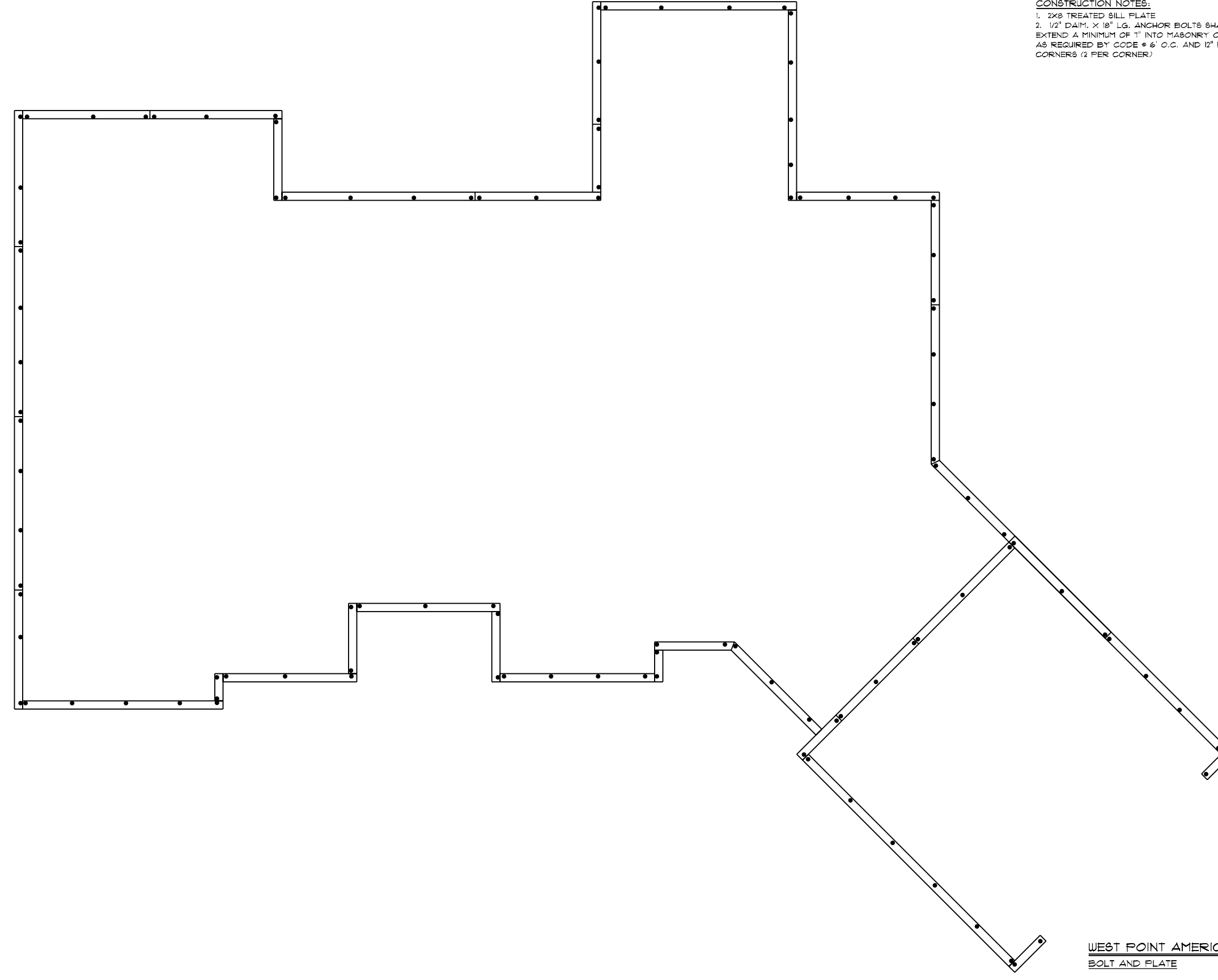
JOB #:
 DU 700 023 0017
 CN #: 34506
 VN #: CU 189
 DATE: 5/22/2023

SQUARE FOOTAGES: 3856 SQFT
 1ST FLOOR: 2781 SQFT
 2ND FLOOR: 063 SQFT
 OPEN AREA: 554 SQFT
 GARAGE: 314 SQFT
 FDN/CRAWL: 2781 SQFT
 PORCHES: 136 SQFT

CUSTOM BUILT FOR:
 JENNIFER AND ERIC CUA
 LOCATION:
 561 COBB RID
 BENSON, NC, 27504
 HARNETT COUNTY


Raleigh/Durham, NC
 6815 Fayetteville Rd, Suite 204
 Durham, NC 27113
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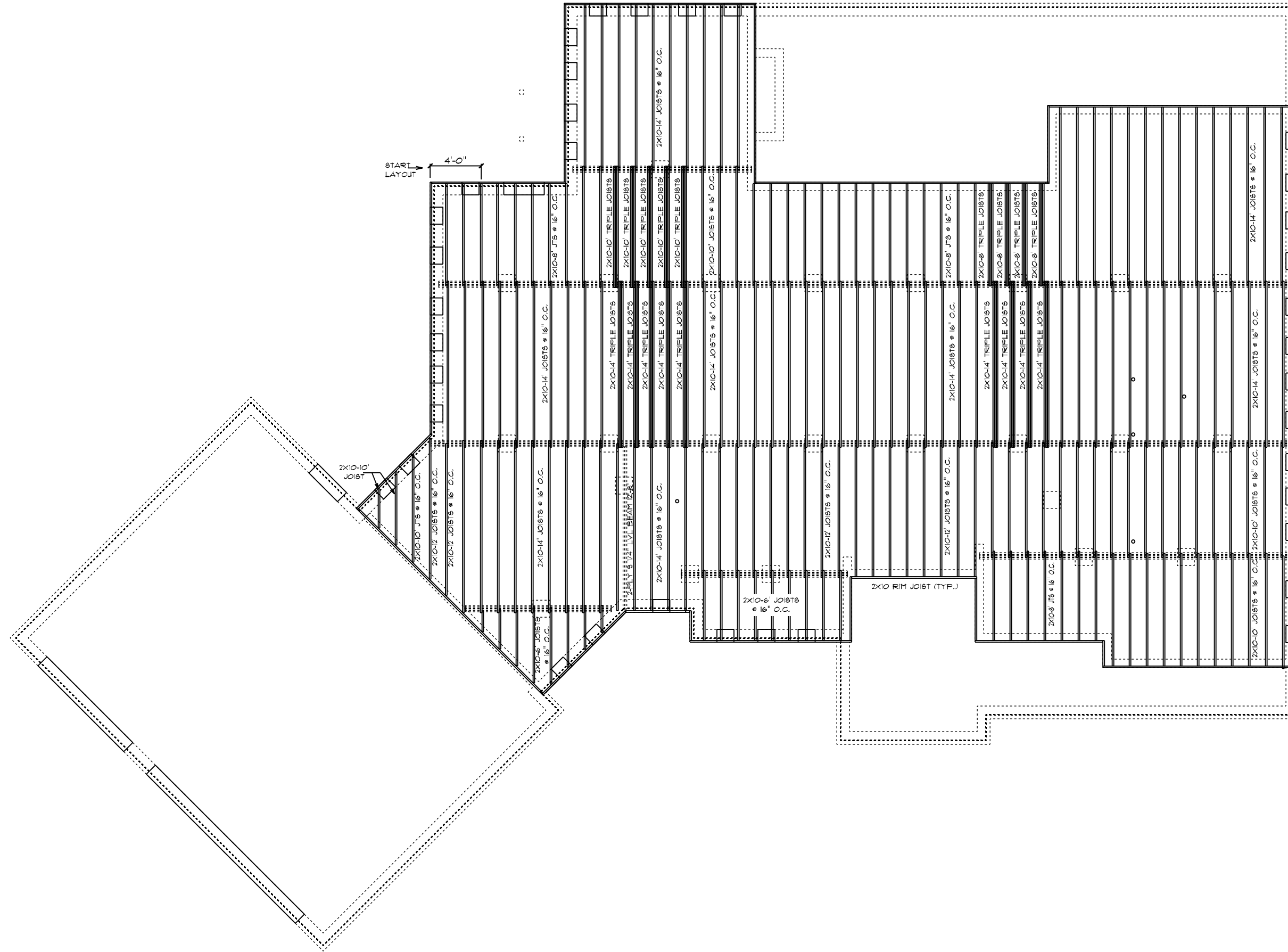




CONSTRUCTION NOTES:
 1. 2x6 TREATED BILT PLATE
 2. 1/2" DIA. X 8" LG. ANCHOR BOLTS SHALL
 EXTEND A MINIMUM OF 1" INTO MASONRY OR CONCRETE
 AS REQUIRED BY CODE # 6 O.C. AND 12" FROM ALL
 CORNERS (2 PER CORNER)

WEST POINT AMERICAN TRADITION / CUSTOM
 BOLT AND PLATE

 SCHUMACHER HOMES	Raleigh/Durham, NC 6815 Fayetteville Rd, Suite 204 Durham, NC 27113 Sales: (811) 267-3482 Construction: (811) 544-0011 www.schumacherhomes.com	CUSTOM BUILT FOR: JENNIFER AND ERIC CUA LOCATION: 561 COBB RD BENSON, NC, 27504 HARNETT COUNTY	SQUARE FOOTAGES: 3956 SQFT 1ST FLOOR: 2181 SQFT 2ND FLOOR: 063 SQFT OPEN AREA: 554 SQFT GARAGE: 314 SQFT PDN/CRAIL: 2181 SQFT PORCHES: 136 SQFT	JOB #: DU 700 023 0211 CN #: 34606 VN #: CU 189 DATE: 5/22/2023	SCALE: 1/8" = 1'-0" DRAIN BY: DMS DRAWING NUMBER: 4
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- FRAMING NOTES:
1. LEAVE 1/2" BETWEEN EACH END JOIST & RIM JOIST TO ALLOW FOR INSULATION.
 2. INSULATE ALL FRAMED CHANNELS & CORNERS, ALSO, BEHIND EACH TUB AND SHOWER UNIT.
 3. INSTALL FIREBLOCK FRAMING IN ALL STAIRWAY CEILINGS.
 4. INSTALL ALL TRUSSES, JOISTS, LVS & BEAMS PER MANUFACTURER SPECIFICATIONS AND LAY OUTS. DO NOT CUT, NOTCH OR SCORE WITHOUT EXACT SPECIFICATIONS.
 5. ALL FRAMING TO BE SOUTHERN YELLOW PINE NO. 1 OR GREATER UNLESS NOTED OTHERWISE.
 6. DOUBLE JOISTS SHOULD BE LOCATED UNDER ALL PARTITIONS UNLESS THE LENGTH OF THE PARTITION EXCEEDS 1/2 THE SPAN OF THE JOIST.

WEST POINT AMERICAN TRADITION / CUSTOM
 FIRST FLOOR JOIST PLAN

SCALE: 1/8" = 1'-0"
 DRAWN BY: DMS
 EXAMINING NUMBER: 5
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JOB #:
 DU 700 023 021
 CN # : 34606
 VN # : CU 189
 DATE:
 5/22/2023

SQUARE FOOTAGES: 3956 SQFT
 1ST FLOOR : 2181 SQFT
 2ND FLOOR : 063 SQFT
 OPEN AREA : 554 SQFT
 GARAGE : 314 SQFT
 PDN/CRAIL : 2181 SQFT
 PORCHES : 136 SQFT

CUSTOM BUILT FOR:
 JENNIFER AND ERIC CUA
 LOCATION:
 561 COBB RD
 BENSON, NC, 21504
 HARRNETT COUNTY

Raleigh/Durham, NC
 6815 Fayetteville Rd, Suite 204
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RESUMING NUMBER: 6
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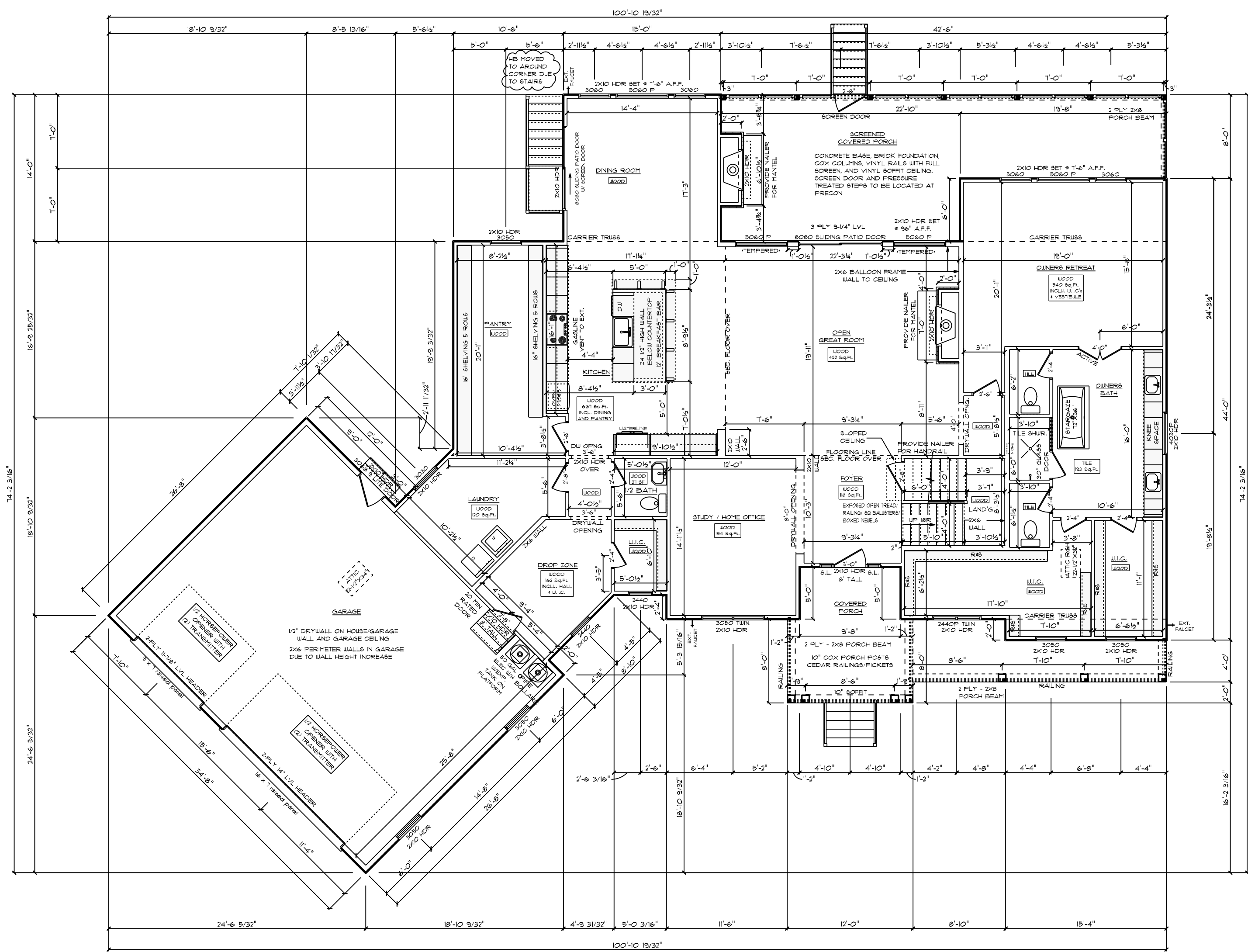
JOB #:
 DU 700 023 0317
 CN #: 345026
 YN #: CU 189
 DATE: 5/22/2023

SQUARE FOOTAGES: 3956 SQFT
 1ST FLOOR: 4,787 SQFT
 2ND FLOOR: 263 SQFT
 OPEN AREA: 554 SQFT
 GARAGE: 314 SQFT
 FDN/CRAIL: 2781 SQFT
 PORCHES: 136 SQFT

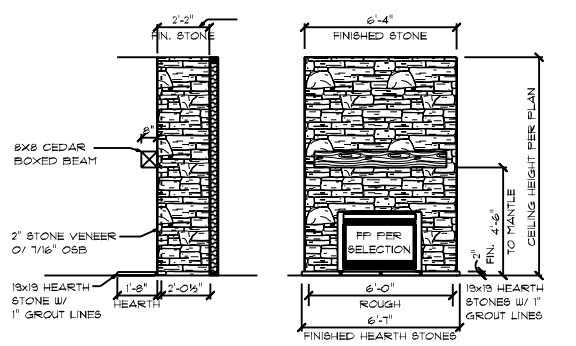
CUSTOM BUILT FOR:
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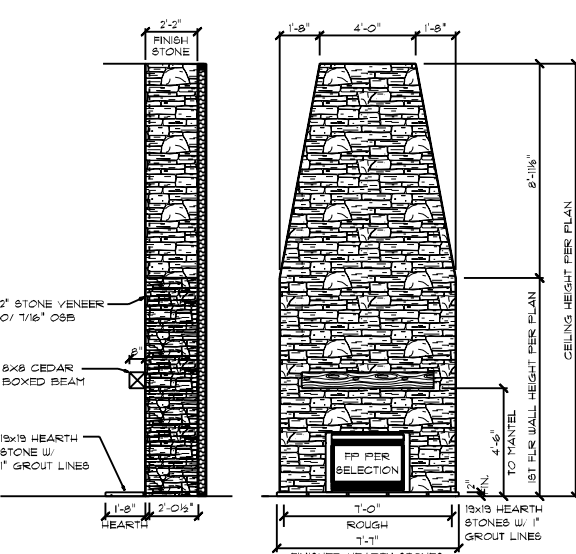
Rachel Schumacher
SCHUMACHER HOMES



GENERAL FRAMING NOTES:
 DRYWALLED OPENINGS TO BE 8'-0" HEIGHT, UNLESS OTHERWISE NOTED
 HEADERS TO BE 2X10 W/ (1) KING & (2) JACK STUDS UNLESS OTHERWISE NOTED
 ALL LVL CARRIER TRUSSES AND BEAMS TO HAVE A MIN OF (2) KING & (2) JACK STUDS, UNLESS NOTED OTHERWISE
PLAN NOTES:
 SMOOTH CEILINGS THROUGHOUT HOME
 PAINTED MODERN FARMHOUSE TRIM
 3/4" BASEBOARD ON FIRST FLOOR ONLY
 5/8" BASEBOARDS ON SECOND FLOOR
 3/4" CASING ON INTERIOR DOORS
 WINDOWS HAVE DRYWALLED RETURNS
 INTERIOR DOORS TO BE 8" TALL SOLID CORE PER SELECTION
 SILVERLINE LOW-E VINYL WINDOWS W/ SOLAR GLAZING
FLOORING NOTES:
 ALL FLOORING BREAKS OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS OTHERWISE NOTED
 FLOORING SQUARE FOOTAGES INCLUDE CLOSETS RELATIVE TO THE AREA UNLESS OTHERWISE NOTED
 SOME FLOORING SQUARE FOOTAGES MAY INCLUDE HALLS OR AREAS THAT CONNECT WITH-OUT WALL SEPARATION IF THE SAME FINISH IS CONTINUED
ADDITIONAL NOTES:
 PROVIDE AIR BARRIER/THERMO-PLY AT INSULATED VERTICAL WALLS BETWEEN HEATED AND UNHEATED AREAS.

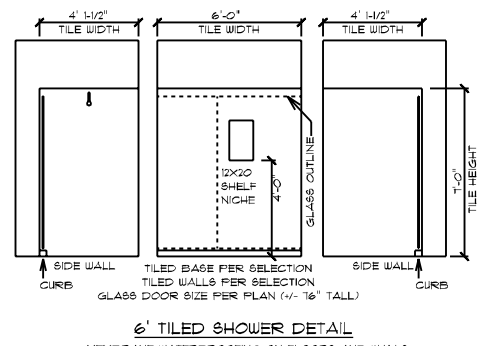


36" DV FIREPLACE DETAIL (COTTAGEWOOD)
 LOCATED IN SCREENED PORCH
 R.C. 36" X 34" X 19-9/16" D
 FF UNIT ONLY SET ON A 2ND LAYER OF 3/4" OSB
 2" STONE VENEER TO CEILING
 BOXED MANTEL PER SELECTION

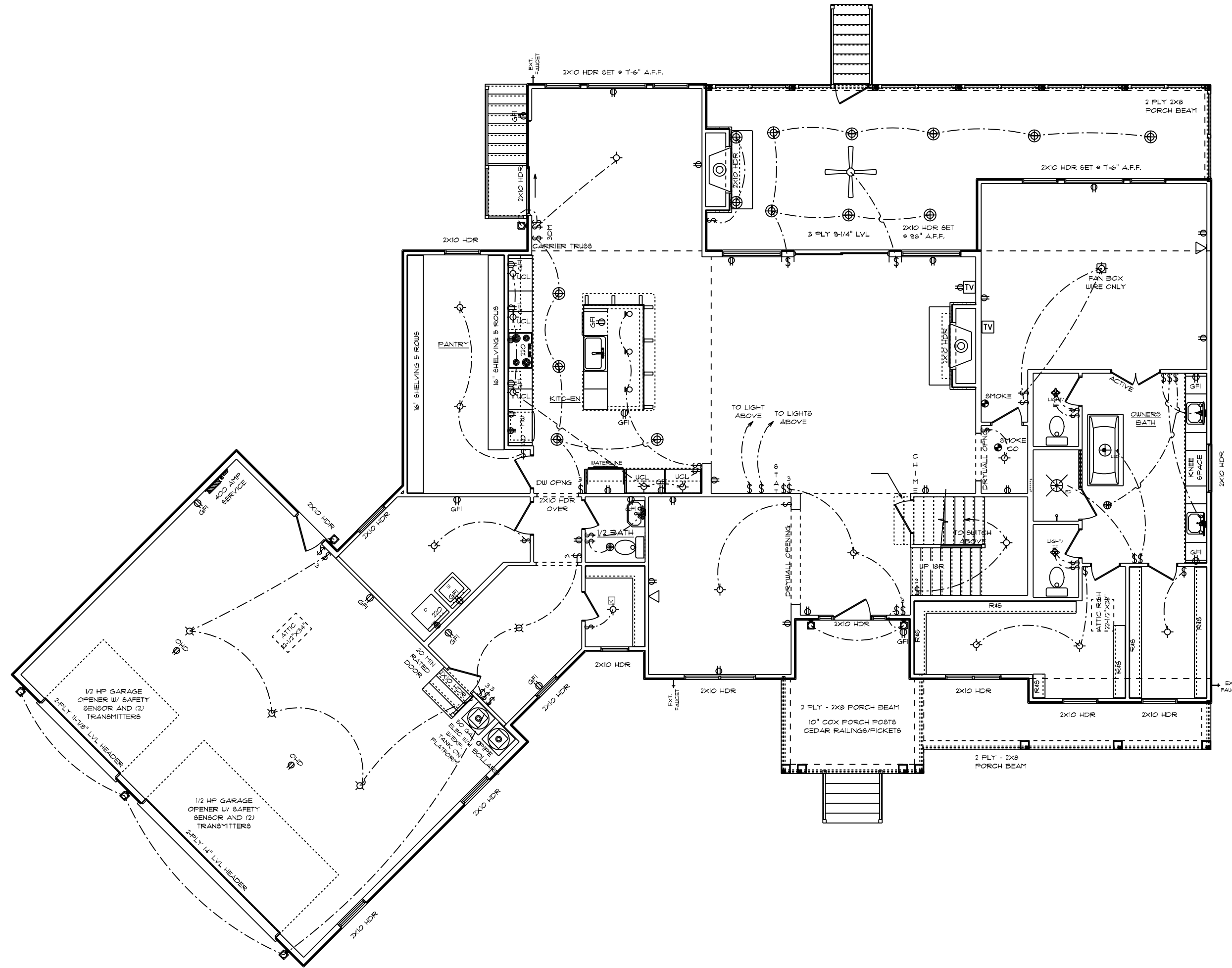


42" DV FIREPLACE DETAIL (NNXT36-1FT)
 LOCATED IN GREAT ROOM
 R.C. 42" X 34" X 19-9/16" D
 FF UNIT ONLY SET ON A 2ND LAYER OF 3/4" OSB
 2" STONE VENEER TO CEILING
 BOXED MANTEL PER SELECTION

WEST POINT AMERICAN TRADITION / CUSTOM
 FIRST FLOOR PLAN
 10' CEILING HEIGHT



6" TILED SHOWER DETAIL
 TEMPERATE WATERPROOFING ON FLOORS AND WALLS



ELECTRICAL NOTES:

- ALL SMOKE DETECTORS TO BE INTER CONNECTED WITH BATTERY BACKUP
- ARC FAULT PROTECTION PER CODE
- GARAGE DOOR LOW VOLTAGE WIRING BY ELECTRICIAN
- TWO SEPARATE KITCHEN GENERAL ELECTRIC OUTLET CIRCUITS FED BY NUMBER 12 WIRE & ON 20 AMP BREAKERS REQUIRED IN KITCHEN
- ALL OUTLETS INSTALLED IN BATHROOMS, GARAGES, & UNFINISHED BASEMENTS SHALL HAVE GFCI PROTECTION ALONG WITH OUTLETS LOCATED W/IN 6'-0" OF LAUNDRY UTILITY, & WET BAR SINKS & ALL OUTLETS SERVING KITCHEN COUNTER TOP SURFACES.
- PROGRAMMABLE THERMOSTAT STANDARD
- CO DETECTORS STANDARD
- (1) DUAL SENSOR (PHOTOELECTRIC & IONIZATION) SMOKE DETECTOR PER FLOOR. ALL OTHER SMOKE DETECTORS TO BE EITHER PHOTOELECTRIC OR IONIZATION TYPE DEVICES
- LED LIGHT BULBS FOR ALL HANGING FIXTURES
- MOUNTING HEIGHTS
 - VANITY LIGHTS: 80" AFF
 - WALL SCONCES: 66" AFF
 - PENDANT LIGHTS: 66" AFF
 - CHANDELIERS TO 81" OF FIXTURE
 - FOYER 9' CEILING: 84"
 - DINING ROOM: 80"
- ELECTRICAL ITEMS SHOWN FOR REFERENCE ONLY. THE ELECTRICIAN WILL LAYOUT THE HOUSE PER CODE AND MAY VARY FROM ELECTRICAL PLAN.

WEST POINT AMERICAN TRADITION / CUSTOM
 FIRST FLOOR PLAN
 10' CEILING HEIGHT
 ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"
 DRAWN BY: DMS
 DESIGN NUMBER: 1
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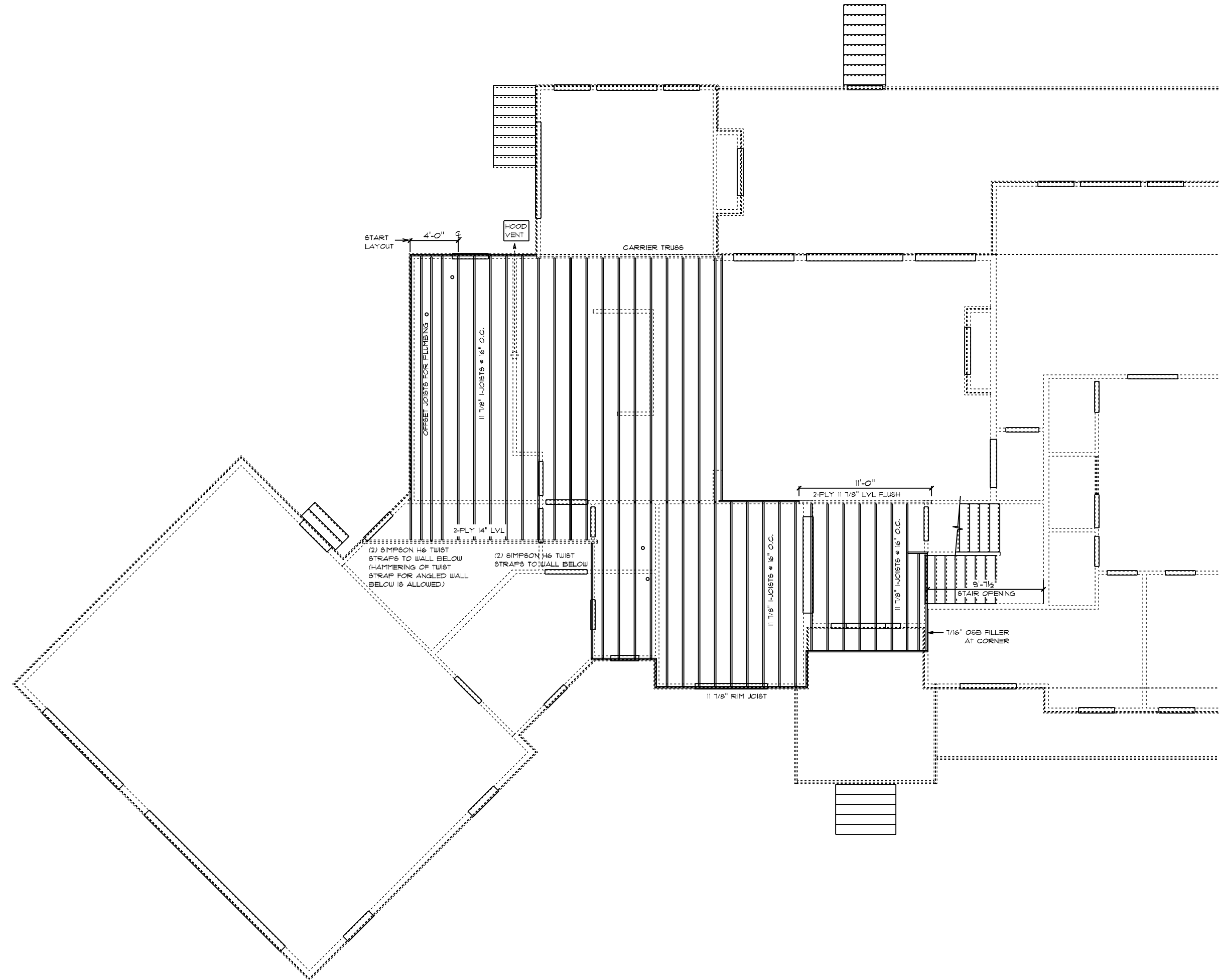
JOB #:
 DU 700 023 0217
 CN #: 34606
 YN #: CU 189
 DATE:
 5/22/2023

SQUARE FOOTAGES: 3856 SQFT
 1ST FLOOR: 1781 SQFT
 2ND FLOOR: 063 SQFT
 OPEN AREA: 554 SQFT
 GARAGE: 94 SQFT
 PDN/CRAWL: 2181 SQFT
 PORCHES: 136 SQFT

CUSTOM BUILT FOR:
 JENNIFER AND ERIC CIA
 LOCATION:
 561 COBB RID
 BENSON, NC, 27504
 HARRNETT COUNTY

Raleigh/Durham, NC
 6815 Fayetteville Rd, Suite 204
 Durham, NC 27113
 Sales: (811) 267-3482
 Construction: (811) 544-00TT
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- FRAMING NOTES:**
1. LEAVE 1/2" BETWEEN EACH END JOIST & RIM JOIST TO ALLOW FOR INSULATION.
 2. INSULATE ALL FRAMED CHANNELS & CORNERS, ALSO, BEHIND EACH TUB AND SHOWER UNIT.
 3. INSTALL PREBLOCK FRAMING IN ALL STAIRWAY CEILINGS.
 4. INSTALL ALL TRUSSES, JOISTS, LVLS AND BEAMS PER MANUFACTURER SPECIFICATIONS AND LAY OUTS. DO NOT CUT, NOTCH OR SCORE WITHOUT EXACT SPECIFICATIONS.
 5. ALL FRAMING TO BE SOUTHERN YELLOW PINE NO. 1 OR GREATER UNLESS NOTED OTHERWISE.
 6. DOUBLE JOISTS SHOULD BE LOCATED UNDER ALL PARTITIONS UNLESS THE LENGTH OF THE PARTITION EXCEEDS 1/2 THE SPAN OF THE JOIST.

WEST POINT AMERICAN TRADITION / CUSTOM
 SECOND FLOOR JOIST PLAN

SCALE: 1/8" = 1'-0"
 DRAWN BY: DMS
 EXAMINING NUMBER: 8
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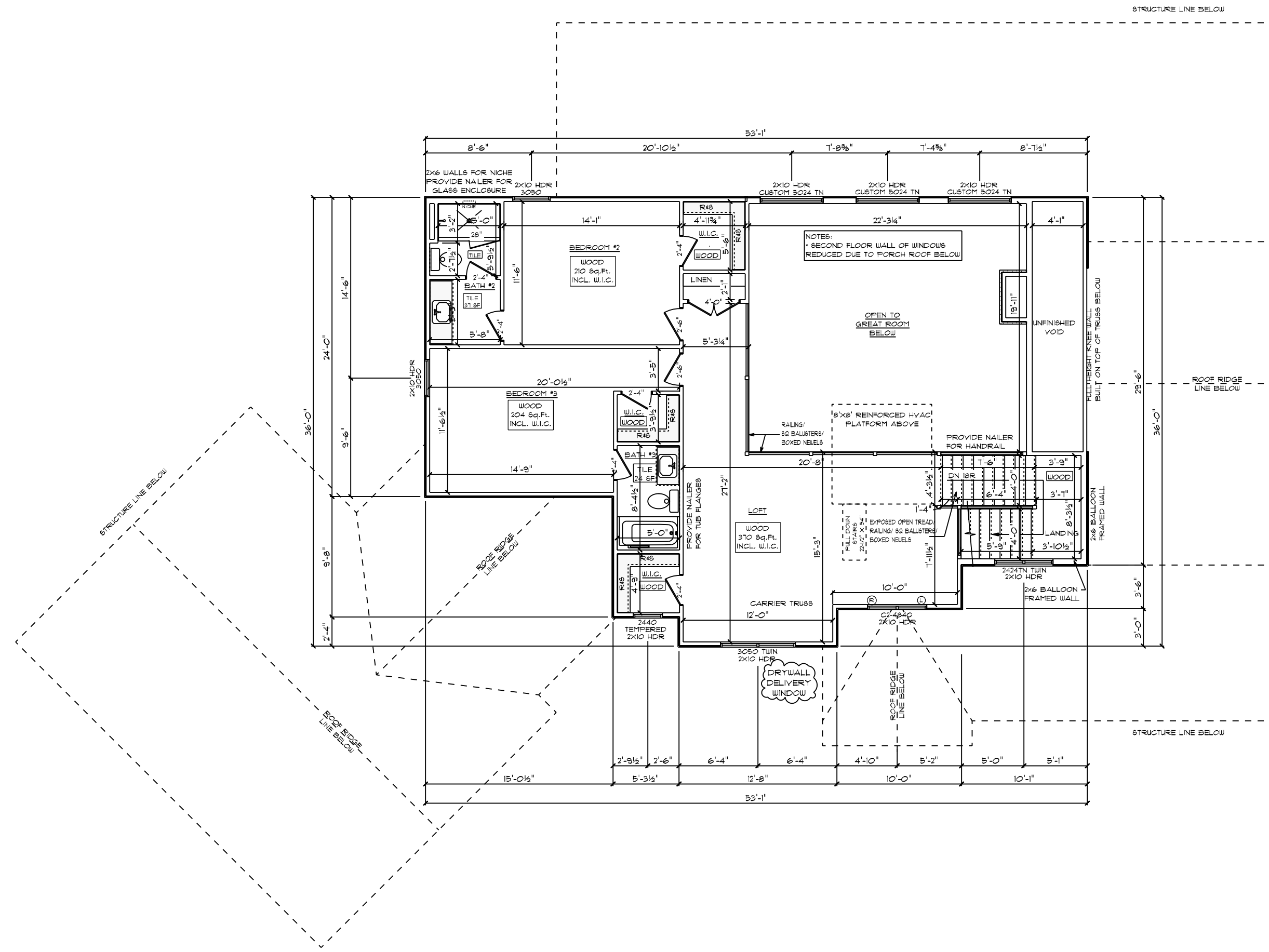
JOB #:
 DU 700 023 021
 CN #: 34606
 VN #: CU 189
 DATE:
 5/22/2023

SQUARE FOOTAGES: 3956 SQFT
 1ST FLOOR: 2181 SQFT
 2ND FLOOR: 063 SQFT
 OPEN AREA: 554 SQFT
 GARAGE: 94 SQFT
 PDN/CRAIL: 2181 SQFT
 PORCHES: 136 SQFT

CUSTOM BUILT FOR:
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 HARRNETT COUNTY

Raleigh/Durham, NC
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 www.schumacherhomes.com

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SCHUMACHER HOMES



GENERAL FRAMING NOTES:

- DRYWALLED OPENINGS TO BE 8'-0" HEIGHT, UNLESS OTHERWISE NOTED
- HEADERS TO BE 2-PLY 2X10 W/ (1) KING 4 (2) JACK STUDS UNLESS OTHERWISE NOTED
- ALL LVL, CARRIER TRUSSES AND BEAMS TO HAVE A MIN OR (2) KING 4 (2) JACK STUDS UNLESS NOTED OTHERWISE

PLAN NOTES:

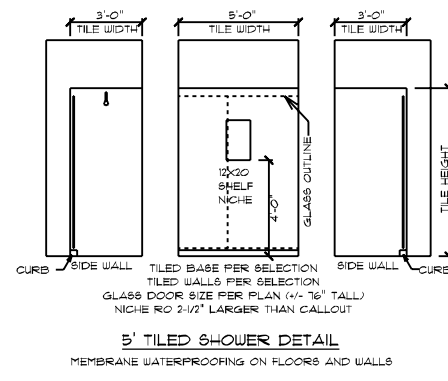
- SMOOTH CEILINGS THROUGHOUT HOME
- PAINTED MODERN FARMHOUSE TRIM
- 1/4" BASEBOARD ON FIRST FLOOR ONLY
- 5/8" BASEBOARDS ON SECOND FLOOR
- 3/4" CASING ON INTERIOR DOORS
- WINDOWS HAVE DRYWALLED RETURNS
- INTERIOR DOORS TO BE 8" TALL, SOLID CORE, PER SELECTION
- SILVERLINE LOW-E VINYL WINDOWS W/ SOLAR GLAZING

FLOORING NOTES:

- ALL FLOORING BREAKS OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS OTHERWISE NOTED
- FLOORING SQUARE FOOTAGES INCLUDE CLOSETS RELATIVE TO THE AREA UNLESS OTHERWISE NOTED
- SOME FLOORING SQUARE FOOTAGES MAY INCLUDE HALLS OR AREAS THAT CONNECT WITHOUT WALL SEPARATION IF THE SAME FINISH IS CONTINUED

ADDITIONAL NOTES:

- PROVIDE AIR BARRIER/THERMOPLY AT INSULATED VERTICAL WALLS BETWEEN HEATED AND UNHEATED AREAS.



WEST POINT AMERICAN TRADITION / CUSTOM
 SECOND FLOOR PLAN
 9' CEILING HEIGHT

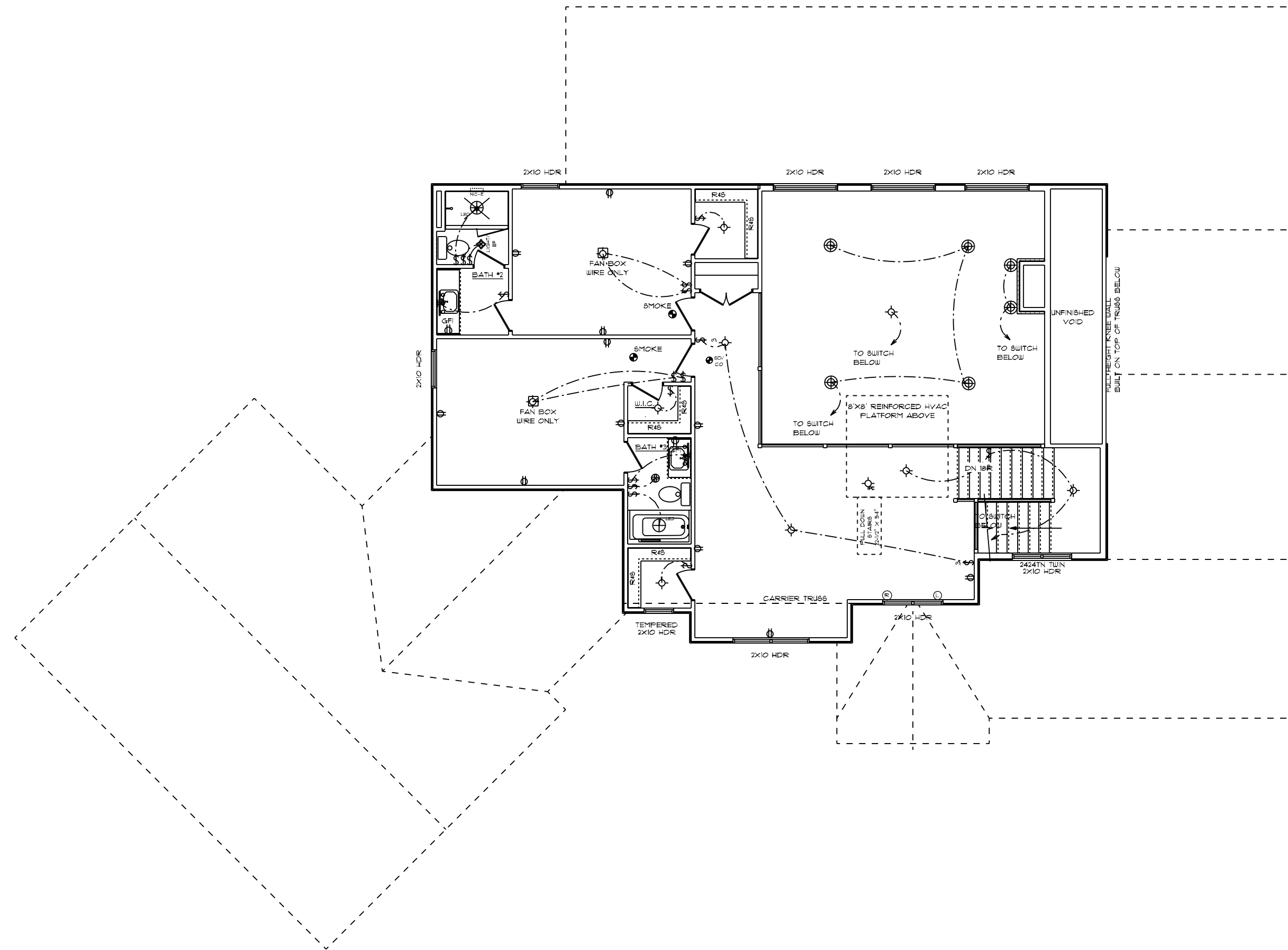
SCALE: 1/8" = 1'-0"
 DRAWN BY: DMS
 EXAMINER NUMBER: 9
 JOB #:
 DU 700 023 0317
 CN #: 34606
 YN #: CU 189
 DATE: 5/22/2023

SQUARE FOOTAGES: 3956 SQFT
 1ST FLOOR: 4787 SQFT
 2ND FLOOR: 063 SQFT
 OPEN AREA: 554 SQFT
 GARAGE: 314 SQFT
 PDN/CRAIL: 2781 SQFT
 PORCHES: 136 SQFT

CUSTOM BUILT FOR:
 JENNIFER AND ERIC CUA
 LOCATION:
 561 COBB RID
 BENSON, NC, 27504
 HARNETT COUNTY

Raleigh/Durham, NC
 6815 Fayetteville Rd, Suite 204
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 www.schumacherhomes.com

Royal Schumacher
 SCHUMACHER HOMES



ELECTRICAL NOTES:

- * ALL SMOKE DETECTORS TO BE INTER CONNECTED WITH BATTERY BACKUP
- * ARC FAULT PROTECTION PER CODE
- * GARAGE DOOR LOW VOLTAGE WIRING BY ELECTRICIAN
- * TWO SEPARATE KITCHEN GENERAL ELECTRIC OUTLET CIRCUITS FED BY NUMBER 12 WIRE 4 ON 20 AMP BREAKERS REQUIRED IN KITCHEN
- * ALL OUTLETS INSTALLED IN BATHROOMS, GARAGES, & UNFINISHED BASEMENTS SHALL HAVE GFCI PROTECTION ALONG WITH OUTLETS LOCATED W/IN 6'-0" OF LAUNDRY UTILITY, & LET BAR SINKS & ALL OUTLETS SERVING KITCHEN COUNTER TOP SURFACES.
- * PROGRAMMABLE THERMOSTAT STANDARD
- * CO DETECTORS STANDARD
- * (1) DUAL SENSOR (PHOTOELECTRIC & IONIZATION) SMOKE DETECTOR PER FLOOR. ALL OTHER SMOKE DETECTORS TO BE EITHER PHOTOELECTRIC OR IONIZATION TYPE DEVICES
- * LED LIGHT BULBS FOR ALL HANGING FIXTURES
- * MOUNTING HEIGHTS
 - * VANITY LIGHTS: 80" AFF
 - * WALL SCENES: 66" AFF
 - * PENDANT LIGHTS: 66" AFF
 - * CHANDELIERS (TO BTH OF FIXTURE)
 - * FOYER & CEILING: 84"
 - * FOYER OVER 3' CLG: 90"
 - * DINING ROOM: 60"
- * ELECTRICAL ITEMS SHOWN FOR REFERENCE ONLY. THE ELECTRICIAN WILL LAYOUT THE HOUSE PER CODE AND MAY VARY FROM ELECTRICAL PLAN.

WEST POINT AMERICAN TRADITION / CUSTOM
 SECOND FLOOR PLAN
 3' CEILING HEIGHT
 ELECTRICAL PLAN

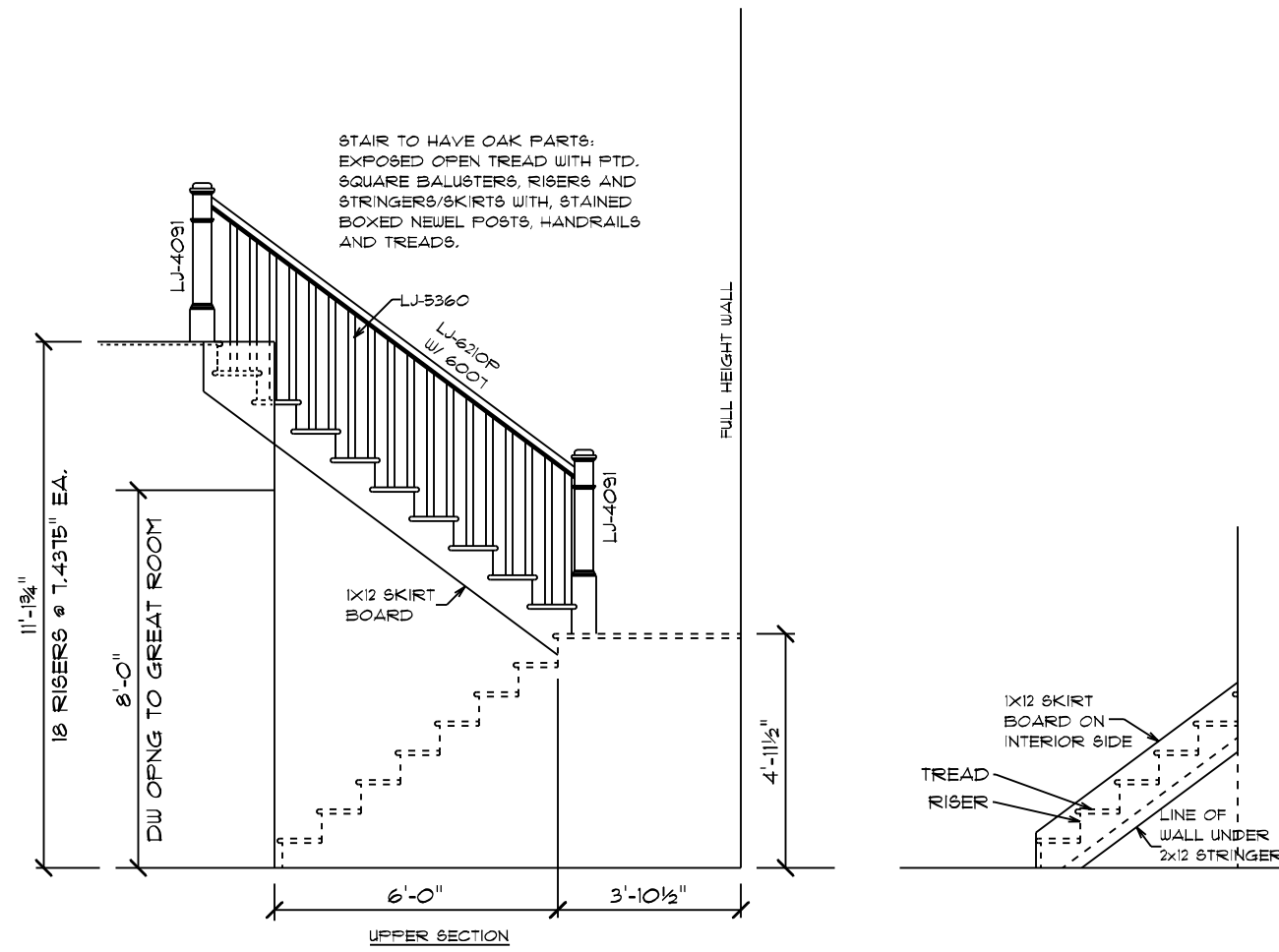
SCALE: 1/8" = 1'-0"
 DRAWN BY: DMS
 EXAMINING NUMBER: 10
 JOB #:
 DU 700 023 0217
 CN #: 346206
 YN #: CU 189
 DATE: 5/22/2023

SQUARE FOOTAGES: 3856 SQFT
 1ST FLOOR: 2787 SQFT
 2ND FLOOR: 063 SQFT
 OPEN AREA: 554 SQFT
 GARAGE: 314 SQFT
 PORCH/PAV: 2787 SQFT
 PORCHES: 136 SQFT

CUSTOM BUILT FOR:
 JENNIFER AND ERIC CIA
 LOCATION:
 561 COBB RD
 BENSON, NC, 27504
 HARNETT COUNTY

Raleigh/Durham, NC
 6815 Fayetteville Rd, Suite 204
 Durham, NC 27113
 Sales: (811) 267-3482
 Construction: (811) 544-0011
 www.schumacherhomes.com

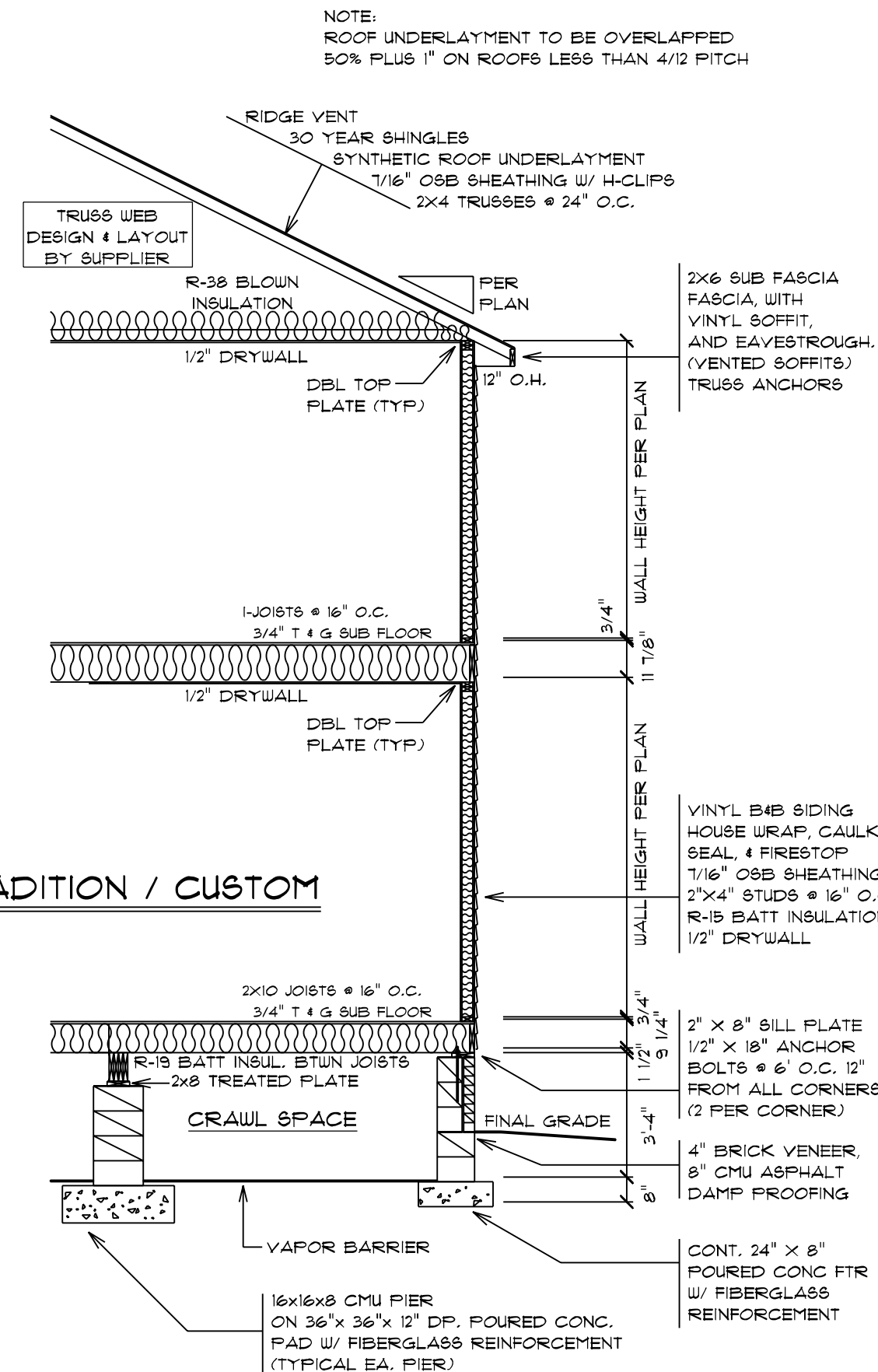




OPEN STAIR DETAIL

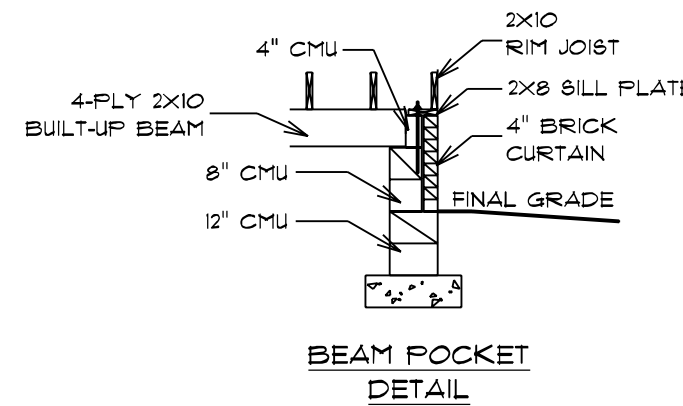
1/4" = 1'-0"

- CODE REFERENCES:
 1. OPENINGS BETWEEN RAILING SHALL NOT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER
 2. MIN. HANDRAIL BETWEEN 34" AND 38"
 3. 1 3/4" MAX RISE, 10" MIN TREAD



WEST POINT AMERICAN TRADITION / CUSTOM

TYPICAL WALL SECTION
 1/4" = 1'-0"



SCHUMACHER HOMES
 Raleigh/Durham, NC
 6815 Fayetteville Rd, Suite 204
 Durham, NC 27713
 Sales: (877) 267-3492
 Construction: (877) 544-0077
 www.schumacherhomes.com

WEST POINT AMERICAN TRADITION
 FINAL DRAWINGS APPROVED: 05-19-23
 REVISED: 00-00-00

SCALE: 1/4" = 1'-0"

DRAWN BY: DMS

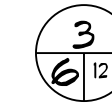
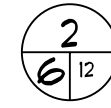
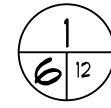
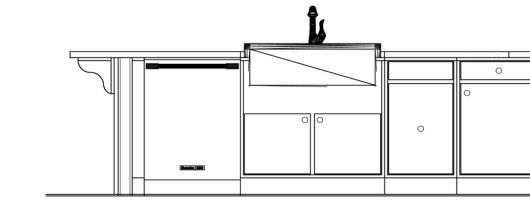
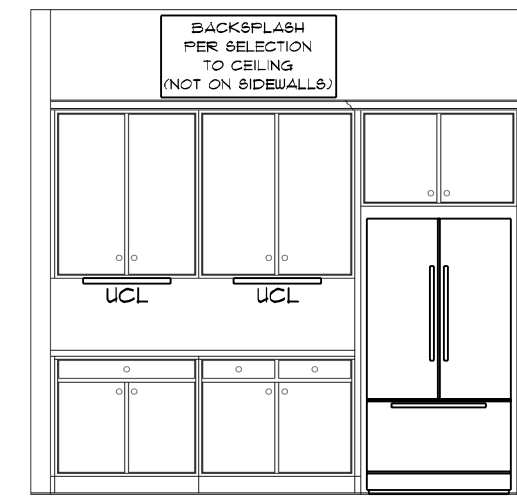
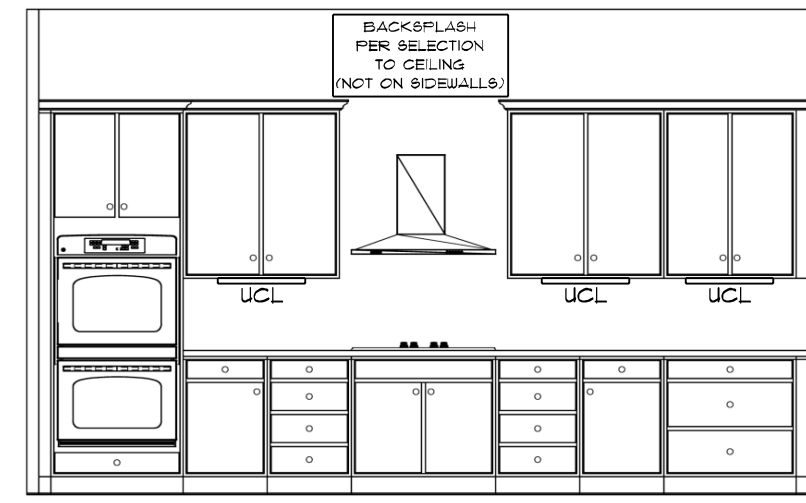
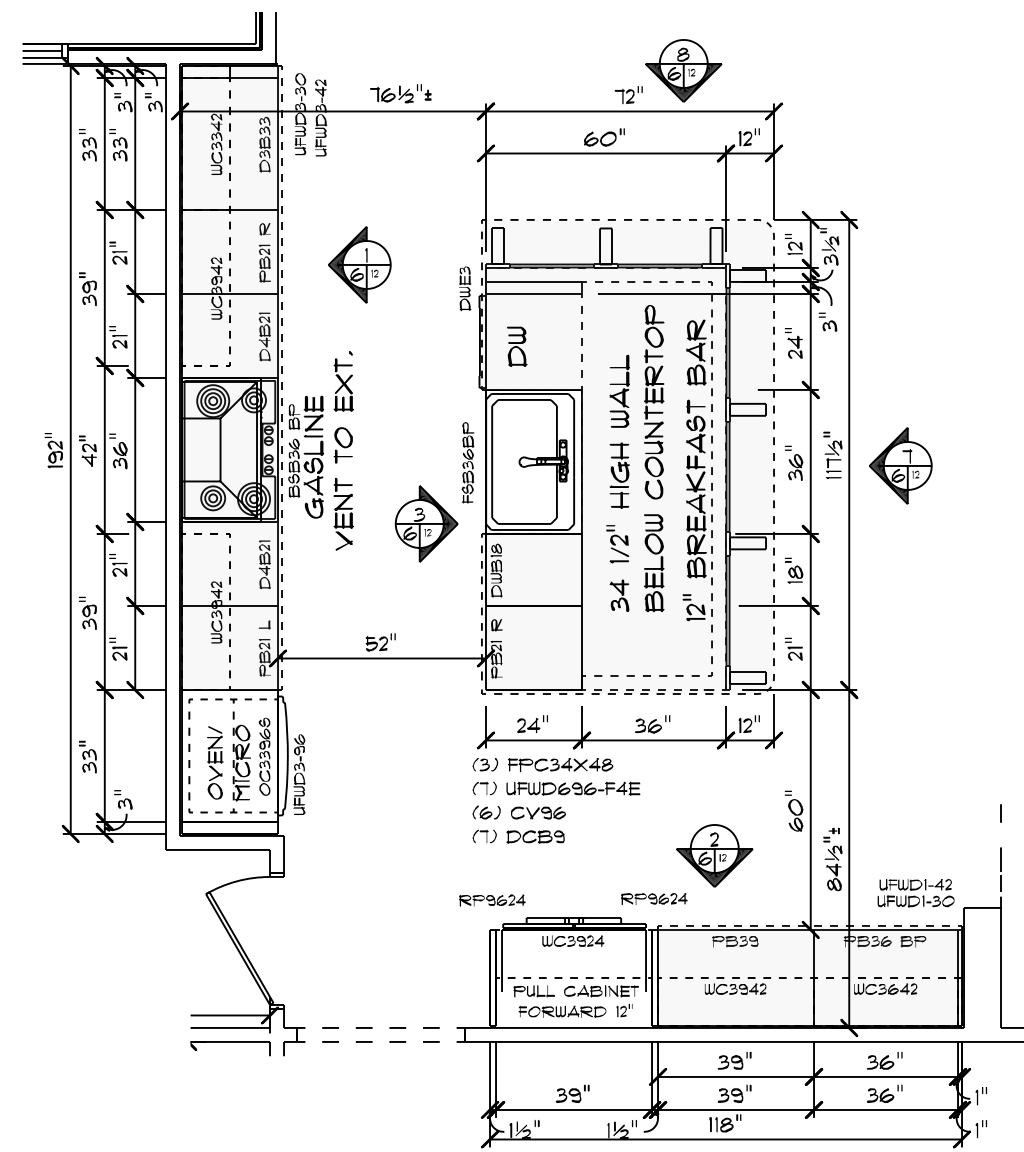
PRELIM NUMBER: 11

JOB #:
 DU 100 023 0217
 CN #: 34606
 VN #: CU 189
 DATE: 5/22/2023

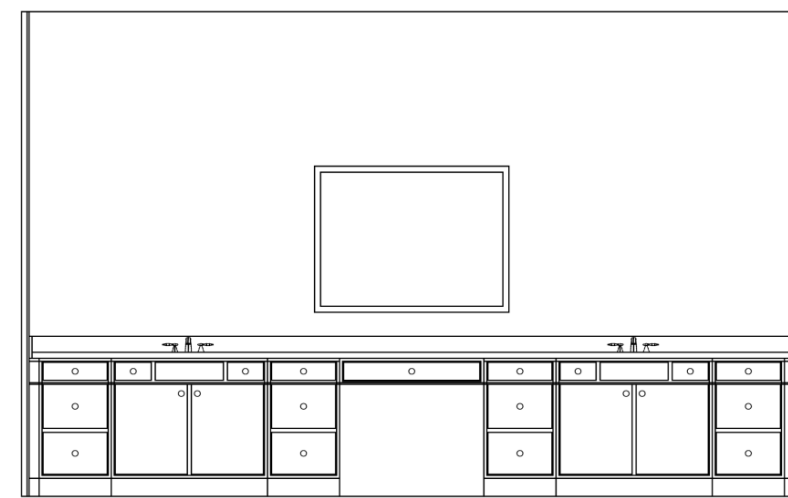
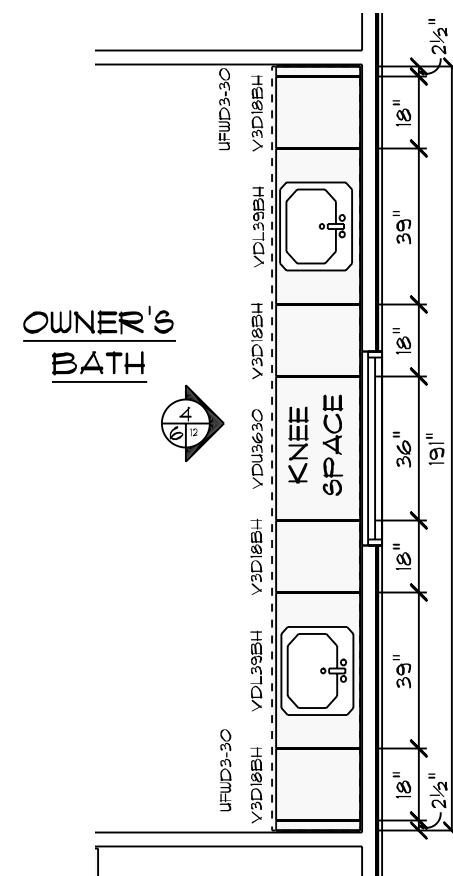
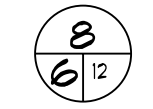
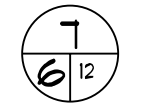
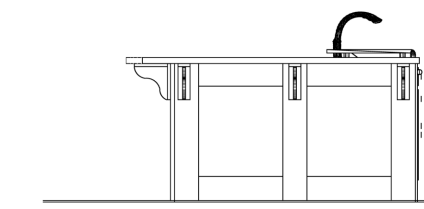
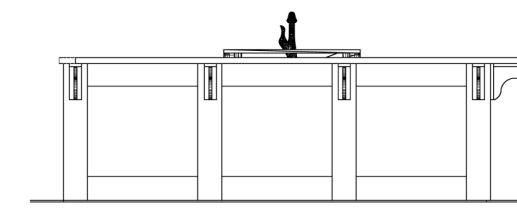
SQUARE FOOTAGES: 3856 SQFT
 1ST FLOOR: 2181 SQFT
 2ND FLOOR: 1063 SQFT
 OPEN AREA: 554 SQFT
 GARAGE: 314 SQFT
 PDR/RAIL: 291 SQFT
 PORCHES: 136 SQFT

CUSTOM BUILT FOR:
 JENNIFER AND ERIC CUA

LOCATION:
 561 COBB RD
 BENSON, NC, 27604
 HARNETT COUNTY

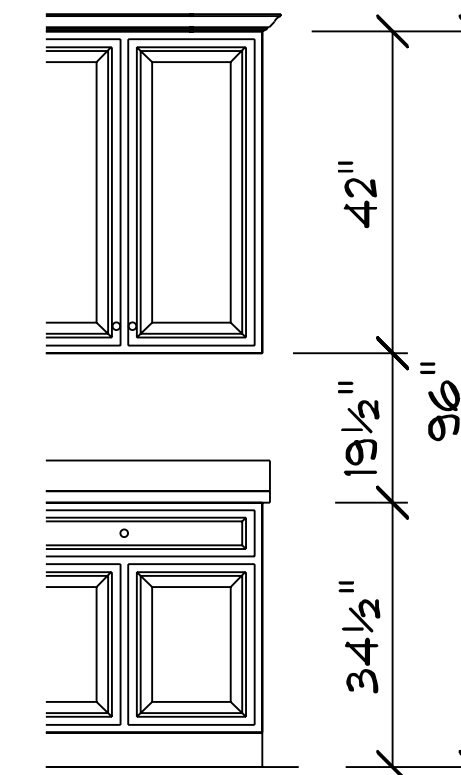
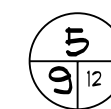
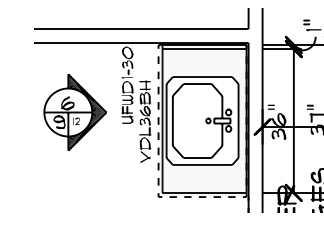
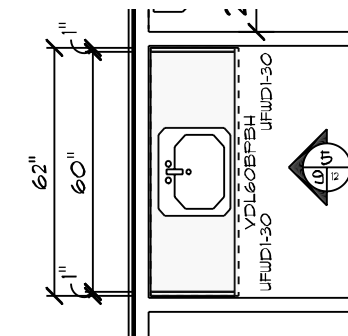


UCL = UNDER CABINET LIGHTS (5) TOTAL



CABINET NOTES:
KITCHEN
 • MARSH CABINETS W/ TRADITIONAL OVERLAY
 • 2-1/4" KITCHEN CABINET CROWN MOLDING
 • COUNTERTOPS PER SELECTION
 • 36" WHITEHAVEN FARM STYLE KITCHEN SINK
 • HARDWARE PER SELECTION
OWNER'S BATH
 • MARSH CABINETS W/ FULL OVERLAY
 • COUNTERTOPS PER SELECTION
 • HARDWARE PER SELECTION
BATHS #2 AND #3
 • MARSH CABINETS W/ TRADITIONAL OVERLAY
 • COUNTERTOPS PER SELECTION
 • HARDWARE PER SELECTION

CABINET IMAGES, HARDWARE, APPLIANCES & OTHER DESIGN ITEMS ARE SHOWN FOR REPRESENTATION PURPOSES ONLY REFER TO FINAL SELECTIONS



SILVERLINE SINGLE HUNG WINDOWS

Silverline V1 Series Single Hung Windows																				
R.O	36 1/2	38 1/2	40 1/2	42 1/2	44 1/2	46 1/2	48 1/2	50 1/2	52 1/2	54 1/2	56 1/2	60 1/2	62 1/2	64 1/2	66 1/2	72 1/2	74 1/2	78 1/2	80 1/2	84 1/2
18 1/2	1630	1632			1638	16310	1640	1642	1644	1646	1648	1650	1652	1654	1656	1660	1662	1666		1670
20 1/2	1830	1832			1838	18310	1840	1842	1844	1846	1848	1850	1852	1854	1856	1860	1862	1866		1870
24 1/2	2030	2032	2034	2036	2038	20310	2040	2042	2044	2046	2048	2050	2052	2054	2056	2060	2062	2066		2070
28 1/2	2430	2432			2438	24310	2440	2442	2444	2446	2448	2450	2452	2454	2456	2460	2462	2466		2470
30 1/2	2630	2632	2634	2636	2638	26310	2640	2642	2644	2646	2648	2650	2652	2654	2656	2660	2662	2666		2670
32 1/2	2830	2832	2834	2836	2838	28310	2840	2842	2844	2846	2848	2850	2852	2854	2856	2860	2862	2866		2870
36 1/2	3030	3032	3034	3036	3038	30310	3040	3042	3044	3046	3048	3050	3052	3054	3056	3060	3062	3066	3068	3070
38 1/2	3230	3232			3238	32310	3240	3242	3244	3246	3248	3250	3252	3254	3256	3260	3262	3266		3270
40 1/2	3430	3432			3438	34310	3440	3442	3444	3446	3448	3450	3452	3454	3456	3460	3462	3466		3470
42 1/2	3630	3632			3638	36310	3640	3642	3644	3646		3650	3652	3654	3656	3660	3662			3670
44 1/2	3830	3832			3838	38310	3840	3842	3844	3846	3848	3850	3852	3854	3856	3860	3862	3866		3870
48 1/2	4030	4032			4038	40310	4040	4042	4044	4046	4048	4050	4052	4054	4056	4060	4062	4066		4070

BOLD TYPE MEETS EGRESS

UNDERLINED CALLOUTS MEET EGRESS WITH CLEAR OPENING HARDWARE

Silverline V3 Series Casement Windows						
R.O	18	21	24 5/8	28 7/8	34	36 7/16
24 5/8	C1-1520	C1-1820	C1-2020	C1-2420		
28 7/8	C1-1524	C1-1824	C1-2024	C1-2424	C1-2924	
36 7/16	C1-15211	C1-18211	C1-20211	C1-24211	C1-29211	C1-211211
41 5/16	C1-1534	C1-1834	C1-2034	C1-2434	<u>C1-2934</u>	C1-21134
48 1/2	C1-1540	C1-1840	C1-2040	<u>C1-2440</u>	<u>C1-2940</u>	C1-21140
53 5/16	C1-1544	C1-1844	C1-2044	<u>C1-2444</u>	<u>C1-2944</u>	C1-21144
60 3/8	C1-15411	C1-18411	C1-20411	<u>C1-24411</u>	<u>C1-29411</u>	C1-211411
65 5/16	C1-1554	C1-1854	C1-2054	<u>C1-2454</u>	<u>C1-2954</u>	C1-21154
72 3/8	C1-15511	C1-18511	C1-20511	<u>C1-24511</u>	<u>C1-29511</u>	C1-211511

Silverline V3 Series Twin Casement Windows					
R.O	41 1/4	48 1/2	57	63 1/4	72 1/8
24 5/8	C2-3420	C2-4020	C2-4820		
28 7/8	C2-3424	C2-4024	C2-4824		
36 7/16	C2-34211	C2-40211	C2-48211	C2-52211	C2-511211
41 5/16	C2-3434	C2-4034	C2-4834	<u>C2-5234</u>	C2-51134
48 1/2	C2-3440	C2-4040	<u>C2-4840</u>	<u>C2-5240</u>	C2-51140
53 5/16	C2-3444	C2-4044	<u>C2-4844</u>	<u>C2-5244</u>	C2-51144
60 3/8	C2-34411	C2-40411	<u>C2-48411</u>	<u>C2-52411</u>	C2-511411
65 5/16	C2-3454	C2-4054	C2-4854		
72 3/8	C2-34511	C2-40511	C2-48511		

Silverline V3 Triple Csmnt Windows			
R.O	61 1/2	72 3/8	85 1/8
24 5/8	C3-5120	C3-51120	C3-7020
28 7/8	C3-5124	C3-51124	C3-7024
36 7/16	C3-51211	C3-511211	C3-70211
41 5/16	C3-5134	C3-51134	C3-7034
48 1/2	C3-5140	C3-51140	<u>C3-7040</u>
53 5/16	C3-5144	C3-51144	<u>C3-7044</u>
60 3/8	C3-51411	C3-511411	<u>C3-70411</u>

Silverline Oval Windows		
	Rough Opening	
	Width	Height
OVL-2030	24 1/2	36 1/2
OVL-2434	28 1/2	40 1/2
OVL-2838	32 1/2	44 1/2
OVL-3040	36 1/2	48 1/2
OVL-3050	36 1/2	60 1/2

Silverline V3 Series Awning Windows						
R.O	25 5/8	28 7/8	32	36 7/16	41 1/4	48 1/2
17 1/2	AW1-2015	AW1-2415	AW1-2715	AW1-21115	AW1-3415	AW1-4015
21	AW1-2018	AW1-2418	AW1-2718	AW1-21118	AW1-3418	AW1-4018
24 5/8	AW1-2020	AW1-2420	AW1-2720	AW1-21120	AW1-3420	AW1-4020
28 7/8	AW1-2024	AW1-2424	AW1-2724	AW1-21124	AW1-3424	AW1-4024
32		AW1-2427	AW1-2727	AW1-21127	AW1-3427	AW1-4027
36 4/9			AW1-27211	AW1-211211	AW1-34211	AW1-40211

Silverline V3 Series Twin Awning Windows			
R.O	57	63 1/4	72 1/8
17 1/2	AW2-4815	AW2-5215	AW2-51115
21	AW2-4818	AW2-5218	AW2-51118
24 5/8	AW2-4820	AW2-5220	AW2-51120
28 7/8	AW2-4824	AW2-5224	AW2-51124
32		AW2-5227	AW2-51127
36 7/16			AW2-511211

Silverline Sliding Door	
6068	72-1/4"x80-1/2"

Andersen 200 Narroline	
Gliding Patio Door	
Unit	Rough Opening
NLGD6068	72" x 80"
NLGD12068-4	141 3/4" x 80"
NLGD6080	72" x 96"
NLGD12080-4	141 3/4" x 96"

Andersen 100 Patio Door	
Unit	Rough Opening
6068	72" x 80"
6080	72" x 96"

Exterior Door with Sidelites		
3'-0" w(1) 14" S.L.		54 5/8" X 82 1/2"
3'-0" w(2) 14" S.L.		69 5/8" X 82 1/2"

Fireplace Framing	
36" WOOD BURNING EL36 W: 42" H: 40-1/4" D: 21-1/2"	
42" WOOD BURNING EL42 W: 48" H: 40-1/4" D: 21-1/2"	
36" DIRECT VENT NDV36-1FT W: 42" H: 35" D: 24"	
42" DIRECT VENT NDV42-1FT W: 49" H: 35" D: 24"	
36" MODERN GAS DV NEVO4236I W: 42" H: 40-1/4" D: 20-1/4"	
42" RAVE DIRECT VENT RAVE42-1FT-B W: 50" H: 33-1/4" D: 18-1/4"	
48" CRAVE DIRECT VENT CRAVE6048 W: 60-1/4" H: 42-1/2" D: 18-3/4"	
60" CRAVE DIRECT VENT CRAVE7260-B W: 72-1/4" H: 48-1/2" D: 18-3/4"	

HOLD FIREPLACE UP 2" TO ALLOW FOR STONE HEARTH IF APP.
A PLYWOOD FLOOR IS REQUIRED ON ALL WOODBURNERS AT LEAST 6' HIGH TO BE INSTALLED BY FRAMERS
2X6 WRAP AT TOP OF CHASE

Window Notes	Additional Important Information
1. TO CALCULATE THE R.O. FOR A WINDOW WITH A TRANSOM, ADD BOTH UNIT DIMENSIONS TOGETHER AND ADD 1/2".	1. THERE IS NO ALLOWANCE IN ANY OF THE HEIGHT DIMENSIONS FOR CARPET SHIM. (PLEASE ADD ACCORDINGLY)
2. TO CALCULATE THE R.O. FOR MULTIPLE UNITS, ADD BOTH ACTUAL UNIT DIM TOGETHER AND ADD 1/2" PER MULL	2. BRICK OPENINGS ARE 2-1/2" WIDER AND 1-1/4" HIGHER THAN ACTUAL UNIT SIZE.
3. FOR R.O.'S NOT LISTED, ADD 1/2" TO THE ACTUAL UNIT DIM FOR BOTH THE WIDTH AND HEIGHT	3. FOR 7' DOORS ADD 4" TO THE ACTUAL UNIT SIZE AND ROUGH OPENING HEIGHT DIMENSIONS.
	4. DO NOT STORE PRE-HUNG UNITS OUTSIDE.

Size of Steel Angle	Lintel Schedule			1/2" or Equiv Reinforcing Bars
	No story Above	One story above	Two Stories Above	
3 x 3 x 1/4	6'-0"	4'-6"	3'-0"	1
4 x 3 x 1/4	8'-0"	6'-0"	4'-6"	1
5 x 3-1/2 x 5/16	10'-0"	8'-0"	6'-0"	2
6 x 3-1/2 x 5/16	14'-0"	9'-6"	7'-0"	2
(2) 6 x 3-1/2 x 5/16	20'-0"	12'-0"	9'-6"	4

Miscellaneous Framing
FRAME SOFFITS THE SAME HEIGHT AS DRYWALL OPENINGS.
LEAVE 14-1/2" BETWEEN EACH END JOIST & RIM JOIST TO ALLOW FOR INSULATION. INSULATE ALL FRAMED CHANNELS & CORNERS AND BEHIND SHOWER & TUB UNITS. INSTALL FIREBLOCK FRAMING IN ALL STAIRWAY CEILINGS.

DRAWING NUMBER: 13
 DRAIN BY: DMS
 SCALE: 0.1963" = 1'-0"
 JOB #: DU 100 023 021T
 CN #: 34606
 VN #: CU 189
 DATE: 5/22/2023
 SQUARE FOOTAGES: 3856 SQFT
 1ST FLOOR: 791 SQFT
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